



This document is a graphic representation only, created from the best available sources. The City of Raleigh assumes no responsibility for any errors, or misuse of this document.

002-18-CA

208 WOLFE STREET
MOORE SQUARE
HISTORIC DISTRICT (HOD-G)

0 25 50 100 Feet



Nature of Project:
Master landscape/hardscape plan to include: remove existing asphalt surface in parking lot; install decomposed granite surface; install new asphalt; alter existing brick paver sidewalk; remove trees; plant trees; alter plantings in existing beds

APPLICANT:
HAKAN MARKET PARTNERS INC



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

002-18-CA 208 WOLFE STREET
Applicant: HAKAN MARKET PARTNERS INC
Received: 12/6/2017 Meeting Date(s):
Submission date + 90 days: 2/7/2018 1) 1/25/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: MOORE SQUARE HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: Master landscape/hardscape plan to include: remove existing asphalt surface in parking lot; install decomposed granite surface; install new asphalt; alter existing brick paver sidewalk; remove tree; plant trees; alter plantings in existing beds

Staff Notes:

- The property appears as 319 S Blount Street in iMAPS.
- COAs mentioned are available for review.
- Unified Development Code section 10.2.15.E.1 provides that “An application for a certificate of appropriateness authorizing the demolition or destruction of a building, structure or site within any Historic Overlay District...may not be denied.... However, the authorization date of such a certificate may be delayed for a period of up to 365 days from the date of issuance.... If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Master landscape/hardscape plan to include: remove existing asphalt surface in parking lot; install decomposed granite surface; install new asphalt; alter existing brick paver sidewalk; remove trees; plant trees; alter plantings in existing beds
1.5	Walkways, Driveways and Offstreet Parking	Remove existing asphalt surface in parking lot; install decomposed granite surface; install new asphalt; alter existing brick paver sidewalk

STAFF REPORT

Based on the information contained in the amended application and staff’s evaluation:

- A. Implementation of a master landscape/hardscape plan involving removing the existing asphalt surface in the parking lot, installing a decomposed granite surface, installing new

asphalt, and altering the existing brick paver sidewalk is not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.9, 1.5.1, 1.5.3, 1.5.5, 1.5.9, 1.5.10; however, removing a tree is incongruous according to *Guidelines* 1.3.5, 1.5.6, and the following suggested facts:

- 1* From the Special Character of the Moore Square Historic District: “In the southeast corner of the district, the grid of original streets from the 1792 town plat is supplemented by three smaller, narrower streets that were created to serve the 1914 City Market complex. The effect of this system of smaller streets is to create within the district a sub-area of greater intimacy, a finer scale especially suited to pedestrian amenity.”
- 2* Also from the Special Character essay: “Asphalt streets throughout the district intersect at right angles in a regular rectangular pattern; however, portions of the streets at City Market have been stripped of asphalt to display their original cobblestone surface. Original granite curbstones remain in much of the district, with a few concrete curbs introduced, as well as some sections of new granite curbing installed in association with city streetscape improvement programs.”
- 3* The site is bordered on the west by Blount Street which is paved with asphalt and on the north by Wolfe Street where the historic cobblestones have been restored. The sidewalks on both streets are paved in red brick with granite curbs.
- 4* The existing asphalt parking surface is proposed to be removed and replaced by two different surfaces; decomposed granite on the east of the site and new asphalt on the west. The application calls for Chapel Hill Gravel as the decomposed granite material, which is designed for walkways, patios, plazas and other pedestrian surface areas. The decomposed granite is shown in sample photographs as a beige material with a muted clay tone. No other examples of this material were shown in the Moore Square Historic District.
- 5* Chapel Hill gravel has been approved in rear yards for paths in the residential character historic districts, although not in Moore Square up to this point
- 6* The narrow brick walkway at the east end of the site will be widened.
- 7* Granite curb material may require replacement in two areas according to the applicant, both at the revised Wolfe Street entrance entirely within the existing parking lot area.
- 8* No changes in granite curbs, curb cuts, sidewalks or driveway aprons in the public right-of-way are proposed.

B. Implementation of a master landscape/hardscape plan involving planting trees and altering plantings in existing beds is not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.3, 1.3.4, 1.3.7, 1.5.9, 1.5.10; however, removing a tree is incongruous according to *Guidelines* 1.3.5, 1.5.6, and the following suggested facts:

- 1* A 9" caliper Japanese privet tree is proposed to be removed in the northeast corner of the site to allow for an expanded walkway. In the southeast corner, a Chinese pistache is proposed to be trimmed.
- 2* Three single-stem crape myrtles will be planted on the east side of the site along the newly expanded walkway.
- 3* A tree protection plan was provided.
- 4* Existing planting areas are to be replanted and additional planting areas will be added, including around the large area with mechanical equipment on the north edge of the property. Final plant selections were not included in the application.

Pending committee discussion on the decomposed granite surface material, staff suggests that the committee approve the application with the following conditions:

1. That there be no demolition delay for the removal of the trees.
2. That tree protection plans be implemented and remain in place for the duration of construction.
3. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
 - a. Final plant selections.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input checked="" type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	For Office Use Only Transaction # <u>538449</u> File # <u>002-18-CA</u> Fee <u>147⁰⁰</u> Amount Paid <u>147⁰⁰</u> Received Date <u>12/06/17</u> Received By <u>Pamela Best</u>
---	---

Property Street Address 208 Wolfe Street		
Historic District Moore Square / City Market		
Historic Property/Landmark name (if applicable)		
Owner's Name Michael Hakan		
Lot size 6100	(width in feet)	(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
EDISON CONDO OWNERS ASSOC C/O THE NRP GROUP 5309 TRANSPORTATION BLVD CLEVELAND OH 44125-5333	EDISON RETAIL PARTNERS LLC 104 LAKE CLIFF CT CARY NC 27513-5695
HORWITZ, PHILLIP S PO BOX 6 RALEIGH NC 27602-0006	EDISON ONE, LLC EDISON TWO, LLC ATTN: GENERAL COUNSEL 1427 CLARKVIEW RD STE 500 BALTIMORE MD 21209-0016
BLOUNT STREET PARKING DECK PROP OWNRS CONDOS RALEIGH CITY OF PO BOX 590 RALEIGH NC 27602-0590	RALEIGH CITY OF PO BOX 590 RALEIGH NC 27602-0590
HIGHWOODS REALTY LIMITED PARTNERSHIP 3100 SMOKETREE CT STE 600 RALEIGH NC 27604-1050	RALEIGH CITY OF 222 W HARGETT ST RALEIGH NC 27601-1316
ARTSPACE INC 201 E DAVIE ST RALEIGH NC 27601-1869	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.	

Type or print the following:		
Applicant Hakan Market Partners INC		
Mailing Address 410 Palm Ave, B4		
City Carpentaria	State CA	Zip Code 93013
Date 12-4-17	Daytime Phone 805-684-9000	
Email Address mjhakan@hakanmarketpartners.com		
Applicant Signature 		

<p>Will you be applying for rehabilitation tax credits for this project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Did you consult with staff prior to filing the application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p style="text-align: center;">Office Use Only</p> <p>Type of Work _____</p> <p style="text-align: center; font-size: 2em;">47</p> <p>_____</p> <p>_____</p>
---	---

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
Sec 1.3 (pgs 22-23)	Site Features and Plantings	<p>"The Backyard" is a renovation to the existing +/-6100 SF asphalt surface parking lot in City Market at S. Blount Street and Wolfe Street. The overall goal is to enhance the functionality and aesthetics of the space to create an engaging pedestrian experience and outdoor dining experience for restaurant patrons, while maintaining the historic character of City Market and the Moore Square District. All work will be completed outside of the public right-of-way within private property.</p> <p>The existing asphalt (in poor condition) will be completely removed to the existing sub-base and the surface re-graded to remove imperfections and improve stormwater flow, however cut/fill will be balanced and will tie back to existing grades at the curb/pavement edges (consistent with Sec 1.3.13 guidelines). Approximately half of the existing asphalt (+/- 3200 SF) will be replaced with a stabilized/compacted and well-draining decomposed granite surface to use as a warm and inviting outdoor seating area for restaurant patrons. The remaining parking area (+/- 2500 SF) will be replaced with a new asphalt binder and surface course, and subsequently re-stripped as needed with the ADA space preserved.</p> <p>The walkway at the east edge of the site will be expanded by about 560 SF to improve pedestrian circulation and visibility, and utilize the historic City Market red brick blend with running bond pattern to maintain the historic character of the site, keeping in line with the design guidelines outlined in Sec 1.5</p>
Sec 1.5 (pgs 26-27)	Walkways, Driveways, and Off-Street Parking	

		(parts .1 through .6). While a small ornamental tree will need to be removed for the construction of this walkway, three (3) ornamental trees will be added to create an allee with the existing trees along the path. Granite stone curbs will be protected/preserved where possible, but will be replaced with equivalent material if necessary. Similarly, all other historic site features (light poles, signage, etc.) will be retained and preserved, in keeping with Sec 1.3.2. Native or adapted evergreen plant material will be added/supplemented in targeted beds as indicated on the plans, including the replacement of overgrown and encroaching large evergreen shrubs along the building foundation walkway (south edge of the site) to help improve pedestrian circulation. Furthermore, supplemental shade-tolerant plant material is proposed to be added to the plant bed at the north edge of the site, where permitted, to assist with utility screening and tree protection (per Sec 1.5.10). Existing large oaks and elms adjacent to and on site will be protected and compaction within the root zones will be limited in order to maintain the health of these mature trees (per Section 1.5.9). During construction, the continuity of adjacent sidewalks will be maintained outside of the site boundaries along Wolfe St and Blount St. (per Sec 1.5.8).

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies	Major				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			

<input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.					
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				



Site facing southwest from Wolfe St Entrance



Site facing southeast from Wolfe St Entrance

EXISTING SITE PHOTOS



View facing southeast from Blount St entrance



View facing east from Blount St entrance

EXISTING SITE PHOTOS



View facing northeast from center of the site



View facing west from the center of the site

EXISTING SITE PHOTOS

DECOMPOSED GRANITE SURFACE - CHAPEL HILL GRAVEL



Example photos

Product Information:

- TYPE:** Chapel Hill Gravel (aka Chapel Hill Grit), a locally-sourced decomposed granite aggregate surface material, irregular sizing for optimal compaction and drainage, to be installed at 3-4" depth above approved sub-base material.
- USES:** Walkways, Patios, Plazas, and other pedestrian surface areas
- SOURCE:** The Stone Center, 6515 Apex Highway Durham, NC 27713, 919-361-4925 (also available from many other local quarries and distributors)
- SAMPLE:** Physical sample is available, contact owner or contractor to obtain. Sample obtained from The Stone Center, see source above.
- ADMIXTURE:** Stabilizer Solutions STABILIZER® for Stabilized Pedestrian Aggregate Pathways - 100% natural soil binder solution to help decrease runoff and increase stability and compaction. Specifications available.

SITE MATERIALS



Photos of existing curb at east edge brick walkway (2)



Photos of existing curb at west side of Wolfe St. Entrance (2)

CURB INFORMATION

TYPE: Existing curb = 6" granite stone stand-up curb with no gutter, rough-cut finish (poor condition in many areas). Approved equivalent 6" granite stand-up stone curb within overlay district and City Market design standards to be used as a replacement.

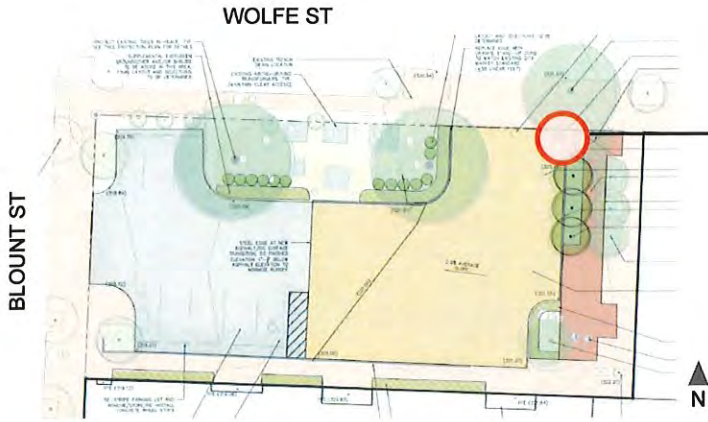
LOCATIONS: Curb will likely need replacement in two areas (reference Site Plan C-1.0 and photos above)*:

- 1) At the west side of the Wolfe Street entrance, in which the asphalt has been overlayed to the point that it is nearly flush with the top of the curb. Final length replacement shown on plans (55 LF) may vary upon closer inspection.
- 2) In the area on the east edge where the brick walkway will be expanded, which will require the removal of the existing curb. Final length replacement shown on plans (36 LF) may vary upon closer inspection.

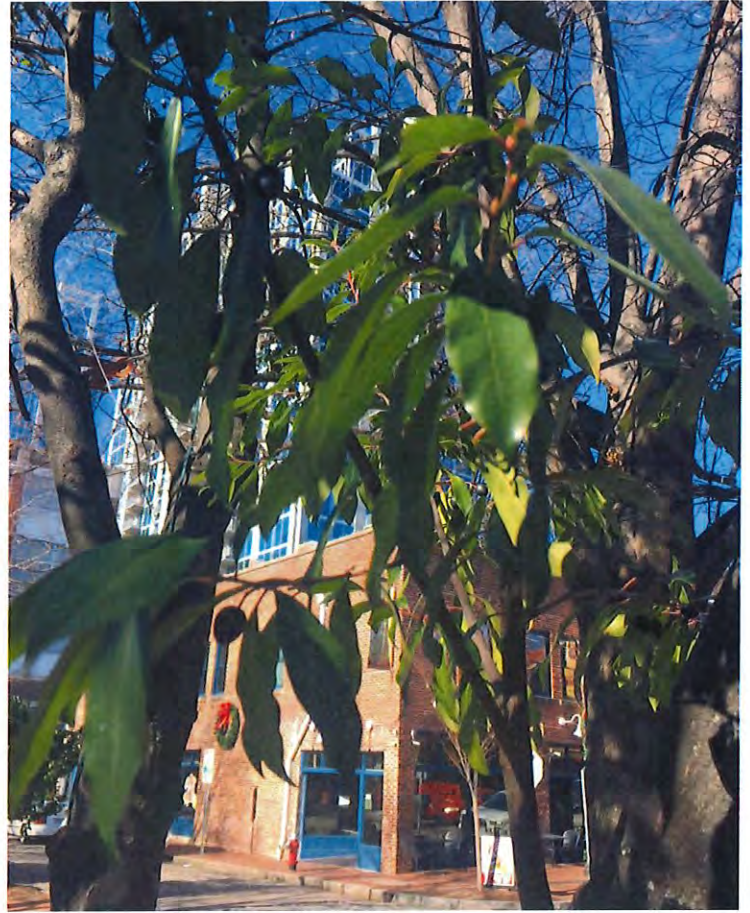
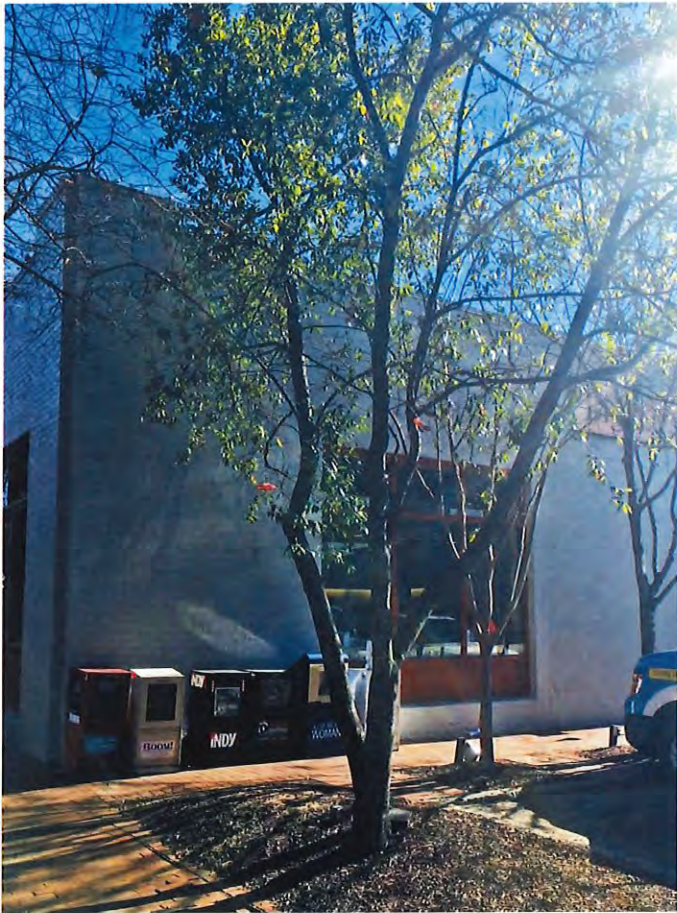
**The demolition of the asphalt will make it unlikely that the contractor will be able to salvage and reuse the existing curb, but attempts will be made to do so.*

GRANITE CURB PHOTOS

LOCATION KEY MAP



LOCATION OF 9" CAL. JAPANESE PRIVET TREE TO BE REMOVED, SEE TREE PROTECTION PLAN (C-0.1) FOR ADDITIONAL INFORMATION

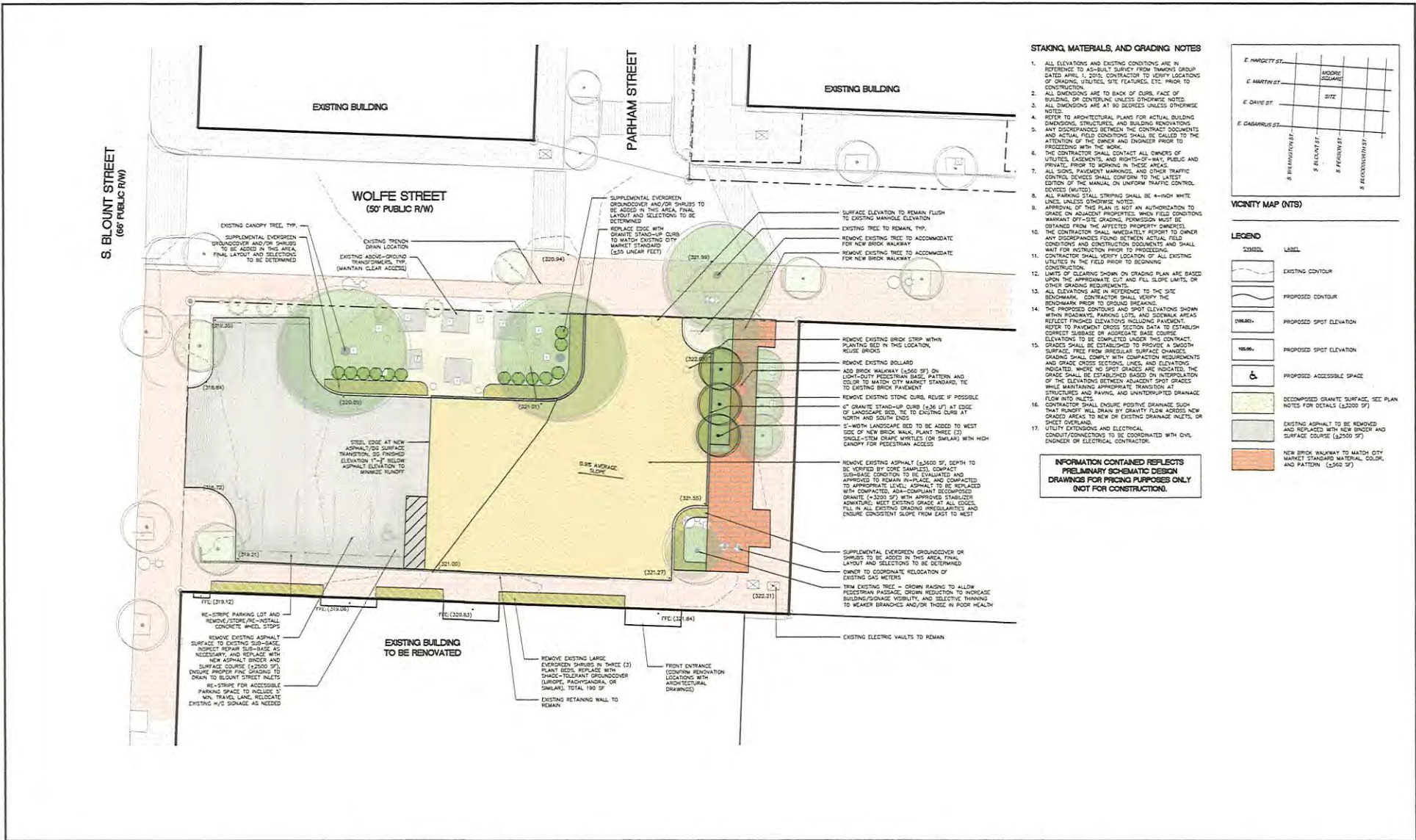


Photos of tree to be removed

TREE INFORMATION

- SUMMARY:** One (1) non-native small tree to be removed for the expansion of a brick walkway, see Site Plan C-1.0 for walkway location
- TYPE:** Ligustrum Japonicum (Japanese Privet, Tree-Form), cultivar unknown
- HEALTH:** Moderately Healthy (some trunk damage, urban bark pollution, minor loss of evergreen leaves in winter, compacted root system)
- SIZE:** Diameter at Breast Height (DBH) = Approximately 9" measured at 4.5', Height = ± 16'
- LOCATION:** At Northeast corner of site -- see Plan Reference Key; also see notes on Tree Protection Plan C-0.1

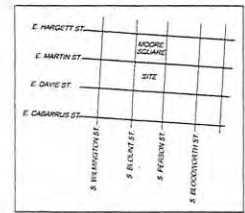
TREE REMOVAL INFORMATION



STAKING, MATERIALS, AND GRADING NOTES

1. ALL ELEVATIONS AND EXISTING CONDITIONS ARE IN REFERENCE TO AS-BUILT SURVEY FROM TIMONS GROUP DATED APRIL 1, 2015. CONTRACTOR TO VERIFY LOCATIONS OF GRADING, UTILITIES, SITE FEATURES, ETC. PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE TO BACK OF CURB FACE OF BUILDING, OR CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STRUCTURES, AND BUILDING RENOVATIONS.
5. ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. ALL SIGN, PAINTMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. ALL PAINTING SHALL STRIP TO 4-INCH WHITE LINES UNLESS OTHERWISE NOTED.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
10. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONTRACT DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
11. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
12. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
13. ALL ELEVATIONS ARE IN REFERENCE TO THE SITE BENCHMARK. CONTRACTOR SHALL VERIFY THE BENCHMARK PRIOR TO GRADING BREAKDOWN.
14. THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN WITH PROBABLY FINISHED LOTS, AND DISTURBED AREAS, REFLECT PROPOSED ELEVATIONS INCLUDING PAVED/PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
15. GRADING SHALL BE ESTABLISHED TO PROVIDE A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. GRADING SHALL COMPLY WITH COMPACTION REQUIREMENTS AND GRADE CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. WHERE NO SPOT GRADES ARE INDICATED, THE GRADE SHALL BE ESTABLISHED BASED ON INTERPOLATION OF THE ELEVATIONS BETWEEN ADJACENT SPOT GRADES WHILE MAINTAINING APPROPRIATE TRANSITION AT STRUCTURES AND PAVING, AND UNINTERRUPTED DRAINAGE FLOW INTO INLETS.
16. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW GRADED AREAS TO NEW OR EXISTING DRAINAGE INLETS, OR SHEET OVERLAND.
17. UTILITY EXTENSIONS AND ELECTRICAL CONDUIT/CONNECTIONS TO BE COORDINATED WITH CIVIL ENGINEER OR ELECTRICAL CONTRACTOR.

INFORMATION CONTAINED REFLECTS PRELIMINARY SCHEMATIC DESIGN DRAWINGS FOR PRICING PURPOSES ONLY (NOT FOR CONSTRUCTION).



LEGEND

SYMBOL	LABEL
(Dashed line)	EXISTING CONTOUR
(Solid line)	PROPOSED CONTOUR
(Square with number)	PROPOSED SPOT ELEVATION
(Circle with number)	PROPOSED SPOT ELEVATION
(Square with wheelchair icon)	PROPOSED ACCESSIBLE SPACE
(Yellow hatched)	DECOMPOSED GRANITE SURFACE, SEE PLAN NOTES FOR DETAILS (L2500 SF)
(Grey hatched)	EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW UNDER AND SURFACE COURSE (L2500 SF)
(Orange hatched)	NEW BRICK WALKWAY TO MATCH CITY MARKET STANDARD MATERIAL, COLOR, AND PATTERN (L250 SF)

JORDAN PETERSEN, RLA, LEED AP
NCBOLA #1879



**CITY MARKET PARKING LOT RENOVATION
(S. Blount Street and Wolfe Street)**

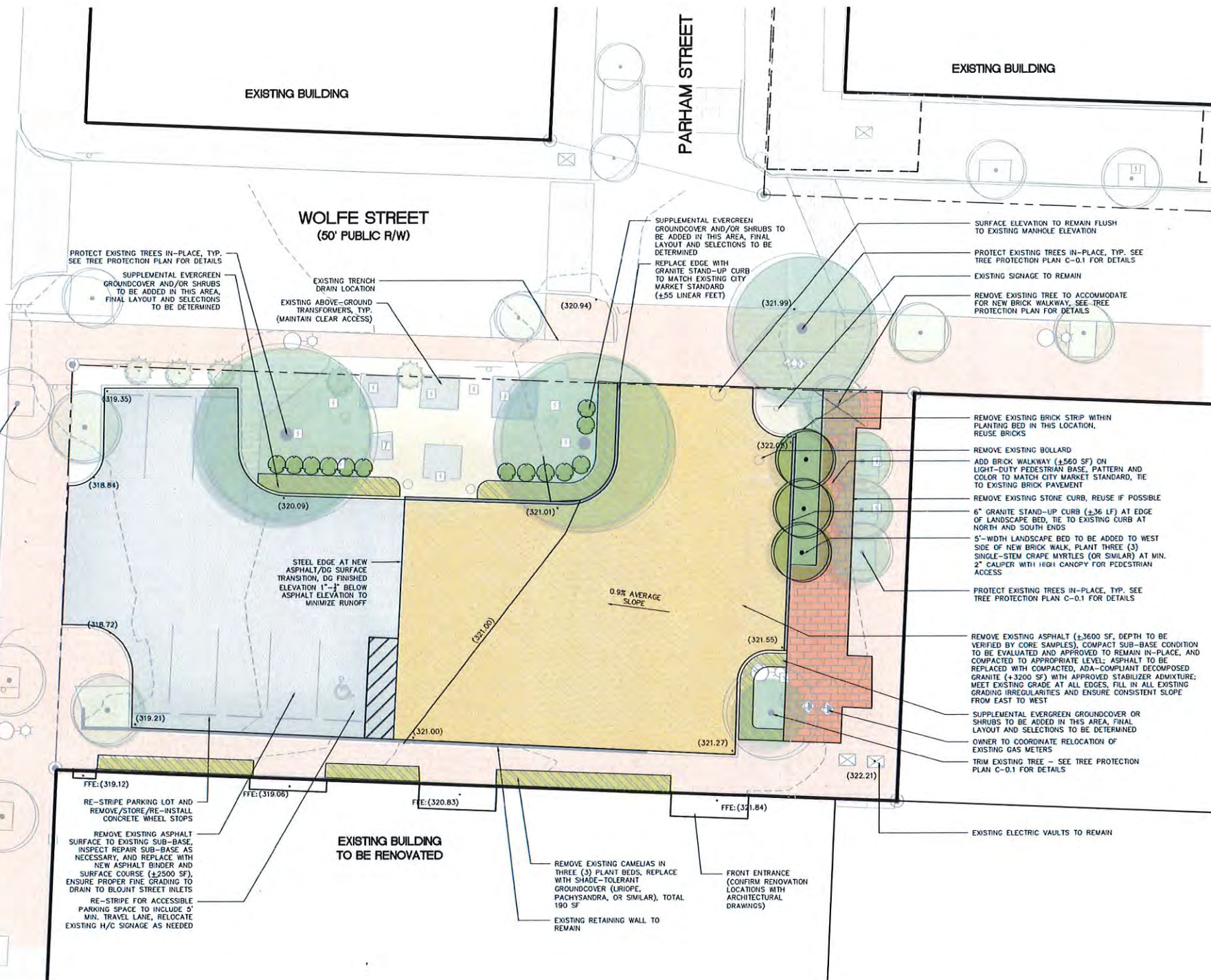
Hakan Market Partners
City Market, Raleigh NC

Conceptual / Schematic Plan Drawing

Project No. 17-009
Issued 09/29/17 (REVISED 12/5/17)
Scale 1" = 10'

C-1.0
Sheet

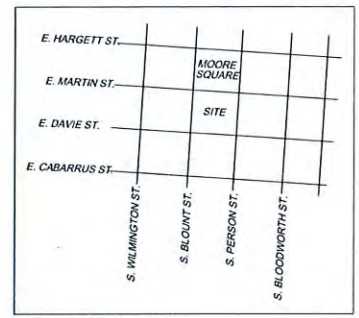
S. BLOUNT STREET
(66' PUBLIC R/W)



STAKING, MATERIALS, AND GRADING NOTES

1. ALL ELEVATIONS AND EXISTING CONDITIONS ARE IN REFERENCE TO AS-BUILT SURVEY FROM TIMMONS GROUP DATED APRIL 1, 2015; CONTRACTOR TO VERIFY LOCATIONS OF GRADING, UTILITIES, SITE FEATURES, ETC. PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, OR CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STRUCTURES, AND BUILDING RENOVATIONS.
5. ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
9. APPROVAL OF THIS PLAN IS AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S). THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
10. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
11. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ALL BURIED UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELECOMMUNICATION, GAS, ETC.) WITHIN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. UTILITIES ARE ILLUSTRATED FOR INFORMATION PURPOSES ONLY. THE OMISSION OF, OR INCLUSION OF, UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND MEET WITH ALL UTILITY OWNERS WHOSE FACILITIES WILL BE AFFECTED TO DETERMINE UTILITY LOCATIONS. THE CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE CAUSED BY HIS OPERATIONS OR THOSE OF HIS AGENTS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
12. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
13. ALL ELEVATIONS ARE IN REFERENCE TO THE SITE BENCHMARK. CONTRACTOR SHALL VERIFY THE BENCHMARK PRIOR TO GROUND BREAKING.
14. THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN WITHIN ROADWAYS, PARKING LOTS, AND SIDEWALK AREAS REFLECT FINISHED ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT. GRADES SHALL BE ESTABLISHED TO PROVIDE A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. GRADING SHALL COMPLY WITH COMPACTATION REQUIREMENTS AND GRADE CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. WHERE NO SPOT GRADES ARE INDICATED, THE GRADE SHALL BE ESTABLISHED BASED ON INTERPOLATION OF THE ELEVATIONS BETWEEN ADJACENT SPOT GRADES WHILE MAINTAINING APPROPRIATE TRANSITION AT STRUCTURES AND PAVING, AND UNINTERRUPTED DRAINAGE FLOW INTO INLETS.
15. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW GRADED AREAS TO NEW OR EXISTING DRAINAGE INLETS, OR SHEET OVERLAND.
16. UTILITY EXTENSIONS AND ELECTRICAL CONDUIT/CONNECTIONS, IF APPLICABLE, TO BE COORDINATED WITH ELECTRICAL CONTRACTOR.

INFORMATION CONTAINED REFLECTS PRELIMINARY SCHEMATIC DESIGN DRAWINGS FOR PRICING PURPOSES ONLY (NOT FOR CONSTRUCTION).



VICINITY MAP (NTS)

LEGEND

SYMBOL	LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED ACCESSIBLE SPACE
	DECOMPOSED GRANITE SURFACE, SEE PLAN NOTES FOR DETAILS (±3200 SF)
	EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW BINDER AND SURFACE COURSE (±2500 SF)
	NEW BRICK WALKWAY TO MATCH CITY MARKET STANDARD MATERIAL COLOR, AND PATTERN (±560 SF)

NOTE: SOURCE PLAN WITH SCALE OF 1"=10' IS AT 24X36" SIZE PLOT. IF PLAN IS PLOTTED ON 11X17", IT WILL BE SCALED AT 50% (1"=20')

JORDAN PETERSEN, RLA, LEED AP
NCBOLA #1879



**CITY MARKET PARKING LOT RENOVATION
(S. Blount Street and Wolfe Street)**

Hakan Market Partners
City Market, Raleigh NC

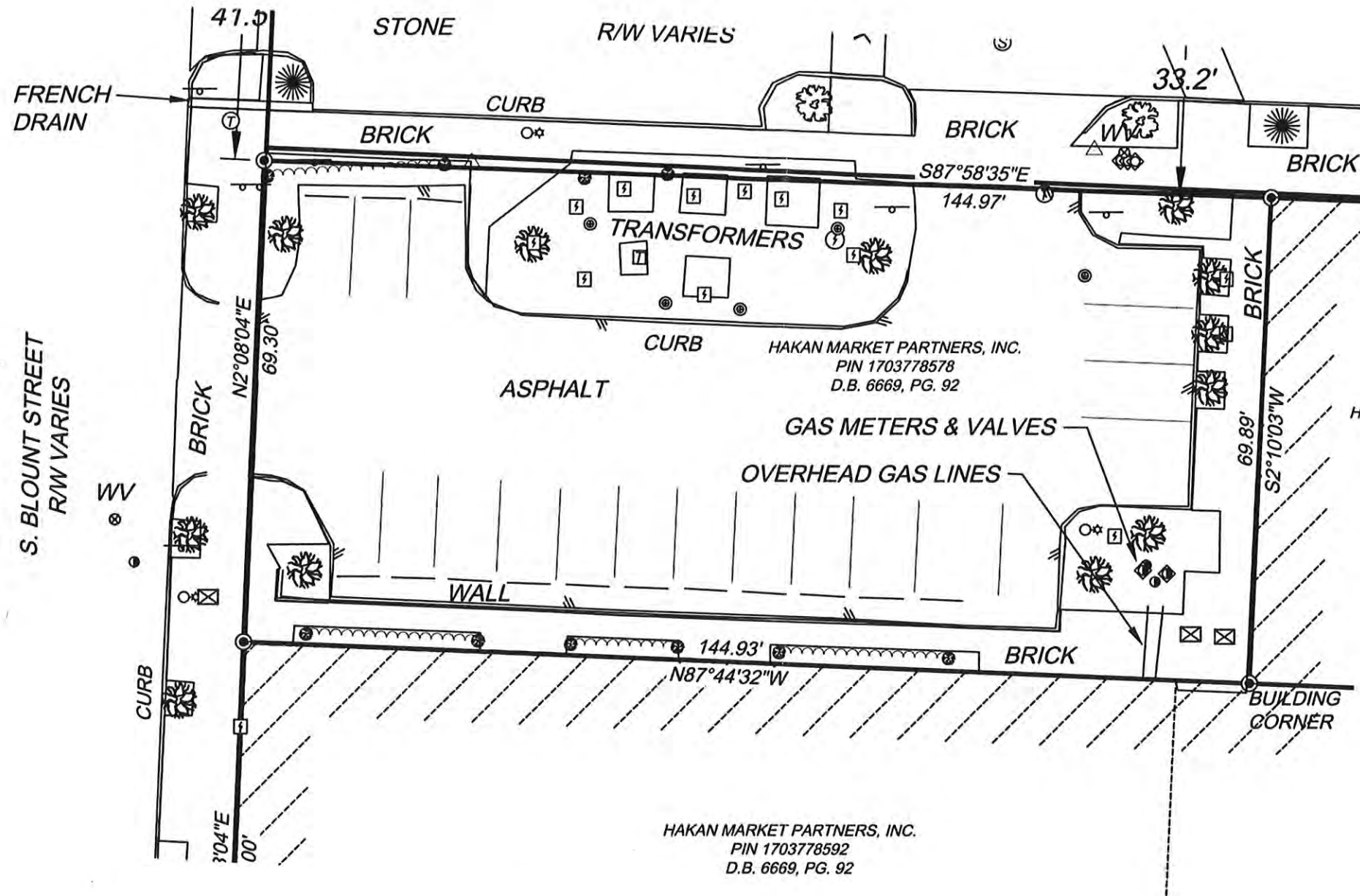
Conceptual / Schematic Plan Drawing

Project No. 17-009
Issued 09/29/17 (REVISED 12/30/17)
Scale 1" = 10'

C-1.0
Sheet

NOTES

- 1) NO TITLE REPORT FURNISHED.
- 2) AREAS COMPUTED BY COORDINATE METHOD.
- 3) PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
- 4) ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 5) THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- 6) RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
- 7) BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
- 8) WETLANDS WERE NOT INVESTIGATED NOR NOTED ON THIS SITE.
- 9) PROPERTY IS LOCATED IN ZONE "A" AS SCALED FROM COMMUNITY PANEL #3720170000 EFFECTIVE DATE MAY 2, 2008.



LINE TABLE		
LINE	BEARING	LENGTH
L5	S75°46'36\"E	38.00'
L6	S16°13'40\"W	33.95'
L7	S87°35'20\"E	44.62'
L8	N58°23'16\"E	53.52'

LEGEND	
IPF - IRON PIPE FOUND	⊙ BOLLARD
IRF - IRON ROD FOUND	⊙ MH DRAINAGE
IPS - IRON PIPE SET	⊙ MH SANITARY
PT - CALCULATED POINT	⊙ MH ELECTRIC
CM - CONCRETE MONUMENT	⊙ MH TELEPHONE
⊙ FIRE HYDRANT	⊙ MH WATER
⊙ ELECTRIC BOX	⊙ SPRINKLER BOX
⊙ TELEPHONE PEDESTAL	⊙ ELECTRIC METER
⊙ CABLE TV PEDESTAL	⊙ CLEAN OUT
⊙ POWER POLE	⊙ WATER METER
⊙ LIGHT POLE	⊙ WATER VALVE
⊙ YARD LIGHT	⊙ ROOF DRAIN
⊙ BACKFLOW PREVENTER	RCP - REINFORCED CONCRETE PIPE
⊙ WATER VAULT	CMF - CORRUGATED METAL PIPE
⊙ TELEPHONE VAULT	VCP - VITRIFIED CLAY PIPE
R/W - RIGHT-OF-WAY	DIP - DUCTILE IRON PIPE
P/L - PROPERTY LINE	HDPE - HIGH DENSITY POLYETHYLENE PIPE
C/L - CENTERLINE	HVAC - HEATING, VENTILATION AND AIR CONDITIONING
N.T.S. - NOT TO SCALE	---
GV - GAS VALVE	---
CB - CATCH BASIN	---
GI - GRATE INLET	---
YI - YARD INLET	---
CI - CURB INLET	---
EP - EDGE OF PAVING	---
TBC - TOP BACK OF CURB	---
DB - DEED BOOK	---
PB - PLAT BOOK	---
PG - PAGE	---
SF - SQUARE FEET	---

LEGEND	
PROPERTY LINE SURVEYED	---
LINE NOT SURVEYED	---
EXISTING FENCE	---
EXISTING IRON PIPE FOUND	⊙ IPF
EXISTING CONC MONUMENT FOUND	⊙ IRF
EXISTING COTTON SPINDLE FOUND	⊙ CMF
COMPUTED POINT	⊙ CSF
IRON PIPE SET	⊙ CP
	⊙ IPS

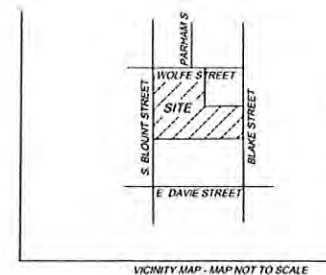
NOTE: SCALE OF ORIGINAL AS-BUILT HAS BEEN TRIMMED/SCALED TO MATCH SITE DRAWINGS PER CITY OF RALEIGH REQUIREMENTS, ORIGINAL AS-BUILT DRAWING AVAILABLE UPON REQUEST

SURVEYOR CERTIFICATION
 I, DAVID A. PERFLATER, P.L.S., HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DESCRIBED IN DEEDS AND MAPS OF RECORD OR OTHER REFERENCE SOURCES, THAT THE ERROR OF CLOSURE, AS CALCULATED BY LATITUDES AND DEPARTURES IS 1:10,000+. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD, THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21 NCAC 58.1600, AS AMENDED.
 WITNESS MY HAND AND SEAL THIS 1ST DAY OF APRIL, A.D., 2015.
 NC-L-4951 SURVEYOR

PRELIMINARY - NOT FOR SALES, RECORDATION OR CONVEYANCES

AS-BUILT SURVEY FOR
 WEEKS TURNER ARCHITECTURE, PA
 S. BLOUNT STREET, WOLFE STREET & BLAKE STREET

RALEIGH TOWNSHIP	WAKE COUNTY, NC
Date: APRIL 1, 2015	Scale: 1" = 20'
Sheet 1 of 1	J.N.: 33782
Drawn by: JP	Checked by: DAP



TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.
 Infrastructure Technology
 Site Development Residential

THIS DRAWING PREPARED AT THE
 RALEIGH OFFICE
 5410 TRINITY ROAD, SUITE 112, RALEIGH, NC 27607
 TEL: 919.886.4951 FAX: 919.893.5660 www.timmons.com
 NORTH CAROLINA LICENSE NUMBER: C-1032

S. BLOUNT STREET
(66' PUBLIC R/W)

EXISTING BUILDING

PARHAM STREET

EXISTING BUILDING

WOLFE STREET
(50' PUBLIC R/W)

PROTECT EXISTING WILLOW OAK (QUERCUS PHELLOS) IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE

EXISTING TRENCH DRAIN LOCATION

PROTECT EXISTING WILLOW OAK (QUERCUS PHELLOS) IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE

REMOVE EXISTING PRIVET TREE (LIGUSTRUM JAPONICUM) PER ANSI GUIDELINES TO ACCOMMODATE FOR NEW BRICK WALKWAY, REMOVE BASE/ROOTS AS NEEDED TO ACHIEVE FLAT GRADE FOR WALKWAY BASE PREPARATION

PROTECT EXISTING VIBURNUM SHRUBS IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE

PROTECT EXISTING TREES AT ENTRANCE (MAPLES, ELM, AND HORSEBEECH) IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE

PROTECT EXISTING JAPANESE ZELKOVA (ZELKOVA SERRATA) IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE. NOTE THAT THIS PARTICULAR TREE IS IN POOR HEALTH, RECOMMEND INSPECTION BY CERTIFIED ARBORIST TO DETERMINE FUTURE VIABILITY

PROTECT THREE EXISTING TREES (2 CRAPE MYRTLES, ONE ELM) IN-PLACE, TYP. SEE TREE PROTECTION FENCING DETAILS PRCR-01 AND PRCR-02 AND TREE PROTECTION NOTES ON THIS PAGE

NO STORAGE OF MATERIALS, EQUIPMENT, OR VEHICLES IS PERMITTED WITHIN THE CRITICAL ROOT ZONE (CRZ) OF PROTECTED TREES. ALL MEASURES SHALL ALSO BE TAKEN TO LIMIT THE USE OF HEAVY MACHINERY, STORAGE, OR OTHER DISTURBANCES WITHIN AND BEYOND THE CRZ IF STILL UNDER THE EXISTING CANOPY OF THE PROTECTED TREE, TYP.

TREE PROTECTION FENCING, TYP. SEE DETAILS PRCR-01 AND PRCR-02. ADJUST TREE PROTECTION FENCING TO LOCATION SHOWN DURING CONSTRUCTION OF BRICK WALKWAY, SEE SITE PLAN C-1.0 FOR LOCATION

TRIM EXISTING CHINESE PISTACHE (PISTACIA CHINENSIS) - CROWN RAISING TO ALLOW PEDESTRIAN PASSAGE, CROWN REDUCTION TO INCREASE BUILDING/SURFACE VISIBILITY, AND SELECTIVE THINNING TO WEAKER BRANCHES AND/OR THOSE IN POOR HEALTH, SEE TREE PROTECTION NOTES FOR ADDITIONAL DETAILS

EXISTING BUILDING TO BE RENOVATED

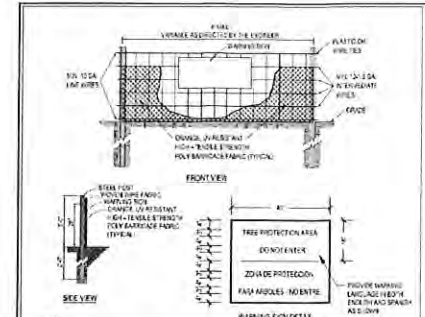
REMOVE EXISTING LARGE EVERGREEN SHRUBS (CAMELIAS) IN THREE (3) PLANT BEDS SHOWN, SEE SITE PLAN C-1.0 FOR SUGGESTED REPLACEMENTS

EXISTING RETAINING WALL TO REMAIN

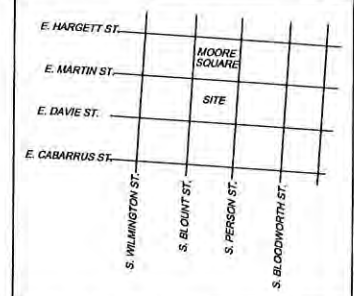
EXISTING ELECTRIC VAULTS TO REMAIN



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 CFR, PART 1926, SUBPART P, OR AS AMENDED.

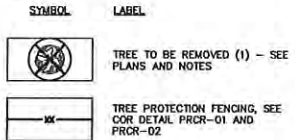


- NOTES:**
- TREE PROTECTION FENCING SHALL BE INSTALLED AT A MINIMUM 2 FEET FROM THE CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES. CRZ SHALL BE DETERMINED PER ANSI GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING UTILITY, THE UTILITY SHALL BE PROTECTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING WALKWAY, THE WALKWAY SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING DRIVEWAY, THE DRIVEWAY SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING CURB, THE CURB SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING FENCE, THE FENCE SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING SIGN, THE SIGN SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING LIGHT FIXTURE, THE LIGHT FIXTURE SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.
 - IF A PROTECTED TREE IS LOCATED WITHIN THE CRZ OF AN EXISTING STREET LIGHT, THE STREET LIGHT SHALL BE RELOCATED OR ADJUSTED PER CITY OF RALEIGH GUIDELINES.



VICINITY MAP (NTS)

LEGEND



TREE PROTECTION NOTES:

- DRAWING INDICATES TREE PROTECTION FOR EXISTING TREES ONLY, SEE OVERALL SITE PLAN C-1.0 FOR NOTES REGARDING PROPOSED PLANTING AND REMOVAL/INSTALLATION OF HARDSCAPE AND OTHER SITE FEATURES.
- ALL TREE PROTECTION AND REMOVAL TO ADHERE TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) REQUIREMENTS (A-300 STANDARD PRACTICES AND ANSI 260.1)
- ALL TREE PROTECTION AND REMOVAL TO ADHERE TO CITY OF RALEIGH TREE MANUAL GUIDELINES AND ASSOCIATED TREE PROTECTION DETAILS PRCR-01 AND PRCR-02
- TREE CONSERVATION PER CITY OF RALEIGH UDO ARTICLE 9 NOT REQUIRED DUE TO SITE BEING UNDER 2.0 ACRES (SITE BOUNDARY = 0.23 ACRES)
- NO STORAGE OF MATERIALS, EQUIPMENT, OR VEHICLES IS PERMITTED WITHIN THE CRITICAL ROOT ZONE (CRZ) OF PROTECTED TREES. ALL MEASURES SHOULD ALSO BE TAKEN TO LIMIT THE USE OF HEAVY MACHINERY, STORAGE, OR OTHER DISTURBANCES WITHIN AND BEYOND THE CRZ IF STILL UNDER THE EXISTING CANOPY OF THE PROTECTED TREE.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS. CONTRACTOR IS TO OBTAIN ALL PERMITS, IF REQUIRED.
- BEFORE ANY GRADING, DEMOLITION, OR OTHER DISTURBANCE, TREE PROTECTION NEEDS TO BE INSTALLED PER PLAN AND INSPECTED BY THE APPROPRIATE CITY OF RALEIGH AUTHORITY, IF REQUIRED.
- ALL TREES PROTECTING INTO CITY OF RALEIGH RIGHT-OF-WAY SHALL BE KEPT TRIMMED BY OWNER AS NOT TO INTERFERE WITH THE FREE AND SAFE PASSAGE ALONG THE PUBLIC WAY BY PEDESTRIANS AND VEHICULAR TRAFFIC.
- TREE PRUNING SHALL COMPLY WITH THE GUIDELINES SET FORTH IN THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300 STANDARDS FOR TREE CARE OPERATIONS AND ANSI Z133.1.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ALL BURED UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELECOMMUNICATION, GAS, ETC.) WITHIN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. UTILITIES ARE ILLUSTRATED FOR INFORMATION PURPOSES ONLY. THE OMISSION OF, OR INCLUSION OF, UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND MEET WITH ALL UTILITY OWNERS WHOSE FACILITIES WILL BE AFFECTED TO DETERMINE UTILITY LOCATIONS. THE CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE CAUSED BY HIS OPERATIONS OR THOSE OF HIS AGENTS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

NOTE: TREE PROTECTION FENCING LAYOUT SHOWN ON PLANS IS INTENDED TO MAXIMIZE ROOT ZONE PROTECTION AND LIMIT DISTURBANCE GIVEN THE EXISTING SITE CONSTRAINTS. FINAL LAYOUT MAY VARY, GIVEN THE MINIMUM DISTANCE FROM TRUNK PER MEASURED DBH IS ACHIEVED PER CITY OF RALEIGH GUIDELINES

JORDAN PETERSEN, RLA, LEED AP
NCBOLA #1879



**CITY MARKET PARKING LOT RENOVATION
(S. Blount Street and Wolfe Street)**

Hakan Market Partners
City Market, Raleigh NC

Tree Protection Plan

Project No. 17-009
Issued 12/30/17
Scale 1" = 10'

C-0.1
Sheet