



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

3108 HILLMER DR

Address

Historic District

CRABTREE JONES HOUSE

Historic Property

027-14-MW

Certificate Number

3/20/2014

Date of Issue

9/20/2014

Expiration Date

Project Description:

- Foundation treatment per condition of COA 005-13-CA.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

A handwritten signature in black ink, appearing to read "Paul Stultz", is written over a horizontal line. The signature is fluid and cursive.



Planning & Development

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - Post Approval Re-review of Conditions of Approval

C# 3229M

For Office Use Only

Transaction # 390841

File # 025-141121P

Fee 28.50

Amt Paid 28.00

Check # 20130010

Rec'd Date 3-14-14

Rec'd By MCBride

• If completing by hand, please use BLACK INK. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 3108 Hillmer Dr. Raleigh, NC 27609

Historic District

Historic Property/Landmark name (if applicable) Crabtree Jones House

Owner's Name Preservation North Carolina

Lot size 0.46 acres (width in feet) (depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Preservation North Carolina

Mailing Address ~~230 Fayetteville St., Ste 200~~ P.O. Box 27644

City Raleigh State North Carolina Zip Code ~~27601~~ 27611

Date March 12, 2014 Daytime Phone (919) 832-3652

Email Address RParrott@presnc.org

Signature of Applicant Robert Parrott

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 9/20/14. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Handwritten Signature] Date 3/20/14

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

37

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
		<u>See Attached.</u>
		<u>This application is per a condition of the move of the house. COA 005-13-CA.</u>

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate) <i>brick samples provided</i>	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (If applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See <u>Development Fee Schedule</u>)	<input checked="" type="checkbox"/>				

*
TODAY
HAS
XAS

Description of Proposed Foundation

Brick in flemish bond. Brick foundation will only be around the front (c.1795) section of the house. The foundation for the rest of the house was stuccoed. Stucco will be applied later to the block foundation (after any additions have been constructed). The stucco on the north side of the back wing will be scored, again following the pattern as found on the house before the move. (It wasn't scored on what's now the south side)

The house did not have foundation vents. If the building code will allow, vents will be placed on the back side of the main block of the house and around the back wing. Vents will be as small as code allows. We anticipate using modern vents but facing them with appropriate wood covers



FOR CONSTRUCTION
 2014/05/03

CRABTREE JONES
 House Relocation



DATE: 05/03/14
 DRAWN BY: JG
 CHECKED BY: JG
 PROJECT NO.: 2014-05-03
 PRINTING: 1/1

SITE PLAN

A1

RELOCATION OF CRABTREE JONES HOUSE

Relocated from 3015 Wake Forest Road to 3108 Hillmer Drive

GENERAL NOTES

REGULATORY REQUIREMENTS

- 1. ALL WORK SHALL CONFORM TO:
 - NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, PROVISIONS AND CURRENT AMENDMENTS
 - RULES AND REGULATIONS OF THE CITY OF RALEIGH, NORTH CAROLINA
 - RULES AND REGULATIONS OF THE COUNTY OF FAYETTE, NORTH CAROLINA

GENERAL REQUIREMENTS

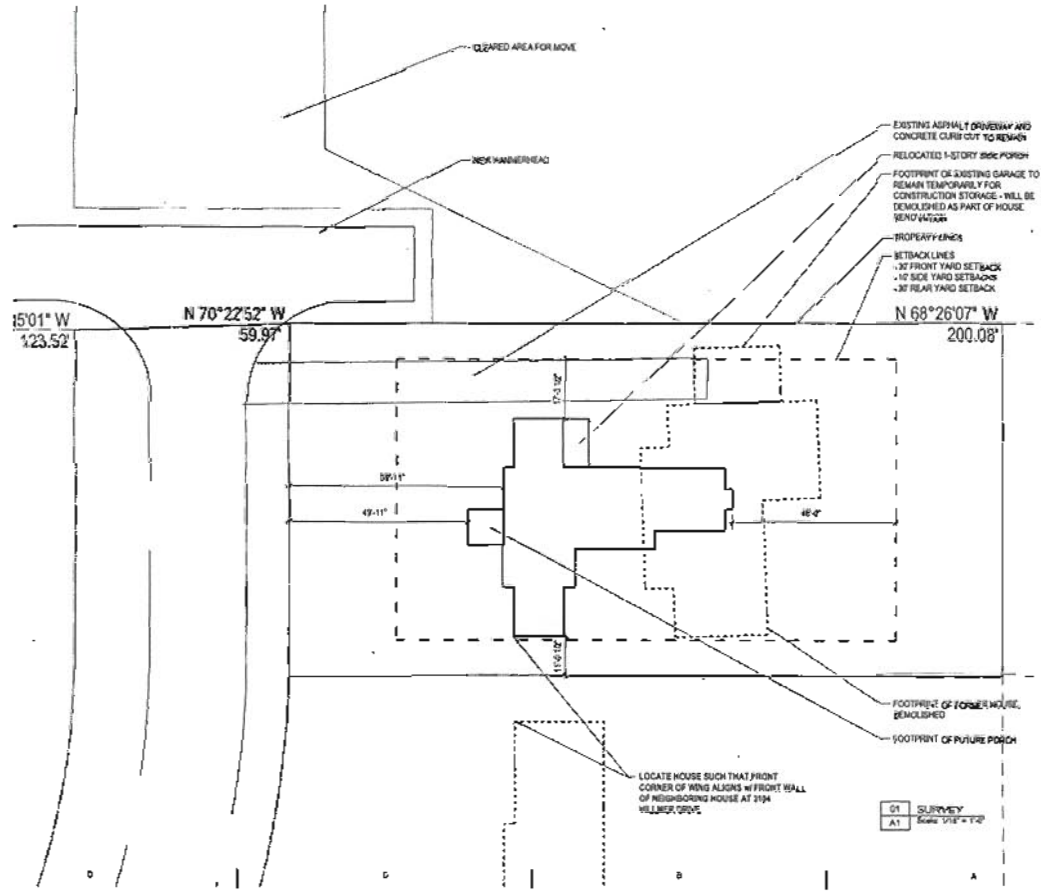
- 1. REFER TO THE PROJECT MANUAL FOR COMPLETE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT. THE PROJECT MANUAL SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES IN THE EVENT OF A CONFLICT.
- 2. THE GENERAL CONTRACTOR MUST COORDINATE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND ALL OTHER VENDOR DRAWINGS, BUT NOT LIMITED TO, TELEPHONE, ALCOHOLIC, AND SECURITY SYSTEMS, NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE DRAWINGS PRIOR TO INSTALLATION. CONSIDER THE CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, PROJECT MANUAL, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR AND SHALL BE RESOLVED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR RELATED WORK.

WARNING REQUIREMENTS

- 1. DIMENSIONS AND NOTATIONS SHALL BE OBTAINED FROM OTHER INFORMATION PROVIDED IN THE DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. DO NOT PROCEED WITH ANY WORK UNTIL THE VARIATIONS OR OMISSIONS HAVE BEEN RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DRAWING SHEETS LESS THAN 24" X 36" MAY HAVE BEEN REDUCED FROM THE ORIGINAL.
- 2. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- 3. SHALL SHOW TO ALIGN ARE TO HAVE FINISH FACES UNLESS OTHERWISE NOTED.
- 4. IF PROVIDED, REFER TO DIMENSIONS AND PLANS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
- 5. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FINISHES MUST ACCURATELY REFLECT THESE LOCATIONS.
- 6. ANY DIMENSIONS OF OR TYPING IN TO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DISCREPANCIES WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

OTHER REQUIREMENTS

- 1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION.
- 3. THE GENERAL CONTRACTOR IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOODING FOR ALL WALL-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HANGING WALL, COMPACT, CORNER AND/OR VENDOR-PROCESSED ITEMS, ETC.
- 4. NO EXPOSED CONDUIT, WIRING, OR PIPING IS PERMITTED WITHOUT ARCHITECT APPROVAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 5. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONFORM TO THE UNDERLIE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM ACCEPTABLE ONLY IN CONCEALED CONDITIONS. ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.
- 6. IN AREAS OF UNDESIRABLE BUILDING SYSTEMS SHALL BE DEMOLISHED TO MAINTAIN REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONAL ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.



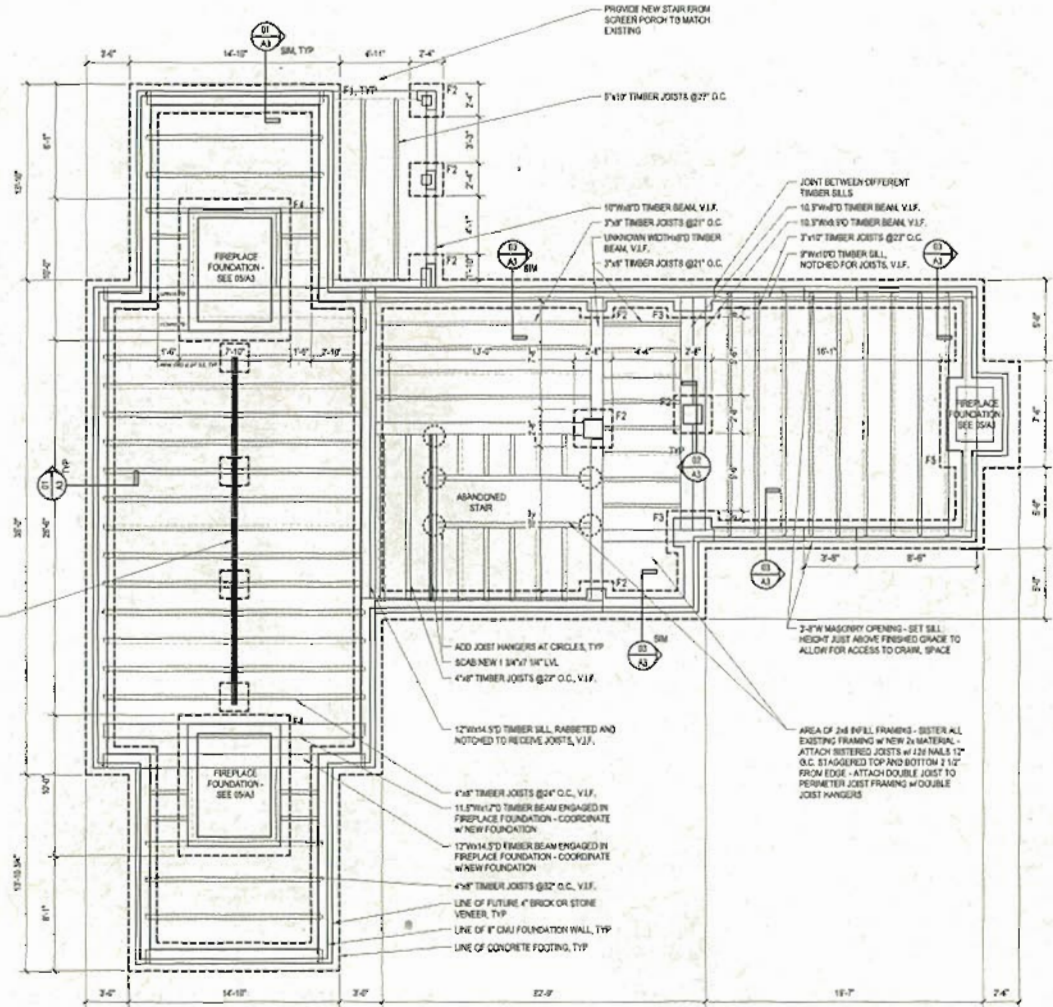
G1 SURVEY
 A1 Scale: 1/8" = 1'-0"

FOOTING SCHEDULE

MARK	FOOTING SIZE	REINFORCING	LOCATION	DETAIL
F1	1'-0" x 2'-0" CONT.	(2) #5 w/ #4 TRANSVERSE @ 12"	WALL	01,02A1
F2	2'-4" x 2'-4" x 1'-0"	(4) #4 EACH WAY	PIER / PLASTER	01A3 SM
F3	3'-2" x 2'-2" x 1'-0"	(4) #4 BY (3) #4	PLASTER	03,04A3
F4	7'-10" x 10'-2" x 1'-0"	(8) #5 EACH WAY	CHIMNEY	05A3
F5	5'-7" x 7'-6" x 1'-0"	(8) #5 EACH WAY	CHIMNEY PILASTER	05A3 SM

FOUNDATION NOTES

- SOME OF THE EXISTING HEAVY TIMBER SILL PLATES, BEAMS, AND JOISTS ARE INACCESSIBLE AND THEIR SIZE WILL NEED TO BE VERIFIED AFTER THE BUILDING IS LIFTED, PRIOR TO THE MOVE.
- THE CONDITION OF ALL HEAVY TIMBER SILL PLATES, BEAMS, AND JOISTS WILL ALSO NEED TO BE VERIFIED.
- DETERIORATED SECTIONS OF THE EXISTING TIMBER SILLS AND/OR BEAMS SHALL BE REPLACED WITH PRESSURE TREATED SYP TIMBERS, KILN-DRIED AFTER TREATMENT, TYP. DETERIORATED TIMBER JOISTS UP TO 3" IN THICKNESS (3x) SHALL BE SISTERS WITH A NEW, PRESSURE-TREATED FULL-LENGTH 2x JOIST OF EQUAL OR GREATER DEPTH ON EACH SIDE w/ 12x NAILS AT 12" CENTERS STAGGERED 2 1/2" FROM THE TOP AND BOTTOM EDGE OF THE EXISTING JOIST. CONTACT STRUCTURAL ENGINEER IF MORE EXTENSIVE STRUCTURAL DETERIORATION IS UNCOVERED.



OPTIONAL INTERMEDIATE BEAM TO STIFFEN FLOOR (3) 2x6 w/ 2x4 NAILS 6" O.C. STAGGERED TOP AND BOTTOM 3 1/2" FROM EDGE - SUPPORT w/ SCREW JACK COLUMNS 6" O.C. ON 2x12x12" THICK UNDER-CRACK CONCRETE FOOTINGS

01 FOUNDATION PLAN
A2 Scale: 1/4" = 1'-0"

CLEARSCAPES
ARCHITECTURAL FIRM
2815 W. 10th Street
Raleigh, NC 27607
919.877.3773
919.877.3834 fax
clearscapes.com

STRUCTURAL CONSULTANT
Lynch & Associates
125 S. Mary's Street
Raleigh, NC 27603
919.833.4343



FOR CONSTRUCTION
2014/09/08

CRABTREE JONES
House Relocation

DATE: 2013.05.11
DRAWN: F2
CHECKED: F2
PROJECT NO.
JRW/PLN/

FOUNDATION PLAN

A2

STRUCTURAL AND DETAIL NOTES

LIVE LOADS
 ROOF LIVE LOAD 20 psf
 WIND LOAD (BASIC) 100 mph
 FLOORS 50 psf

FOUNDATIONS
 1. THE SOIL BEARING PRESSURE USED FOR DESIGN IS 2000 psf.
 2. ANY FILL SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND SHALL BE COMPACTED TO A MINIMUM OF 98% MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-698 (STANDARD PROCTOR METHOD), UNLESS RECOMMENDED OTHERWISE IN A GEOTECHNICAL REPORT.

CAST-IN-PLACE CONCRETE
 1. ALL CONCRETE SHALL CONFORM TO ACI SPECIFICATIONS.
 2. ALL CAST-IN-PLACE CONCRETE 28-DAY COMPRESSIVE STRENGTH SHALL BE 3000 psi IN ACCORDANCE WITH ACI 318.

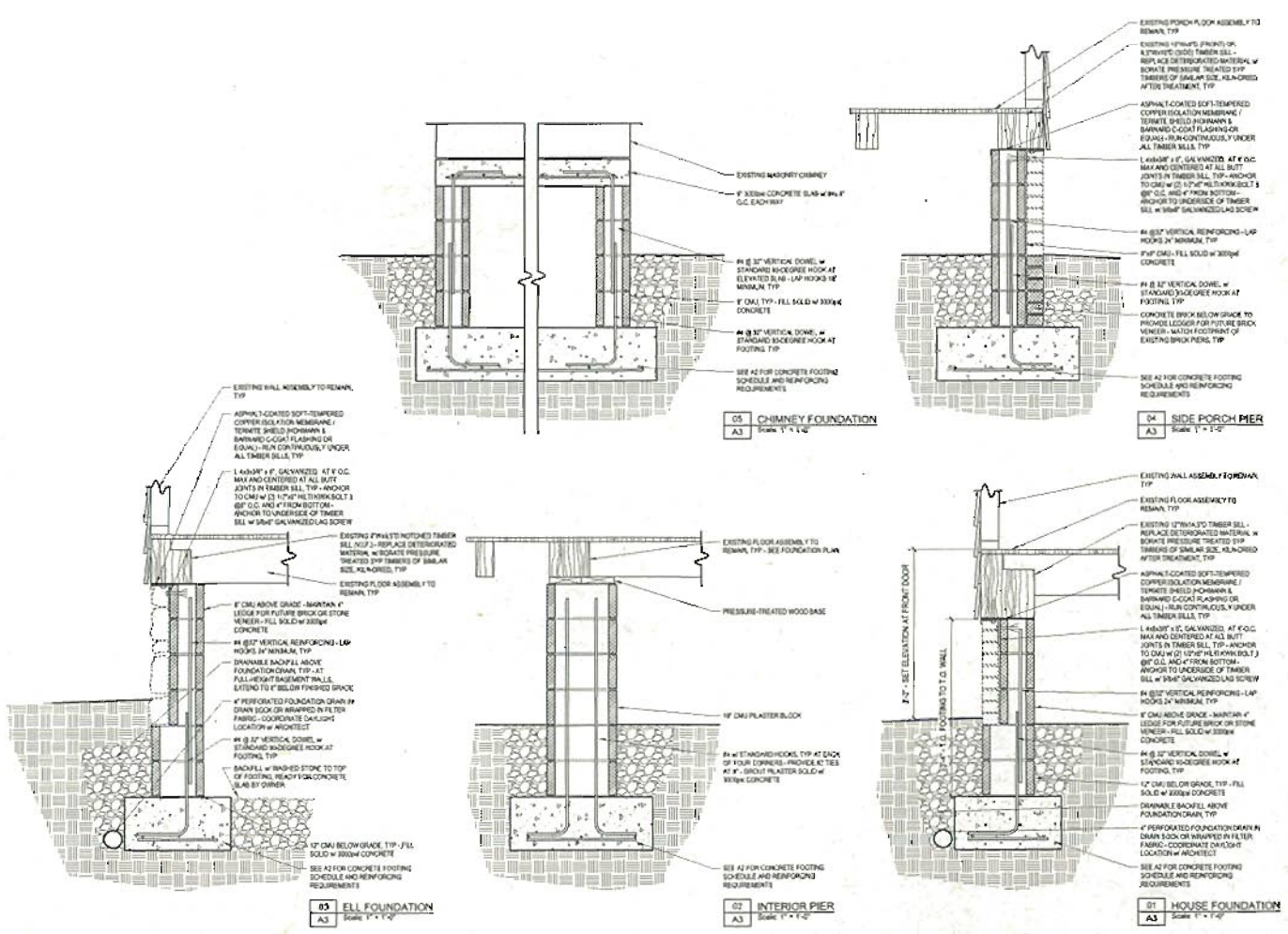
REINFORCING STEEL
 1. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60.
 2. PLACEMENT OF REINFORCING STEEL SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER PRIOR TO PLACING CONCRETE.
 3. DETAIL AND FABRICATE REINFORCING STEEL IN ACCORDANCE WITH ACI 315. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE PERMIT DOCUMENTS.
 4. DO NOT HEAT BEND REINFORCING BARS.

MISCELLANEOUS
 1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AT THE SITE INCLUDING, BUT NOT LIMITED TO, DIMENSIONS AND ELEVATIONS THAT MAY AFFECT THE RELOCATION OF THE BUILDING AND THE INSTALLATION OF THE NEW FOUNDATION.
 2. EXISTING BUILDINGS OR BUILDING COMPONENTS WHICH MAY BE DETERIORATED SHALL BE TEMPORARILY STABILIZED PRIOR TO MOVE BY STRAPPING OR TYING WITH NON-MARRING SLINGS, CABLES, TIMBERS, FASTENERS, AND CLAMPS.
 3. BRACE THE BUILDING TO AVOID DAMAGE DUE TO RACKING OR UNEVEN SUPPORT DURING PREPARATION, LIFTING, TRANSPORTING TO, OR SETTING ONTO THE FOOTPRINT OF THE RELOCATED BUILDING.
 4. VERIFY THE DIMENSIONS OF THE EXISTING FOOTPRINT TO ENSURE THAT THE FOUNDATION PLAN AS DETAILED CORRECTLY REFLECTS THE SIZE, SHAPE, AND CONFIGURATION OF THE BUILDING TO BE RELOCATED AND SUPPORTED BY THIS FOUNDATION.

LINTELS
 1. PROVIDE LINTELS FOR ANY OPENINGS GREATER THAN 1'-0". OMISSION OF ANY NEEDED LINTEL CONDITIONS BEYOND WHAT IS DESCRIBED BELOW DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING AN ADEQUATE LINTEL.

-FOR BRICK OR STONE VENEER OPENINGS FROM 0' TO 4', USE 1 3/4" x 3 1/2" x 1/4" w/ 4" MINIMUM BEARING.
 -FOR 8" CMU OPENINGS FROM 0' TO 4', USE 8" UNB-LOCK w/ (2) 85 REBAR IN BOTTOM AND 8" MINIMUM BEARING.

FOUNDATION DETAILS
 1. INSTALL CONTINUOUS BITUMINOUS WATERPROOFING AND PROTECTION BOARD ON EXTERIOR FACE OF ALL FULL-HEIGHT BASEMENT WALLS AND ACROSS EXPOSED SURFACE OF ASSOCIATED FOOTINGS PRIOR TO BACKFILLING.
 2. WRAP ALL FOUNDATION DRAINS WITH PIPE SOCKS OR WITH LANDSCAPE FABRIC AND EXTEND TO DAYLIGHT AT LOW POINT AT NE BACK CORNER OF PROPERTY. IF DAYLIGHT CANNOT BE ACHIEVED w/ EXISTING GRADES, PROVIDE 3" DIAMETER 4' DEEP DRY WELL AT NE BACK CORNER OF PROPERTY.
 3. PROVIDE OPERABLE DRAINSPACE VENTS PER NORTH CAROLINA RESIDENTIAL CODE. COORDINATE EXACT LOCATIONS w/ ARCHITECT.



CLEARSCAPES
 ARCHITECTS
 75-10000 Indian Road
 Raleigh, NC 27617
 919.872.2775
 919.872.2804 fax
 info@clearscapes.com



FOR CONSTRUCTION
 2014-01-02

CRABTREE JONES
 House Relocation

DATE: 2013.07.11
 DRAWN: PJ
 CHECKED: PJ
 FILENAME: PROJECT_ND
 PRINTING: Project Overlay

FOUNDATION DETAILS

A3





Photo Mar 11, 3 59 34 PM

Staff observed & photographed
submitted
samples
TGT



Photo Mar 11, 3 59 44 PM



Photo Mar 11, 3 59 51 PM