

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

026-18-CA 807 MCCULLOCH STREET
Applicant: KENT KILPATRICK
Received: 02-08-2018 Meeting Date(s):
Submission date + 90 days: 05/09/2018 1) 04/26/2018

INTRODUCTION TO THE APPLICATION

Historic District: BOYLAN HEIGHTS HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: Construct reconfigured rear addition with second story and wraparound porch; remove/replace/add windows; remove second door on front elevation; change exterior paint colors

DRAC: An application was reviewed by the Design Review Advisory Committee at its December 22, 2017 and January 29, 2018 meetings. Members in attendance were Dan Becker, Jenny Harper, Curtis Kasefang, and David Maurer, ; also present were Melissa Robb and Tania Tully.

Staff Notes:

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APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Construct rear addition
2.4	Paint and Paint Color	Change exterior paint colors
2.5	Roofs	Change porch roof material
2.7	Windows and Doors	Remove/add/replace windows; remove second door on front elevation
3.2	Additions	Construct rear addition

STAFF REPORT

Based on the information contained in the application and staff’s evaluation:

- A. Constructing a rear addition and removing the fence is not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 3.2.1, 3.2.2, 3.2.3, 3.2.4, 3.2.5, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12; and the following suggested facts:
- 1* In the National Register of Historic Places nomination for the Boylan Heights Historic District, the property was deemed contributing, and was described as a 1922 (1927 addition) “one-story Bungalow; gable is perpendicular to the street; attached one-story porch, full facade. Dormer centered above. Projecting bay, left side - addition.”

- 2* Built **area** to open space analysis: The lot is ~6,098 SF. The footprint of the existing house is 1,808 SF; the new addition footprint will be 210 SF. The total built area is proposed to be 2,018 SF. The applicants state the proportion of built area to open space is currently ~30%, and will increase to 33%.
- 3* The applicants provided three examples in the historic district of similarly scaled projects which have received COA approvals for additions: 421 Cutler St (COA 044-97-CA), 225 W South St (this address appears to be an error and it is unknown which property the applicant is referring to), and 903 W Lenoir St (COA 085-15-CA).
- 4* The addition is at the rear of the house and includes a setback where the new addition meets the existing building on both the east and west elevations.
- 5* Over time, the house has had several additions to the rear of the structure, which likely were added prior to designation of the historic district, as no COA applications exist for this work.
- 6* The proposed addition alters the roofline and adds a wrap-around screen porch at the rear. The addition and alteration attempts to “correct some design flaws” that were caused by these previous additions.
- 7* The existing windows appear to be primarily one-over-one wood framed double hung. Existing windows on a previous addition are a combination of horizontal 14-pane windows on the second story or six-pane on the first story.
- 8* The proposed windows in the addition are all wood; specifications and details, including section drawings were provided.
- 9* Most of the windows on the addition are similarly proportioned to the existing wood double-hung one-over-one units or similar proportions to an upper sash. The exceptions are (see sheets labeled ‘Staff Evidence’ for corresponding letters):
 - a. Two windows on the west elevation, three windows on the south elevation, and one on the east elevation which appear to be smaller, higher-set rectangular privacy windows. Labeled ‘D’ on staff evidence.
- 10* Paint colors were specified and samples provided.
- 11* The addition is proposed to be sided in wood to match the existing; window trim is proposed to match the existing in material and dimensions. Details were provided. The addition roof is proposed to be asphalt shingles.

12* The new porch and existing front porch roofs are proposed to be standing seam metal.

Details and specifications were provided. The pan width and seam are traditional in size and design. The striations in the pan, however are not. Original metal roofs had flat pans.

13* A tree protection plan was provided; however, the critical root zones may not be sufficiently protected with the plan. The critical root zone is defined as “The area uniformly encompassed by a circle with a radius equal to one and one-quarter (1.25) foot per inch of the diameter of a tree trunk measured at four and one-half (4.5) feet above the ground, with the trunk of the tree at the center of the circle.” The footprint of the proposed addition is within the critical root zone of at least one tree. The tree protection plan was not prepared by an arborist or landscaped architect.

14* Staging areas for construction materials were not specified on the tree protection plan.

B. Removal, addition, replacement of windows is not incongruous in concept according to *Guidelines 2.4.1, 2.4.3, 2.7.1, 2.7.2, 2.7.6, 2.7.9*; and the following suggested facts:

1* The existing windows appear to be primarily one-over-one wood framed double hung.

Existing windows on a previous addition are a combination of horizontal 14-pane windows on the second story or six-pane on the first story.

2* The proposed windows are all wood; specifications and details, including section drawings, include (see sheets labeled ‘Staff Evidence’ for corresponding letters):

a. The proposed design removes the four 14-pane windows and replaces each with two rectangular single pane windows that look to be the same proportions as an upper sash. The existing windows appear to have been installed at the time the addition was constructed. Labeled ‘A’ on staff evidence.

b. One window on the east side near the front is proposed to be removed and replaced with a pair of windows. The applicant stated the reason for this was to rectify the awkward placement of the window resulting from the earlier addition. Labeled ‘B’ on staff evidence.

c. One one-over-one window on the west side is proposed to be removed and replaced with a new square window. Labeled ‘C’ on staff evidence.

C. Replacing a door with a window is not incongruous according to *Guideline 2.7.9, 2.8.9*, and the following suggested facts:

- 1* The existing door proposed for removal on the front elevation is proposed to be replaced with an additional window to create a balanced entrance (window will be added directly next to the existing window). Structural evidence included in the application indicates that the door was added at an unspecified date and is not original to the design of the house.
- 2* The application includes an example of a similar door-window configuration at 1026 Dorothea Drive.
- 3* Door details and specifications were not provided.

Staff suggests that the committee approve the application with the following conditions:

1. That the metal roof have a flat pan.
2. That tree protection plans be implemented and remain in place for the duration of construction.
3. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:
 - a. A tree protection plan that addresses the critical root zones and provides staging areas for construction materials.
 - b. That the tree protection plan for at least the tree closest to the house be prepared by an arborist certified by the International Society Arboriculture.
4. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
 - a. doors



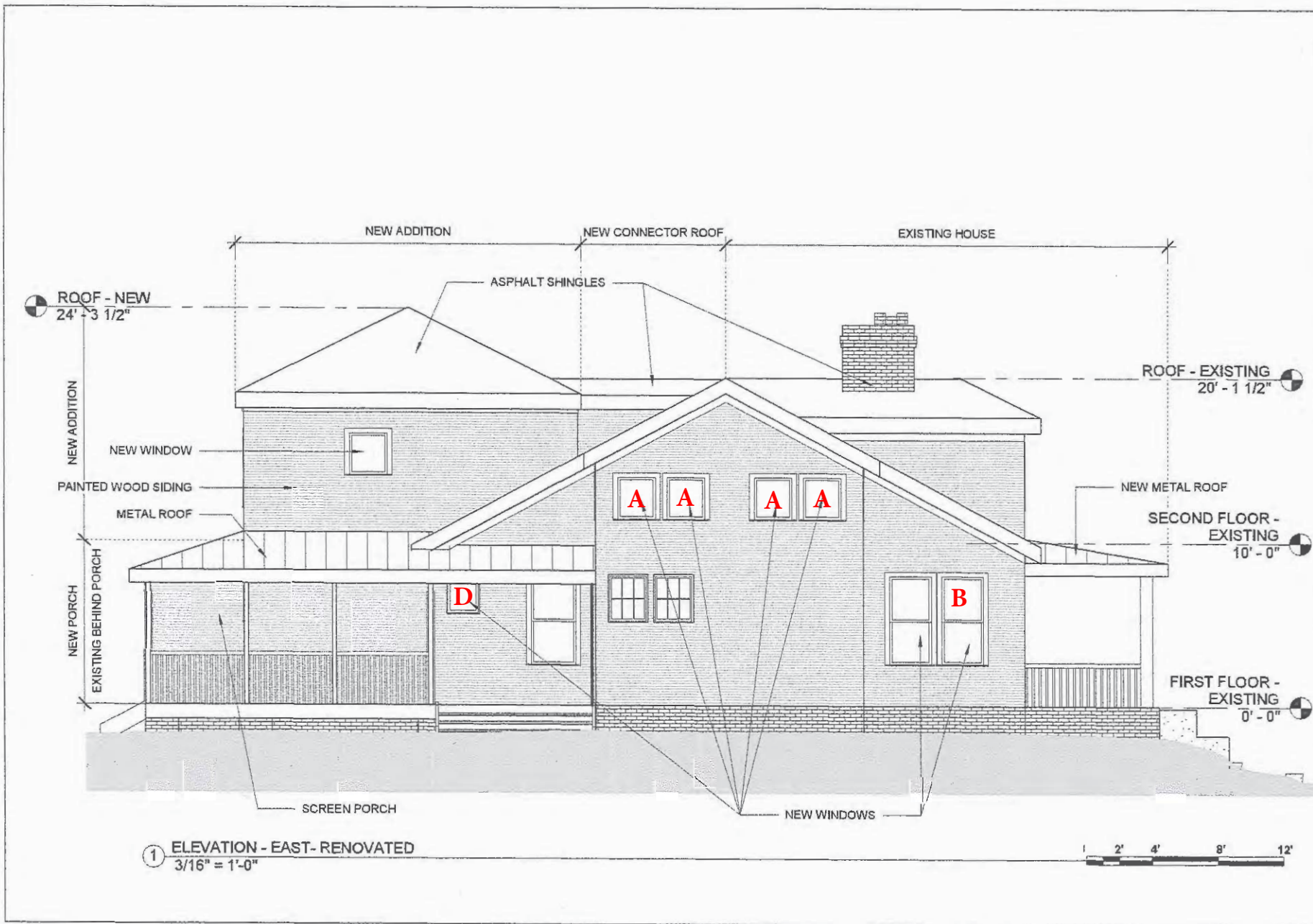
① ELEVATION - NORTH - RENOVATION
3/16" = 1'-0"



ELEVATION - NORTH RENOVATED

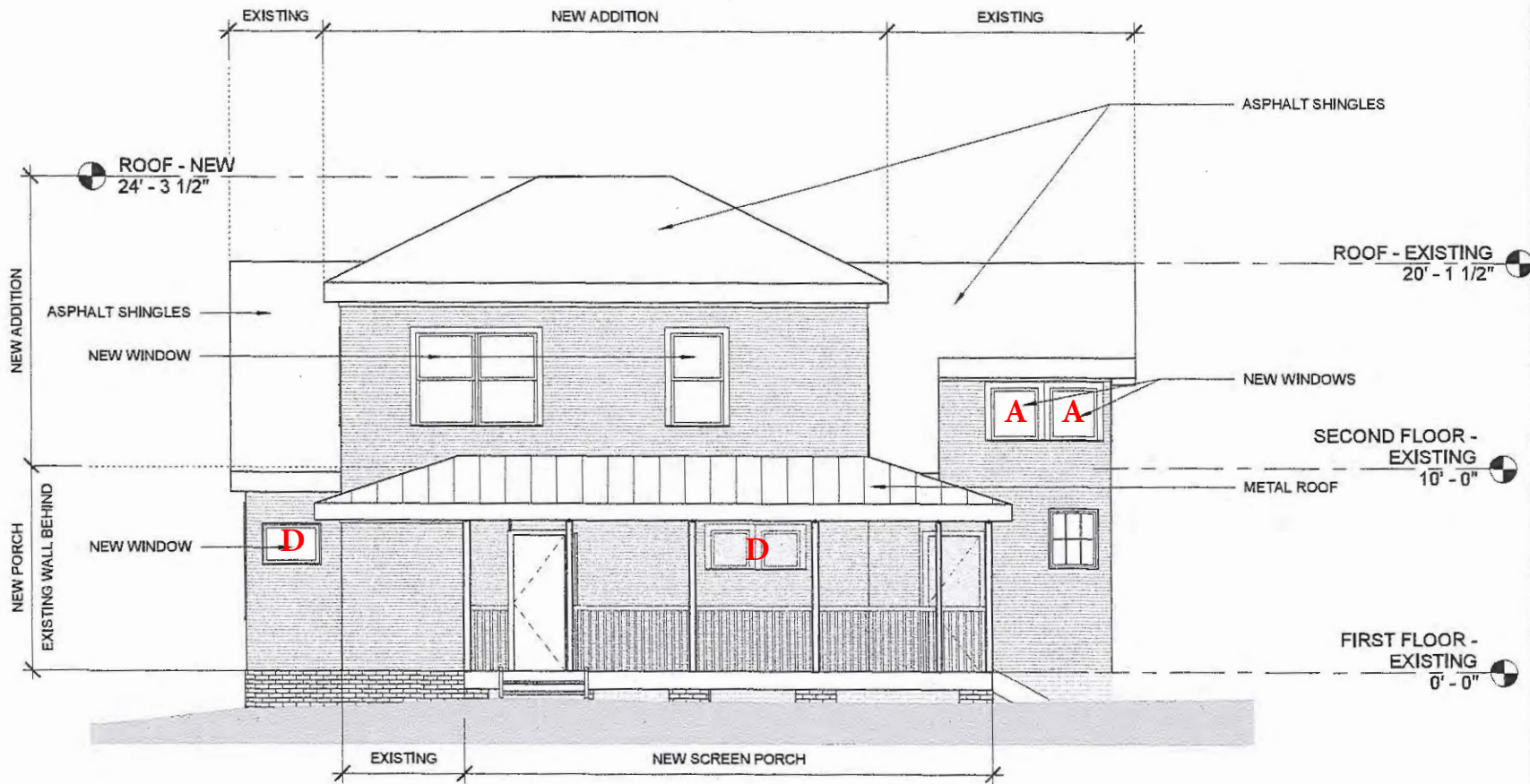
Project number	KILPATRICK
Date	
Issue Date	A400
Author	
Checked by	
Scale 3/16" = 1'-0"	

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



ELEVATION - EAST RENOVATED			
Project number	KILPATRICK	Date	
Date		Issue Date	A401
Drawn by		Author	
Checked by		Checker	
			Scale 3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



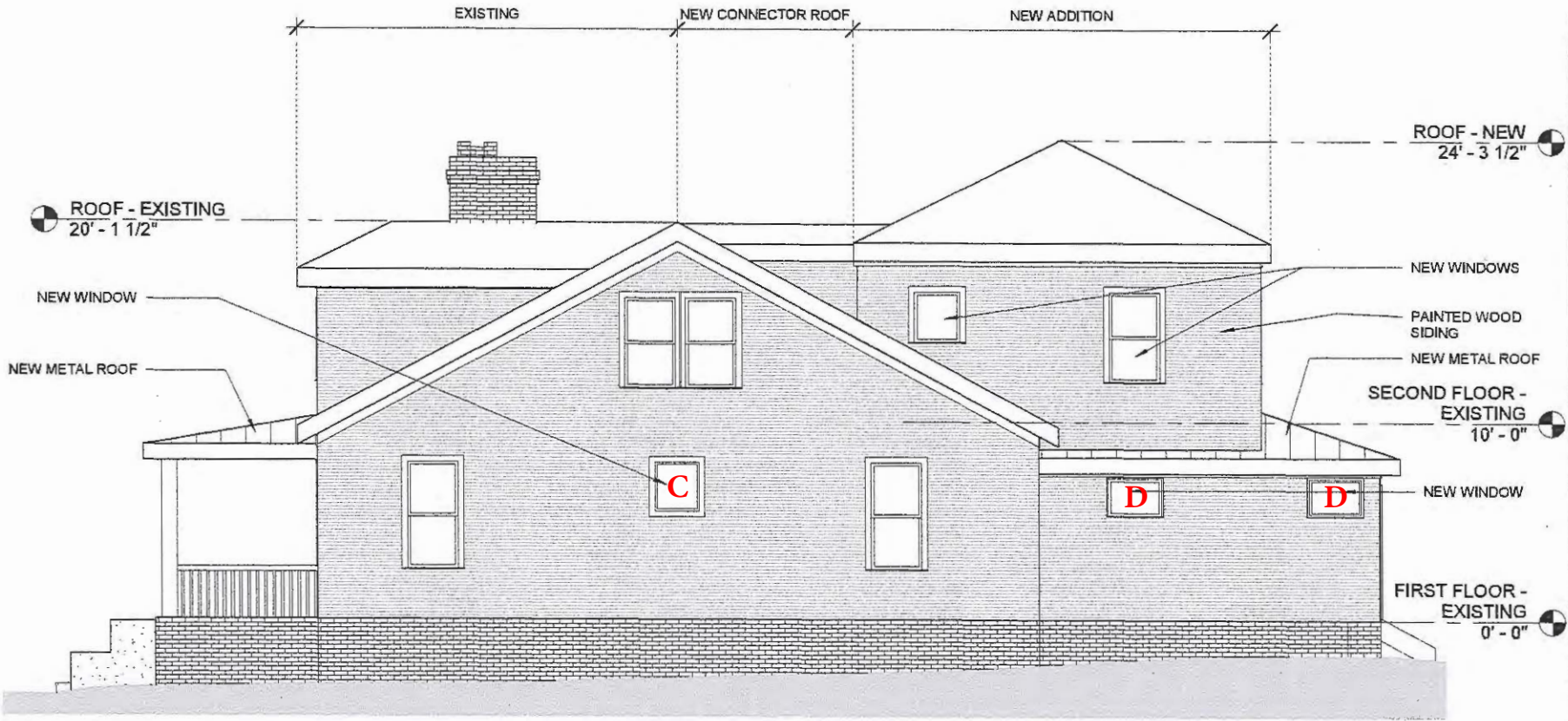
ELEVATION - SOUTH RENOVATED

Project number	KILPATRICK
Date	
Issue Date	A402
Drawn by	
Author	
Checked by	Scale 3/16" = 1'-0"

KILPATRICK RENOVATION
 807 MCCULLOCH ST, RALEIGH NC

1 ELEVATION - SOUTH- RENOVATION
 3/16" = 1'-0"





① ELEVATION - WEST - RENOVATION
3/16" = 1'-0"



ELEVATION - WEST RENOVATED

Project number	KILPATRICK
Date	
Issue Date	A403
Drawn by	
Author	
Checked by	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>0 544336</u> File # <u>020-18-CA</u> Fee <u>\$147</u> Amount Paid _____ Received Date <u>02/08/18</u> Received By _____
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Property Street Address **807 McCulloch St. Raleigh, NC 27603**

Historic District **Boylan Heights**

Historic Property/Landmark name (if applicable) _____

Owner's Name **Kent Kilpatrick**

Lot size 0.14 acres	(width in feet) 60.80'	(depth in feet) 102.00'
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
806 McCulloch St.	1112 W. Lenoir St.
324 Cutler St.	1110 W. Lenoir St.
322 Cutler St.	1108 W Lenoir St.
402 Cutler St.	1104 W. Lenoir St.
404 Cutler St.	1201 W Lenoir St.
410 Cutler St.	1114 W Lenoir St.
414 Cutler St.	1115 W Lenoir St.
418 Cutler St.	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Angela and Kent Kilpatrick**

Mailing Address **336 Summit Ave.**

City **Raleigh**

State **NC**

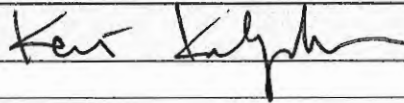
Zip Code **27603**

Date **02/08/08**

Daytime Phone **919-625-0385**

Email Address **kwhauling@hotmail.com**

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.2 p.66-7	Additions	We would like to construct a reconfigured second floor for the existing structure at 807 McCulloch by changing the roof line in the rear of the House. The scope of the project will include a new roof elevation in back; a wrap around rear porch; removing/replacing/adding windows; remove second door on front of house; and painting exterior.
3.1 p.64-5	Decks	
2.7 p.50-3	Windows and Doors	
2.4 p.44-5	Paint Color	
2.5 p.46-7	Roofs	
		The renovation respects the existing architecture and keeps it's new foot print to a minimum. Concern in the design process has been placed upon not overwhelming the original house and leaves the street view relatively the same.
		All materials will match existing conditions in size and type.
		Please see attached for additional descriptions.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

Index

- I. Project Overview
 - II. Location & Context
 - III. Photos of Existing Site
 - IV. Existing Plans
 - V. Proposed Plans
 - VI. Comparable Projects
 - VII. Tree Protection
 - VIII. Window & Door & Roof Information
 - IX. Paint Schedule
 - X. Reconfigure Front Door
-
-

807 McCulloch St.

2/07/2018

Raleigh, NC 27603

COA application

Project Overview

This is a proposed renovation for the back of the house that changes the second floor roofline and adds a wrap around screened-in porch. We have tried to design an addition that does not overwhelm the original house and leaves the street view relatively the same. This house has had several additions in its life, it is the goal of the remodel to respect the original character of the house while adding some space and correcting some design flaws that these prior additions have caused.

Windows - We propose changing some windows that are unusable and/or have been covered up during previous additions over the life of the house. (see attached plans)

Doors - We propose to remove the right door on the front of house and add an additional window for design balance. It is our belief that this door was added later and we have attached some documentation showing the differences in framing of the two doors (see front door and window information). See attached for door specifications.

Materials - All materials used will match existing conditions in dimensions and composition. Wood lap siding that is original will be matched in size and composition on addition. All exterior trim and windows of addition or replacement windows will match existing conditions. For example all window trim will be of made wood with 1 x 4' 5" dimensions as existing original. All new soffit and eaves will match existing in design, dimension and composition.

Roof - We propose changing front porch roof to 1" standing seam metal roof that is consistent to period (see attached). The new addition roof will match existing shingle roof. The wrap around porch is proposed to be clad in metal matching the front porch (see attached).

Paint - We propose a new paint color for the exterior of the house. (see schedule)

Building mass and site features – The addition is in the rear of the house and the site view of the front remains basically unchanged. The overall footprint increases by 290 sqft which is the extension of the back porch. There are no proposed site features such as driveways or walks.

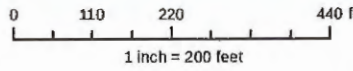
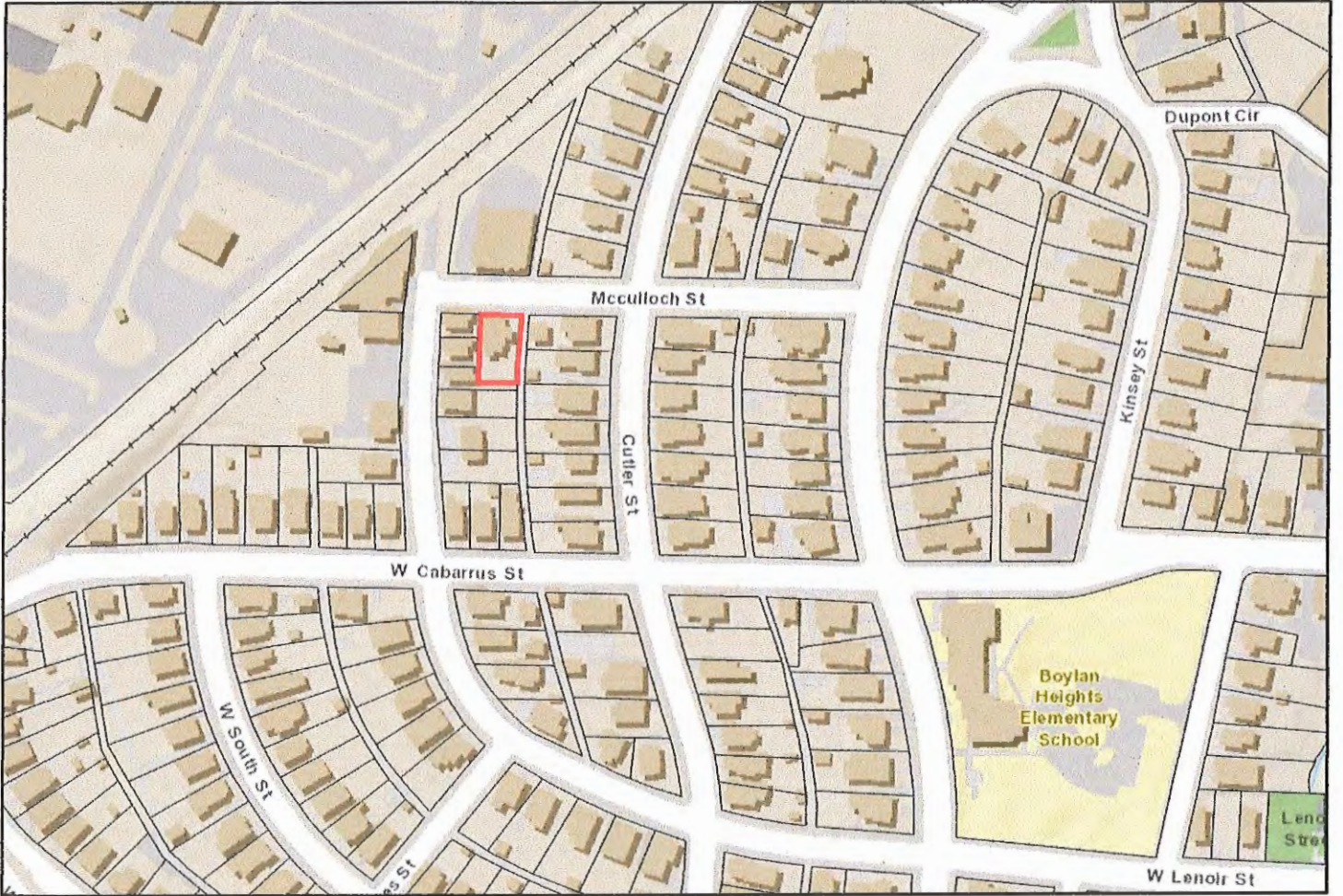
Outside Lighting, mailbox and Gutters – All these will be addressed with a minor application in the future.

Thank you for your consideration and thanks to the design review board for their help.

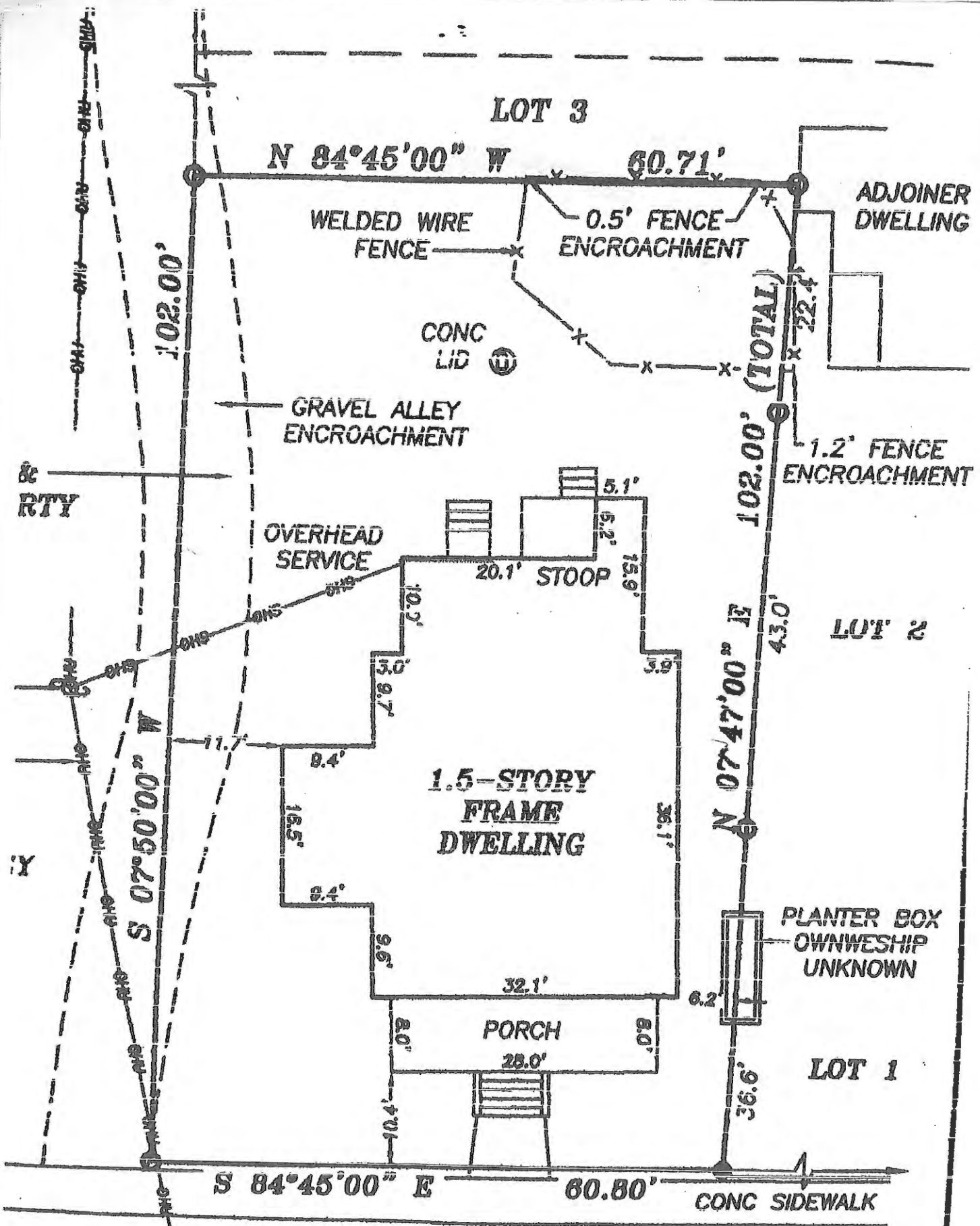
Sincerely,

Kent and Angela Kilpatrick

II. Location & Context



Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



N 84°45'00" W 60.90'

Neighbor Notices

- 1703279365
KILPATRICK, KENT
336 SUMMIT AVE
RALEIGH NC 27603-2352
- 1703279139
CONCEPT 8 HOLDINGS LLC
307 S SALEM ST STE 200
APEX NC 27502-1845
- 1703279236
ALLEN, ALEXANDER ROBERT
1108 W LENOIR ST
RALEIGH NC 27603-1936
- 1703279304
SMITH, ETHAN O
1112 W LENOIR ST
RALEIGH NC 27603-1936
- 1703279308
HADLEY, DIANNE W
210 GROVELAND AVE
RALEIGH NC 27605-1631
- 1703279310
ADAMS, SAMUEL T
1110 W LENOIR ST
RALEIGH NC 27603-1936
- 1703279588
MASON STREET LLC
115 S MASON ST
APEX NC 27502-1916
- 1703370261
CROW, AMANDA R CROW, DANIEL P
414 CUTLER ST
RALEIGH NC 27603-1922
- 1703370277
410 CUTLER LLC
310 S HARRINGTON ST
RALEIGH NC 27603-1818
- 1703370362
RUSSELL, MELINDA E
404 CUTLER ST
RALEIGH NC 27603-1922
- 1703370377
JNC PROPERTIES OF RALEIGH, LLC
100 NORTHBROOK DR APT 203
RALEIGH NC 27609-7075
- 1703370497
SEAL, CYNTHIA G
2421 GLENWOOD AVE
RALEIGH NC 27608-1331

- William and Melissa Mcberkowitz
322 Cutler St
Raleigh, NC 27603-1920

(1115 W. Lenoir St.)
H. Glenn White Jr.
1009 Schieffelin Rd.
Apex, NC 27502-1777

-(1201 W Lenoir St)
Baylan Studios LLC.
1208 Farmers Market Dr.
Raleigh, NC 27603-2361

418 Keglers, Vilis
5224 Melbourne Rd.
Raleigh, NC 27603

III. Photos of Existing Site

North Elevation, front of house



Proposed addition will not be visible from this vantage point

East Elevation



South Elevation, back of house an SW Corner

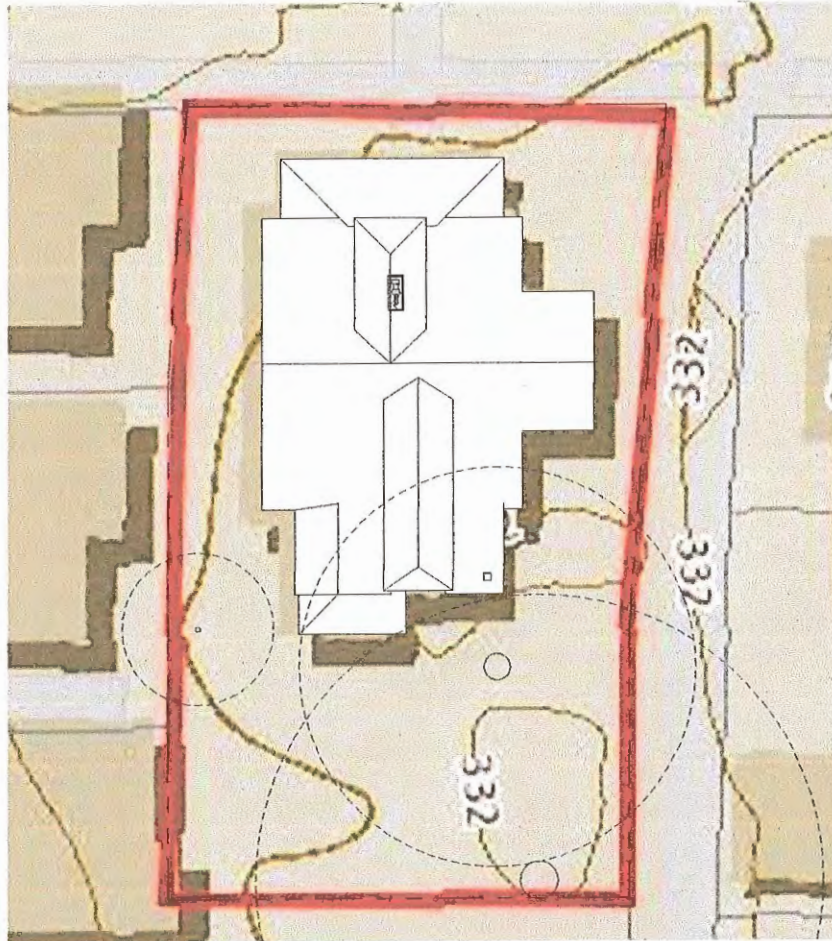


West Elevation



IV. Existing Plans

And Demolition



① ROOF - EXISTING 1/16
1/16" = 1'-0"



KILPATRICK RENOVATION

807 MCCULLOCH ST, RALEIGH NC

ROOF PLAN - EXISTING

Project number	KILPATRICK	A100
Date	Issue Date	
Drawn by	Author	Scale 1/16" = 1'-0"
Checked by	Checker	



② ELEVATION - NORTH - EXISTING
3/16" = 1'-0"



ELEVATION - EXISTING NORTH

Project number	KILPATRICK
Date	
Issue Date	A200
Drawn by	
Checked by	
Author	
Checker	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



① ELEVATION - NORTH - DEMOLITION
3/16" = 1'-0"



ELEVATION - DEMOLITION NORTH

Project number	KILPATRICK
Date	
Issue Date	A300
Drawn by	Author
Checked by	Checker
Scale 3/16" = 1'-0"	

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



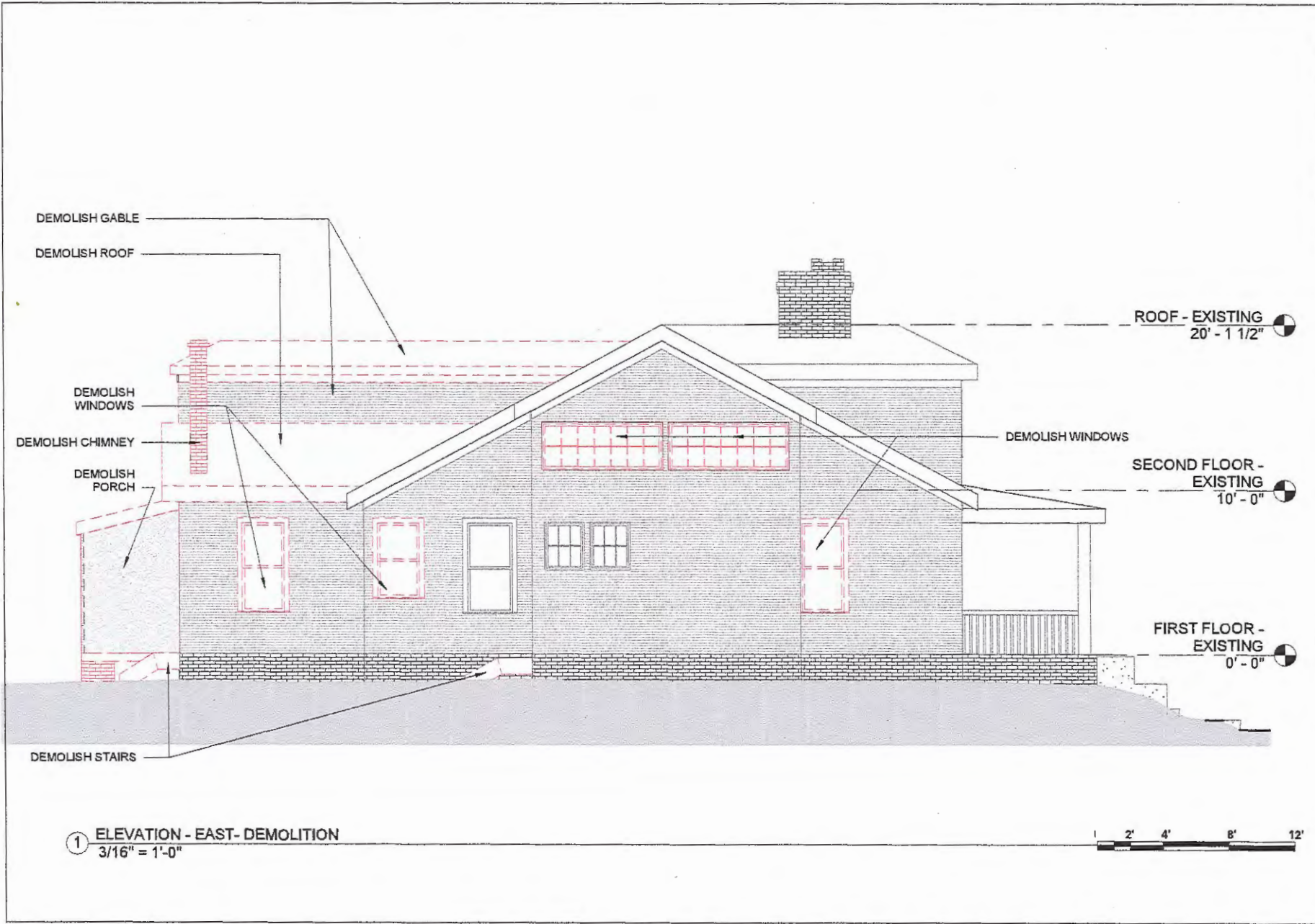
① ELEVATION - EAST-EXISTING
3/16" = 1'-0"



ELEVATION - EXISTING EAST

Project number	KILPATRICK	Issue Date	A201
Date		Author	
Drawn by		Checker	
Checked by		Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



ELEVATION - DEMOLITION EAST

Project number	KILPATRICK
Date	
Issue Date	A301
Drawn by	Author
Checked by	Checker
Scale 3/16" = 1'-0"	

KILPATRICK RENOVATION
 807 MCCULLOCH ST, RALEIGH NC



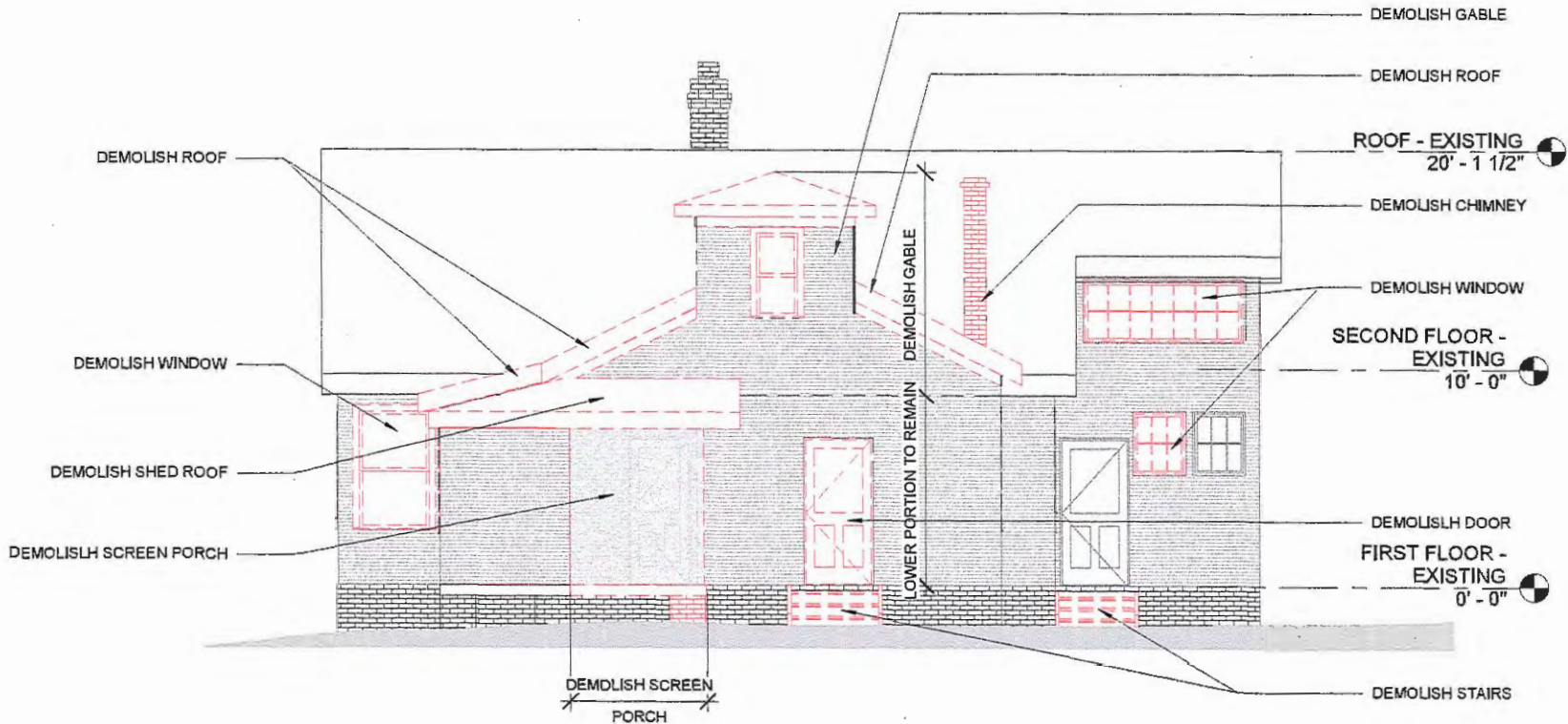
① ELEVATION - SOUTH - EXISTING
3/16" = 1'-0"



ELEVATION - EXISTING SOUTH

Project number	KILPATRICK
Date	
Drawn by	
Checked by	
Issue Date	A202
Author	
Checker	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



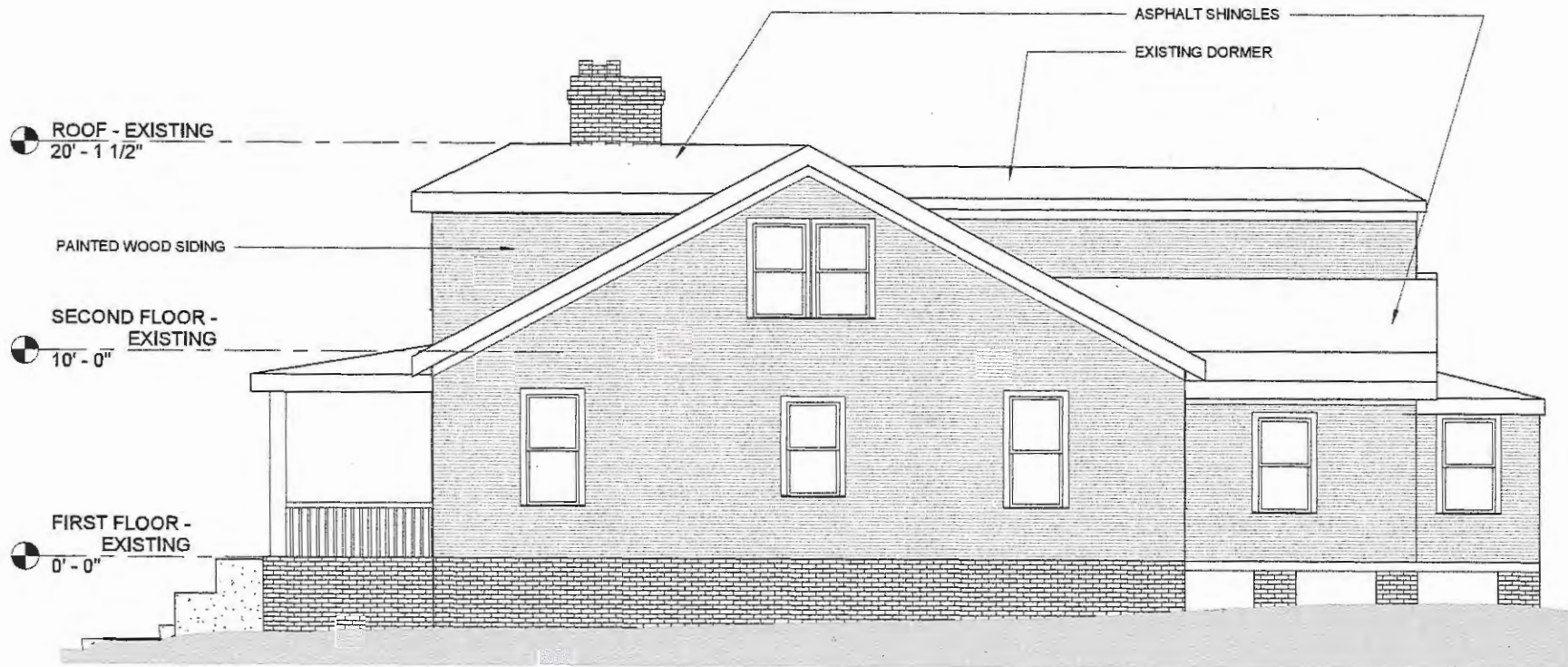
① ELEVATION - SOUTH - DEMOLITION
3/16" = 1'-0"



ELEVATION - SOUTH DEMOLITION

Project number	KILPATRICK
Date	
Issue Date	A302
Drawn by	
Author	
Checked by	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



ROOF - EXISTING
20' - 1 1/2"

PAINTED WOOD SIDING

SECOND FLOOR - EXISTING
10' - 0"

FIRST FLOOR - EXISTING
0' - 0"

ASPHALT SHINGLES

EXISTING DORMER

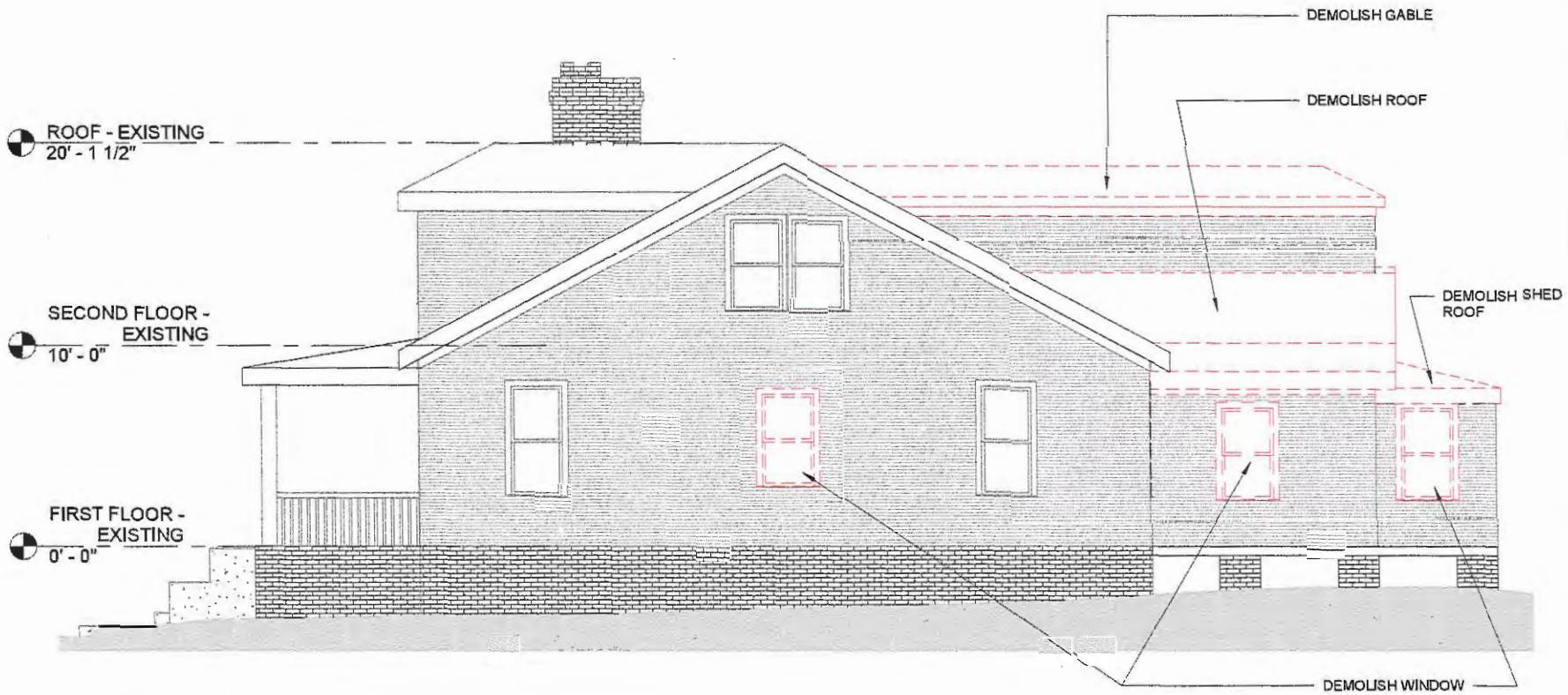
① ELEVATION - WEST- EXISTING
3/16" = 1'-0"



ELEVATION - EXISTING WEST

Project number	KILPATRICK
Date	
Issue Date	A203
Drawn by	Author
Checked by	Checker
Scale 3/16" = 1'-0"	

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



① ELEVATION - WEST - DEMOLITION
3/16" = 1'-0"

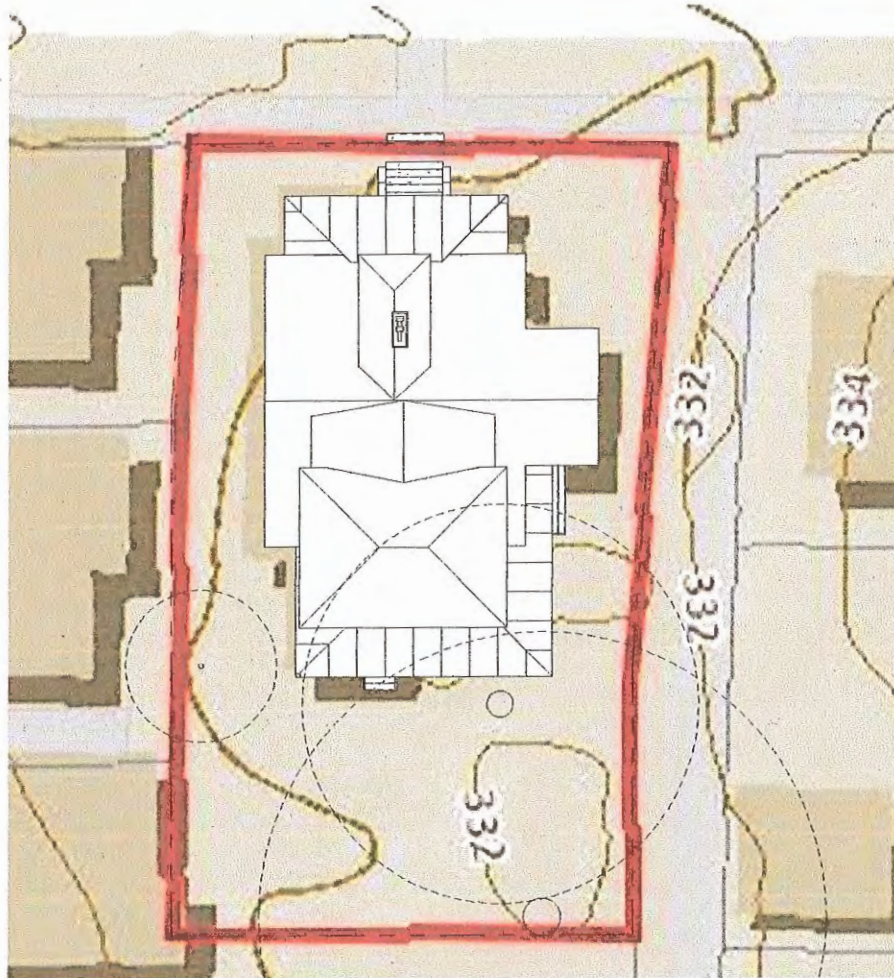


ELEVATION - WEST DEMOLITION

Project number	KILPATRICK		
Date	Issue Date	Author	Checker
	A303		
Drawn by	Scale 3/16" = 1'-0"		
Checked by			

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC

V. Proposed Plans



① ROOF - RENOVATED 1/16
1/16" = 1'-0"

EXISTING BUILDING FOOTPRINT SF: 1808 SF
NEW PORCH FOOTPRINT: 210 SF



KILPATRICK RENOVATION

807 MCCULLOCH ST, RALEIGH NC

ROOF PLAN - RENOVATED

Project number	KILPATRICK	A101
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/16" = 1'-0"



ROOF - NEW
24' - 3 1/2"

ASPHALT SHINGLES

NEW ROOF PROFILE
ROOF - EXISTING
20' - 1 1/2"

NEW WOOD WINDOWS

METAL ROOF

SECOND FLOOR - EXISTING
10' - 0"

NEW WINDOW

PAINTED WOOD SIDING

EXISTING TO REMAIN, U.N.O.

FIRST FLOOR - EXISTING
0' - 0"

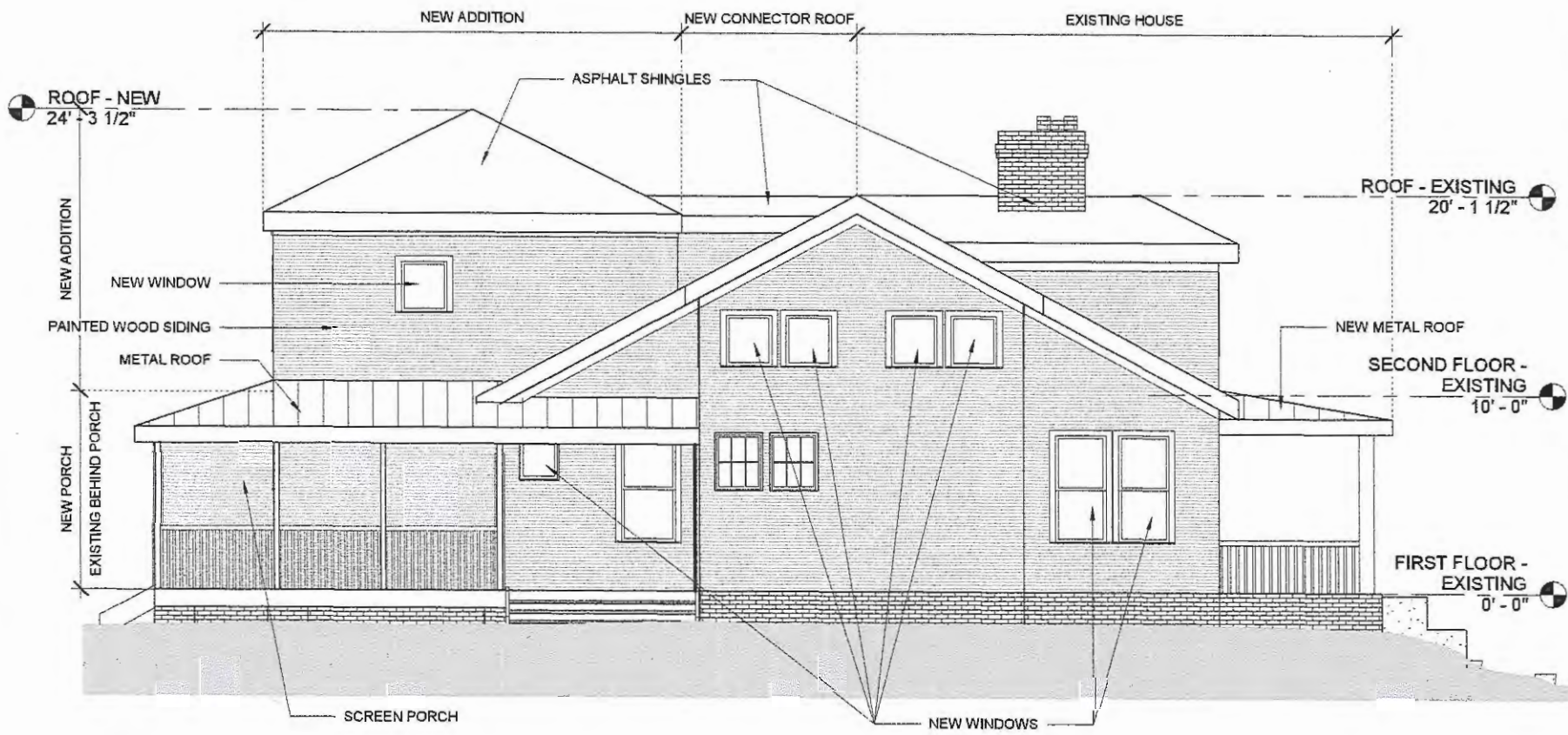
① ELEVATION - NORTH - RENOVATION
3/16" = 1'-0"



ELEVATION - NORTH RENOVATED

Project number	KILPATRICK
Date	
Issue Date	A400
Author	
Checked by	
Checker	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



① ELEVATION - EAST- RENOVATED
3/16" = 1'-0"



ELEVATION - EAST RENOVATED

Project number	KILPATRICK
Date	
Issue Date	A401
Drawn by	
Author	
Checked by	
Scale	3/16" = 1'-0"

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



① ELEVATION - SOUTH- RENOVATION
3/16" = 1'-0"

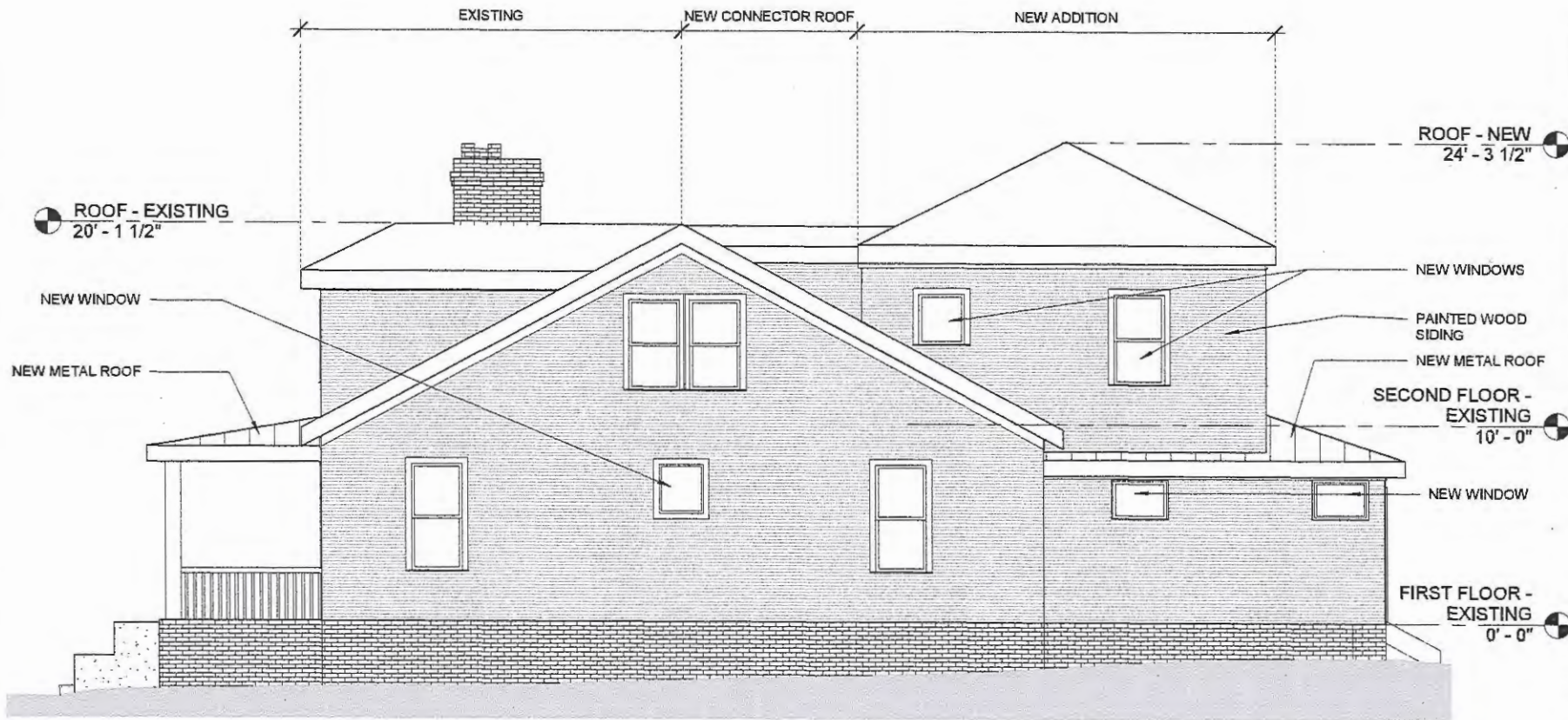


ELEVATION - SOUTH RENOVATED

Project number	KILPATRICK	Author	Scale
Date		Drawn by	3/16" = 1'-0"
Issue Date		Checked by	

A402

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



① ELEVATION - WEST - RENOVATION
3/16" = 1'-0"



ELEVATION - WEST RENOVATED

Project number	KILPATRICK
Date	
Issue Date	A403
Drawn by	Author
Checked by	Checker
	Scale 3/16" = 1'-0"

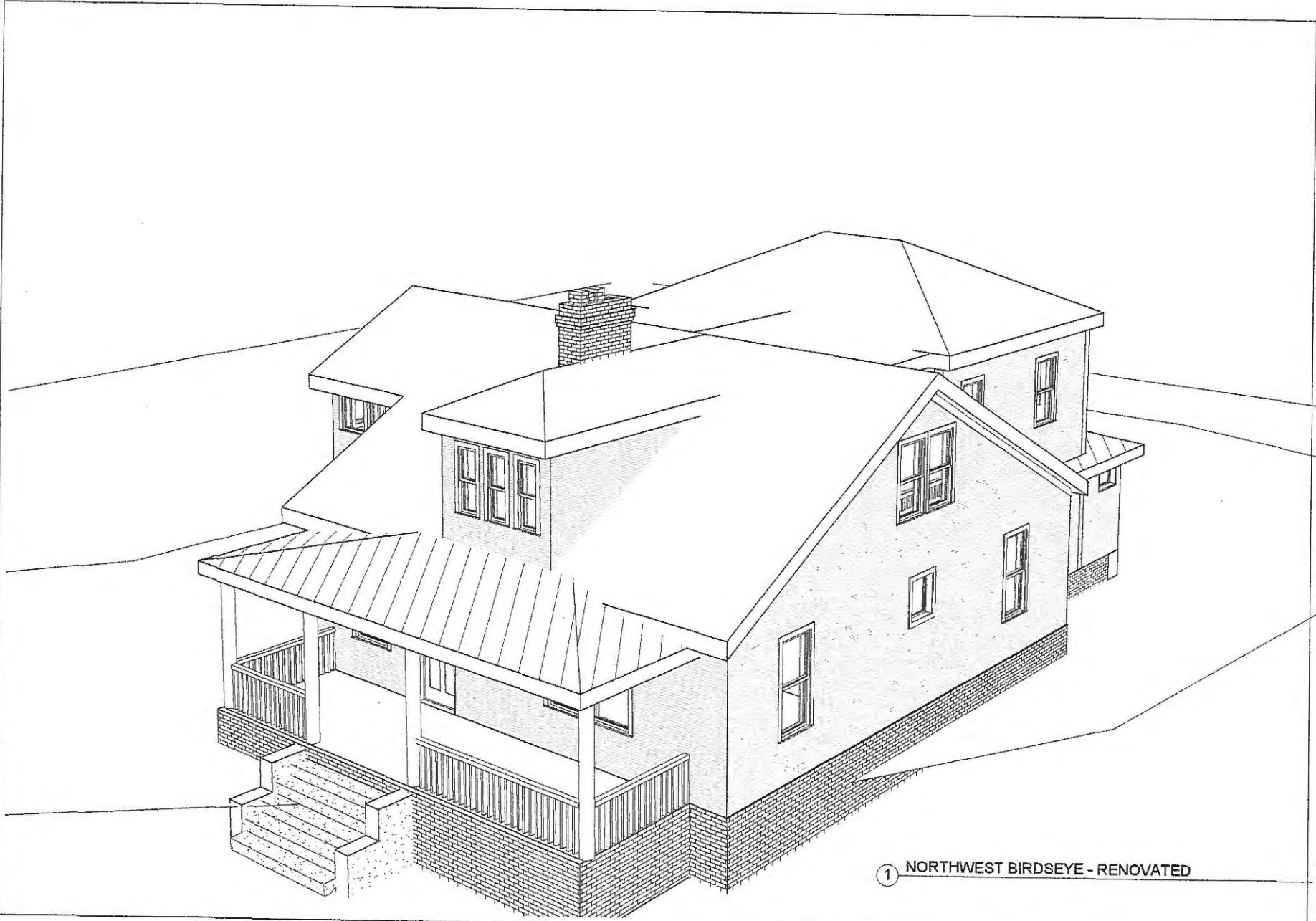
KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC



KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC

RENOVATED STREET VIEW

Project number	KILPATRICK
Date	
Drawn by	
Checked by	
Issue Date	A500
Author	
Checker	
Scale	



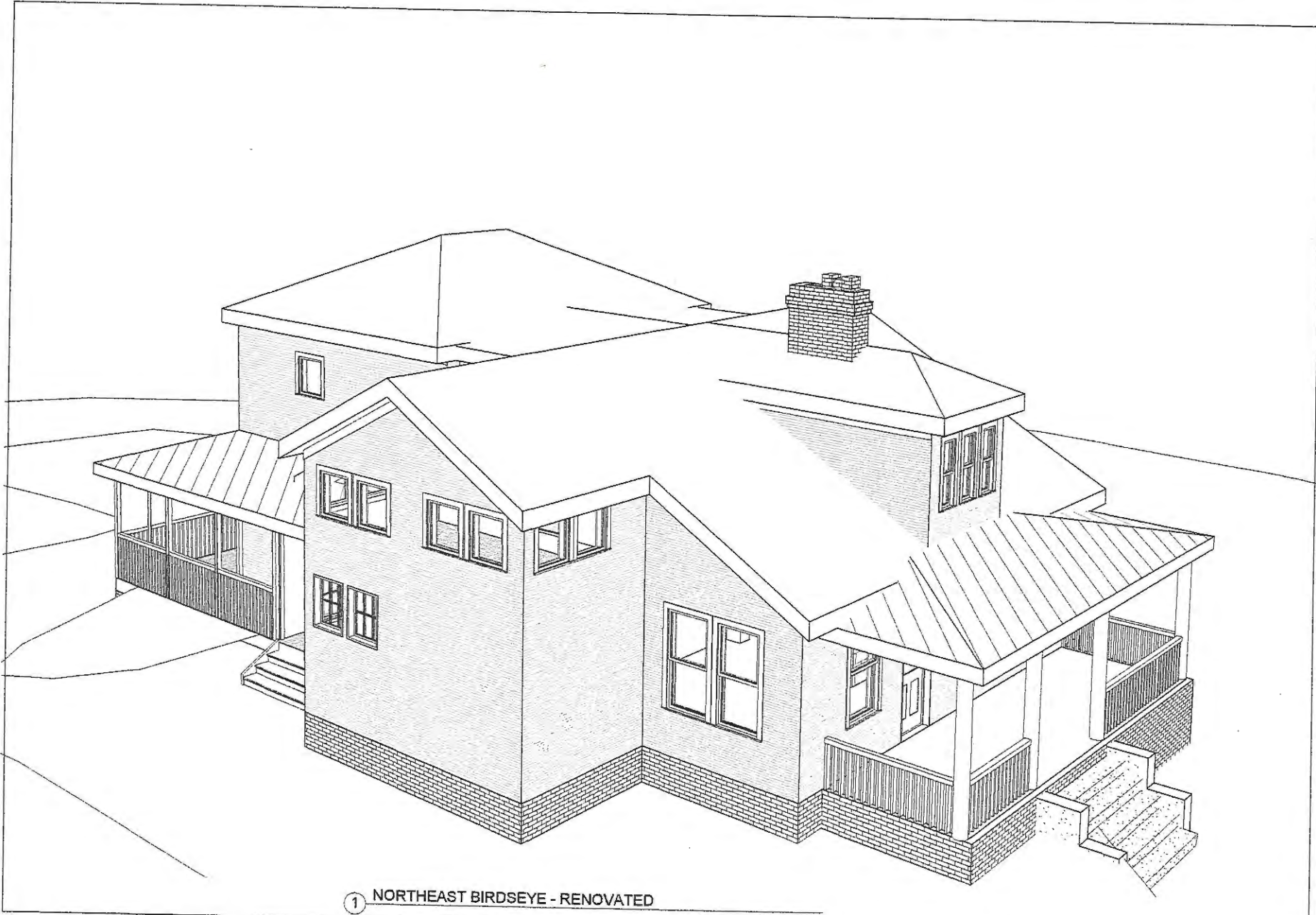
① NORTHWEST BIRDSEYE - RENOVATED

KILPATRICK RENOVATION
807 MCCULLOCH ST., RALEIGH NC

**NORTHWEST BIRDSEYE -
RENOVATED**

Project number	KILPATRICK	Issue Date	Author	Checker	Scale
Date					
Drawn by					
Checked by					

A501



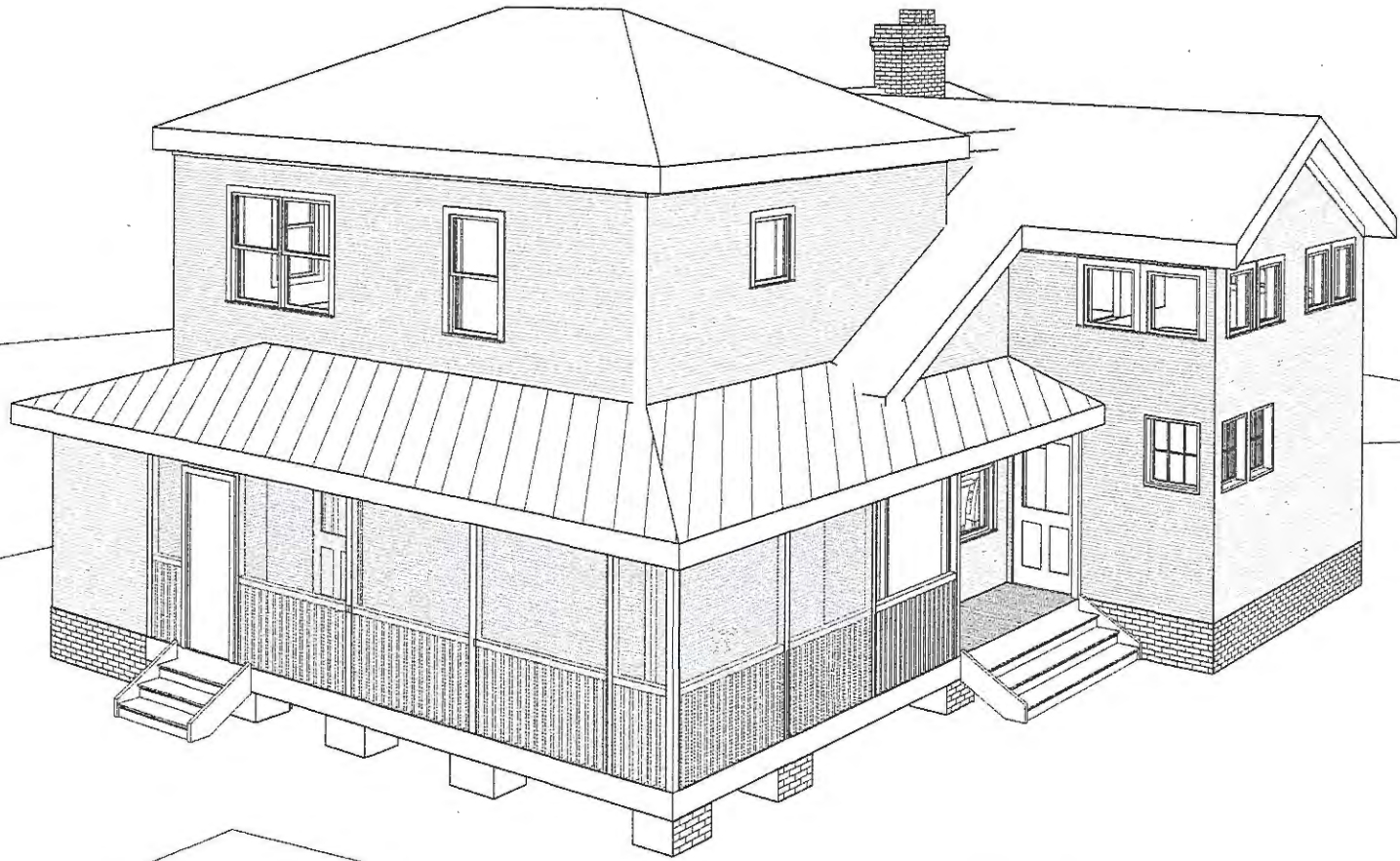
① NORTHEAST BIRDSEYE - RENOVATED

NORTHEAST BIRDSEYE -
RENOVATED

Project number	KILPATRICK	Issue Date	A502
Date		Author	
Drawn by		Checked by	
		Checker	Scale

KILPATRICK RENOVATION

807 MCCULLOCH ST, RALEIGH NC



① SOUTHEAST BIRDSEYE - RENOVATED

SOUTHEAST BIRDSEYE -

RENOVATED
Project number KILPATRICK

A503

Date Issue Date

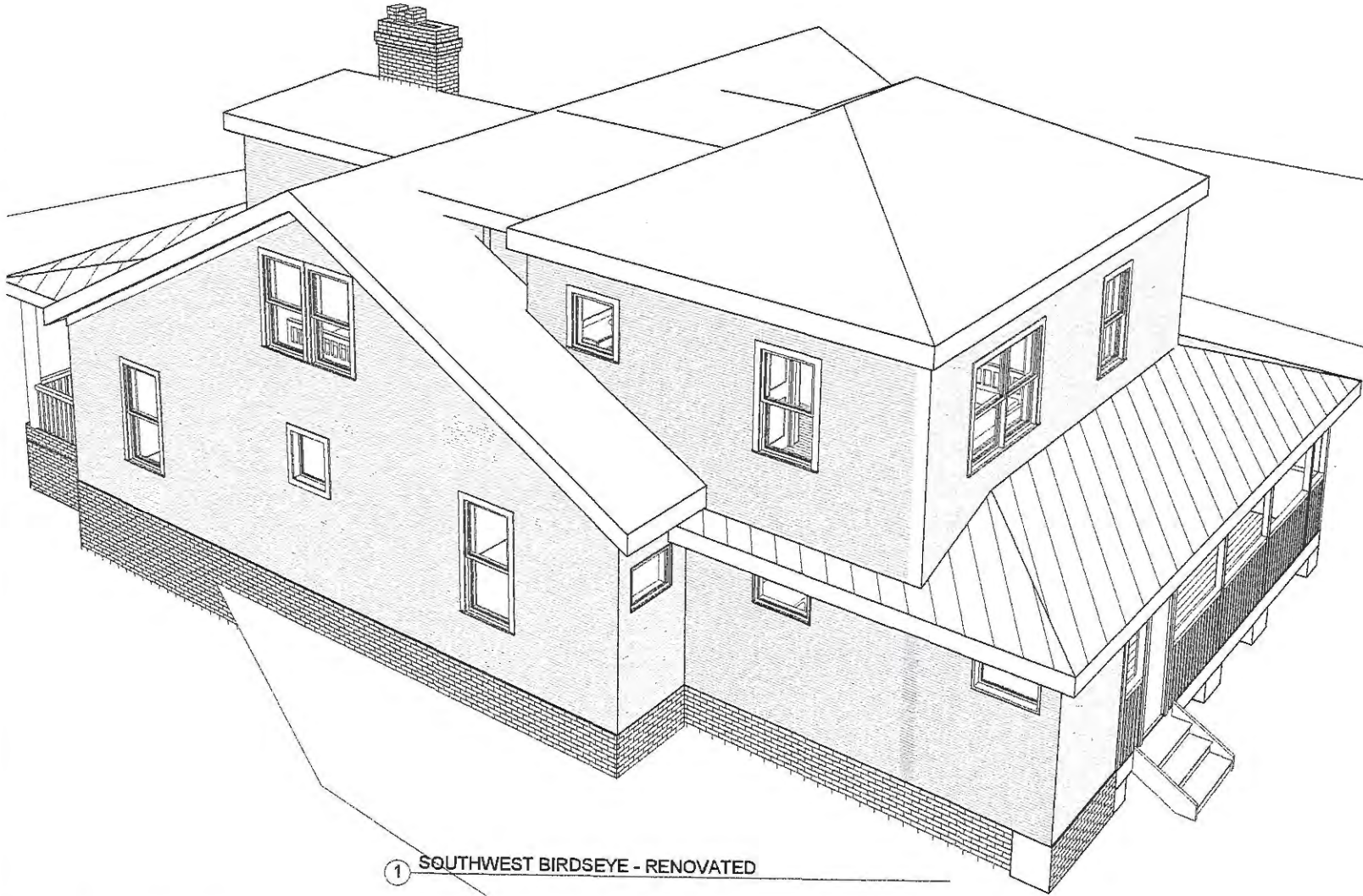
Drawn by Author

Checked by Checker

Scale

KILPATRICK RENOVATION

807 MCCULLOCH ST, RALEIGH NC



① SOUTHWEST BIRDSEYE - RENOVATED

SOUTHWEST BIRDSEYE -
RENOVATED

Project number	KILPATRICK	Issue Date	A504
Date		Author	
Drawn by		Checked by	
			Scale

KILPATRICK RENOVATION
807 MCCULLOCH ST, RALEIGH NC

VI. Comparable Projects

Comparable Projects

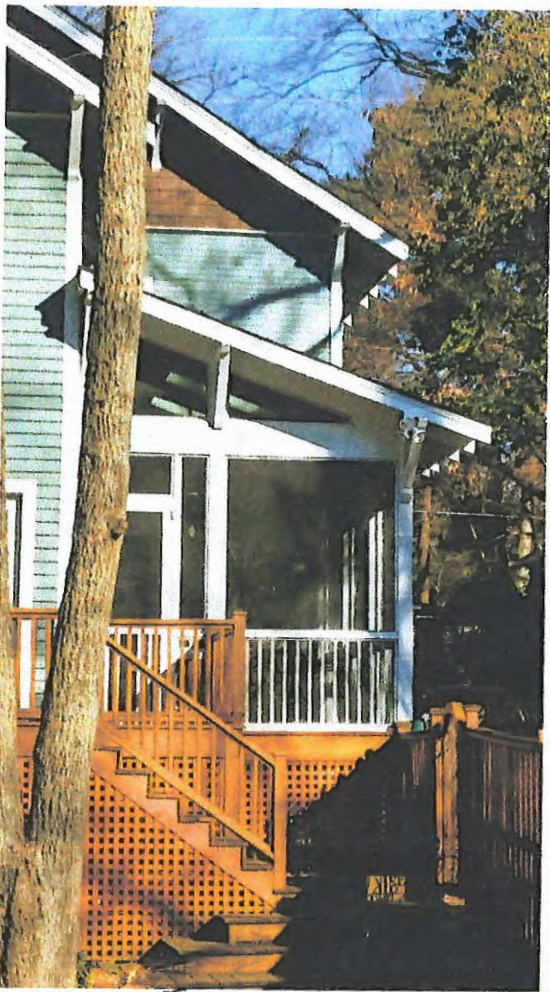
The following pictures of 412 Cutler St. show a COA approved rear addition that the design advisory council suggested we consider for shared design concepts and lot characteristics. The proposed addition at 807 McCulloch would align with massing proportions and lot characteristics. In the street view of 807 McCulloch renovation, the rear rooflines would be blocked due to the raised elevation of the lot from the center of the street (page 1).

Also included are two previous COA approved porch renovations that are similar in design, material and architectural stylings to the proposed rear screened-in porch of 807 McCulloch (page 2).

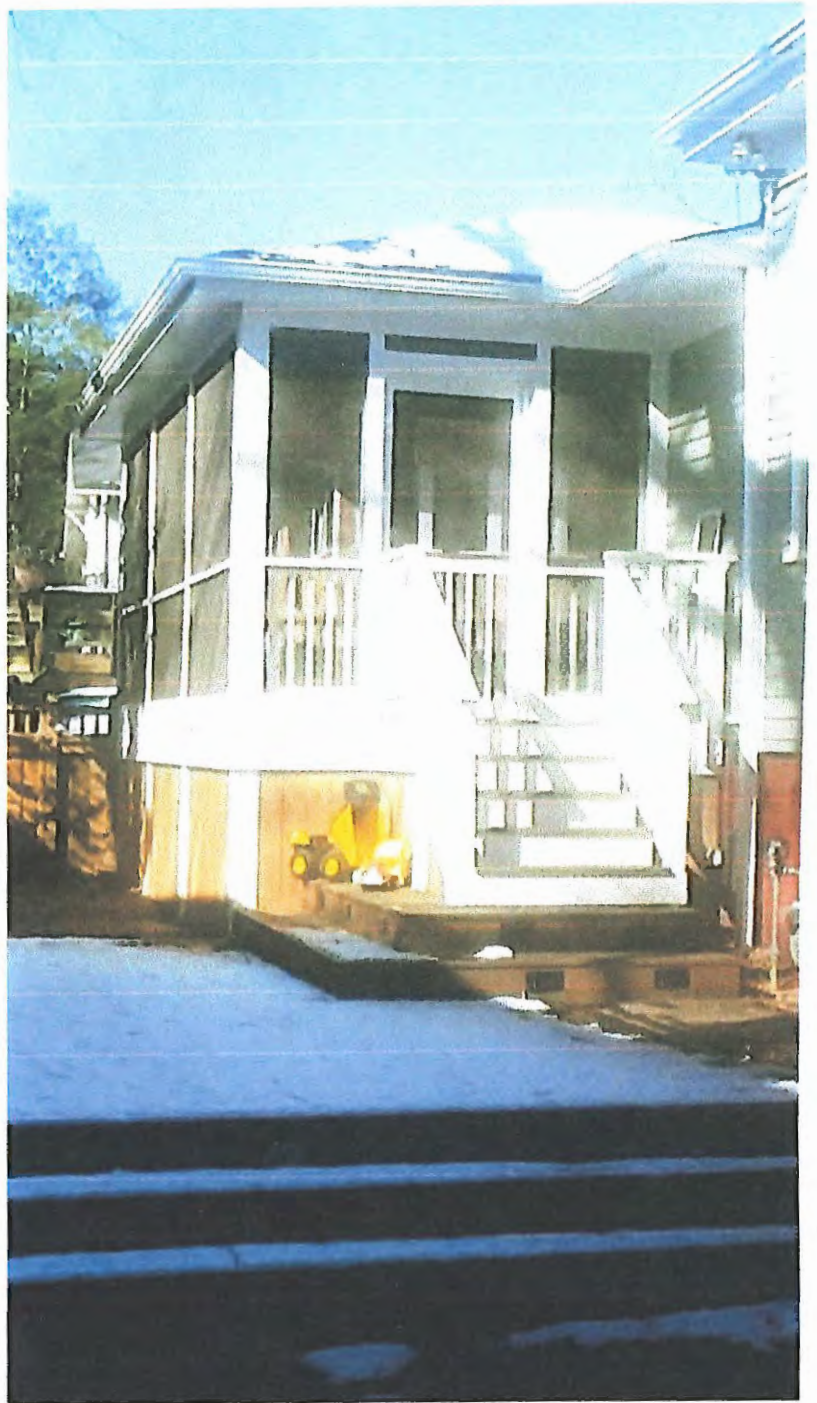


421 CHITLER ST





225 W. South St.



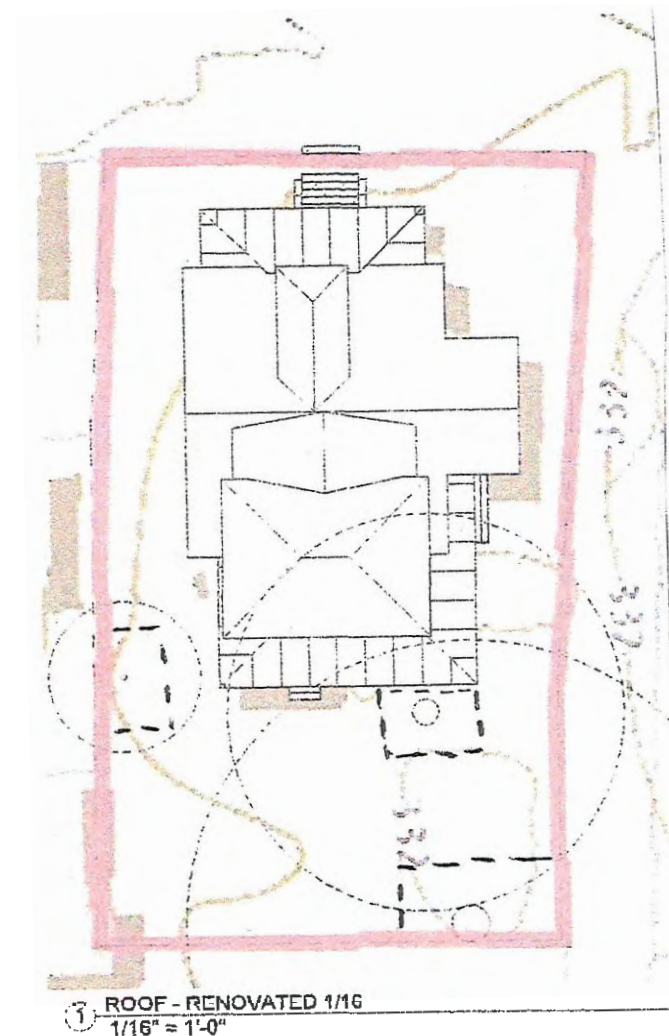
903 W LENOIR ST.

VII. Tree Protection

Tree Protection

General Strategy

- Construct tree protection fence as indicated; leave in place through duration of project - - - - -
- Excavate all new footings / foundation with extreme care
- Keep heavy equipment and vehicles out of tree canopy as much as possible
- Store heavy equipment away from trees to mitigate soil compaction
- Cut any roots larger than 1" in diameter with proper tools
- Regularly water area under any disturbed tree canopies for 1 year following construction



VIII. Window & Door & Roof Information

Window and Door Information.

All new windows will match in size and proportion and materials to the decorative elements and architectural stylings of the existing building and neighborhood design – see attached manufacturer details.

Exterior trim and sills will match in dimension, composition of materials and slope.

Existing windows will be reused based upon functionality and conditions of materials, if replaced the replacements will match in size, proportion and materials.

Exterior door will be reused in front – see attached photo.

Back and porch side door will be consistent with architectural stylings of neighborhood – see attached photos.

Exterior Doors

Exterior doors will be reused or any replacement will a refurbished or replacement door adhering to architectural style of the neighborhood period.



Roofs.

Front porch existing roof is proposed to be replaced with advantage-Lok II, it comes with 1" seam and 16" coverage that is consistent with terne metal roofing of the neighborhoods architectural period – see attached manufacturers details.

New wrap around back porch is proposed to be clad in same matching material as above.

Remaining new and existing roof will be resingled to match existing, see existing photos.



Residential / Post Frame Color Chart


- SMP* Paint System
- 29 & 26 Gauge Galvalume® Steel Substrate
- 40 Year and Lifetime Warranty

Your Roof. For Life.™




 **Arctic White**
TSR† = 63%



 **White**
TSR = 46%




 **Ivory**
TSR = 58%




 **Light Stone**
TSR = 51%



 **Sahara Tan**
TSR = 36%



 **Pearl Gray**
TSR = 35%



 **Cocoa Brown**
TSR = 29%



 **Burnished Slate**
TSR = 32%



 **Light Brown**
TSR = 36%




 **Clay**
TSR = 32%



 **Charcoal Gray**
TSR = 31%



 **Black**
TSR = 25%




 **Patriot Red**
TSR = 36%



 **Terracotta Red**
TSR = 32%



 **Burgundy**
TSR = 25%



 **Copper Metallic‡**
TSR = 46%




Gallery Blue
TSR = 25%



 **Royal Blue**
TSR = 31%



 **Evergreen**
TSR = 26%



 **Marine Green**
TSR = 30%

Non-Painted



 **Acrylic Coated Galvalume**
TSR = 55%



Denotes Energy Star™ certified high reflectance color which can reduce cooling costs.



Union utilizes the most advanced Siliconized Modified Polyester paint system in the industry, based on Akzo Nobel's Ceram-A-Star 1050 technology.

NOTE: Colors shown have been matched as accurately as possible to actual finish. For exact color match, please request a metal color sample. Availability of colors and materials is subject to change. Most panels available are available in bare galvanized or bare galvalume.

† TSR = Total Solar Reflectance. An Energy Star certified color must meet the following TSR requirements: 25% initial, 15% after 3 years of exposure testing.

‡ Premium color. To ensure proper color match, orders for metallic colors should be placed so that they come from the same batch.



Your Roof. For Life.™

ADVANTAGE-LOK II®



Description

Standing seam roofing panels have been used on traditional and contemporary homes for more than a century. Their clean, graceful lines have been an enduring favorite on a wide range of architecture. Advantage-Lok II is a premium standing seam panel that was designed with low profile ribs to increase strength and wind resistance. This product utilizes a high-strength snap-locking system and installs in the same manner as our original Advantage-Lok panels. It's a perfect choice for up-scale residential and commercial applications in severe weather areas.

Gauges

- 26, 24

Finish Options

- PVDF (Kynar®) and Siliconized Modified Polyester Paints Available
- Energy Star Certified Colors Available
- Unpainted Galvalume®

Approvals and Certifications

- Metal Construction Association Certified
- Miami-Dade Approved
- Florida Building Code Approved
- Energy Star Certified
- Highest UL Ratings for Wind Uplift, Fire and Impact Resistance





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Jamb Extender & Prep for Stool.....	9
Mullion.....	10

Section Details

Standard Sections:

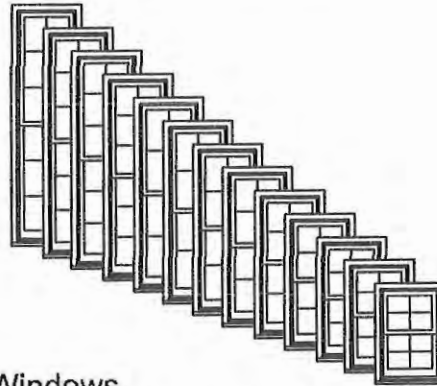
Operator - Vertical.....	12
Operator - Horizontal.....	13
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Pocket Sections:

Operator - Vertical.....	16
Operator - Horizontal.....	17
Picture - Vertical.....	18
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GENERAL INFORMATION



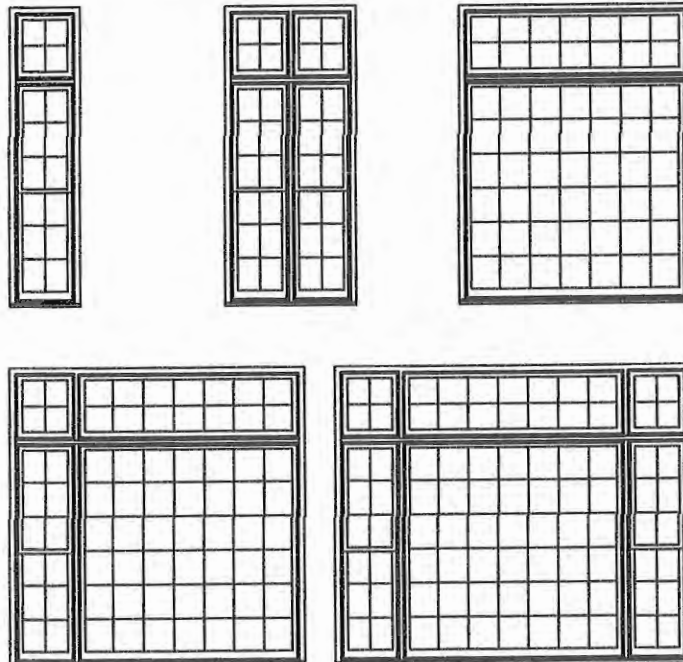
Dimensional Windows

W-2500 Wood Double-Hung windows may be specified as "dimensional", by adjusting the desired rough opening width or height in 1/8" increments from standard.

W-2500 Wood Double-Hung windows feature fully operating upper and lower sash. Counterbalancing is achieved with compression spring extension systems hidden in weatherable PVC jamb liners. Operating units are supplied with cam-type sash locks installed. There are several hardware finish options. Refer to the Specifications for available finish options.

Multiple Assemblies

W-2500 Wood Double-Hung windows may be mullied beside other wood double-hungs or wood picture windows, or below wood transom windows, to fulfill a wide variety of needs. Factory assembled mulls are limited in height (100"), width (114"), and a total area (75 square feet).



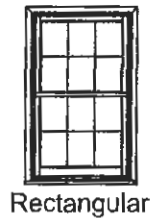


LITE CUT INFORMATION

W-2500 Wood Double-Hung windows are available with removable grilles in 7/8", 1-1/8" and 1-3/8" widths, grilles between glass (GBG), and Simulated Divided Lites. Standard lite cuts are rectangular, and conform to the layouts noted in the charts on the next page. To use the chart, refer to the appropriate table by the type of window and type of bars or grilles the section drawings illustrate. Then simply cross reference the frame Height and Width to determine the standard lite cut.

Lite Cut Options

Special lite cut patterns can include a wide variety of straight line and radius patterns. The illustrations shown here represent just a few of the possibilities. Rectangular, horizontal, vertical and Prairie lite patterns are available in all standard size Wood Double-Hung windows. Uneven, diamond, radius and Gothic lite cuts are available, subject to approval. Approvals are based on the ability to fulfill the design requirement while maintaining the construction integrity of the finished product.



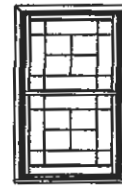
Rectangular



Vertical



Prairie



Uneven



Diamond
SDL Only



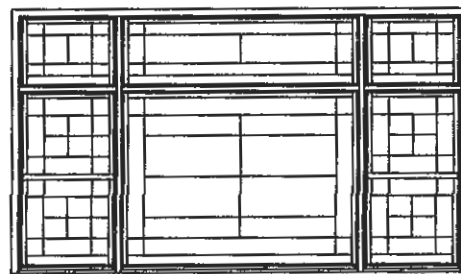
Radius
SDL Only



Gothic
SDL Only

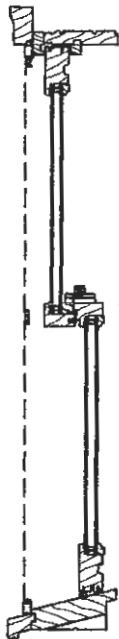
Bar Alignment

Alignment of divided lite muntin bars from one window to the next is often required by fine architectural design. Wood grilles, GBG's, and Simulated Divided Lites may be specified with muntin bars aligned.





OPERATION & SASH TILTING



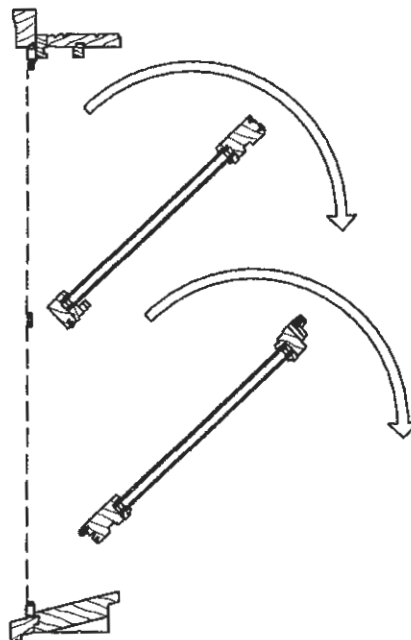
Double-Hung Operation:
When the sash are locked at the check rails the sash are closed and sealed in the sash opening of the frame.

When the sash are unlocked the lower sash travels vertically to any position desired. The upper sash can also be positioned as desired.



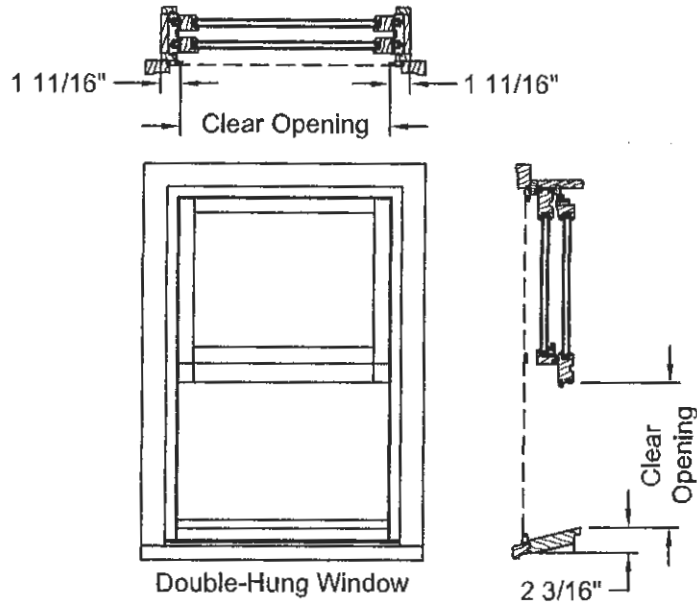
Sash Tilting for Washing

The Tradition Plus Double-Hung window will allow the sash to be tilted or removed for easy cleaning.





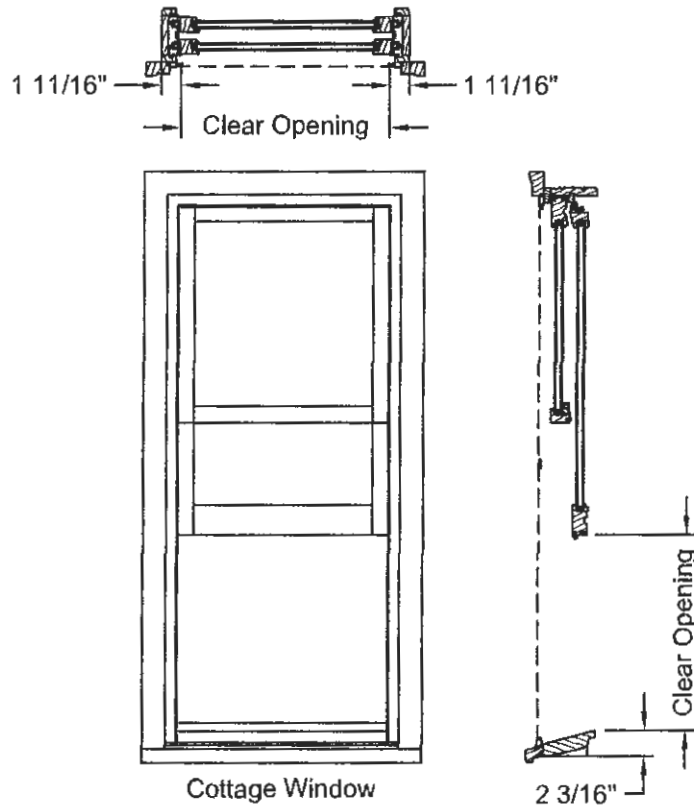
CLEAR OPENING LAYOUT



Double-Hung
Clear Opening Formula

Interior Glazed Sash
Vertical
(Frame Height / 2) - 4 13/16" = Clear Opening

Horizontal
Frame - 3 9/32" = Clear Opening

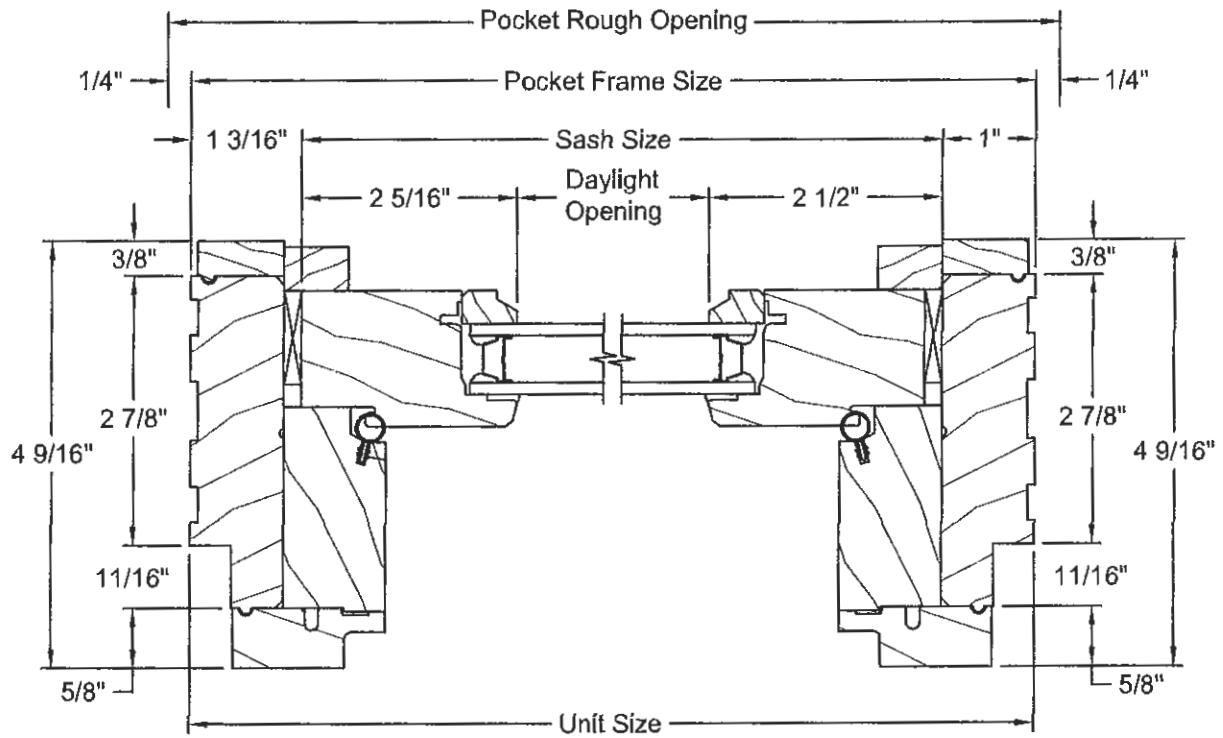


Cottage & Reverse Cottage

Consult the Design Data Tables for clear opening information. For dimensional units, contact Jeld-Wen - Bend Window Division Technical Services Department for Clear Opening information.

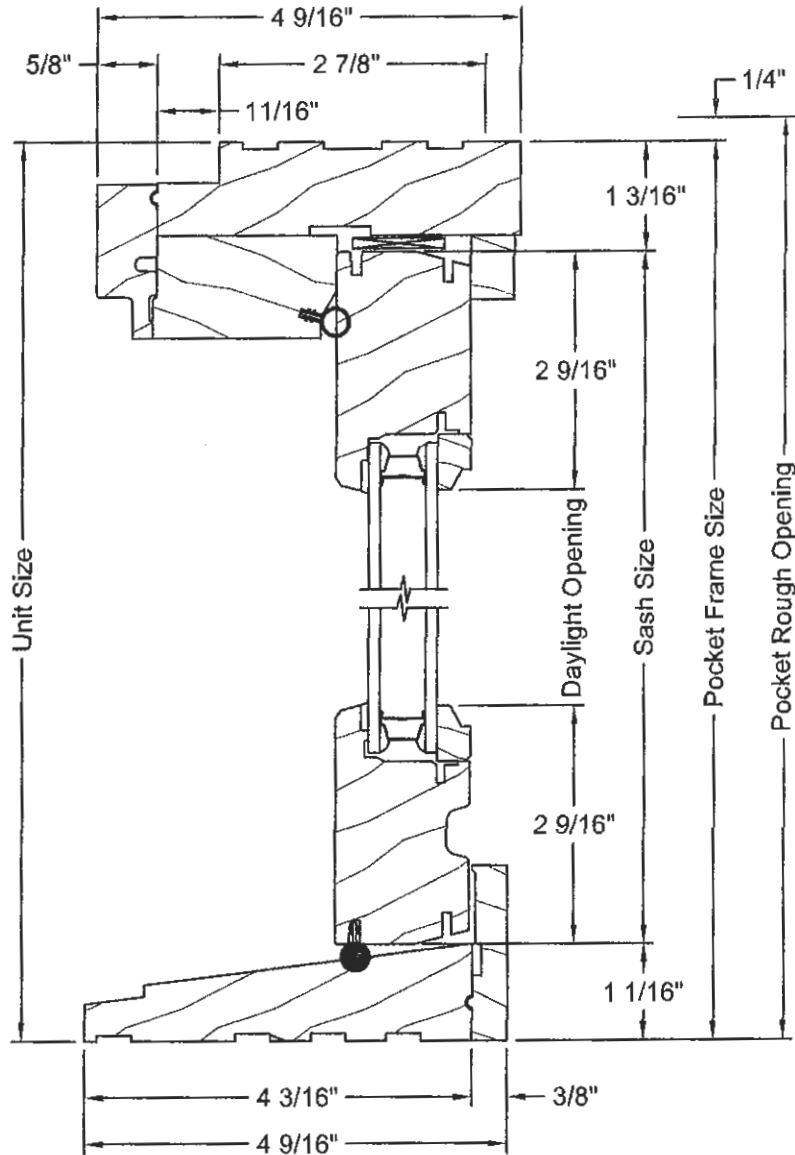


POCKET PICTURE - HORIZONTAL SECTION



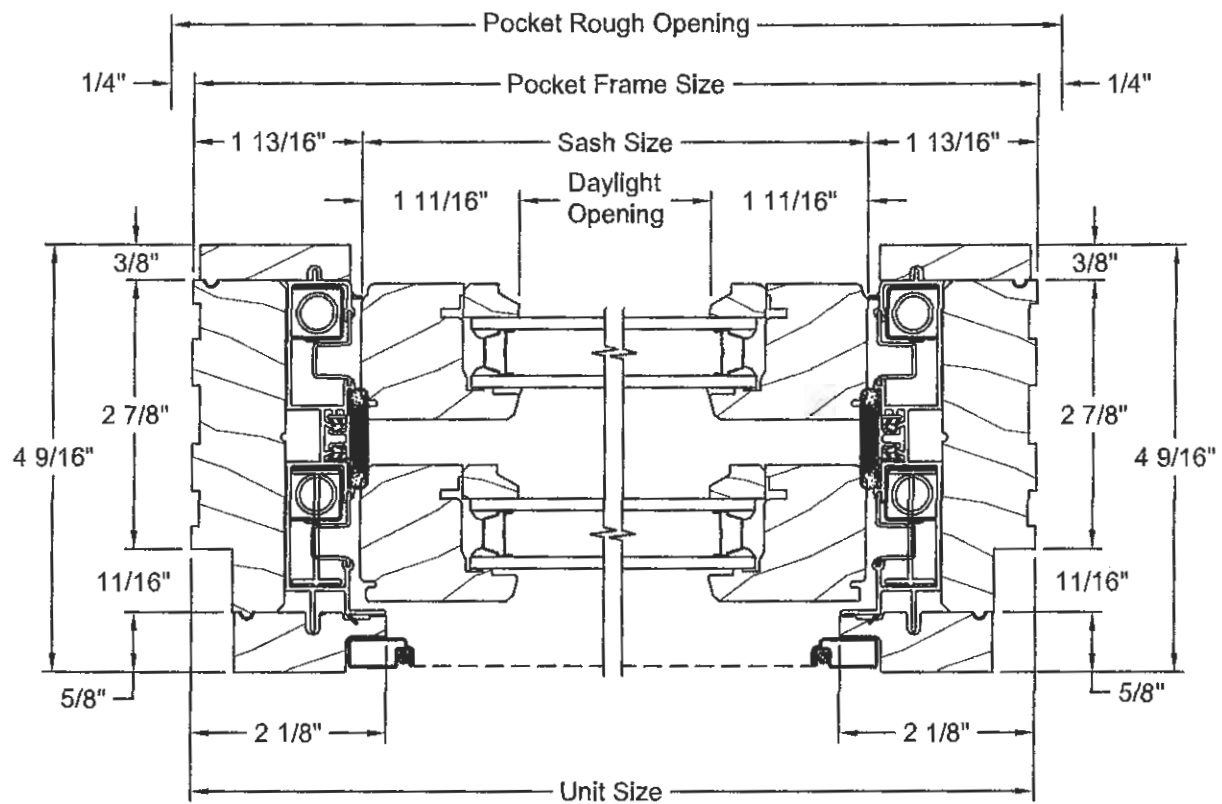


POCKET PICTURE - VERTICAL SECTION



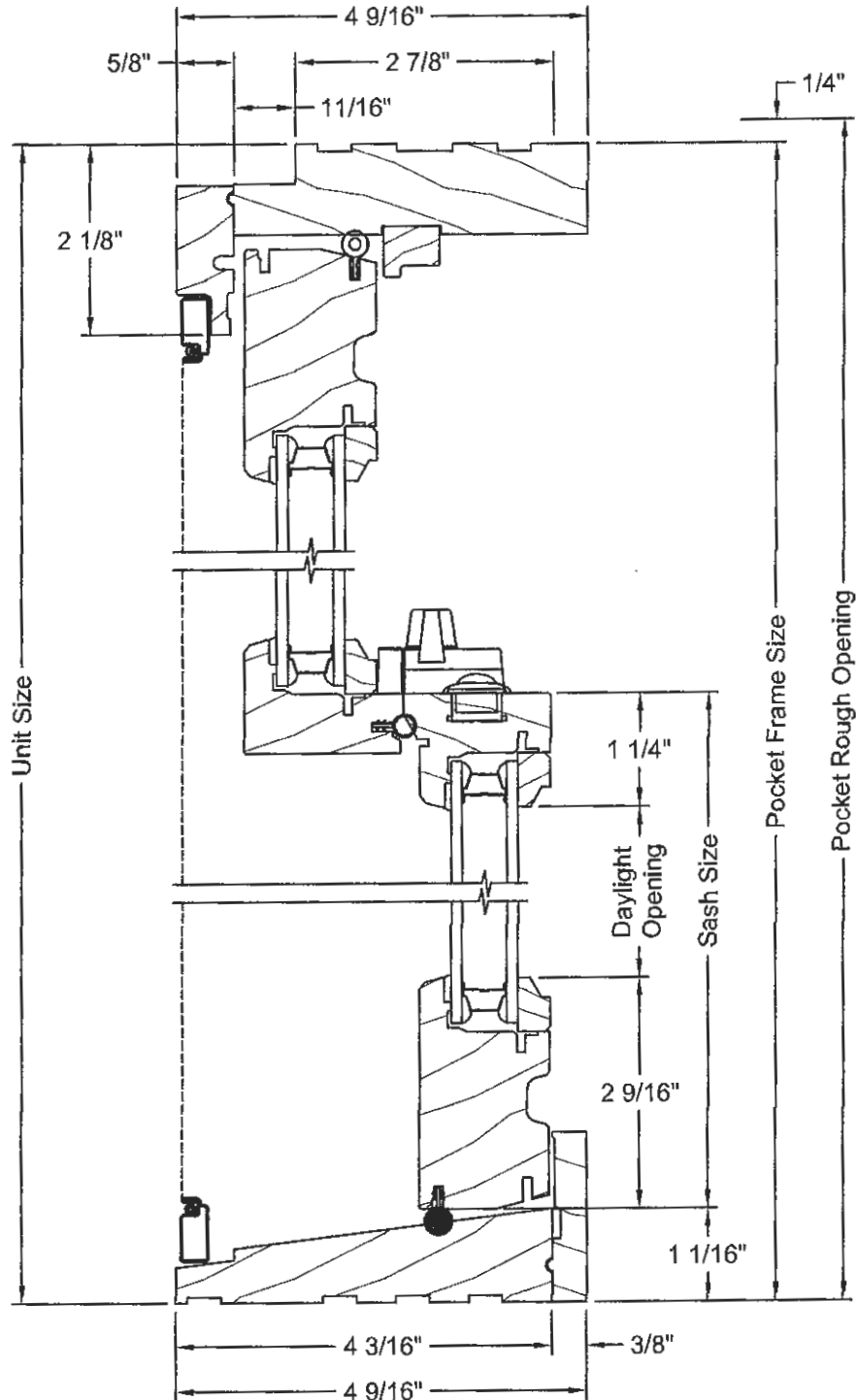


POCKET OPERATOR - HORIZONTAL SECTION



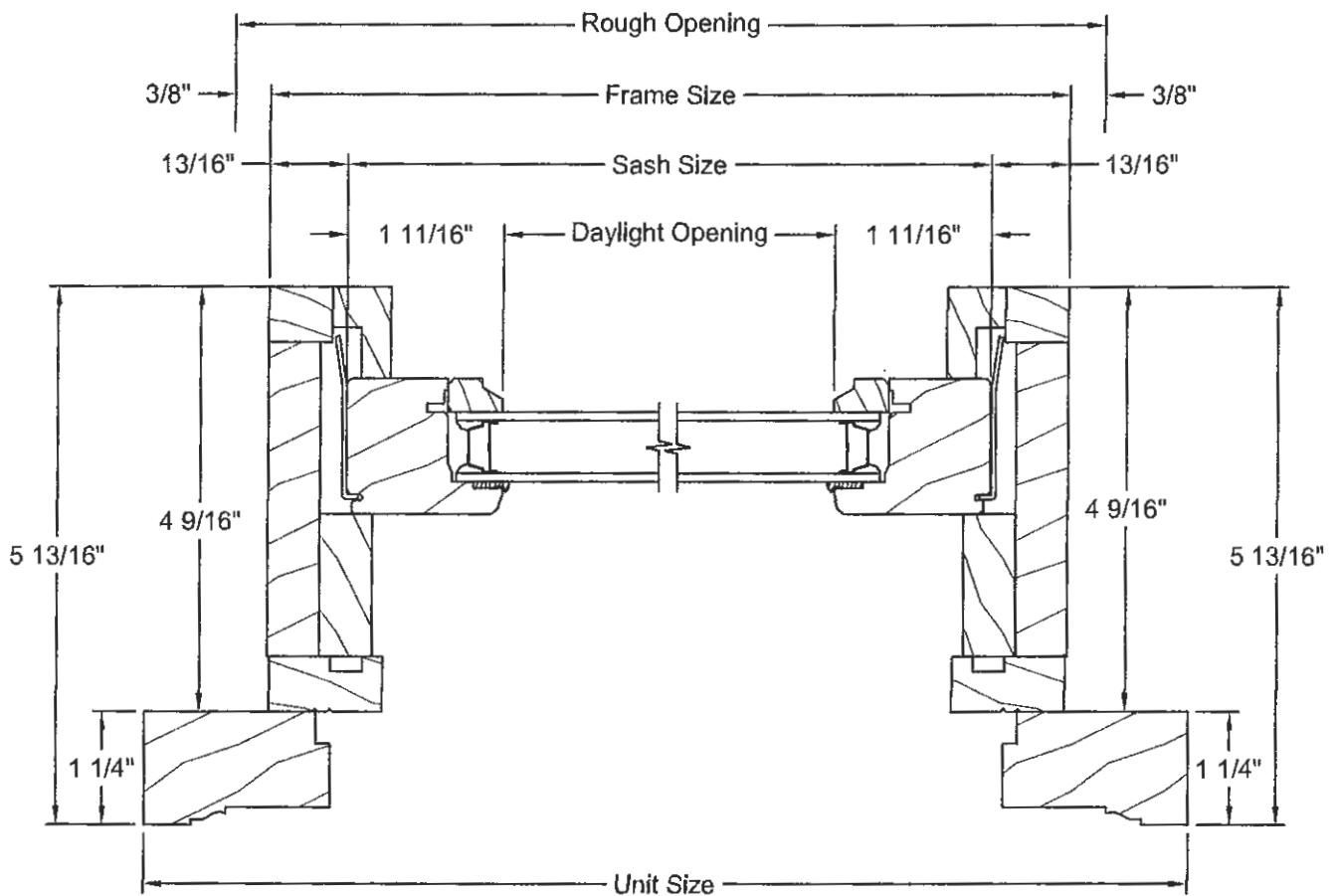


POCKET OPERATOR - VERTICAL SECTION



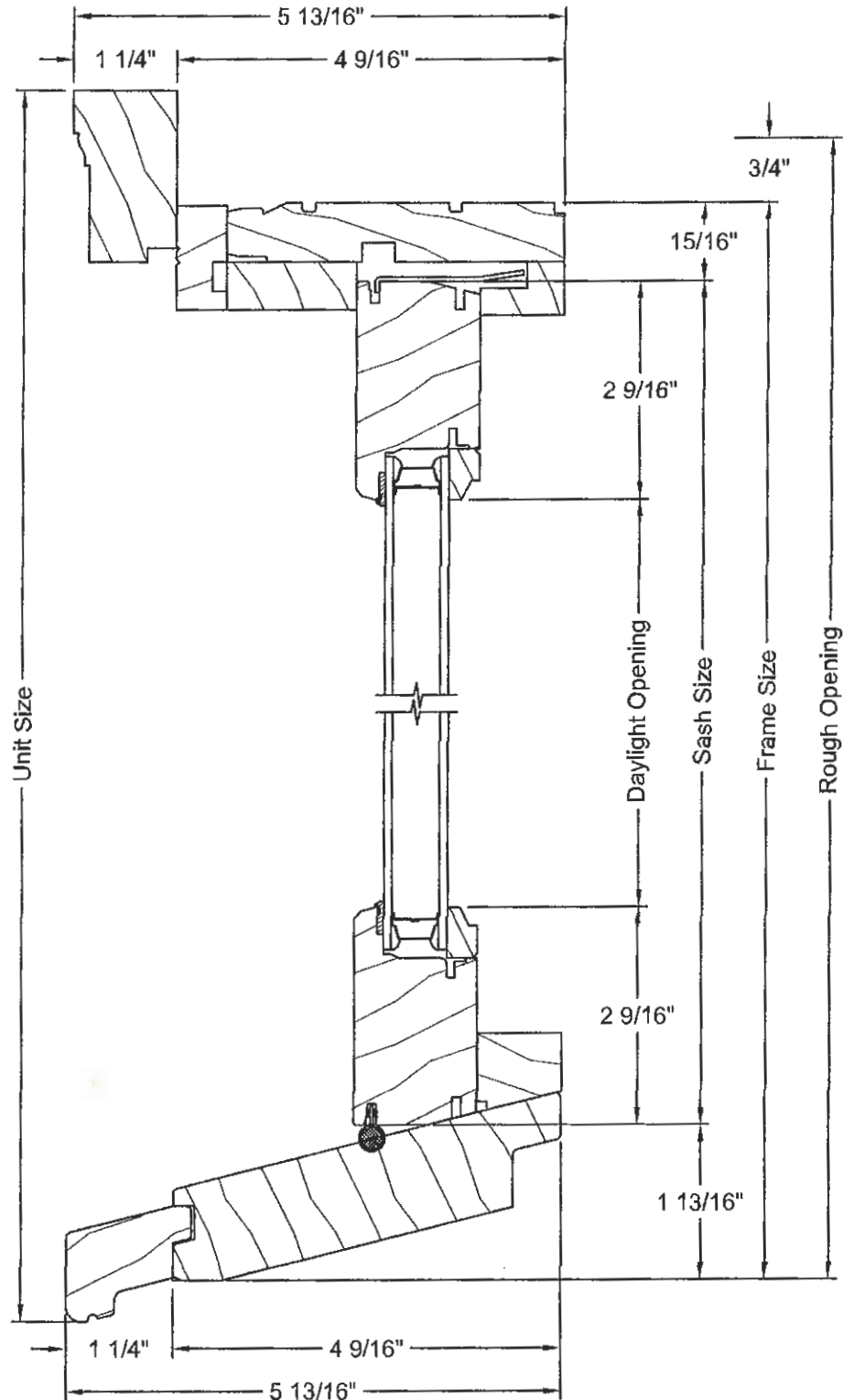


PICTURE - HORIZONTAL SECTION



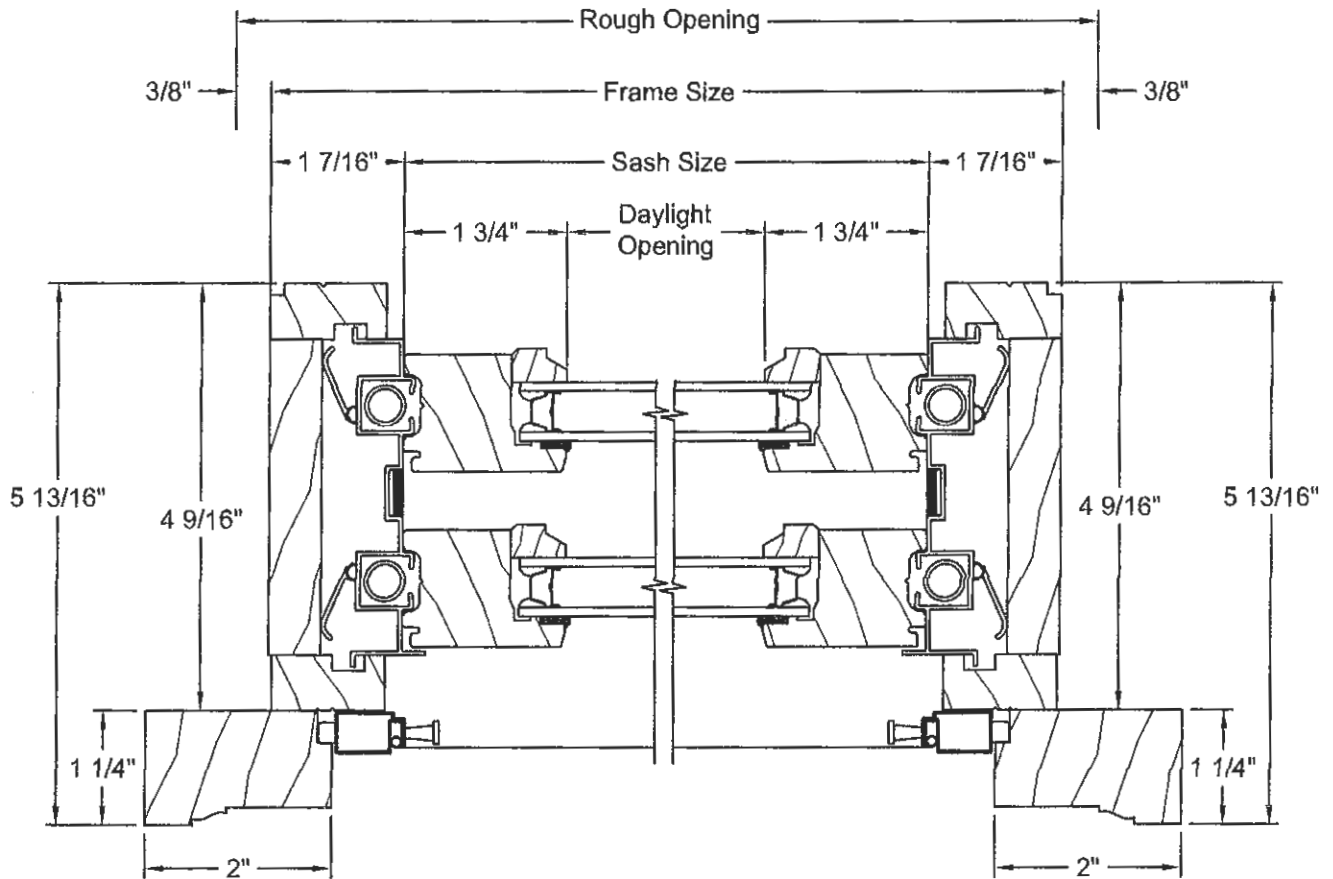


PICTURE - VERTICAL SECTION



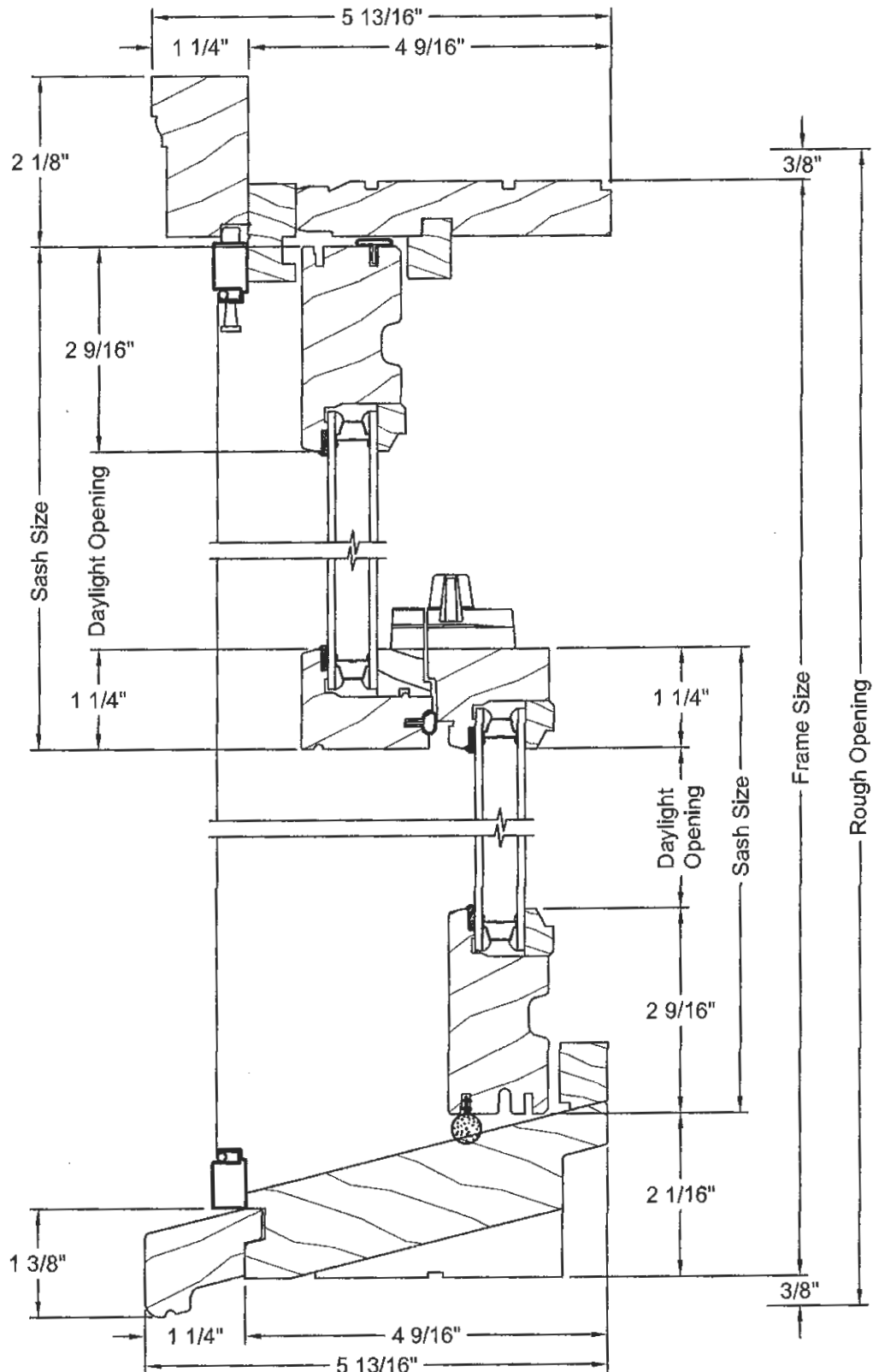


OPERATOR - HORIZONTAL SECTION



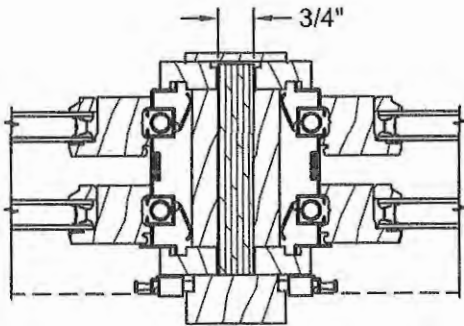


OPERATOR - VERTICAL SECTION

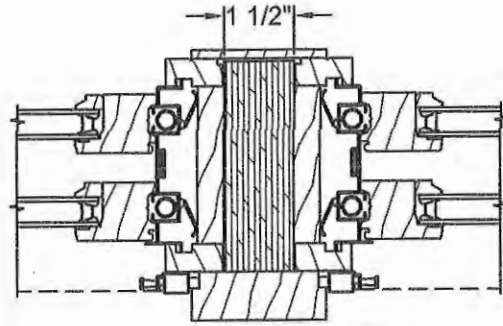




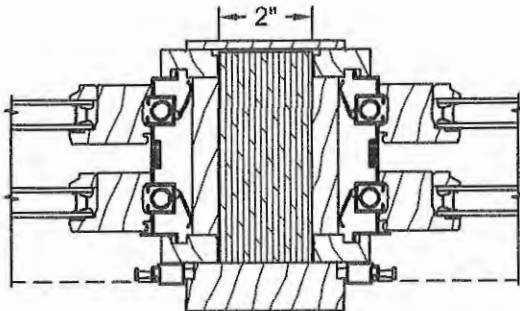
MULLION OPTIONS



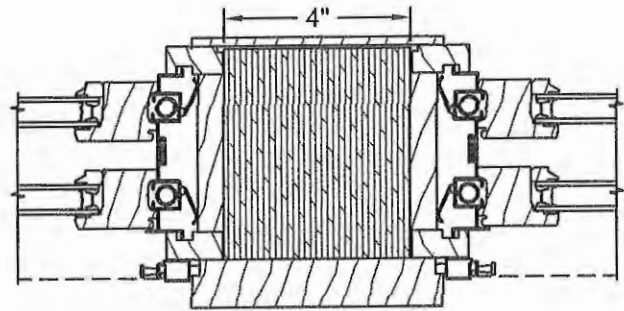
3/4" Wood Spread Mull



1 1/2" Wood Spread Mull



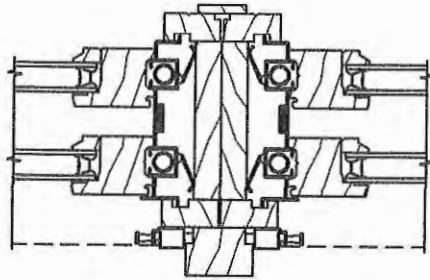
2" Wood Spread Mull



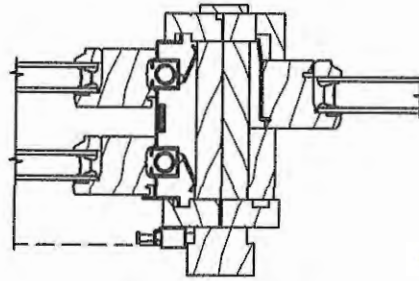
4" Wood Spread Mull



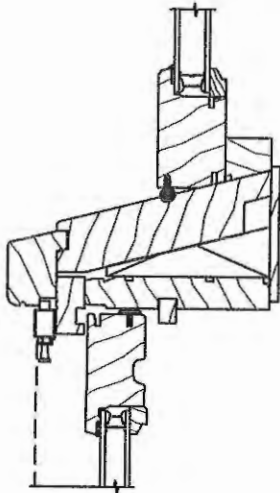
MULLION OPTIONS



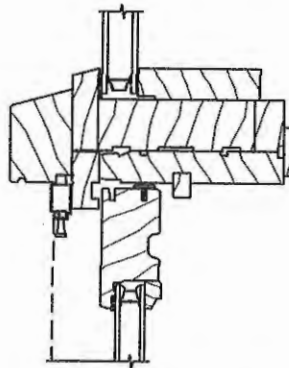
Twin Operating Double-Hung



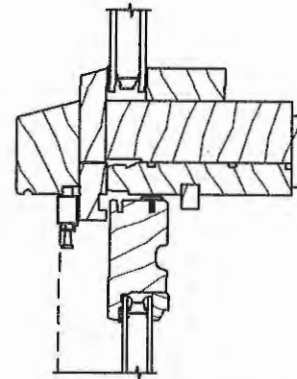
Double-Hung with
Double-Hung Picture



Double-Hung Transom
Over Double-Hung



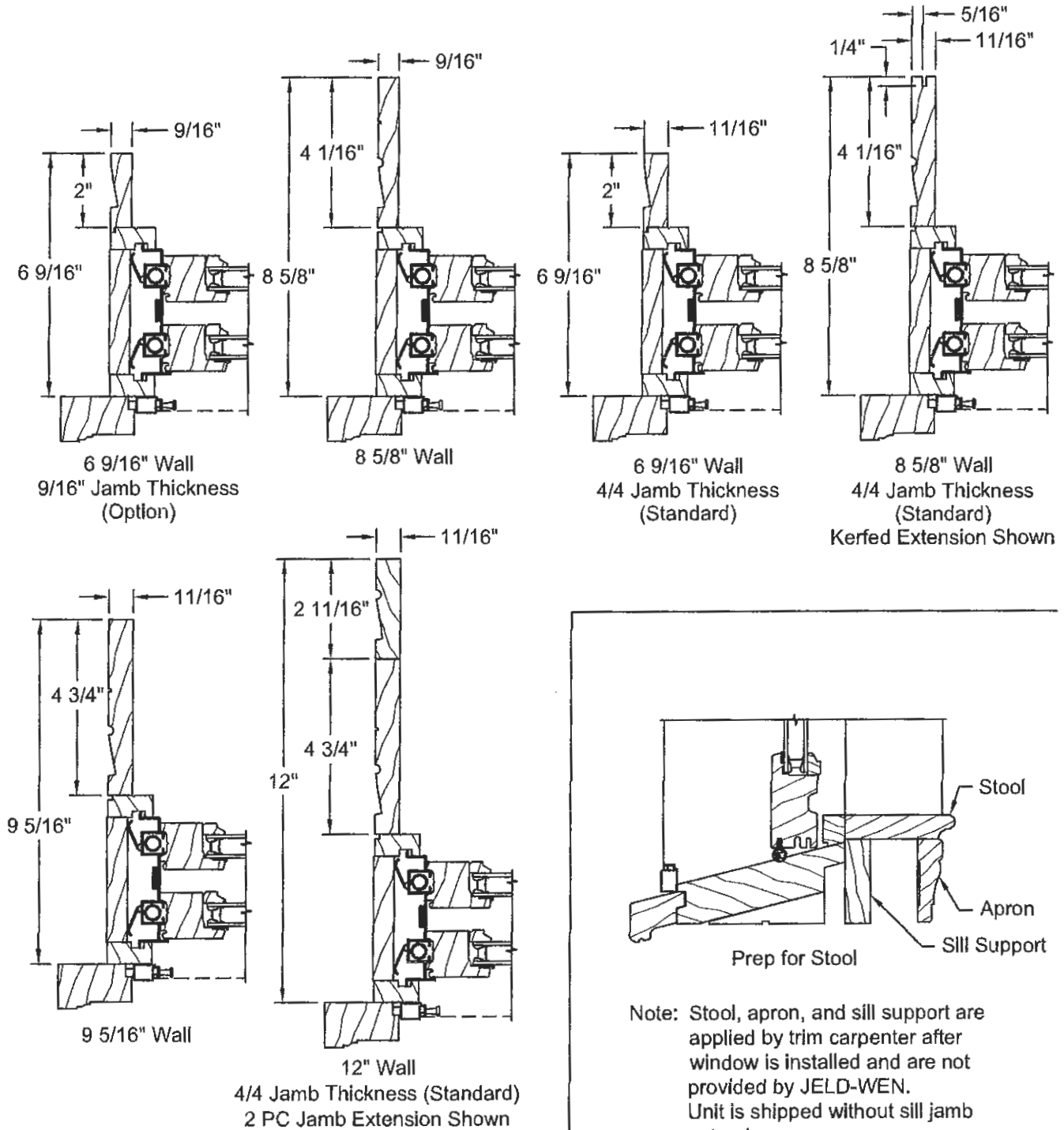
Direct Set Geometric
Over Double-Hung



Direct Set Radius
Over Double-Hung



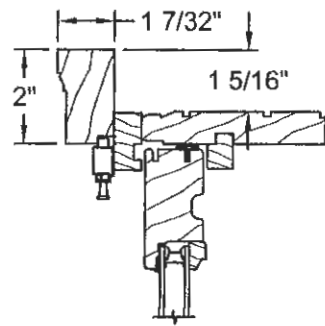
JAMB EXTENDER & PREP FOR STOOL OPTIONS



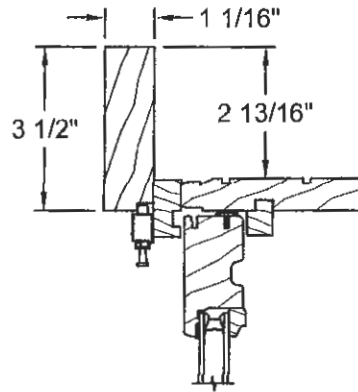


TRIM OPTIONS

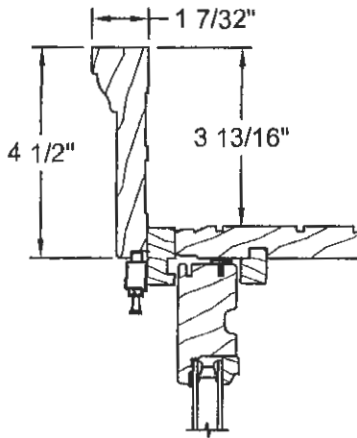
Exterior Trim



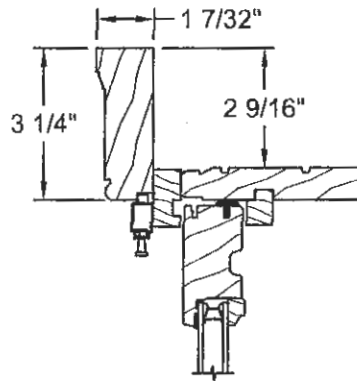
Brickmould



3 1/2" Flat Casing

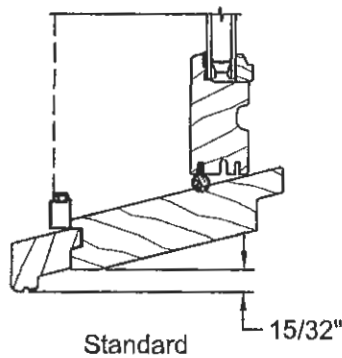


1 X 4 Backband

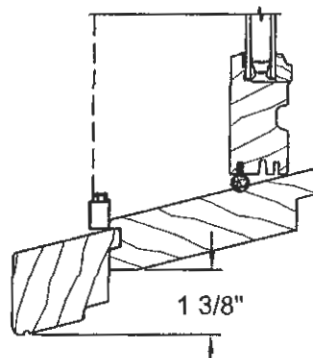


Williamsburg

Sill Options



Standard



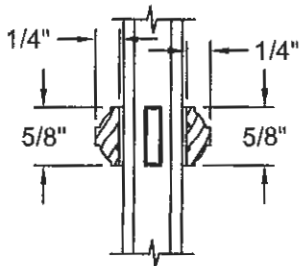
2" Nosing



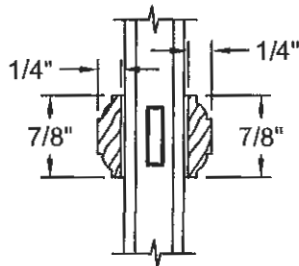
SDL & GBG OPTIONS

Exterior ← → Interior

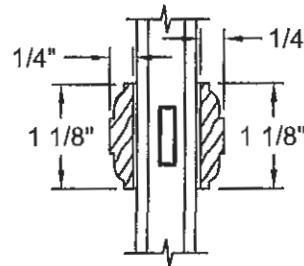
SDL Options



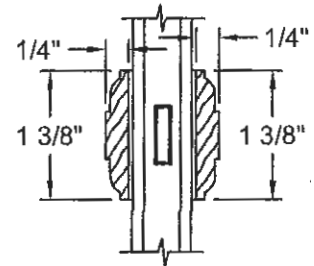
5/8" Bead SDL



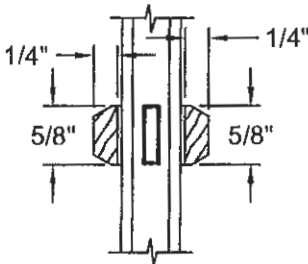
7/8" Bead SDL



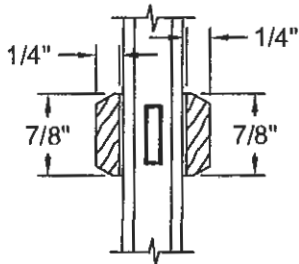
1 1/8" Bead SDL



1 3/8" Bead SDL

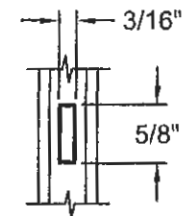


5/8" Putty SDL

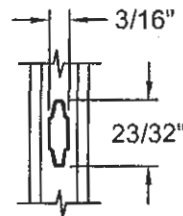


7/8" Putty SDL

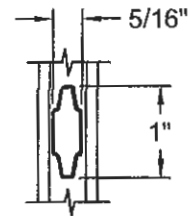
GBG Options



5/8" Grille



23/32" Grille



1" Grille

Note: Various Combinations of the SDL Bars Shown are Available



UNIT SIZING & MASONRY OPENINGS

General Notes:

Unit size is always the maximum size of the window with or without trim.

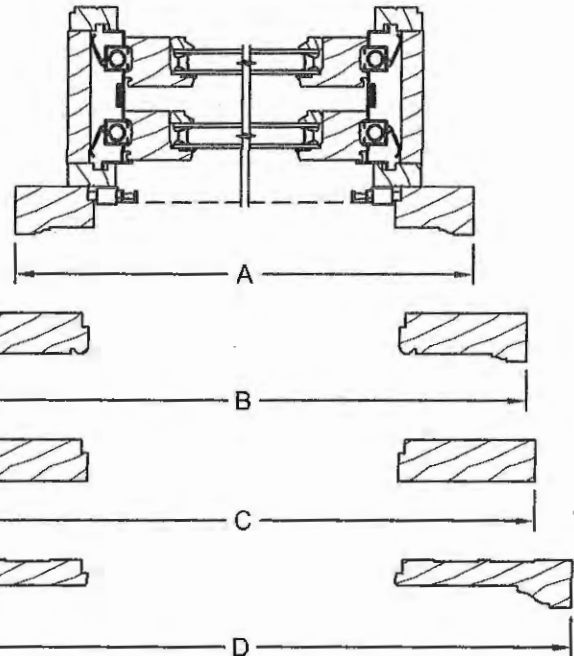
Masonry Opening:

Masonry opening is 1/2" over (height and width) the unit size or the outside of the trim of the window.

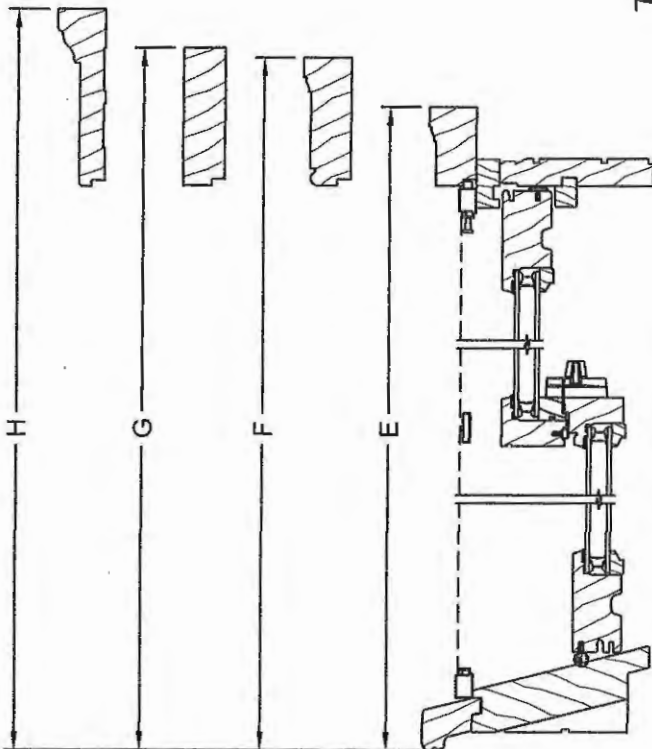
Rough Opening:

Rough opening is always 3/4" over frame size of the window.

Horizontal exterior trim offerings below are the same with or without sill nose.



Horizontal Sections		
Trim Option	Dimension	Frame +
Brickmould (BM)	A	2 5/8"
Williamsburg (W)	B	5 1/8"
3 1/2" Flat Casing (FC)	C	5 5/8"
1 X 4 Backband (BB)	D	7 5/8"

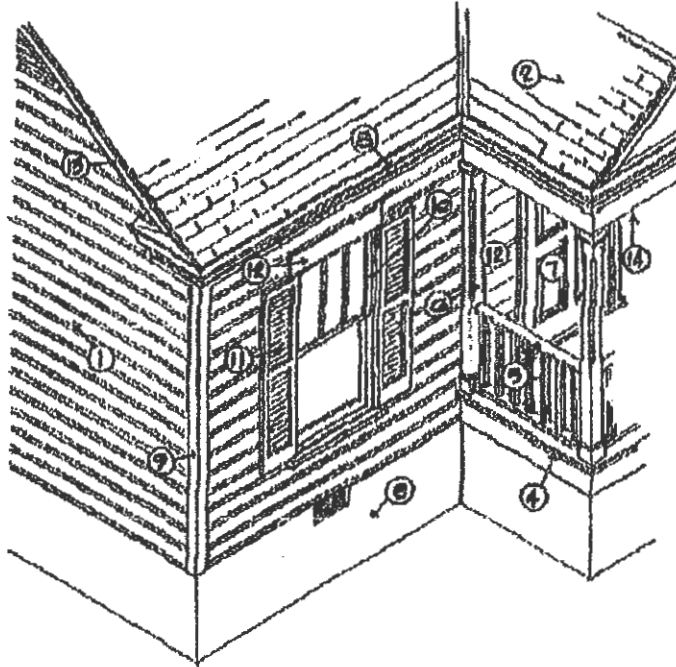


Vertical exterior trim offerings with standard sill nosing. Trim on 3 sides.

Vertical Sections (w/ Sill Nose)		
Trim Option	Dimension	Frame +
Brickmould (BM)	E	1 25/32"
Williamsburg (W)	F	3 1/32"
3 1/2" Flat Casing (FC)	G	3 9/32"
1 X 4 Backband (BB)	H	4 9/32"

IX. Paint Schedule

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



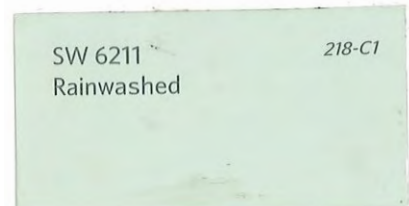
Applicant Angela and Kent Kilpatrick

Address 807 Maculloch St

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

1	Body of House	SW 7081 SENSATIONS Grey
2	Roofing	MATCH EXISTING SHINGLES / Porches - UNIONCC CHARCOAL Grey
3	Foundation	MATCH EXISTING BRICK / NO PAINT * see ROOF SECTION
4	Porch Floor	FRONT LEAVE AS EXISTING, BACK STAIN NATURAL WOOD
5	Railing	Valspar 7006-24 ULTRA white
6	Columns	Valspar 7006-24 ULTRA white
7	Entrance Door	LEAVE AS IS - NO PAINT
8	Cornice	Valspar 7006-24 ULTRA white
9	Corner Boards	Valspar 7006-24 ULTRA white
10	Window Sash	SW 7083 DARKROOM
11	Shutter	N/A
12	Door & Window Trim	Valspar 7006-24 ULTRA white
13	Rake	Valspar 7006-24 ULTRA white
14	Porch Ceiling	SW RAINWASH 6211
15	Other	



X. Reconfigure Front Door

The goal of this project is to take a historic house that has had several transformations and rehabilitate it into a single-family dwelling while retaining its historic character. Part of that process is the reconfiguration of the front entrance. We have supplied some evidence of framing inconsistency's that lead us to believe that the second door on the right is not original (please see attached report).

We propose losing the right door and adding a double window on right side for design balance (please see renovated plans for reference). We have supplied an example of a similar configuration located at 1026 Dorthea Dr. in an attached photo that exemplifies a similar architectural style.

807 McCulloch St. Existing Front Elevation



Front Porch 1026 Durthea

Ben Hale

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Feb. 7, 2018

To whom it may concern:

I am writing to offer my considered opinion as to the original framing design of the dwelling located at: 807 McCulloch St, in the Boylan Heights Historic District, Raleigh, N.C. 27603.

This particular home was built in 1923 and was purchased by the current owner in 2000. The current owner is planning to renovate the property and has a current application with RHDC for renovation of the property.

The home currently has two front doors, and was obviously a duplex at some point, with the ground floor converted to two units. When purchased by the current owner the home was actually configured as a triplex, with the top floor having been (obviously) converted to a separate unit sometime later on.

In the current configuration the home has two front doors, both located near the center of the front porch. For consideration of this letter we will refer to the doors as the "Left Door" and the "Right Door", as viewed from the street.

The current owner, Mr. Kent Kilpatrick, is seeking, as part of his renovation plans, to eliminate the Right door.

It is our opinion and contention that the Right Door was not part of the original design or construction of the dwelling.

As part of his renovation process, Mr. Kilpatrick has removed the plaster and lathing from the interior of the home, revealing the original framing members.

As indicated by the accompanying photographs, each original door or window opening was framed with a solid 4 by 4 inch "double" stud on either side of the opening. No headers were inserted above this "dual post " set up. The windows on the front of the house are framed in this manner and are symmetrical in layout, on the front of the house. The porch columns are asymmetrical to the house and may have been moved at some time.

The left front door has been framed as described, with a solid 4 by 4 column on each side. I believe this to be the original front door.

The right front door is both shorter and narrower than the left door. (Had both doors been installed at the same time, they would have probably been the same size.) The interior wall framing around the door does not have the 4 by 4 columns on each side, but shows that a wall stud was cut off and the door rather crudely inserted into the wall, with no structural studs, as present in other original openings.

Based on my observation of this detail, my conclusion is that: the house was originally built as a single family dwelling, that the right door was added after the initial construction, when the house was converted into a duplex (or possibly a triplex.) In my opinion, the duplex conversion happened early on, perhaps in the early thirties, when many homes in this neighborhood were split up as a result of the depression.

I would be happy to discuss this further if necessary, please feel free to contact me.

Benjamin Hale, (919) 427-0784

Halebuilt@Gmail.com



4x4
Double
stud

Left
door



top of door



single
stud

RIGHT
door





↗
4x4

Exterior Window

↗
4x4

