

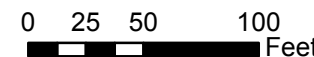


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025-17-CA

415 N BOUNDARY
STREET

OAKWOOD HISTORIC DISTRICT (HOD-G)



Nature of Project: Construct 1-story side/rear addition; construct 1-bay garage with front parapet; alter driveway; alter rear deck; remove deck roof; construct front trellis; install new fence; alter plantings; prune trees; relocate HVAC unit.

APPLICANT:
NICK HAMMER



Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☐ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
☐ New Buildings
☐ Demo of Contributing Historic Resource
☒ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 502788
 File # 025-17-CA
 Fee 294.00
 Amount Paid 294.00
 Received Date 2-6-17
 Received By K. P. H.

Property Street Address **415 N. Boundary St**

Historic District **Oakwood**

Historic Property/Landmark name (if applicable)

Owner's Name **Rosell W. Schwetz**

Lot size **.13 ac**

(width in feet) **105**

(depth in feet) **50**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys (Label Creator).

Property Address	Property Address
500 N Boundary ST, Raleigh NC 27604	
604 N Bloodworth ST, Raleigh NC 27604	
501 N Boundary ST, Raleigh NC 27604	
536 N Bloodworth ST, Raleigh NC 27604	
602 N Bloodworth ST, Raleigh NC 27604	
616 N East ST, Raleigh NC 27604	
600 N Bloodworth ST, Raleigh NC 27604	
605 N East ST, Raleigh NC 27604	

9 env

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Nick Hammer

Mailing Address 601 Honey Lane

City Raleigh

State NC

Zip Code 27604

Date 02/06/2017

Daytime Phone 808.315.3679

Email Address nick@nickhammer.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☒ Yes ☐ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work

2, 11, 8, 57, 24,
35

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
		see attached documents w/ description and references to Design Guidelines sections/pages.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 10 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (<u>See Development Fee Schedule</u>)	<input checked="" type="checkbox"/>				

415 N. Boundary ST Renovation & Addition Description

Project Summary:

Addition: We are proposing a one-story addition to the existing structure that will match the original house in form and scale, but will be discernable from the original by virtue of a variation in color, and a break in the trim – it will be wood siding to match the existing, with a vertical wood trim piece separating the old and new. The window placement and arrangement will also distinguish the addition from the existing. The new windows on the addition will match the size and style of the double hung windows from the 1987 addition on the side and rear of the house. The roof form of the addition will match the existing roof in material, form and slope, but as another effort to distinguish the addition, the roof slope will not extend to cover a porch.

Accessory Structure: In addition to the home addition, we are proposing an accessory garage/workshop in the NW corner of the site. Style and materials for the accessory structure will be compatible with, but not identical to the original. The form of the garage will take cues from the original storefront piece of the existing building - there will be a flat front wall with small parapet cap, and a shallow sloping shed roof behind. Window and door trim style will match the existing house. We propose 4" exposure smooth cement board siding, as a contemporary, and visually compatible material for the siding. Paint colors will be complimentary to the addition and appropriate for the district.

Other Site Improvements: Other proposed improvements include an extension of the existing rear boardwalk to connect to the rear door of the garage/workshop, as well as a treated lumber trellis frame at the new addition - further distinguishing the addition from the original. Materials will be treated lumber to match existing decks and columns. The existing brick retaining wall on the west end of the site will remain with repairs as needed from Hurricane Matthew. A new treated lumber fence will be installed from the front edge of the addition back to the accessory structure. The fence will follow the edge of the brick retaining wall (see site plan and details), and will be screened by new shrubs and garden beds. The existing driveway will be removed and replaced with a smaller drive in front of the new garage.

Landscaping: Landscaping will be minimal and limited primarily to pruning back trees and shrubs that are growing up against the house, trapping moisture and causing damage to the wood siding. There will be new plantings in the existing side yard, and screening shrubs between the new driveway and fence. An overgrown evergreen shrub (planted in 1987) on the front elevation will be removed. The two large ginkgo trees on the southwest corner will be protected during construction.

Repairs: Various windows, doors and siding elements will need to be repaired or replaced, but those repairs will be completed in accordance with the guidelines with wood siding and trim. Selective repair or replacement of existing metal panels, and flashing at the existing roof will also be part of the renovation scope. No changes to the existing roof form or materials are proposed.

The pages to follow include a list of applicable sections from the Design Guidelines for Raleigh Historic Districts and Landmarks, with comments on how we are addressing them.

Section 1 Site and Setting

1.1 Public Rights-of-Way and Alleys

n/a

1.2 Archaeological Sites and Resources

n/a

1.3 Site Features & Plantings

.1 Retain and preserve the building and landscape features that contribute to the overall historic character of a landmark or district, including trees, gardens, yards, arbors, ground cover, fences, accessory buildings, patios, terraces, fountains, fish ponds, and significant vistas and views.

- *Two large ginkgo trees on the west end of the site will be protected and preserved.*

.3 Protect and maintain historic building materials and plant features through appropriate treatments, including routine maintenance and repair of constructed elements and pruning and vegetation management of plantings.

- *Several trees and shrubs on the south and east side of the historic structure are overgrown, and trapping moisture against the wood siding. The large overgrown evergreen shrub (planted in 1987) will be removed to reveal the historic storefront elevation. Trees along the east side of the house will be trimmed away from the siding and maintained to prevent further damage to the structure.*

.7 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone of trees.

- *As mentioned the large ginkgo trees will be protected. Also, the gravel drive that is currently next to the trees will be converted to a drainable gravel mat to promote more absorption of rainwater.*

.8 In the residential historic districts, it is not appropriate to alter the residential character of the district by significantly reducing the proportion of the original built area to open space on a given site through new construction, additions, or surface paving.

- *The addition has a footprint of 384 Sqft. The accessory structure has a footprint of 240 sqft. The new boardwalk has a footprint of approximately 110 sqft, for a total of 734 sqft. At the same time we are reducing the footprint of the existing off-street parking by approximately 650 SF, so the net change in built area is approximately 85 sqft., which will reduce the open area on the site less than 1.5%. There are several examples throughout the district of similarly densely built sites, most of which are also located on corner lots such as ours.*

.9 Introduce compatible new site features constructed of traditional materials only in locations and configurations that are characteristic of the historic district or landmark.

- *A new treated lumber trellis frame is proposed in front of the addition on the south side. The materials of this frame will match the materials, style and construction details of the existing porch structure. It will be distinct from the historic porch, however, in that the metal roof will not extend down to cover it.*

1.4 Fences and Walls

.1 Retain and preserve fences and walls that contribute to the overall historic character of a building or a site, including such functional and decorative elements as gates, decorative rails and pickets, pillars, posts, and hardware.

- *There is an existing 24" (+/-) brick retaining wall at the edge of the driveway on the west side of the site (see photos). The addition will encroach slightly into the side yard, and may require removal of about 4 ft of the wall, however this slight modification will not dramatically alter the visual impact, and it is arguable that the wall doesn't contribute to the historic character, as it was added in the 1980s.*

.8 Introduce compatible new fences and walls constructed of traditional materials only in locations and configurations that are characteristic of the historic district. Keep the height of new fences and walls consistent with the height of traditional fences and walls in the district or landmark.

- *A new treated lumber fence is proposed to enclose the side yard. The material is consistent with the existing deck material and porch structure. The fence design will be consistent with others found in the district. (see drawings for more details).*

.11 It is not appropriate to introduce visually opaque screening plantings, walls, or fences taller than 42" or that are more than 65% solid into the front yard area (and/or street side yard area of a corner lot) unless historic evidence exists.

- *The proposed fence is limited to 42" and the pattern does not exceed 65% opacity.*

1.5 Walkways, Driveways, and Off-street Parking

.7 It is not appropriate to locate a new off-street parking area in a district or landmark property with residential character where it is visible from the street, where it will significantly alter the proportion of original built area and paved area to unbuilt area on the individual site, or where it will directly abut the principal structure.

- *While made from new gravel mat and fresh gravel, the proposed "new" drive is entirely contained within the footprint of the existing driveway, and actually reduces the existing footprint by approximately 650 sqft. It is located in the rear most area of the site, and does not abut the principle structure.*

1.6 Garages and Accessory Structures

.6 Locate and orient new garages and accessory buildings in locations compatible with the historic relationship of garages and accessory buildings to the main structure and the site in the district.

- *The new workshop/greenhouse is located in the rear NW corner of the house, accessed by an existing curb cut and rebuilt driveway. There are several examples throughout Oakwood of accessory garages located with the same relationship to the principal structure, and some examples of similarly sloped roofs.*

.7 Select materials and finishes for proposed garages or accessory buildings that are compatible with the principal structure or other historic garages and accessory buildings in the district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.

- *Materials proposed for the garage/workshop are smooth cement board siding with a similar scale and appearance as the wood siding on the addition and existing house. Trim materials will also be cement board products (Hardie or similar) to match the size and scale of the existing house.*

.8 Select windows and doors for new garages and accessory buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of the principal structure or other historic garages and accessory buildings in the district.

- *Due to the utilitarian nature of a garage/workshop, design direction is influenced by the commercial storefront portion of the existing building. The garage door itself will match the storefront windows in scale, and the use of a fixed window above the door matches the arrangement of the storefront as well.*

.11 It is not appropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or require removal of a significant building element or site feature, such as a mature tree.

- *Locating the garage/workshop at the rear corner of the lot preserves the primary structure's prominence on the site. The location also allows for the protection of the two large ginkgo trees on the SW corner of the site. As viewed from the SE corner, the accessory structure will be screened by the house itself, and the existing ginkgo trees.*

1.7 Lighting

n/a

1.8 Signage

.1 Retain and preserve historic signs that contribute to the overall historic character of the building or the district.

- *The metal sign post on the SE corner of the lot will remain (see photos).*
- *Any future signage attached to the post will be part of a separate COA application.*

.2 Introduce new signage that is compatible in material, size, color, scale, and character with the building or the district. Design signage to enhance the architectural character of a building.

- *Any signage hung from the existing sign post will be similar in size and character as the previous signage, and will enhance the distinct character of this building.*

.4 Introduce new signs, including graphics for windows or awnings, that are easily read and of simple design. Keep the size of graphics on windows or awnings in scale with the feature. It is not appropriate to obscure the view through a large portion of a window with graphics.

- *Window signage will include small (4-6") lettering applied to the inside of the window. This will include address numbers over the front door.*

.6 If desired, install small identification signs and bronze historic plaques for residential buildings so that no architectural features or details are obscured or damaged.

- *Historic renovation plaque will remain next to the front door.*

1.9 Cemeteries

n/a

Section 2 Changes to the Building Exterior

2.1 Wood

.1 Retain and preserve wooden features that contribute to the overall historic character of a building and a site, including such functional and decorative elements as siding, shingles, cornices, architraves, brackets, pediments, columns, balustrades, and architectural trim.

- *There is significant damage to the wood siding and trim around the historic building which will be repaired if possible. If not, it will be replaced with new wood siding or trim to match the existing, and repainted in colors appropriate to the historic structure and district (white with gray trim). Damaged treated lumber columns on the front porch and the porch framing will be repaired or replaced with treated lumber to match the existing.*

2.2 Masonry

n/a

2.3 Architectural Metals

n/a

2.4 Paint and Paint Color

.3 When repainting, select colors appropriate to the historic building and district. Enhance the features of a building through appropriate selection and placement of paint color consistent with its architectural style. In particular, the foundation color is usually darker than the body of the building in order to visually anchor it to the ground.

- *Paint colors are as follows (specific color names and samples to be provided prior to painting)*

Main walls of historic structure & new garage: white or very light gray

Trim on historic structure & new garage: white

Sashes and window stops on historic structure & new garage: dark gray

Main exterior walls on new addition, and 1987 addition: light gray

Trim on new addition, and 1987 addition: Dark Gray

Sashes on new addition and 1987 addition: white

Existing and new doors: dark teal.

Treated Lumber decks and supports & fence: clear wood sealer.

2.5 Roofs

.1 Retain and preserve roofs and roof forms that contribute to the overall historic character of a building, including their functional and decorative features, such as roofing materials, cresting, dormers, chimneys, cupolas, and cornices

- *The main roof over the historic structures will be preserved to the extent possible. There is hurricane damage that will be repaired with panels that match the existing.*

.4 If replacement of a partially deteriorated roof features is necessary, replace only the deteriorated portion in kind to match the original feature in design, dimension, detail, color, and material. Consider compatible substitute materials only if using the original material is not technically feasible.

- *Only the deteriorated portions of the existing roofs will be replaced with material that matches the existing (galvanized 5v-crimped metal panels).*

.7 It is not appropriate to remove a roof feature that is important in defining the overall historic character of the building, rather than repair or replace it.

- *The only roof feature that will be removed is the deck covering on the rear (west) side of the house. This is not on a visible elevation, and does not contribute to the historic character of the building.*

.8 If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. Select new gutters and downspouts that match trim color, unless they are copper. Retain the shape of traditional half-round gutters and downspouts if replacing them.

- *New gutters will match the roof trim, and have a half-round profile.*

2.6 Exterior Walls

.1 Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including their functional and decorative features, such as cornices, foundations, bays, quoins, arches, water tables, brackets, entablatures, and storefronts.

- *The existing east and south facades will be preserved completely, as those are the two primary elevations contributing to the historic character of the building. Repairs of all the existing exterior walls will be to replace rotted or decaying wood with the same material. Wood in good condition will remain in place.*

2.7 Windows and Doors

.1 Retain and preserve windows that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, sashes, muntins, sills, heads, moldings, surrounds, hardware, shutters, and blinds.

- *Windows and doors on the historic structure will remain in place. Selective repair will be necessary for some window stops and trim, but materials to match the existing will be used for those repairs.*

.2 Retain and preserve doors that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, glazing, panels, sidelights, fanlights, surrounds, thresholds, and hardware.

- *See comment above.*

.9 If additional windows or doors are necessary for a new use, install them on a rear or non-character-defining facade of the building, but only if they do not compromise the architectural integrity of the building. Design such units to be compatible with the overall design of the building, but not to duplicate the original.

- *New windows in the addition will be wooden double-hung windows but with a 1 over 1 light arrangement, since they should not match the existing windows exactly, and are more appropriate for the era in which they are installed. This style does match the existing windows in the addition from 1987.*

2.8 Entrances, Porches, and Balconies

.1 Retain and preserve entrances, porches, and balconies that contribute to the overall historic character of a building, including such functional and decorative elements as columns, pilasters, piers, entablatures, balustrades, sidelights, fanlights, transoms, steps, railings, floors, and ceilings.

- *The existing front porch will be repaired from the damage caused by Hurricane Matthew using materials (treated lumber and painted wood siding) that match the original. The decking on the porch will also be replaced as needed where rotted wood is found.*

.9 It is not appropriate to remove an original entrance or porch or to add a new entrance or porch on character-defining facades.

- *The front porch along Boundary street will remain, and only be repaired as needed. The rear deck (not a character defining elevation) has two small covered areas (see photos) that are not properly flashed to the exterior wall of the house. We are proposing removing the porch covering on the west end (see photos), and replacing it with a porch cover that spans the entire rear deck. Structural posts and railing will remain to the extent possible. The new roof covering will be metal and corrugated panels. Any new structural supports of the roof will also match the existing treated lumber. The deck covering on the east end will remain, with flashing repairs as needed.*

2.9 Storefronts

.1 Retain and preserve storefronts that contribute to the overall historic character of a building, including such functional and decorative features as transoms, display windows, doors, entablatures, pilasters, recessed entries, and signs.

- *Perhaps the most important elevation of this building is the original storefront. No changes are proposed beyond repainting with appropriate colors (white with gray trim and blue doors to match the existing). The existing sign post will remain as well. The removal of the overgrown evergreen will also enhance the elevation of the storefront, and protect it from water damage.*

2.10 Sustainability and Energy Retrofit

n/a

2.11 Accessibility, Health, and Safety Considerations

n/a

Section 3 Additions and New Construction

3.1 Decks

The existing boardwalk deck at the rear (north) side of the house will be extended to meet the new workshop/garage. Materials and details will match the existing treated lumber decking.

3.2 Additions to Historic Buildings

.1 Construct additions, if feasible, to be structurally self-supporting to reduce any damage to the historic building. Sensitively attach them to the historic building so that the loss of historic materials and details is minimized.

- *The addition will have its own footings and foundation.*

.2 Design additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.

- *By locating the addition and garage on the rear and side yard, the addition will not detract from the character of the site, nor will it have any impact on site topography, site features, or existing trees. It does not impact any district vistas or views. The primary character defining elevation (storefront on the SE corner) is untouched by the addition.*

.6 Locate a new addition on an inconspicuous face of the historic building, usually the rear one.

- *Unfortunately, there is no room on the rear of the site, but the addition is located at the farthest point away from the primary storefront building that is responsible for most of the historically significant character of the structure. By not extending the roof line of the addition down to meet the existing roofline of the front porch, the addition is almost entirely hidden when viewed from the SE corner.*

.7 Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

- *The addition's height and massing will match the existing structure.*

.8 Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

- *In addition to matching the height and scale of the existing building, all of these guidelines will also be followed: The style will be simple and utilitarian, to match the existing, with wood lap siding, painted a light gray tone to distinguish it from the original (white). Window arrangement will be similar to the existing building. There will be a clear separation of the old and new, with a vertical wood trim board separating the old and new. The house has an addition that was added circa 1987. Our intention is to have the new proposed addition match more closely with the 1987 addition, to further highlight the distinction between original and addition.*

.9 Design additions so that the placement, configuration, materials, and overall proportion of windows and doors are compatible with those of the historic building. Select exterior surface materials and architectural details that are compatible with the existing building in terms of composition, module, texture, pattern, and detail.

- *See comments above*

.10 It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.

- *The scale and location of the addition will not detract from the overall historic character of the principal building nor from the site, and will require no removal of any significant building element or site feature.*

.11 It is not appropriate to construct an addition that significantly changes the proportion of original built mass to open space on the individual site.

- *See Comments for Section 1.3.8.*

3.3 New Construction

n/a

3.4 Non-residential Additions

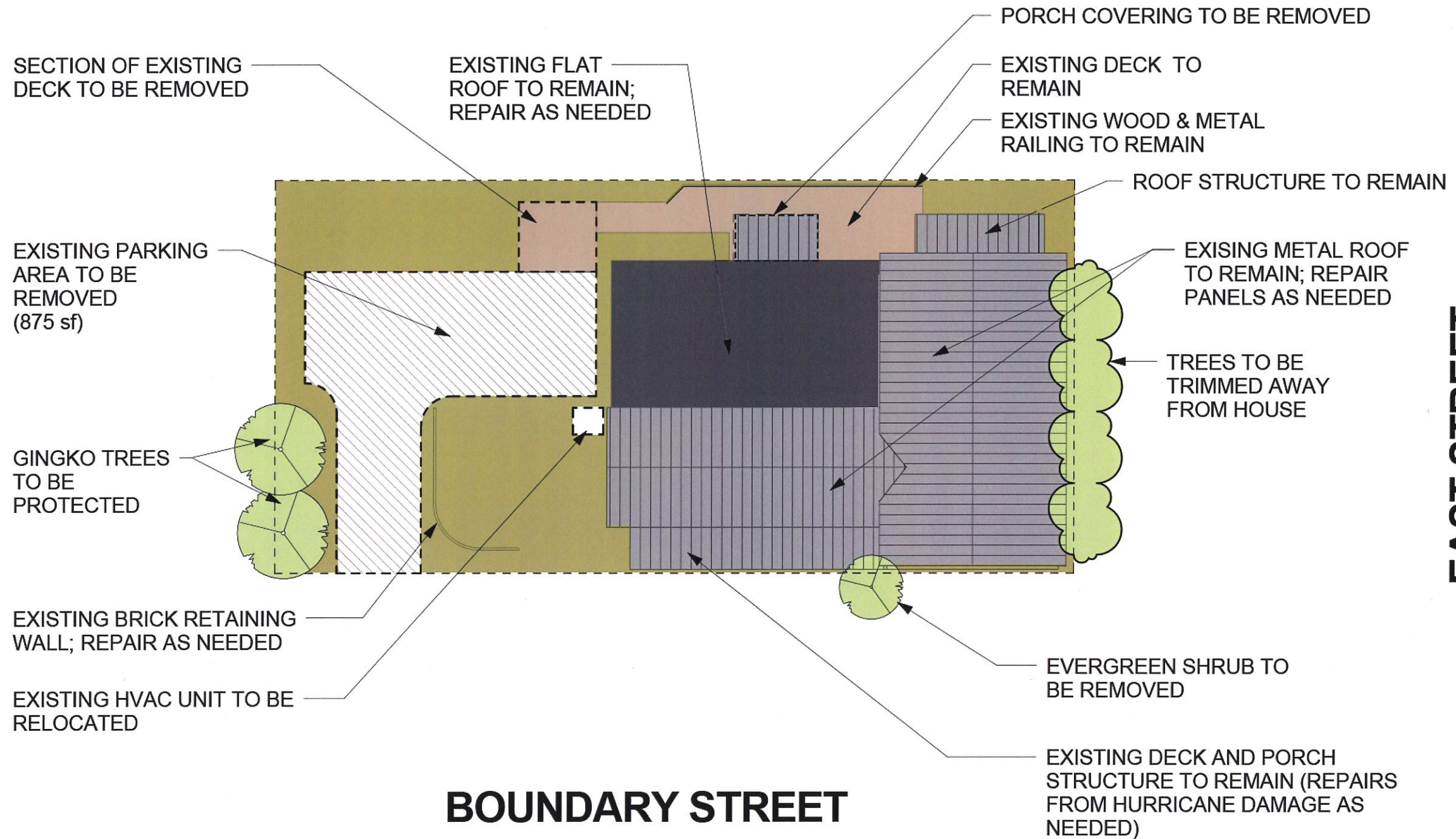
n/a

3.5 Non-residential New Construction

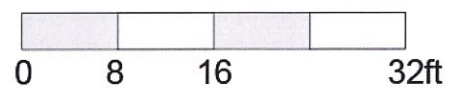
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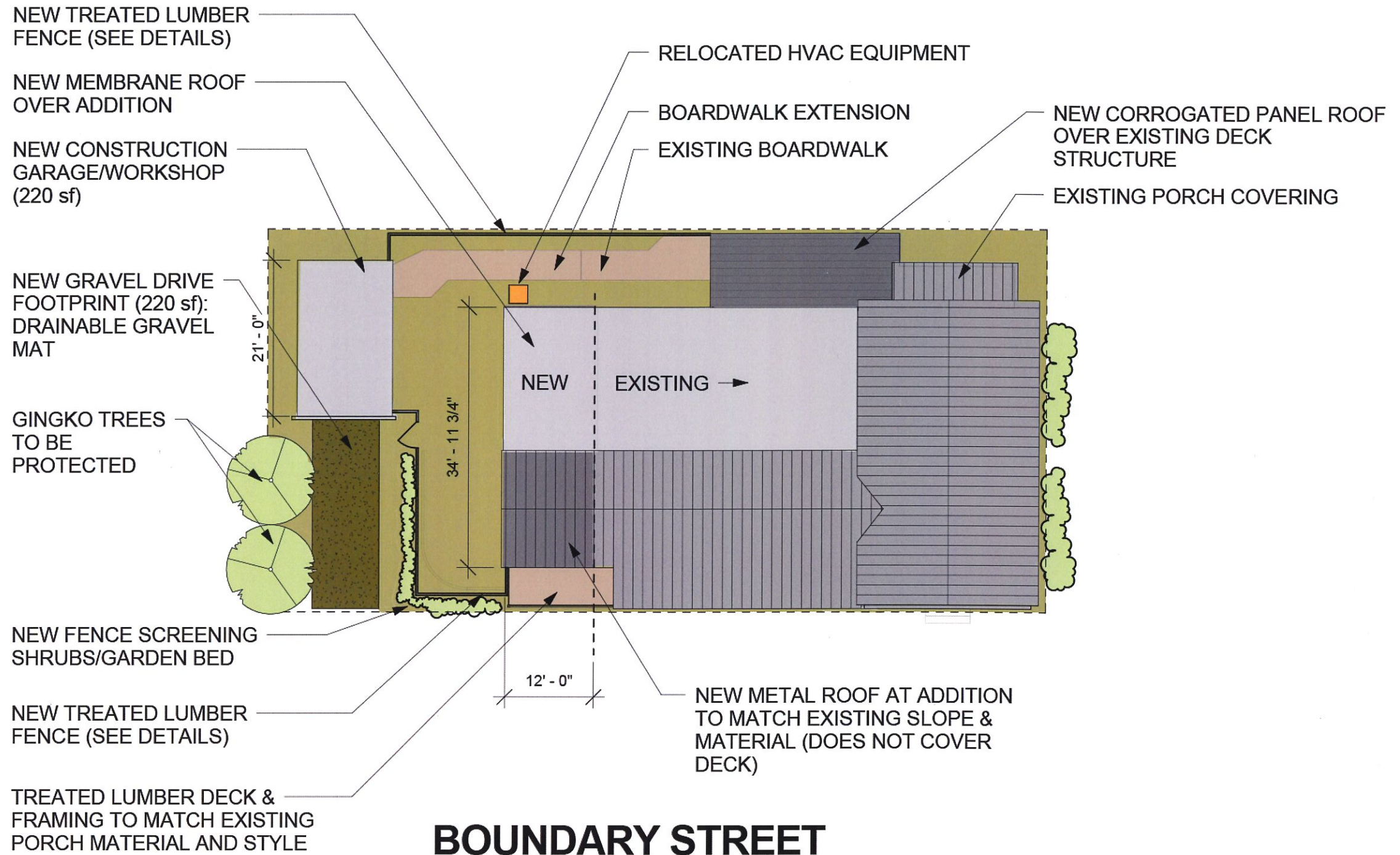
Section 4 Relocation or Demolition

n/a

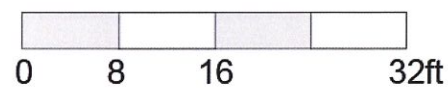


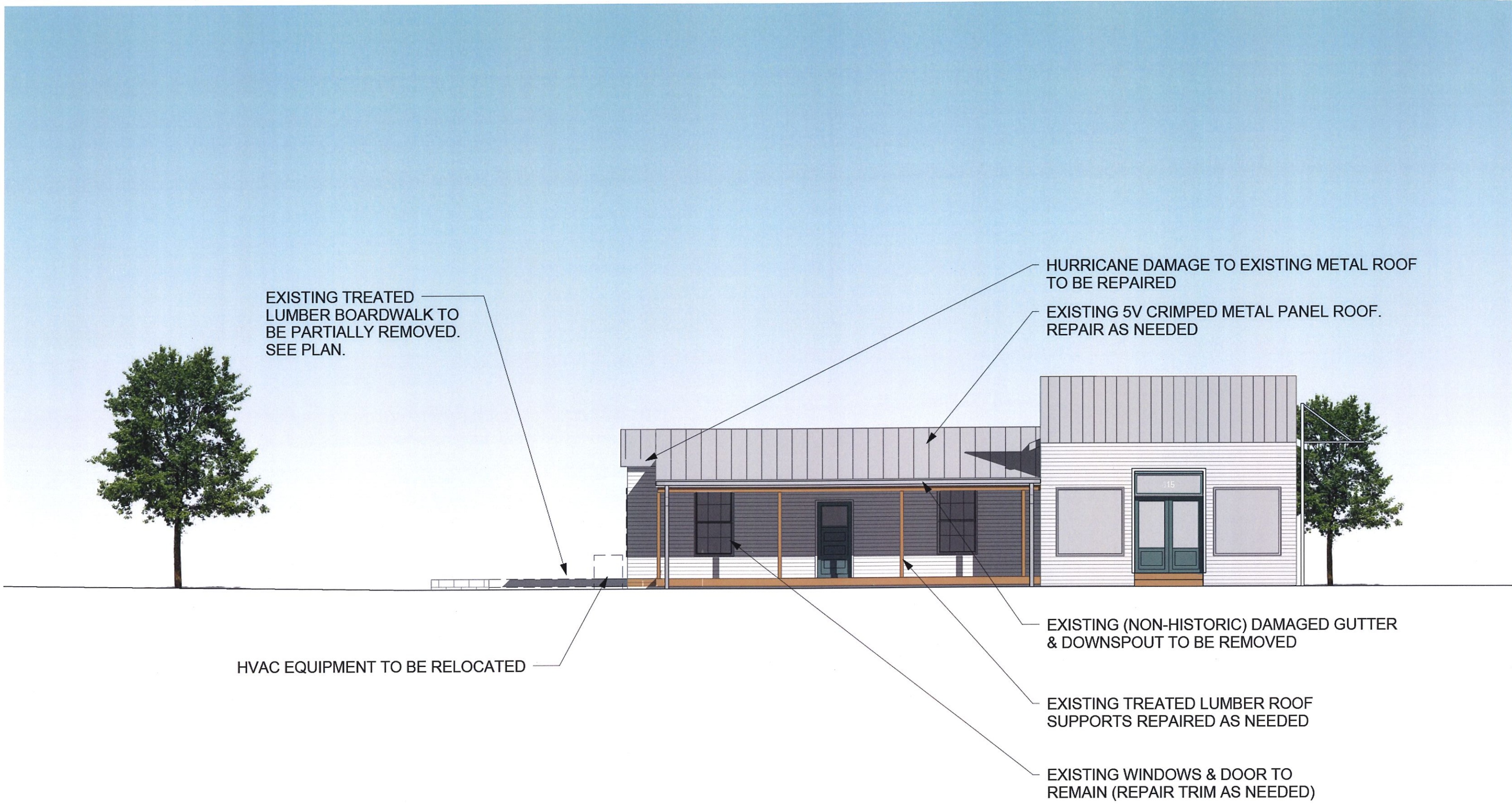
415 N. BOUNDARY STREET PROPOSED SITE PLAN



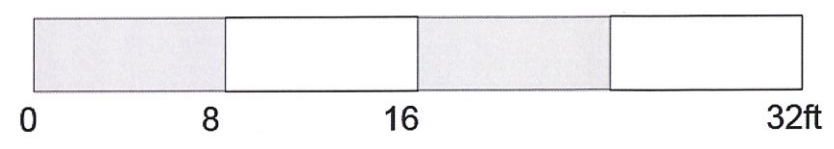


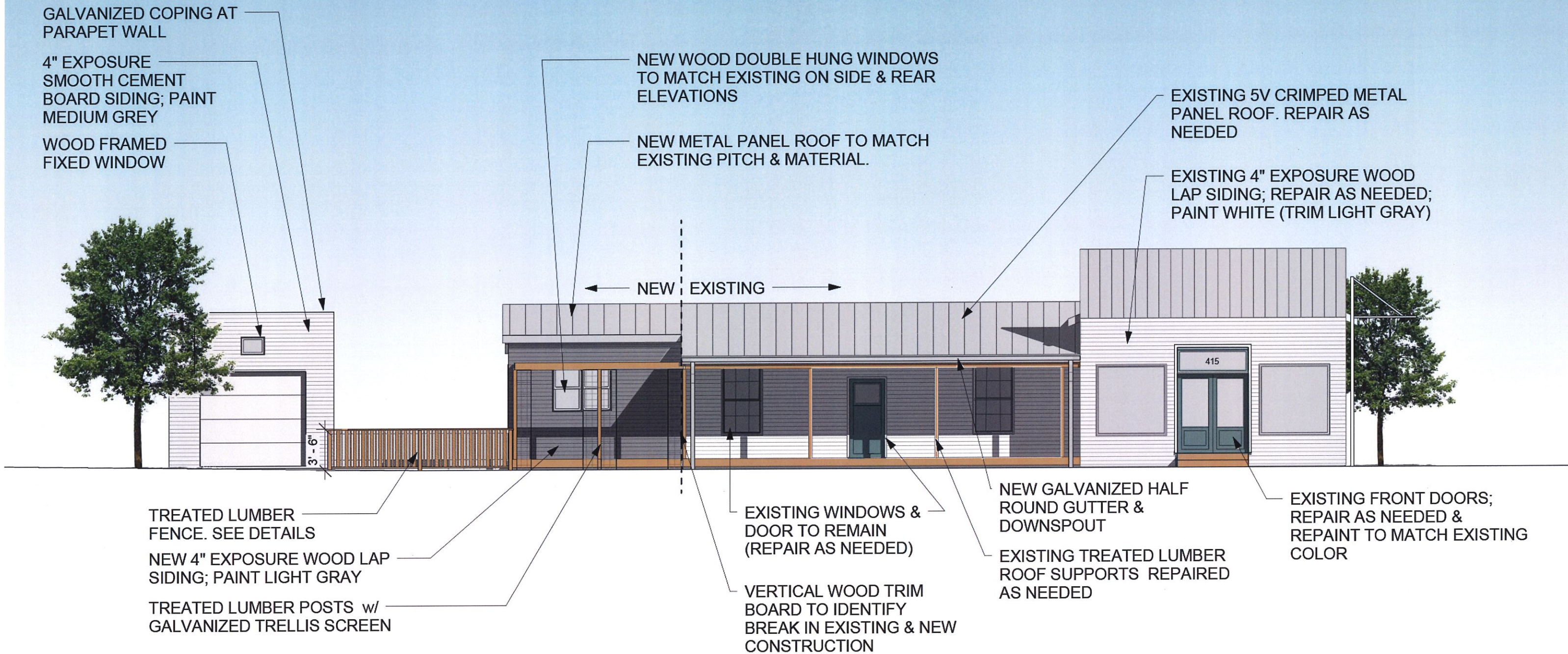
415 N. BOUNDARY STREET PROPOSED SITE PLAN



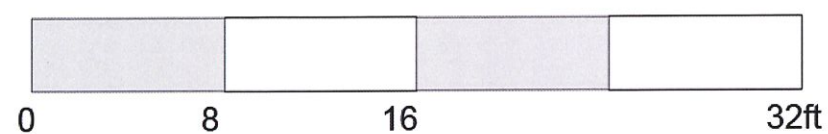


415 N. BOUNDARY STREET EXISTING FRONT (SOUTH) ELEVATION





415 N. BOUNDARY STREET PROPOSED FRONT (SOUTH) ELEVATION



EXISTING TREES & SHRUBS TO
BE TRIMMED BACK AWAY FROM
SIDING

EXISTING ROOF TO REMAIN; REPAIR
AS NEEDED

NEW GARAGE/WORKSHOP
BEYOND

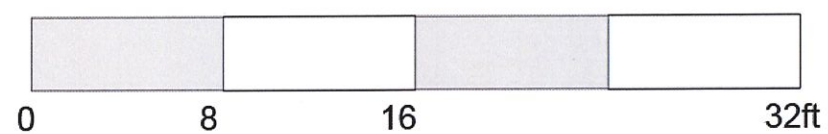
NEW CORROGATED PANEL ROOF
BEYOND, EXISTING TREATED
LUMBER DECK AND ROOF
SUPPORTS

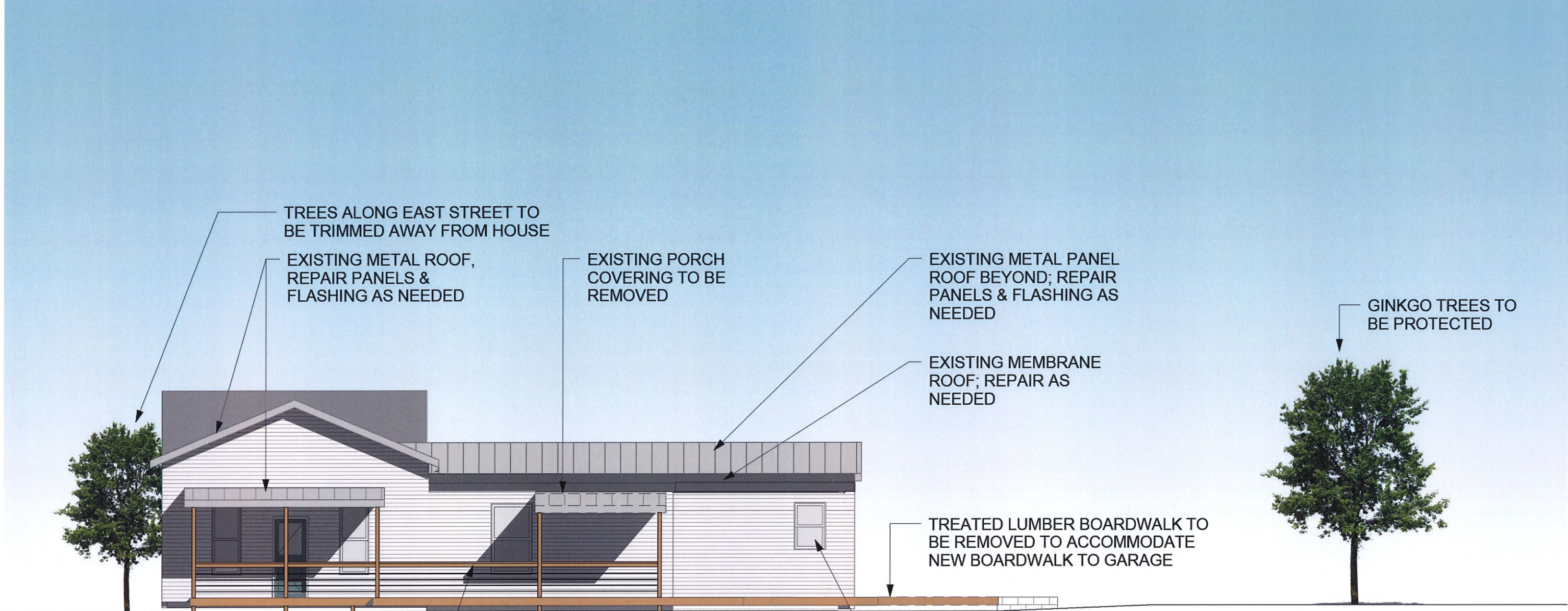
EXISTING DECK FRAMING AND
RAILING TO REMAIN - REPAIR AS
NEEDED TO ACCOMMODATE
NEW ROOF

EXISTING SIDING TO REMAIN; REPAIR AS
NEEDED; REPAINT WHITE w/ LIGHT GRAY
TRIM

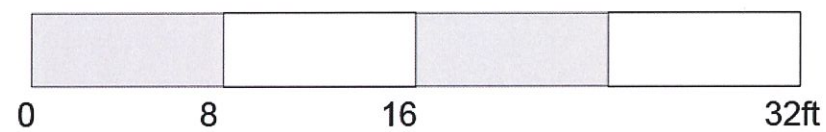


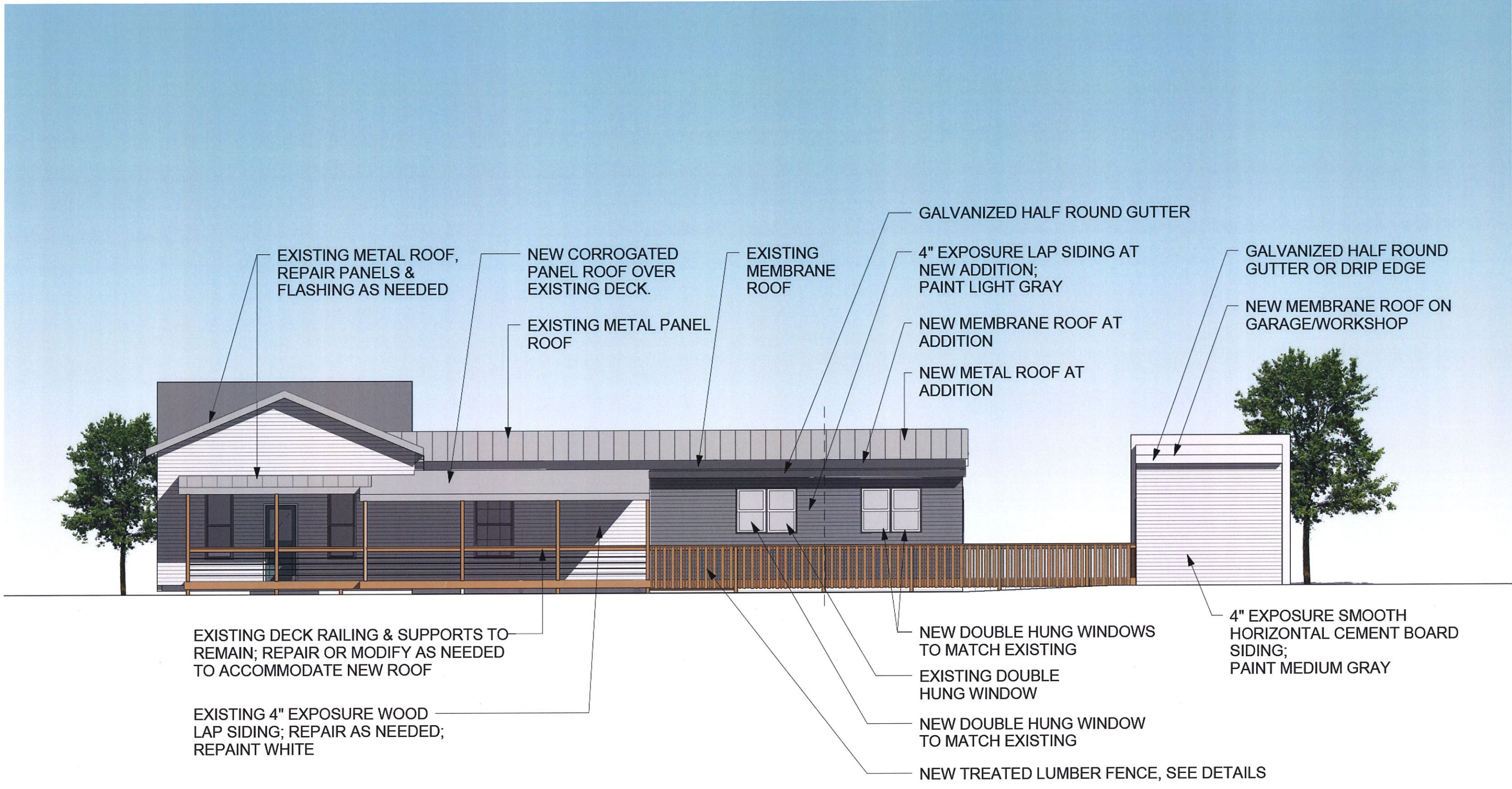
415 N. BOUNDARY STREET EAST ST (EAST) EXISTING AND PROPOSED ELEVATION



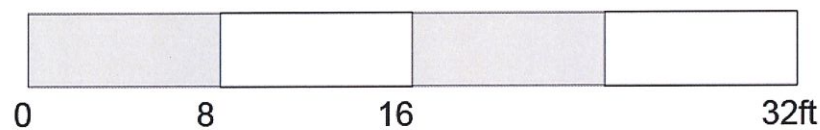


415 N. BOUNDARY STREET EXISTING REAR (NORTH) ELEVATION





415 N. BOUNDARY STREET PROPOSED REAR (NORTH) ELEVATION



EXISTING MEMBRANE
ROOF TO REMAIN

EXISTING PORCH
COVERING TO BE
REMOVED. SEE PLANS AND
PHOTOGRAPHS

EXISTING DECK AND RAILING
BEYOND TO REMAIN; REPAIR
OR MODIFY AS NEEDED TO
ACCOMMODATE NEW ROOF

TREATED LUMBER BOARDWALK
TO BE REMOVED. SEE PLANS FOR
EXTENT OF REMOVAL

EXISTING (NON-HISTORIC) DOUBLE
HUNG WINDOW TO BE REMOVED

HVAC
EQUIPMENT TO
BE RELOCATED

EXISTING METAL PANEL ROOF TO
REMAIN; REPAIR PANELS &
FLASHING AS NEEDED

TREATED LUMBER PORCH SUPPORT
POSTS TO REMAIN; REPAIR AS
NEEDED

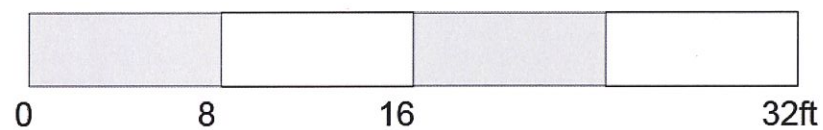
EXISTING TREATED LUMBER DECK BEYOND,
REPAIR HURRICANE DAMAGE AS NEEDED

EXISTING DOUBLE HUNG
WINDOW TO BE REMOVED

EXISTING 4" EXPOSURE WOOD LAP SIDING;
REPAIR ROTTED WOOD, AND REPAIR AS
NEEDED TO REMAIN AS NEW INTERIOR
WALL FINISH



415 N. BOUNDARY STREET EXISTING SIDE YARD (WEST) ELEVATION



NEW CORRUGATED
PANEL ROOF OVER
EXISTING DECK

EXISTING DECK AND
RAILING; REPAIR OR
MODIFY AS NEEDED
TO ACCOMODATE
NEW ROOF

EXISTING METAL PANEL ROOF BEYOND;
REPAIR PANELS & FLASHING AS NEEDED

EXISTING METAL PANEL ROOF
BEYOND; REPAIR PANELS &
FLASHING AS NEEDED

TREATED LUMBER
PORCH FRAMING TO
MATCH EXISTING

NEW TREATED LUMBER
BOARDWALK EXTENSION TO
MATCH EXISTING

NEW DOUBLE HUNG
WINDOWS TO MATCH
EXISTING STYLE & MATERIAL

NEW INSULATED UTILITY
DOOR AND TREATED
LUMBER STEPS

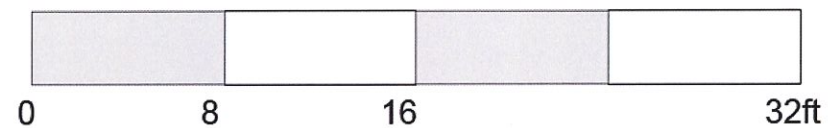
EXISTING TREATED LUMBER DECK BEYOND,
REPAIR HURRICANE DAMAGE AS NEEDED

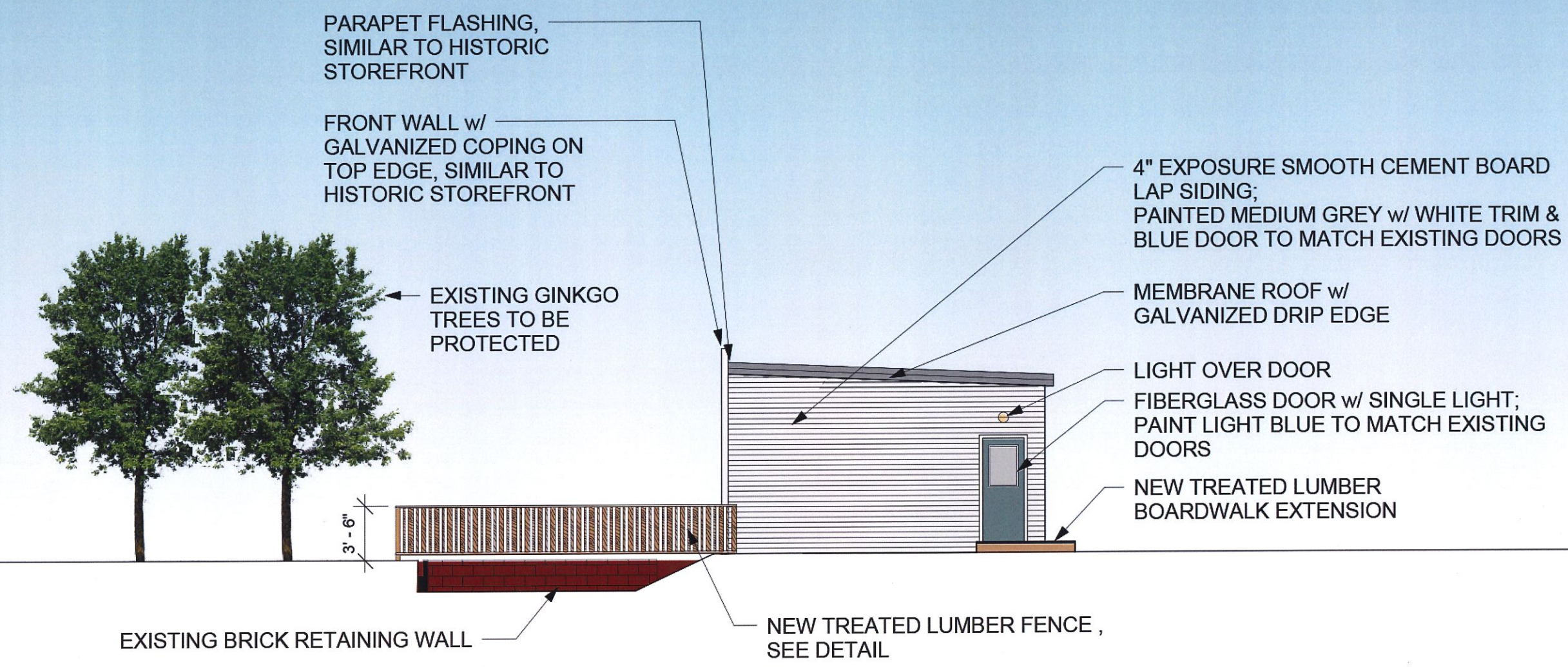
NEW DOUBLE HUNG WINDOW TO
MATCH EXISTING STYLE &
MATERIAL

4" EXPOSURE WOOD LAP SIDING;
PAINT LIGHT GRAY

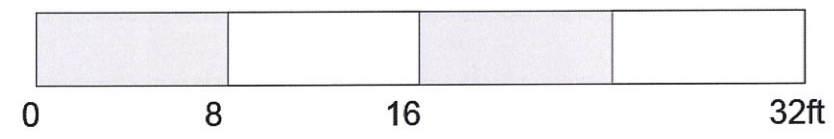


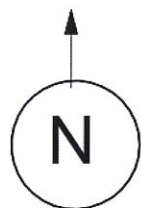
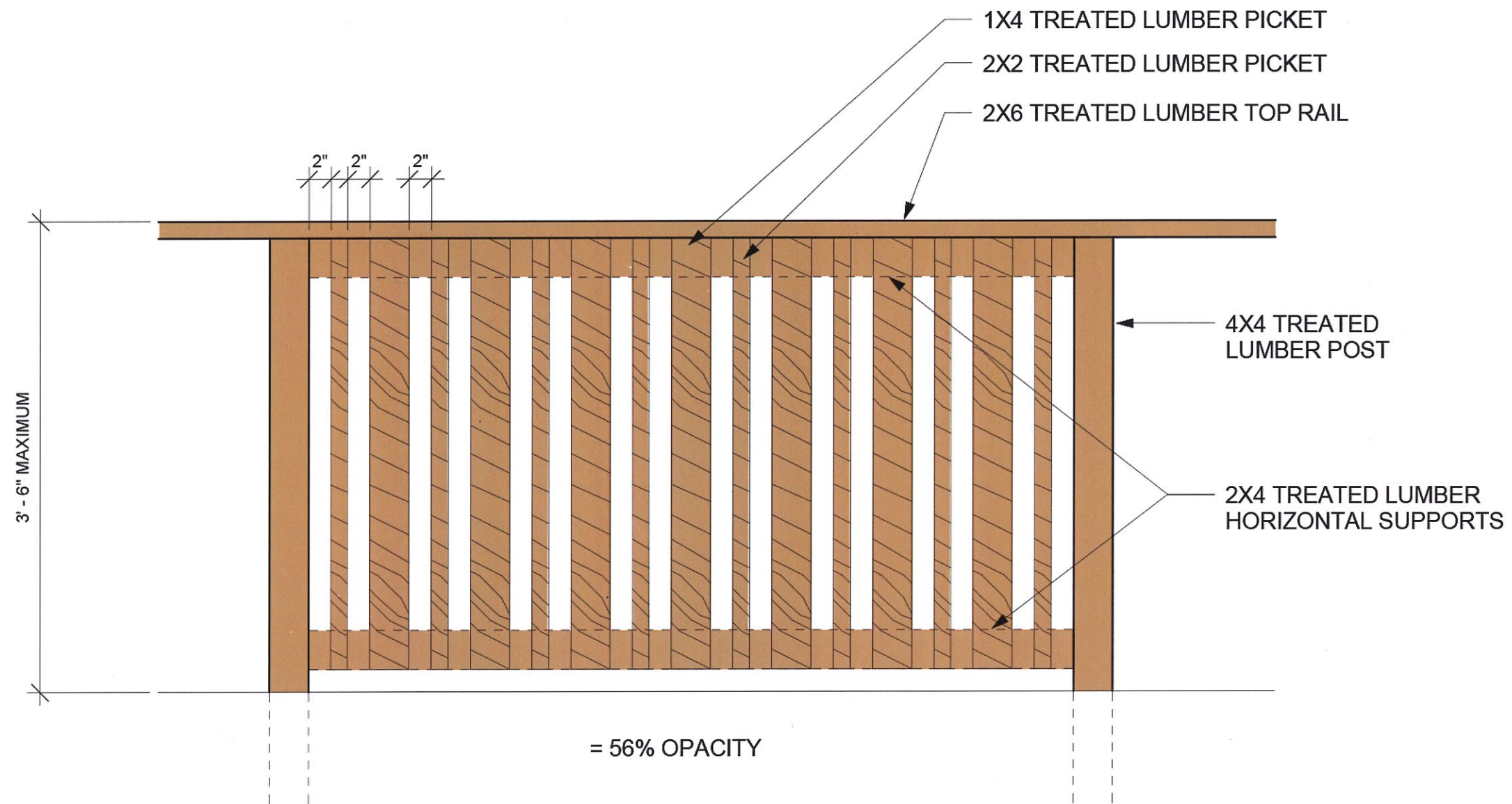
415 N. BOUNDARY STREET PROPOSED SIDE YARD (WEST) ELEVATION



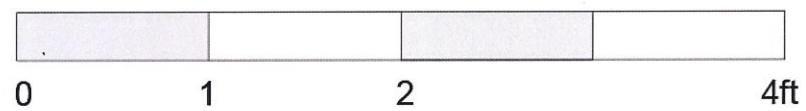


415 N. BOUNDARY STREET PROPOSED GARAGE/WORKSHOP SIDE ELEVATION





415 N. BOUNDARY STREET FENCE DETAIL



EXISTING HOUSE PHOTOS (JANUARY 2017)



PANORAMIC VIEW FROM BOUNDARY STREET (SOUTH ELEVATION)



VIEW FROM INTERSECTION OF BOUNDARY ST & EAST ST

EXISTING HOUSE PHOTOS (JANUARY 2017)



VIEW FROM BOUNDARY STREET (SOUTH ELEVATION)



VIEW FROM EAST STREET (EAST ELEVATION)

EXISTING HOUSE PHOTOS (JANUARY 2017)

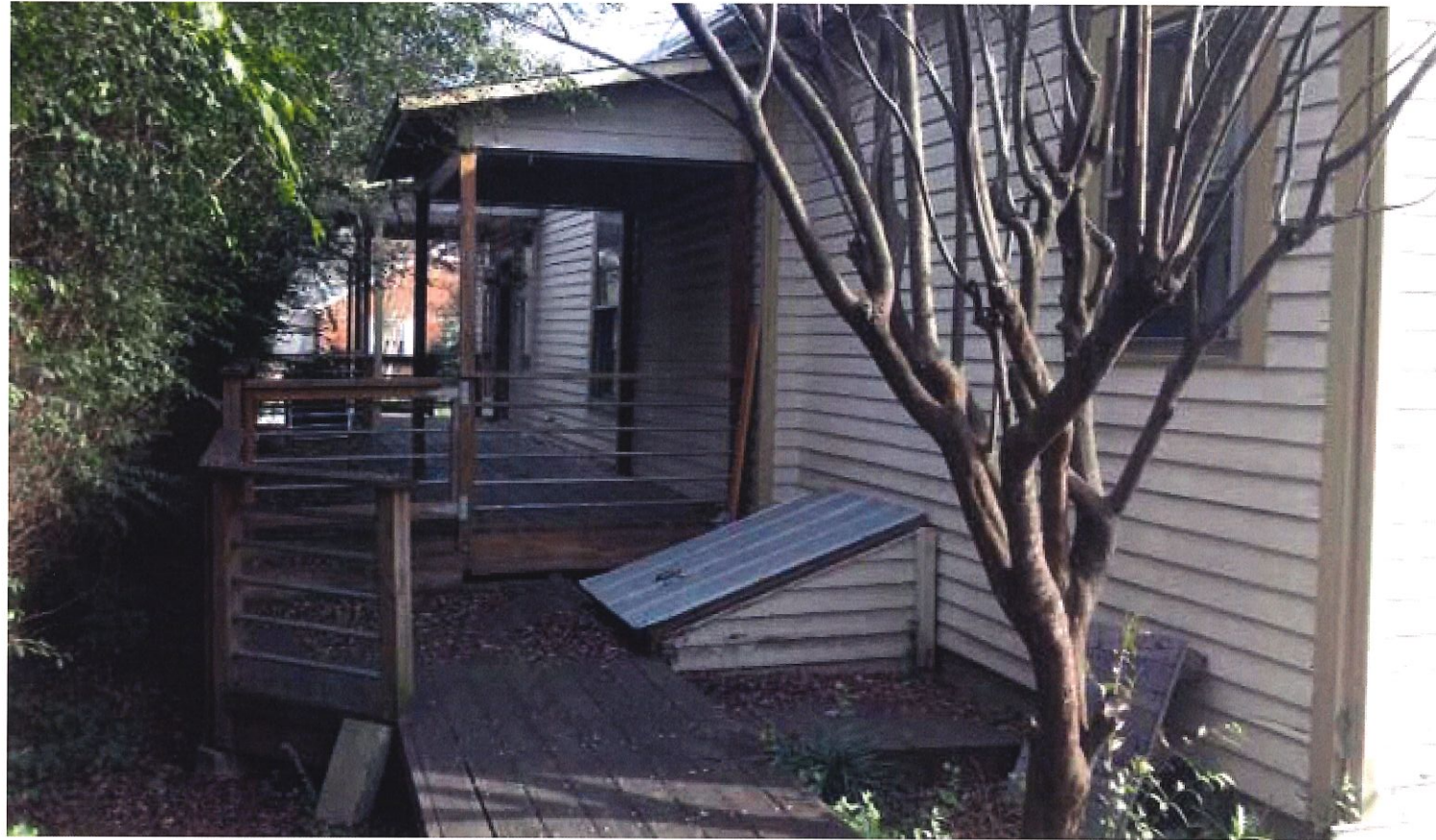


EXISTING SIDE YARD (WEST ELEVATION)



DAMAGE FROM HURRICANE MATTHEW

EXISTING HOUSE PHOTOS (JANUARY 2017)



EXISTING REAR DECK AND DECK COVERING TO BE REMOVED



PORTION OF DECK TO BE REMOVED

EXISTING EXAMPLES OF DENSELY DEVELOPED SITES IN THE DISTRICT



EXISTING EXAMPLES OF DENSELY DEVELOPED SITES IN THE DISTRICT



515 EUCLID ST



501 POLK ST

EXISTING EXAMPLES OF DENSELY DEVELOPED SITES IN THE DISTRICT (SOME W/ COMMERCIAL CHARACTER ALSO)



701 E. LANE ST



222 N. BLOODWORTH ST

EXAMPLES OF FLAT OR LOW-SLOPE GARAGE ROOFS IN DISTRICT



516 E. JONES ST



522 N. BLOODWORTH ST