

City of Raleigh



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014-18-CA

912 WILLIAMSON DRIVE
(PHILIP ROTHSTEIN
HOUSE)

RALEIGH HISTORIC
LANDMARK

0 75 150 300
Feet



Nature of Project:
Addition: changes to previously
approved addition façades
(COA 131-16-CA)

APPLICANT:
ERIN STERLING LEWIS



Certificate of Appropriateness (COA)



Administrative Review of Conditions

COA Meeting Date: 4/26/18

COA #: 131-16-CA & 014-18-CA

Applicant Name: Erin Sterling Lewis

Property Address: 912 Williamson Dr (Philip Rothstein House)

Reason for COA Committee review:

A condition for the approval of COA 131-16-CA required final materials selections be reviewed and approved by the COA Committee:

- windows
- doors
- garage door(s)
- siding
- metal trim detail
- roofing
- gutters and scuppers

A condition for the approval of COA 014-18-CA: 3. *That the windows on the south elevation of the addition conform to the height in the previously approved COA and to the vertical division in the current proposal.* While the committee stipulated staff approval, the applicant provided a response that appears to conflict with the direction in condition 3. See the attached email and original submission for this case.



Raleigh NC 27604
www.insitutudio.us

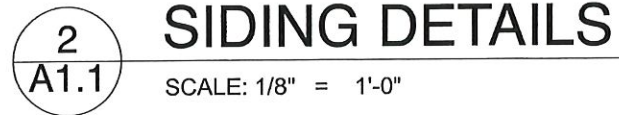
Civil
Structural

jwh
scale as noted

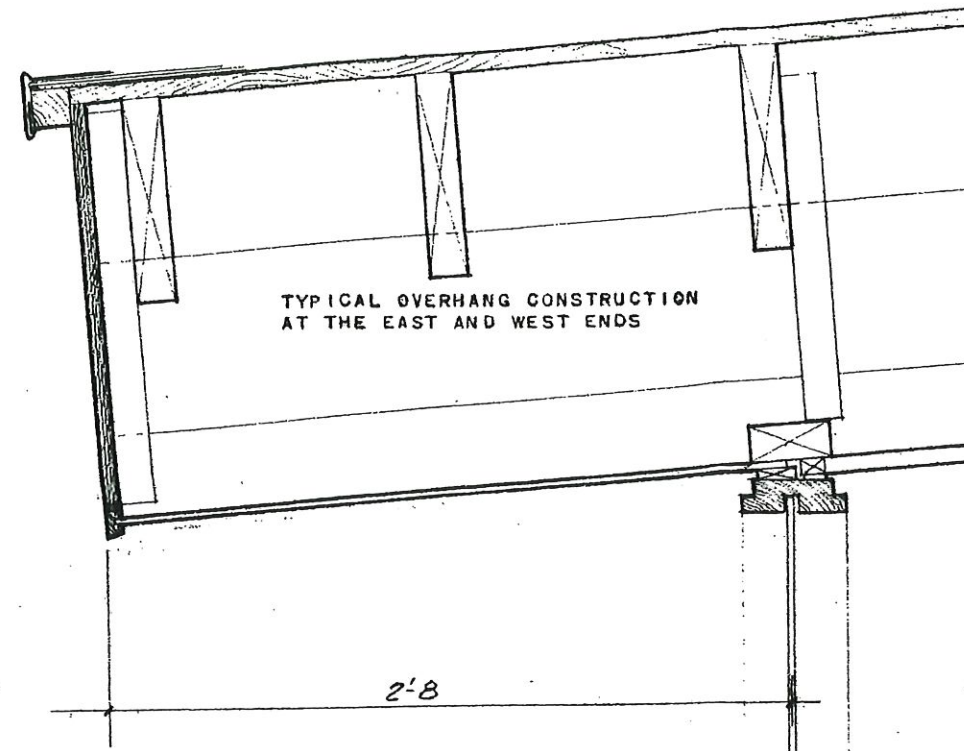
912 Williamson Dr.
Raleigh, NC 27608

RHDC CONDITIONAL RESUBMISSION

A1.1



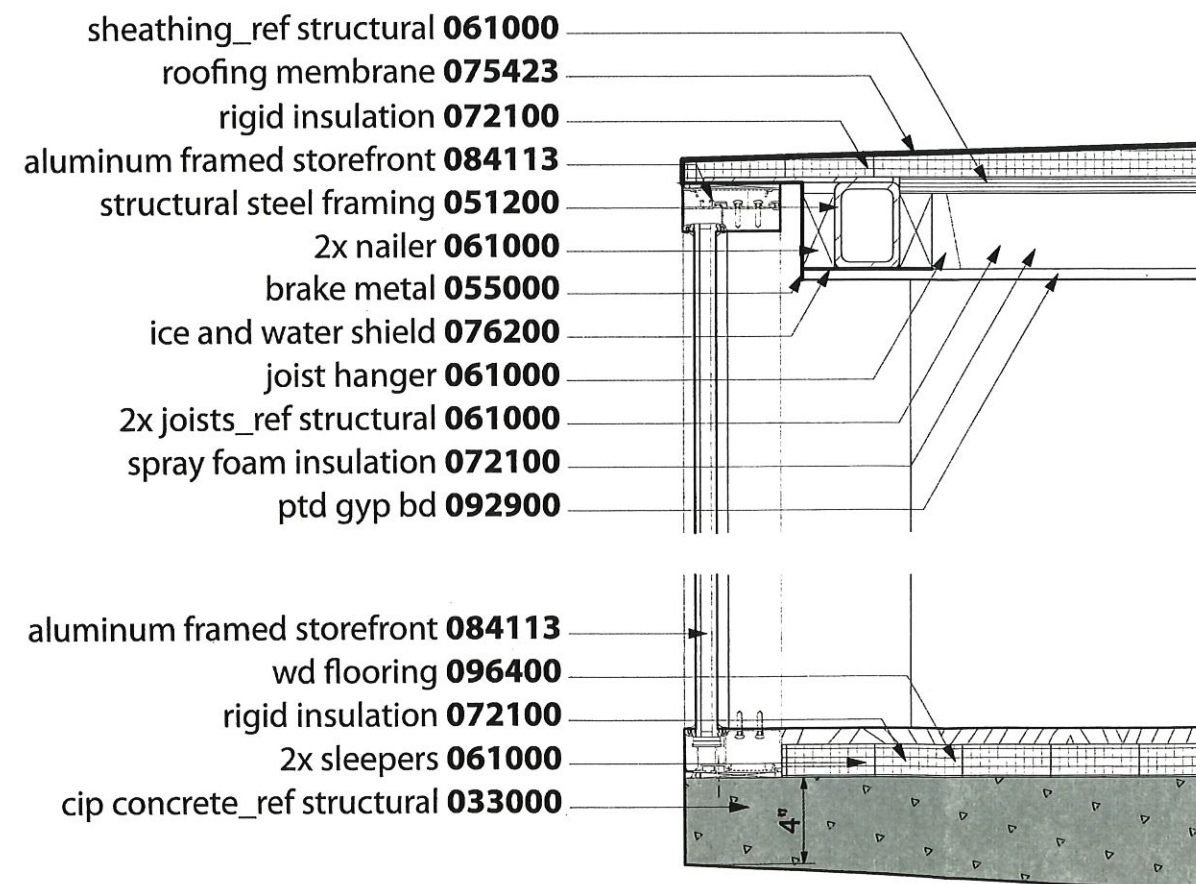
ROOFING MATERIAL	<ul style="list-style-type: none"> -TPO, white (see sample and printed material) -matches existing house
TAMLYN PROFILE	<ul style="list-style-type: none"> -Tamlyn vertical reveal at vertical joints between panels (see sample and printed material) -1/4" consistent gap at horizontal joints between panels -painted to match siding
WINDOWS	<ul style="list-style-type: none"> -aluminum clad and storefront frames to be painted black (see sample and printed material) -Pella Contemporary Series aluminum clad windows, typical (see sample and printed material) -Kawneer Trifab VersaGlaze 451 storefront frame, used only at link between existing and new construction (see sample and printed material) -window head detail to match detail of existing house (see A1.2)
GUTTERS AND SCUPPERS	<ul style="list-style-type: none"> -6" x 8" -site built -22 gauge sheet metal -painted to match siding -flashing overlaps gutter, crimped and locked edge -see 1/A1.1 for gutter and scupper locations
GARAGE DOOR	<ul style="list-style-type: none"> -Clopay Modern Flush Door (see notated printed material) -solid, no windows -painted black to match window and door frames



3
A1.2

EXISTING WINDOW DETAIL

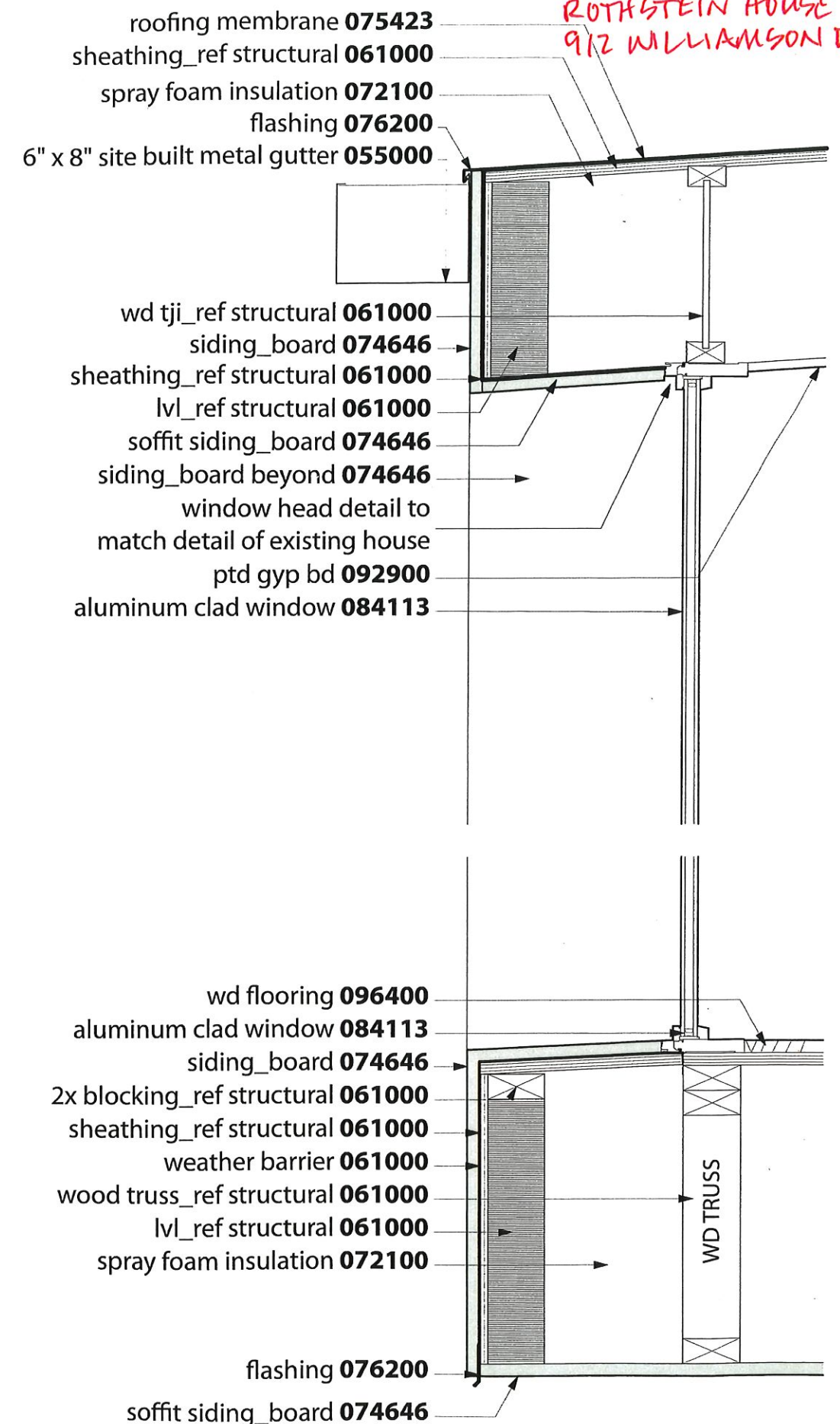
SCALE: 1' = 1'-0"



2
A1.2

STOREFRONT WINDOW DETAIL

SCALE: 1 1/2" = 1'-0"



1
A1.2

WINDOW AND GUTTER DETAILS

SCALE: 1 1/2" = 1'-0"

131-16-CA : 014-16-CA
ROTHSTEIN HOUSE
912 WILLIAMSON DR



in situ studio

704 N Person St
Raleigh, NC 27604
www.institutostudio.com

Lyaght and Associates

Landscaping
Civil
Structural

Consultants

CD

04/04/2018
jwh
scale as noted

Singerman
912 Williamson Dr.
Raleigh, NC 27608

RHDC CONDITIONAL RESUB

A1.2

Robb, Melissa

From: erin@insitustudio.us
Sent: Friday, April 06, 2018 2:15 PM
To: Robb, Melissa
Cc: Tully, Tania; Kinane, Collette; Jake Heffington; Nathan Singerman
Subject: Re: COA Decision Letter - 014-18-CA (912 Williamson Dr)

Got it - thanks!

I'll be out of town, and I think the only issue to discuss might be the window situation.

In our research, we noticed that in all our submissions, we show the windows on the south facade as having the same header detail as the windows in the original house (that being, windows go all the way up to the ceiling). We also found that we never assigned a height or height to match for the windows on the south facade of the addition. In fact, when we went back looking for this information, we noticed that the header heights on the addition windows have always been higher than the horizontal high mullion on the existing house windows.

All that said, you will notice we are not assigned a height to the addition's south windows, but rather committing to keeping the same detail. We think this will look much better, be more in harmony with the existing house, and are above all confident no one will ever be able to tell that the window height on the addition is a matter of inches higher than the horizontal mullion on the existing house.

Please let me know your thoughts, as this is a departure from what the COA committee will be expecting.

Thanks,
Erin

Erin Sterling Lewis AIA

in situ studio

919 397 3951
www.insitustudio.us

On Apr 6, 2018, at 1:31 PM, Robb, Melissa <Melissa.Robb@raleighnc.gov> wrote:

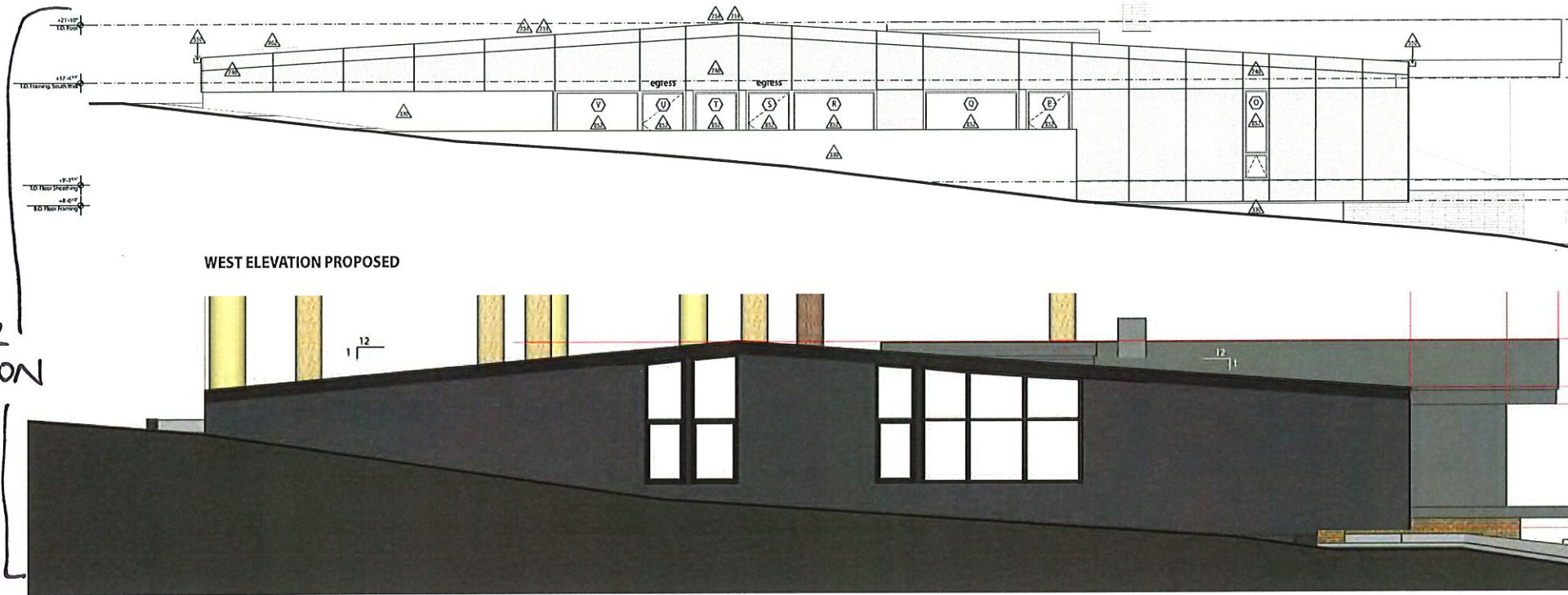
Erin,

This is on the April 26 COA Committee meeting agenda.

Melissa

From: erin@insitustudio.us [<mailto:erin@insitustudio.us>]
Sent: Friday, April 06, 2018 1:15 PM
To: Robb, Melissa <Melissa.Robb@raleighnc.gov>

NOTE!
ELEVATION
CHANGES ARE
NOT APPROVED
WITH THIS COA.
SEE NEW MAJOR
WORK APPLICATION
SUBMITTED
1/8/18.



WEST ELEVATION WINDOW CHANGES

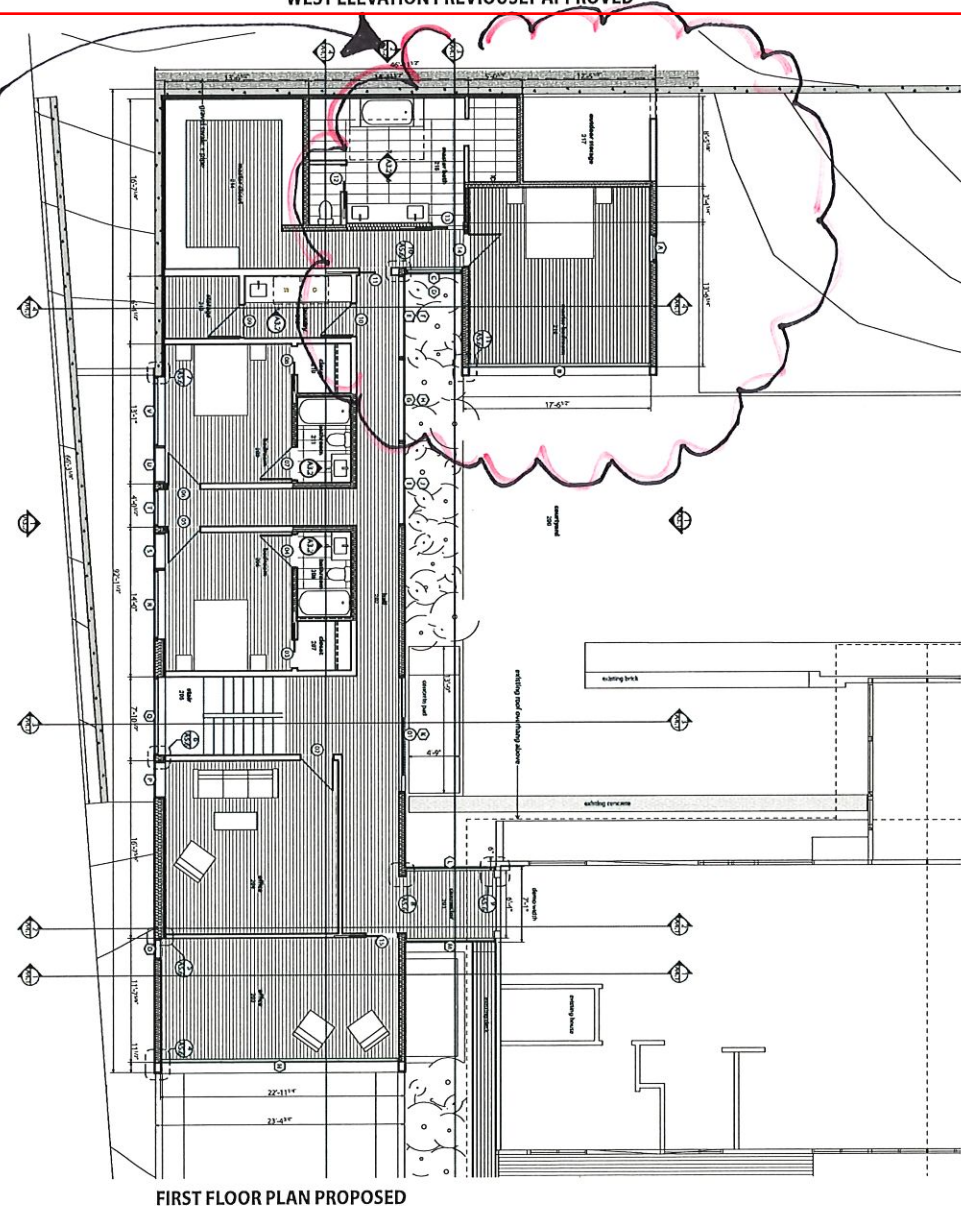
TYPE no change

LAYOUT high transom removed in response to lowered ceiling
number and location altered in response to plan changes
operables added at locations required for egress

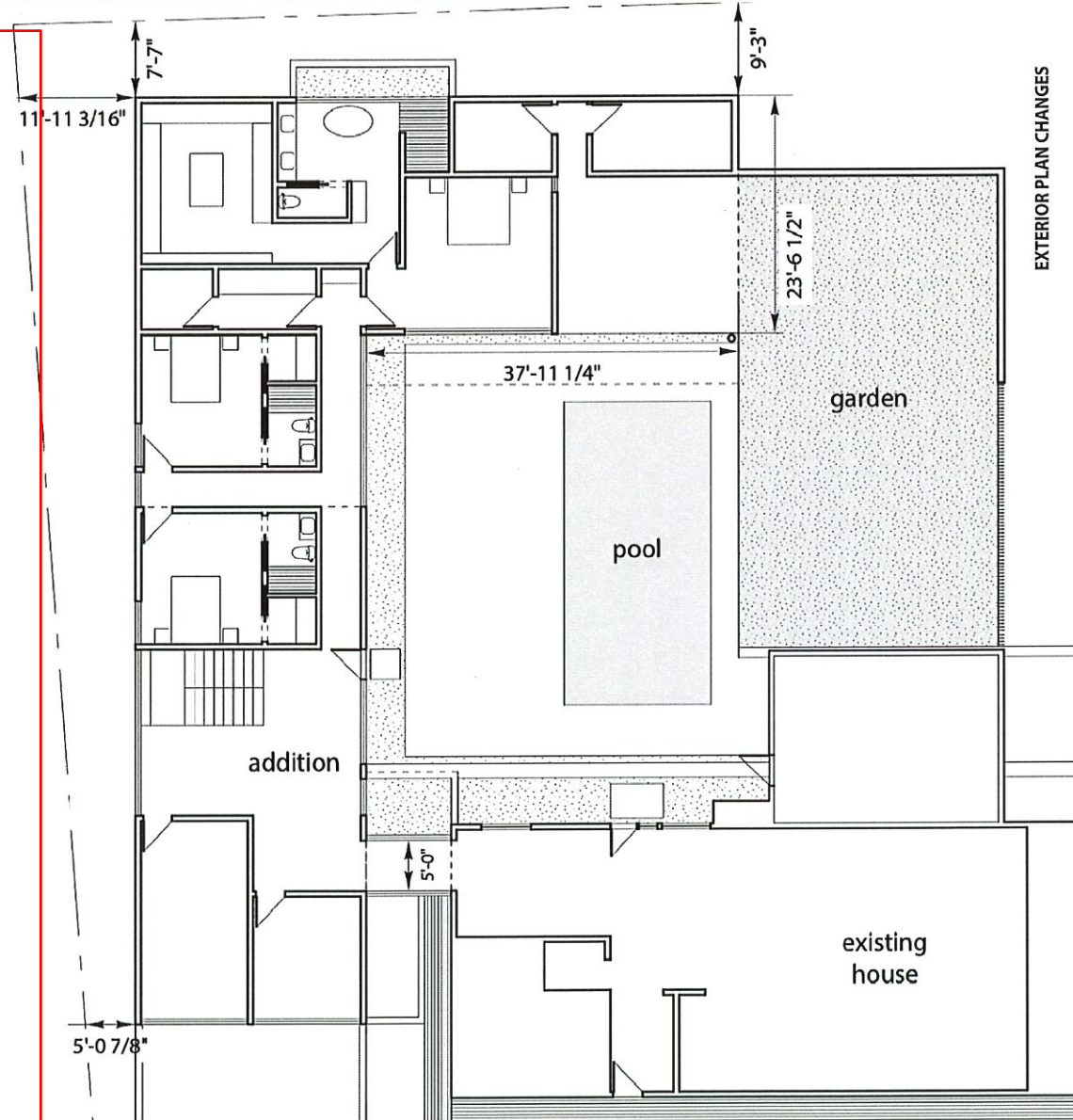
RECEIVED 12/4/17

014-18-CA
staff evidence

APPROVED
REVISION



FIRST FLOOR PLAN PROPOSED



FIRST FLOOR PLAN PREVIOUSLY APPROVED

EXTERIOR PLAN CHANGES

POOL removed

CONCRETE PATIO removed

OUTDOOR STORAGE removed

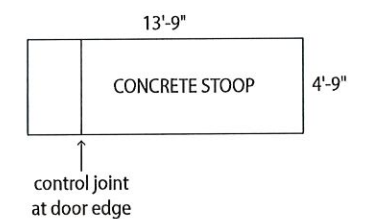
NORTH LIGHT WELL removed

NORTH SITE WALL altered, no longer turns into yard

GRASS YARD added

WEST SITE WALL added to provide egress to bedrooms

CONCRETE STOOP added in front of sliding door



in situ studio

704 N Person St
Raleigh NC 27604
www.insitudiostudio.com

Landscaper
Civil
Structural
Consultants
Lysaght and Associates

CD

12/04/2017
JWH
scale as noted

Singerman
912 Williamson Dr.
Raleigh, NC 27608

CHANGES FROM PREVIOUS
APPROVAL

A1.4

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 13 copies
- ☒ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 541196

File # 014-18-CA

Fee \$296

Amount Paid \$296

Received Date 1/8/18

Received By M. Clay

Property Street Address 912 Williamson Drive

Historic District na

Historic Property/Landmark name (if applicable) 1959 Philip Rothstein House by architect Milton Small

Owner's Name Nathan and Anne Singerman

Lot size 1.03 acres

(width in feet) 172.30'

(depth in feet) 251.60'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
908 WILLIAMSON DR	
920 WILLIAMSON DR	
5839 CAPITAL BLVD	
1516 JARVIS ST	
1520 JARVIS ST	
1517 IREDELL DR	
1527 IREDELL DR	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Erin Sterling Lewis, AIA

Mailing Address 704 N Person Street

City Raleigh

State NC

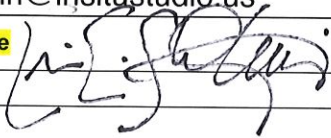
Zip Code 27604

Date 01 08 18

Daytime Phone 919 397 3951

Email Address erin@insitustudio.us

Applicant Signature



Will you be applying for state or federal rehabilitation tax credits for this project?

☐ Yes ☒ No

Office Use Only

Type of Work

~~90~~ 90

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
Section 2, Part 1	2.4	see attached
Section 2, Part 2	2.6	
Section 4	4.0, 4.2	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

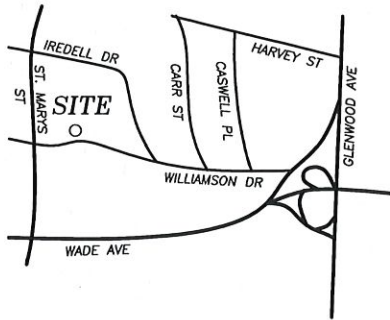
TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
Minor Work (staff review) – 1 copy					
* Major Work (COA Committee review) – 13 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		X		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		X		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		X		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	X		
6. Drawings showing proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		X		



AERIAL



VIEW FROM WILLIAMSON DRIVE



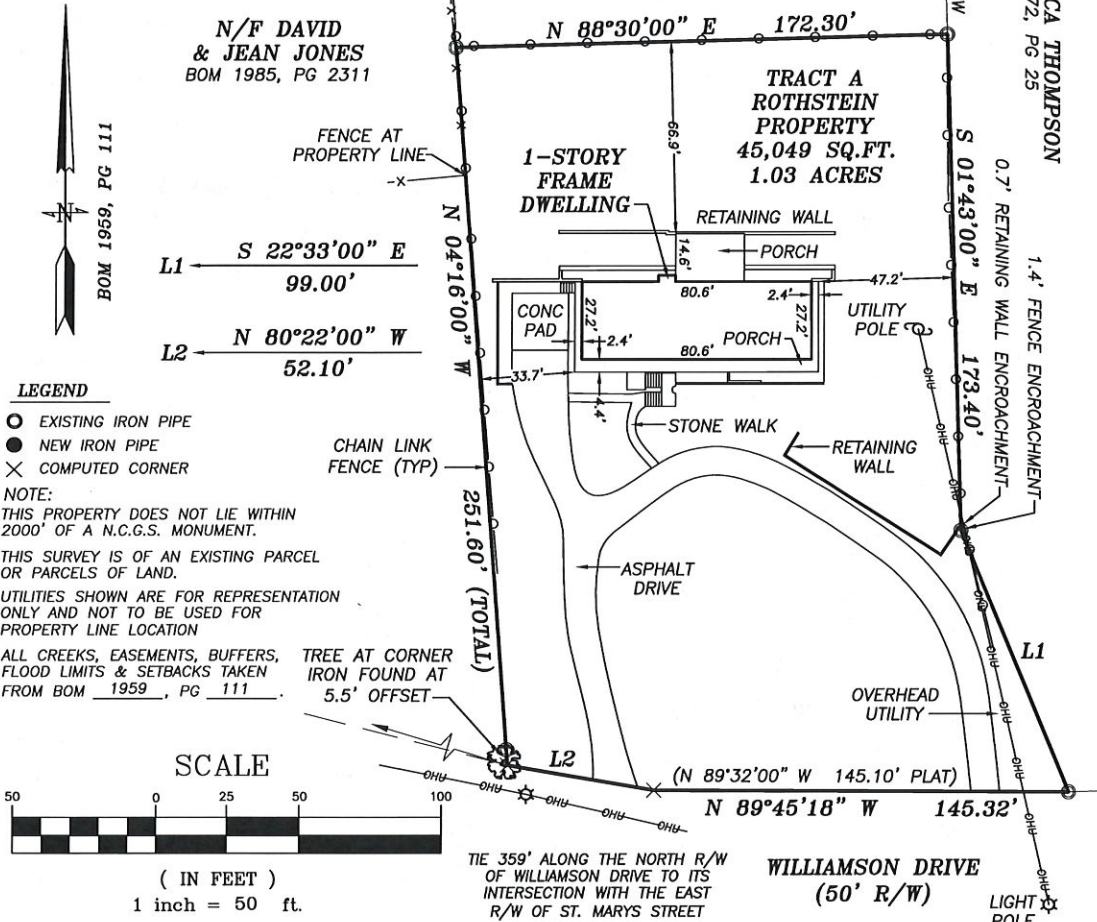
VICINITY MAP
(N.T.S.)

FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY
() IS or (X) IS NOT located in a SPECIAL FLOOD HAZARD AREA
as determined by the Department of Housing and Urban
Development, or as shown on the FLOOD INSURANCE RATE MAP.

370243 1704 J
COMMUNITY # PANEL SUFFIX

Jeffrey H. Davis
PROFESSIONAL LAND SURVEYOR



LEGEND

- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER

NOTE:

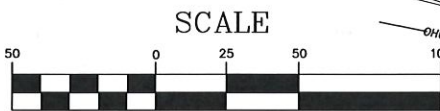
THIS PROPERTY DOES NOT LIE WITHIN
2000' OF A N.C.G.S. MONUMENT.

THIS SURVEY IS OF AN EXISTING PARCEL
OR PARCELS OF LAND.

UTILITIES SHOWN ARE FOR REPRESENTATION
ONLY AND NOT TO BE USED FOR
PROPERTY LINE LOCATION

ALL CREEKS, EASEMENTS, BUFFERS,
FLOOD LIMITS & SETBACKS TAKEN
FROM BOM 1959, PG 111

TREE AT CORNER
IRON FOUND AT
5.5' OFFSET



(IN FEET)
1 inch = 50 ft.

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision;
and that the error of closure as calculated by latitudes and departures is 1/10,000+; that the boundaries not surveyed
are shown as broken lines plotted from information found in Book ; Page ; that this map was prepared in
accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this
16TH day of JANUARY 2015.

Signed *Jeffrey H. Davis*

Seal



C.N. = 22177
B.O.M. 1959
PAGE 111
WAKE CO. REG.

NATHAN
SINGERMAN

LOT TRACT A
ROTHSTEIN PROPERTY
912 WILLIAMSON DRIVE
RALEIGH NORTH CAROLINA

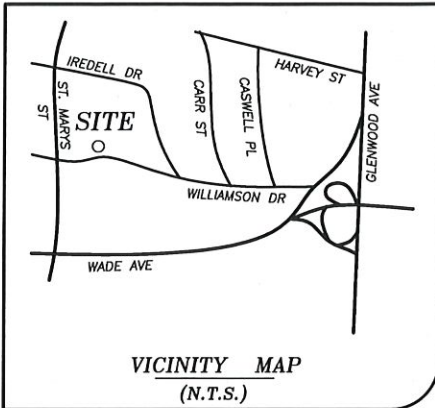
DATE: 01-16-2015
SCALE: 1" = 50'

DWG. NO.
A-18684



TURNING POINT
SURVEYING PLLC

4113 JOHN S. RABOTEAU WYND
RALEIGH, NORTH CAROLINA 27612
FAX (800)948-0213 PH (919)781-0234
License No: P-0121



FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY () IS or (X) IS NOT located in a SPECIAL FLOOD HAZARD AREA as determined by the Department of Housing and Urban Development, or as shown on the FLOOD INSURANCE RATE MAP.

370243 1704 J
COMMUNITY # PANEL SUFFIX

Jeffrey H. Davis, PLS
PROFESSIONAL LAND SURVEYOR

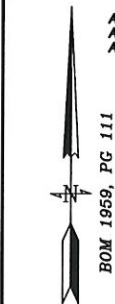
IMPERVIOUS AREA
E-HSE/POR/RTW 3775 SQ.FT.
E-PATIO 535 SQ.FT.
E-DR/WALK 865 SQ.FT.
P-PAD/RTW 185 SQ.FT.
P-ADDIT 2815 SQ.FT.
TOTAL 8175 SQ.FT.
18.1% IMPERVIOUS

N/F WHITE
& JERIGAN
BOM 2006
PG 2162

N/F REBECCA THOMPSON
D/B 5472, PG 25

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

N/F DAVID
& JEAN JONES
BOM 1985, PG 2311



LEGEND

- * PINK FLAG
- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER
- ⊙ SEWER MANHOLE
- XX.XX DENOTES ELEVATION

NOTE:
THIS PROPERTY DOES NOT LIE WITHIN 2000' OF A N.C.G.S. MONUMENT.
THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.
UTILITIES SHOWN ARE FOR REPRESENTATION ONLY AND NOT TO BE USED FOR PROPERTY LINE LOCATION
ALL CREEKS, EASEMENTS, BUFFERS, FLOOD LIMITS & SETBACKS TAKEN FROM BOM 1959, PG 111

TREE AT CORNER IRON FOUND AT 5.5' OFFSET

SCALE



(IN FEET)
1 inch = 50 ft.

FENCE AT PROPERTY LINE

CHAIN LINK FENCE (TYP)

TIE 359' ALONG THE NORTH R/W OF WILLIAMSON DRIVE TO ITS INTERSECTION WITH THE EAST R/W OF ST. MARYS STREET

TRACT A ROTHSTEIN PROPERTY
45,049 SQ.FT.
1.03 ACRES

WILLIAMSON DRIVE
(50' R/W)

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision; and that the error of closure as calculated by latitudes and departures is 1/10,000+; that the boundaries not surveyed are shown as broken lines plotted from information found in Book - ; Page - ; that this map was prepared in accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this 19TH day of MAY 2016.

PRELIMINARY PLAT, NOT FOR RECORDATION, CONVEYANCES, OR SALES
THIS PLAN MUST BE APPROVED BY ALL STATE AND LOCAL REVIEWING AUTHORITIES FOR CONCURRENCE WITH SITE ZONING AND CODE OF ORDINANCES

Signed *Jeffrey H. Davis*

Seal

SITE PLAN



SITE PLAN CREATED 1-3-2018

PLAN INFORMATION BLOCK

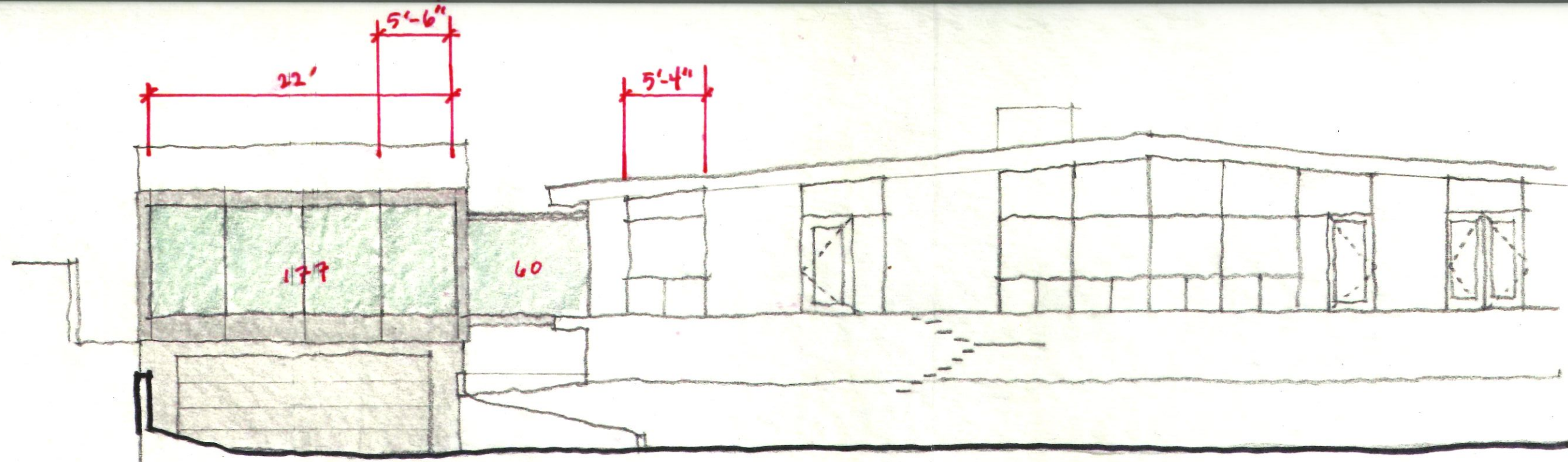
Footprint:	Total Square Feet:
Crawl:	Slab:
Mean Height:	Stories:
Facade:	
Impervious Surface Area:	

C.N. = 22177-1 B.O.M. 1959 PAGE 111 WAKE CO. REG.	NATHAN SINGERMAN	
	LOT TRACT A ROTHSTEIN PROPERTY 912 WILLIAMSON DRIVE RALEIGH NORTH CAROLINA	
	DATE: 05-19-2016	DWG. NO. A-18684SITE
	SCALE: 1" = 50'	



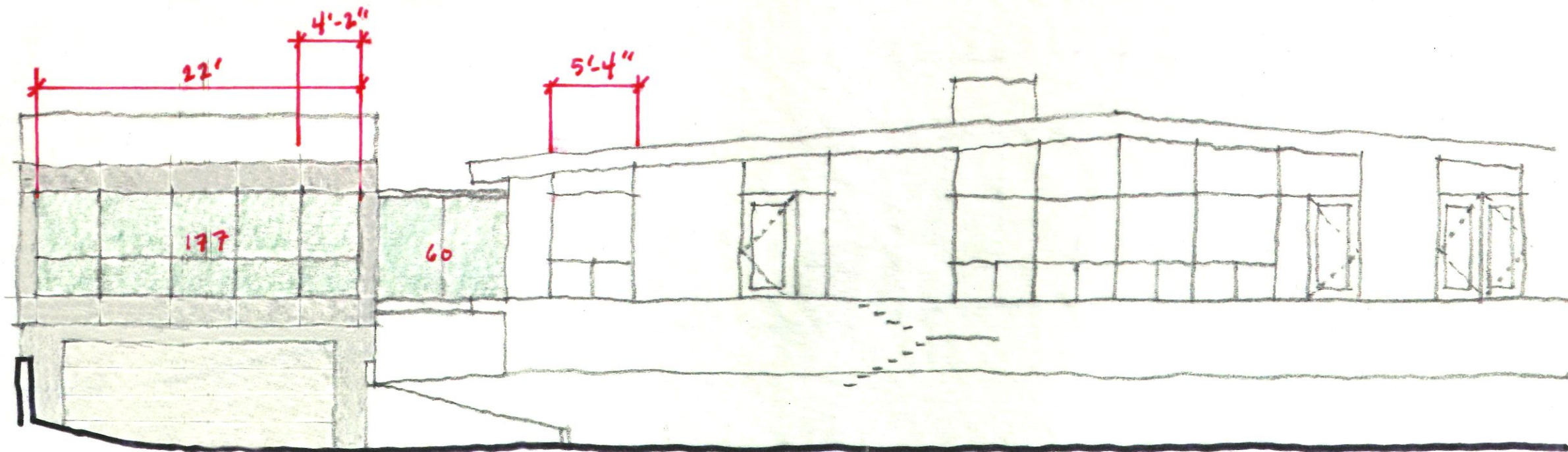
TURNING POINT SURVEYING PLLC

4113 JOHN S. RABOTEAU WYND
RALEIGH, NORTH CAROLINA 27612
FAX (800)948-0213 PH (919)781-0234
License No: P-0121



177 + 60

SOUTH ELEVATION PROPOSED

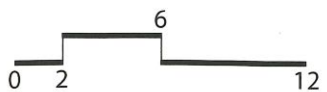


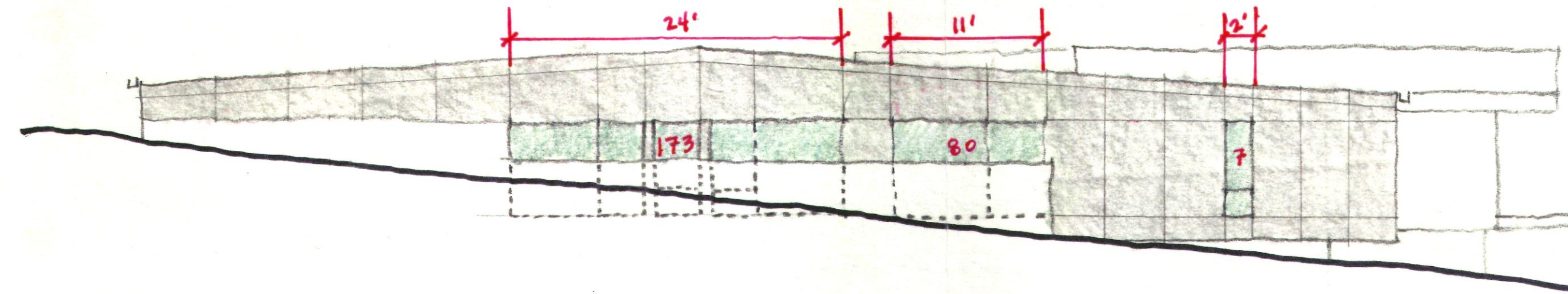
177 + 60

SOUTH ELEVATION APPROVED

CHANGES:

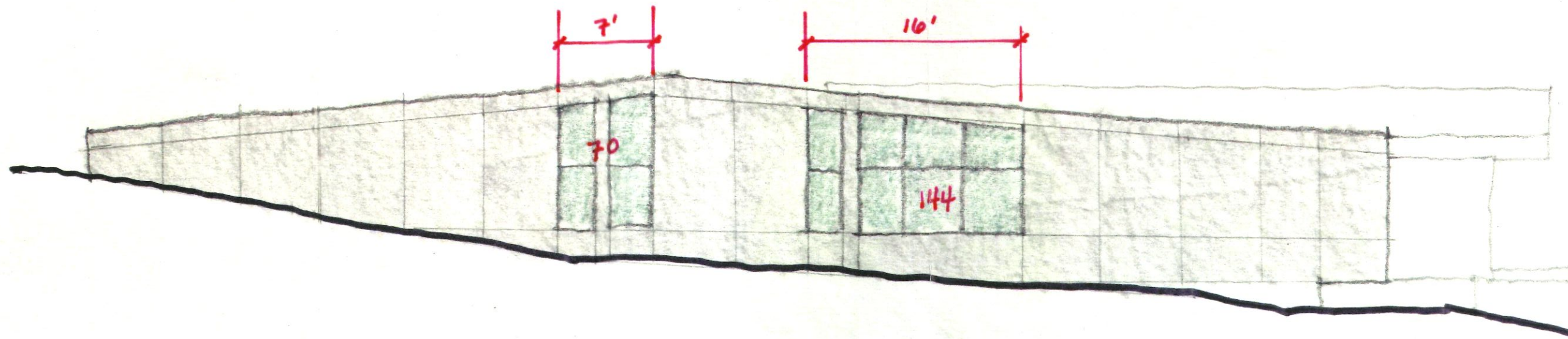
1. Elimination of horizontal break in front facade windows. **Reason for change:** The lower hopper windows are no longer operable and therefore should not mimic the lower hopper windows in the main house, which are operable. We believe that keeping the horizontal mullions would be a false imitation of the window patterns of the existing house given they are there to separate the operable from the fixed windows.
2. Elimination of vertical division in glass hyphen. **Reason for change:** We were not aware that one single window could span the glass hyphen at the 12 22 16 COA submission. When we learned this could be accomplished, we changed the design with the belief that no mullions in the glass hyphen creates a pure glass hyphen. We do not believe the design illustrated in the proposed glass hyphen compromises the design intent of what was approved on 12 22 16.
3. Reduced window amount from five to four on the front facade. **Reason for change:** A 5'-6" window width is more similar in width to the existing house (5'-2") than the 4'-2" width approved on 12 22 16.





260

WEST ELEVATION PROPOSED

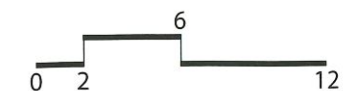


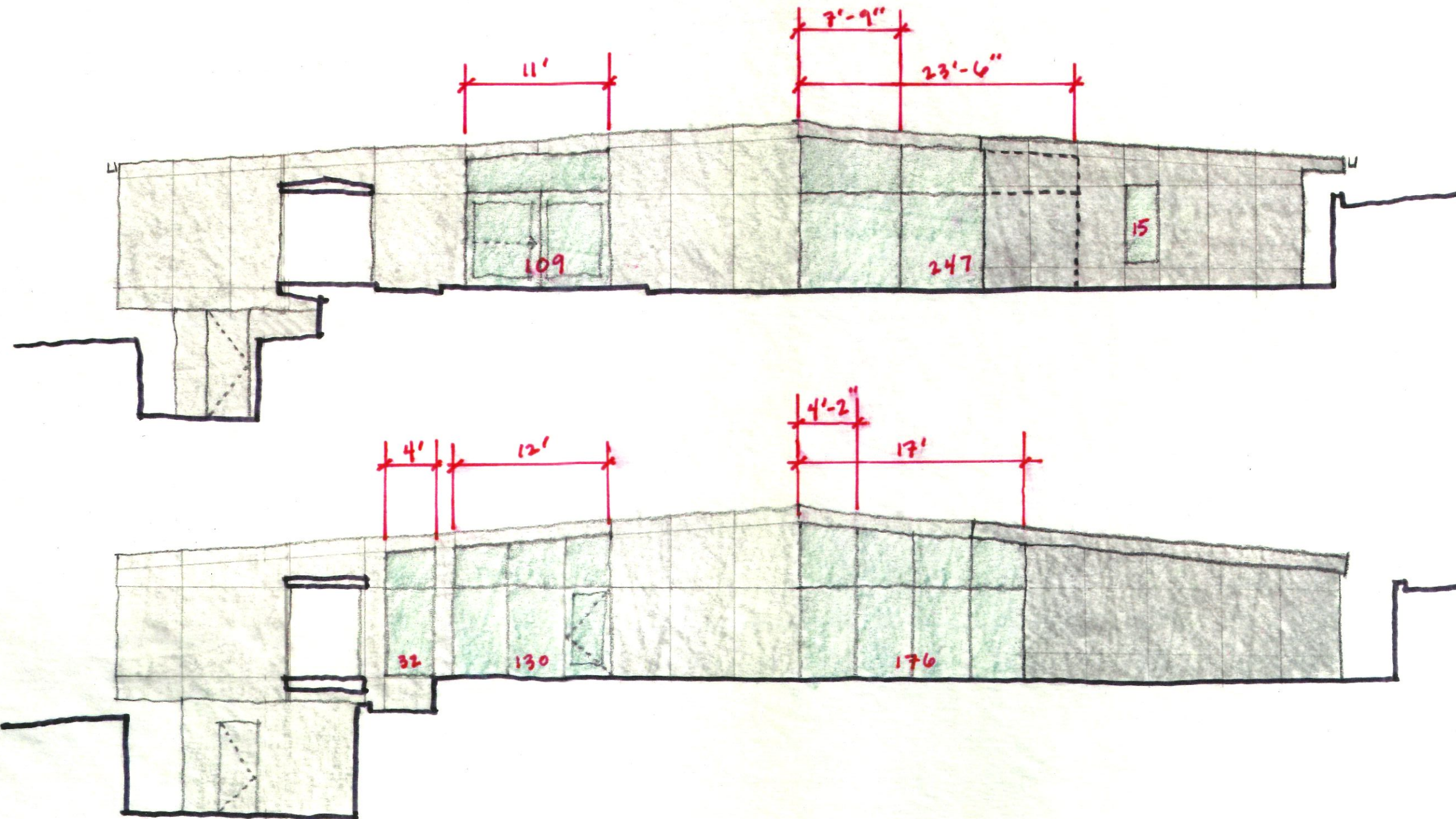
214

WEST ELEVATION APPROVED

CHANGES:

1. Addition of concrete retaining wall so that bedroom windows can be egress. **Reason for change:** Building Code Requirement and unrealistic understanding of grading at the 12 22 16 COA submission.
2. Windows no longer extend to and match roof slope. **Reason for change:** We lowered the ceilings in the bedrooms, meaning windows that previously went to the ceiling would now be looking into attic space.
3. Addition of one operable window in the front office. **Reason for change:** More natural light and ventilation.
4. Addition of gutters with scuppers that drain to the west side of the addition. **Reason for change:** Proper treatment of roof water runoff.



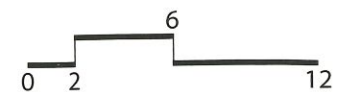


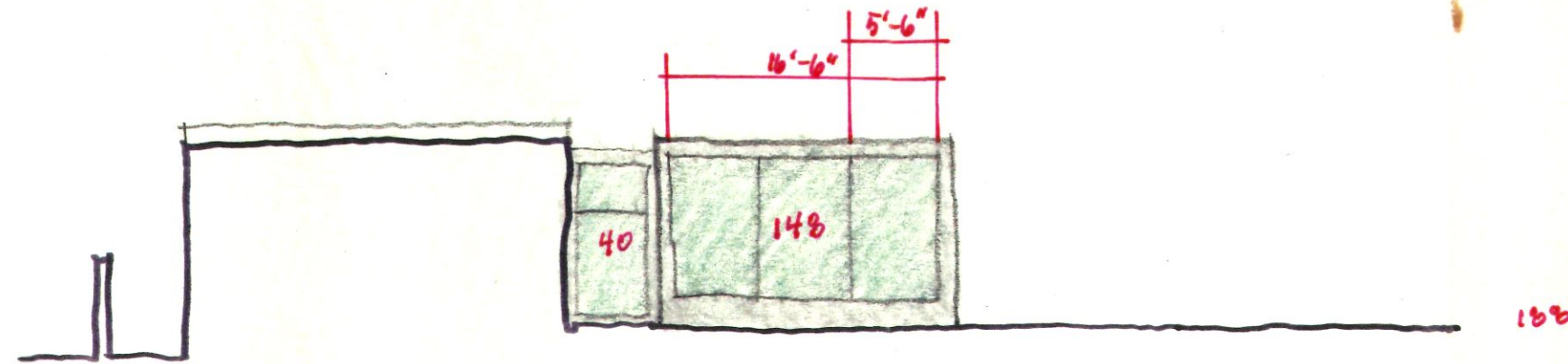
371
EAST ELEVATION PROPOSED

338
EAST ELEVATION APPROVED

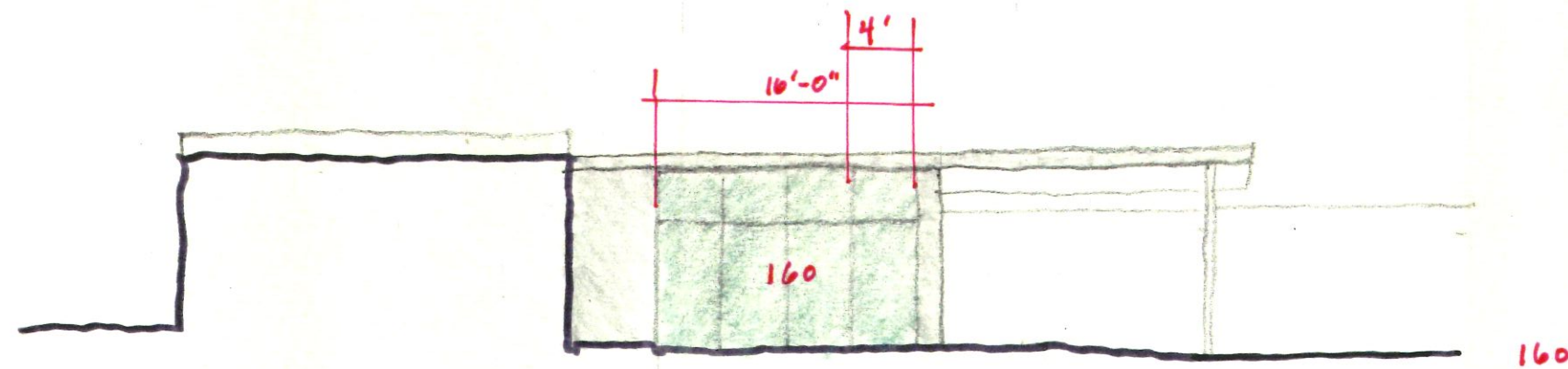
CHANGES:

1. A sliding door replaced an inswing door. **Reason for change:** The inswing door was impeding circulation in the hallway.
2. Amount of glazing and window proportion in southern window cluster. **Reason for change:** The sliding door divisions measure 5'-6" in width, which is more similar in width to the existing house (5'-2") than the 4'-0" or 4'-2" width approved on 12 22 16.
3. Addition in the amount of glazing and window proportion and length in northern window cluster. **Reason for change:** The plan configuration changed such that we were able to extend the windows further to the north.
4. Added one casement window in at east facade. **Reason for change:** We needed an egress window in this room.





COURTYARD ELEVATION PROPOSED



COURTYARD ELEVATION APPROVED

CHANGES:

1. More glass and no divisions on south facade in courtyard. **Reason for change:** When the overhang was eliminated over the short leg of the "L", we changed the window configuration such that it eliminated the upper horizontal mullion because we believe that this facade is more in keeping with the south facade directly above the garage, where we are proposing no mullions.
2. Addition of small window between master bedroom and long leg of the "L". **Reason for change:** We believe it is an appropriate place for a window in both plan and elevation.

