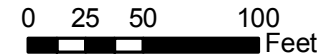


037-17-CA

506 N BOUNDARY
STREET

OAKWOOD
HISTORIC DISTRICT
(HOD-G)



Nature of Project:
Construct 2nd level addition;
construct rear deck.

APPLICANT:
TACTILE WORKSHOP

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
a/fax 919-996-1331



- ☐ Minor Work (staff review) - 1 copy
- ☒ Major Work (COA Committee review) - 10 copies
- ☒ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 505889

File # 037-17-CA

Fee \$294.00

Amount Paid \$294.00

Received Date 3/6/17

Received By Emley

Property Street Address 506 N Boundary St. Raleigh NC, 27604

Historic District Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name Aviva Imbrey

Lot size .11 acres

(width in feet) 48

(depth in feet) 150

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
516 N Boundary St. Raleigh NC, 27604	534 N East St. Raleigh NC, 27604
510 N Boundary St. Raleigh NC, 27604	532 N East St. Raleigh NC, 27604
515 N Boundary St. Raleigh NC, 27604	530 N East St. Raleigh NC, 27604
511 N Boundary St. Raleigh NC, 27604	515 Euclid St. Raleigh NC, 27604
509 N Boundary St. Raleigh NC, 27604	525 Euclid St. Raleigh NC, 27604
521 N Boundary St. Raleigh NC, 27604	
501 N Boundary St. Raleigh NC, 27604	
500 N Boundary St. Raleigh NC, 27604	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Tactile Workshop

Mailing Address 1001 S Saunders St

City Raleigh

State NC

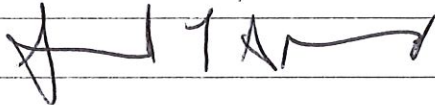
Zip Code 27603

Date 02 02 2017

Daytime Phone 919 302 4205

Email Address sam@tactileworkshop.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work

3, 26

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.1/ 26	Wood	New 560 Square Foot - Second Story Dormer Addition to Non Contributing Historic Structure. New deck over existing hardscape patio. (See Attached Detailed Description)
3.4/ 32	Paint and Paint Color	
3.5/ 34	Roofs	
3.6/ 36	Exterior Walls	
3.7/ 38	Windows and Doors	
4.1/ 52	Decks	
4.2/ 54	Additions	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
<u>Minor Work</u> (staff review) – 1 copy			✓		
<u>Major Work</u> (COA Committee review) – 10 copies *					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
8. Fee (See <u>Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		✓		

Raleigh Historic Development Commission
Certificate of Appropriateness Application for
506 North Boundary Street

1. Written Description & Contextual Sensitivity



EXISTING View From Street

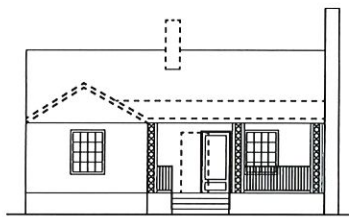


NEW View From Street

Project Diagram



Existing Front Elevation



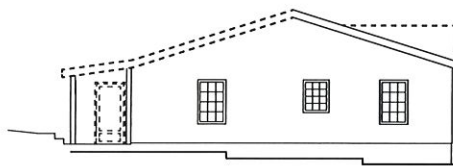
Demolition at Roof, Chimney,
and Front Door Relocation



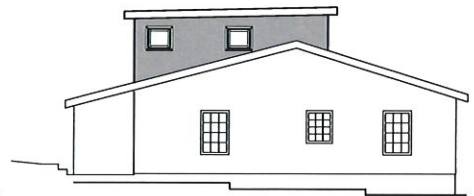
New Dormer Second Story Addition



Existing Side Elevation



Demolition at Roof, Chimney,
and Front Door Relocation



New Dormer Second Story Addition

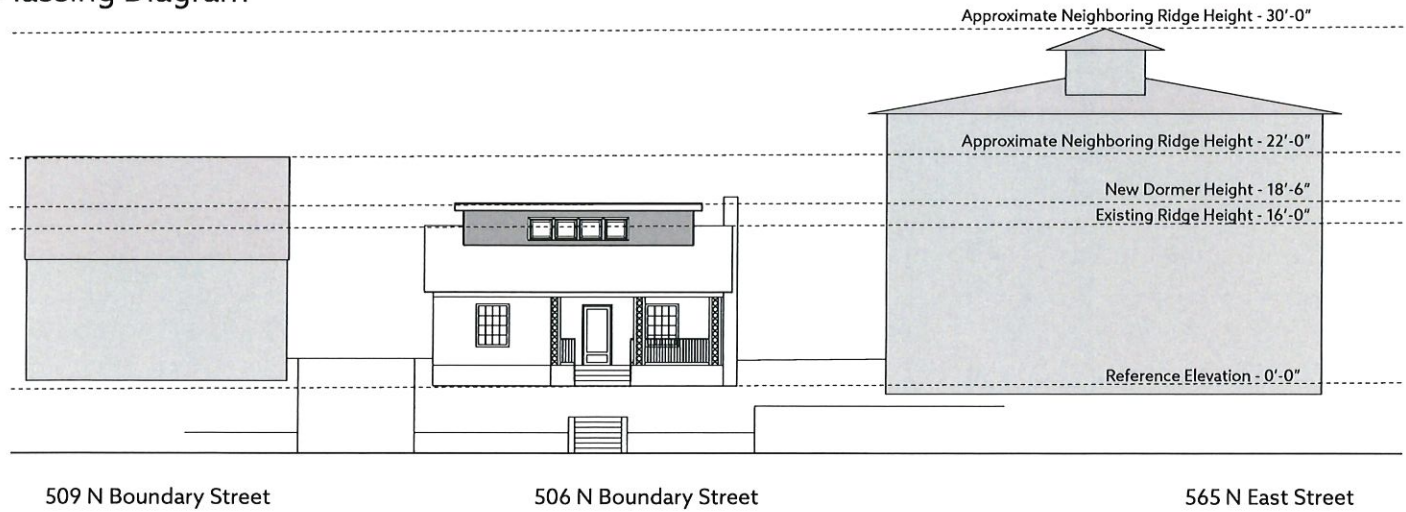
Introduction

The house at 506 N Boundary Street was built in 1954. Currently the house is 1,108 square feet. The homeowners wish to add a new bedroom and bath, increasing the square footage by 560 square feet for a total area of 1,668 square feet. It is our understanding the home is considered to be a non-contributing structure to the historic district, and changes to the structure must meet the Design Guidelines of the RHDC. It is our goal to meet the guidelines in a thoughtful manner and provide functional space to satisfy the homeowners growing family's needs. We believe these improvements will be embraced by the RHDC and the Oakwood community and add value to the surrounding properties.

The existing grading, outbuildings, and site constraints are such that the best option without major site grading and retaining wall work, is to add a second story addition on top of the existing house. This also appears to be the most cost effective construction solution for the given site.

The proposed design shows a dormer like addition that is situated just in front of the existing roof ridge. The dormer scheme's is a direct attempt at being compatible with the distinctive character of the Oakwood neighborhood. Similar dormers are shown in the images below. There are a few examples of additions in the neighborhood that occur in front of the main ridge. There are also several examples of large dormers windows that seem an integral part of the language of the Oakwood neighborhood.

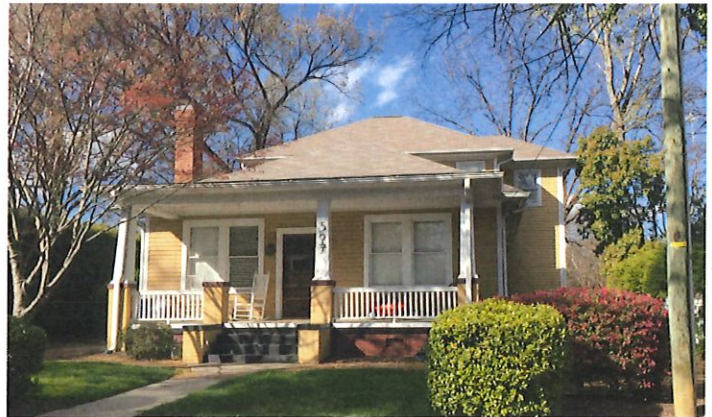
Massing Diagram -



Additions Visible From the Street Front



506 E Franklin St.



518 E Franklin St.

Dormer Windows in Front of Ridge

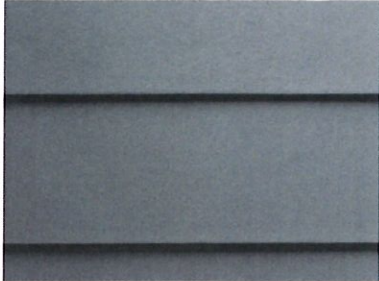


515 Euclid St.

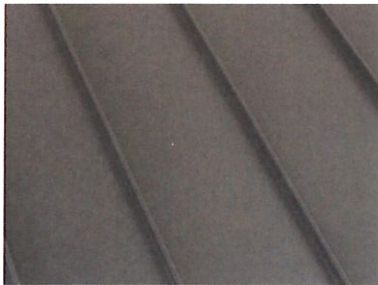


632 N Bloodworth St.

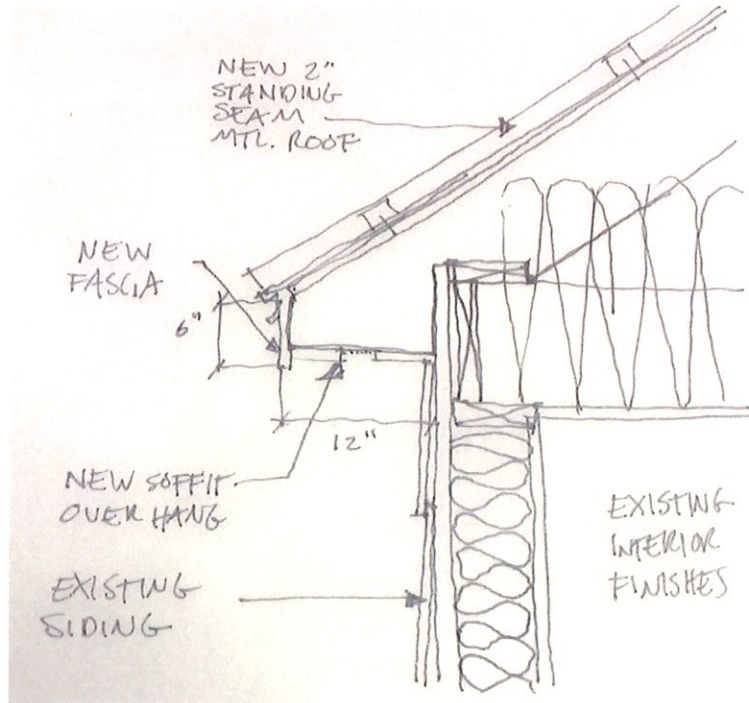
2. Description of Materials



A. New Smooth 4" Cementitious Siding - dormer addition only. New 4" wide Cementitious Corner Boards. James Hardy Siding or equivalent.



B. New 2" Standing seam metal roof in gray color. Click Lock Standing Seam - Slate Gray. New 12" overhang, vented soffit, and 6" fascia with metal drip edge. Remove Gutters.



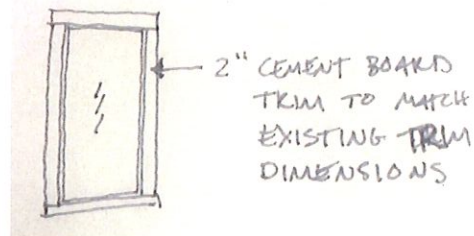
New Vented Soffit, Overhang, and Metal Roof Detail.



Existing Trim and Siding Shall Remain.



New



Trim Detail

C. Windows - Site Line by Jeldwen is basis of design. Aluminum Clad wood. Addition only. Existing windows at first floor shall remain.

Siding Note: Existing Siding is Asphalt - Cementitious Siding - Non Asbestos.

3. Existing Conditions



View from across street.



View of existing patio and rear of house.

3.1 Existing Conditions



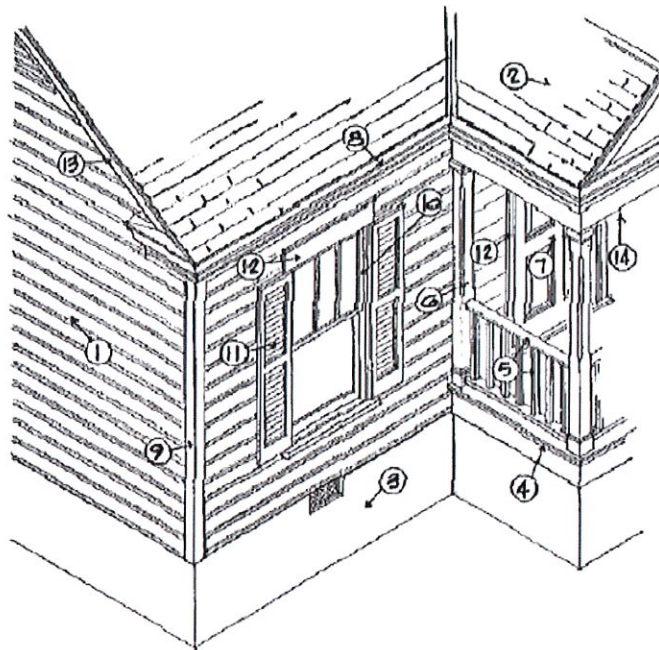
View at sidewalk approach.



View from opposite side of street/ sidewalk approach.

4. Paint Schedule

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant Aviva Imbrey Owner (Tactile Workshop - Owner Agent)

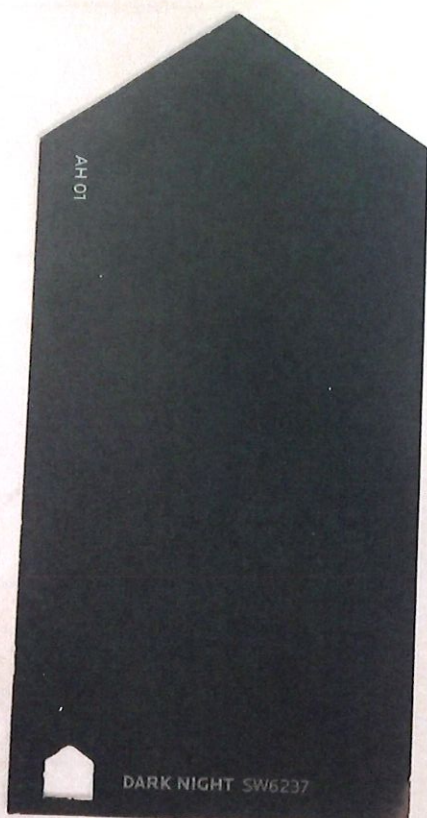
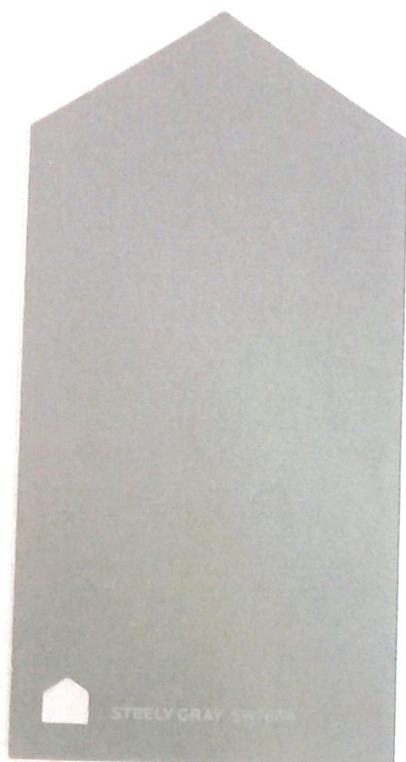
Address 506 N Bloodworth St

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

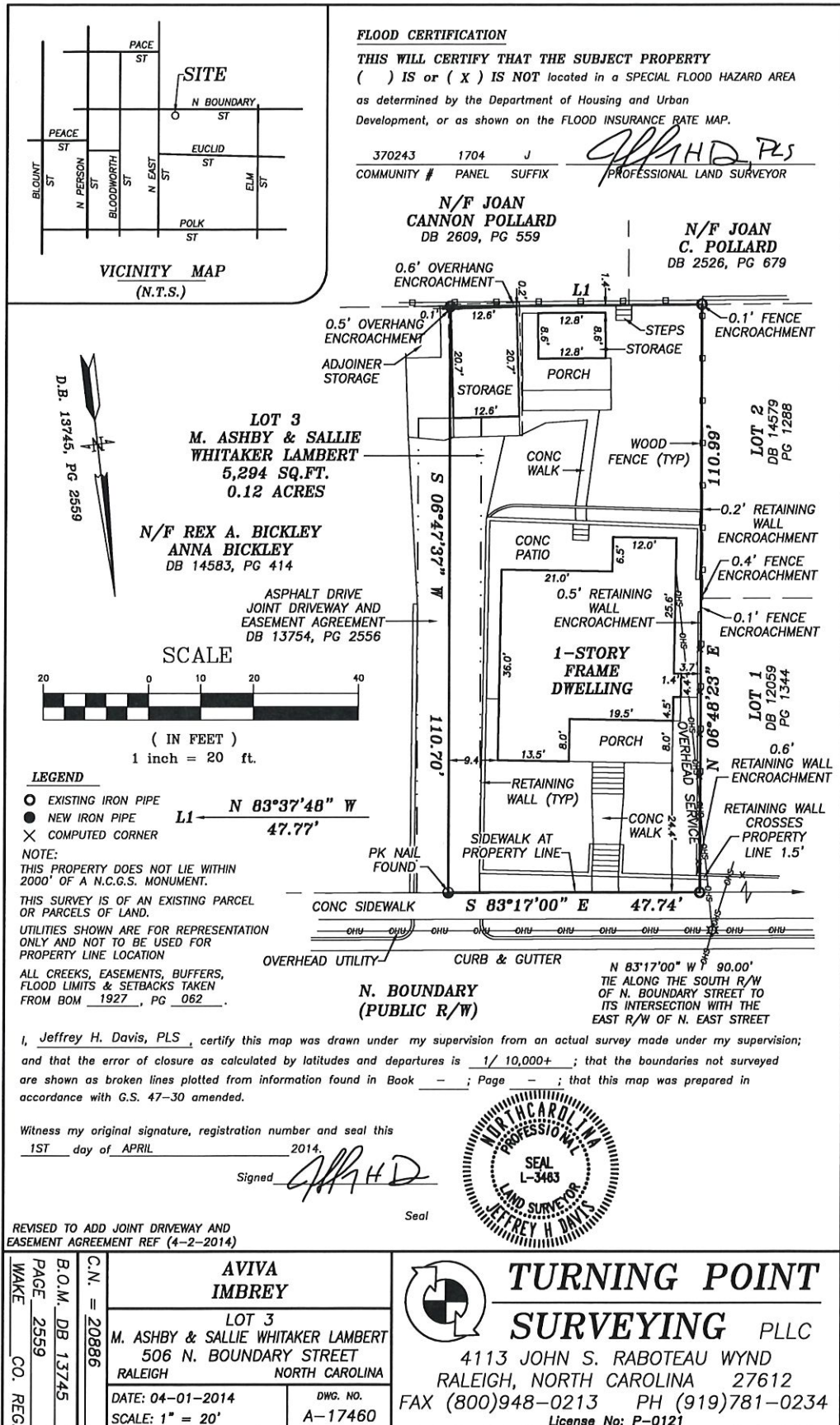
1	Body of House	Existing Asphalt Siding Shall Remain
2	Roofing	Click Lock Standing Seam - Slate Gray (See Material Description for image)
3	Foundation	Dark Night SW 6237
4	Porch Floor	Existing Shall Remain
5	Railing	Existing Shall Remain
6	Columns	Alabaster SW 7008
7	Entrance Door	Existing Shall Remain -
8	Cornice	Alabaster SW 7008
9	Corner Boards	Alabaster SW 7008
10	Window Sash	Alabaster SW 7008
11	Shutter	N/A Removing 1 set of plastic Shutters
12	Door & Window Trim	Alabaster SW 7008
13	Rake	Alabaster SW 7008
14	Porch Ceiling	Alabaster SW 7008
15	Other	NEW DORMER ADDITION - Body Steel Gray SW7664

4.1 Paint Samples

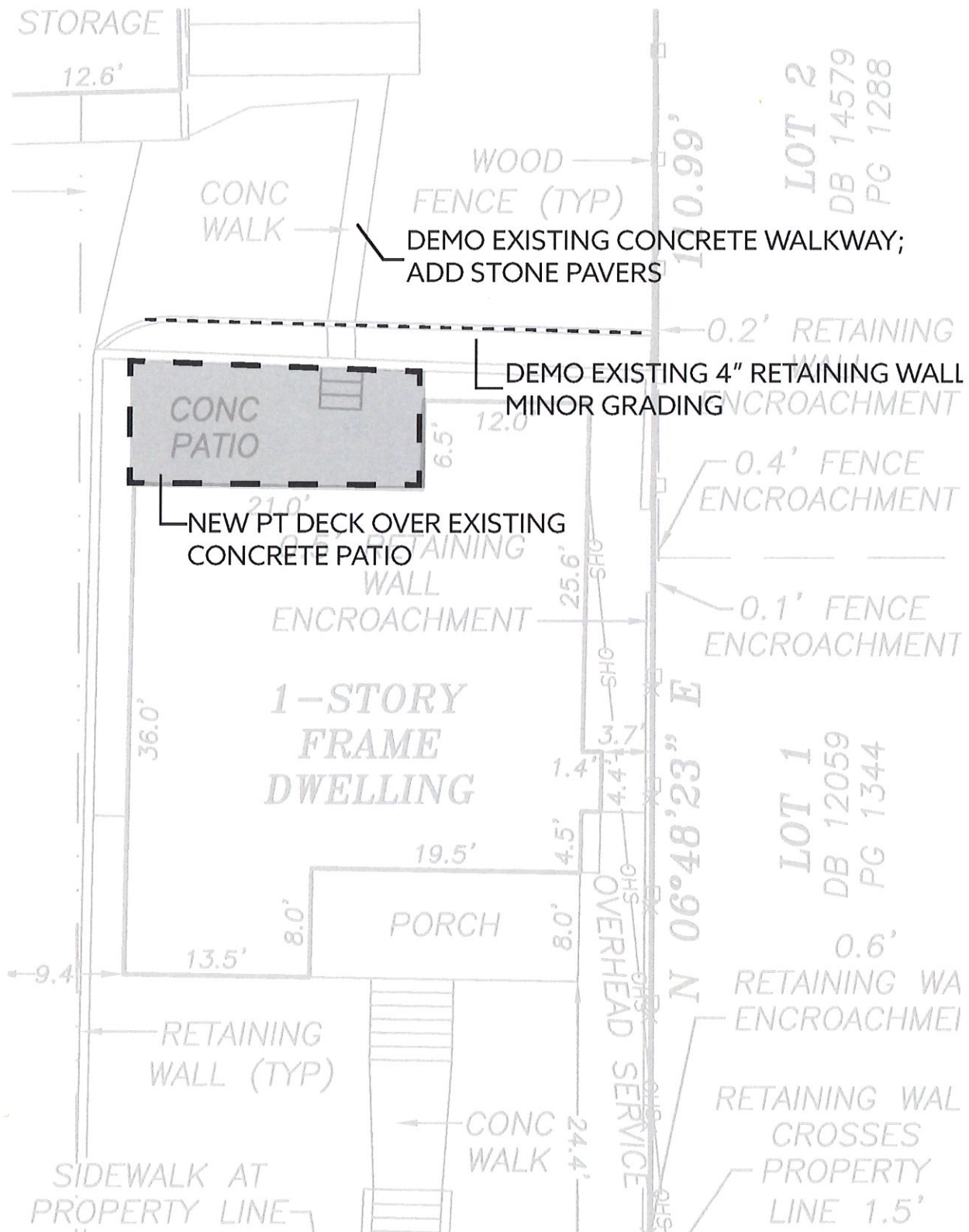


5. Full Survey

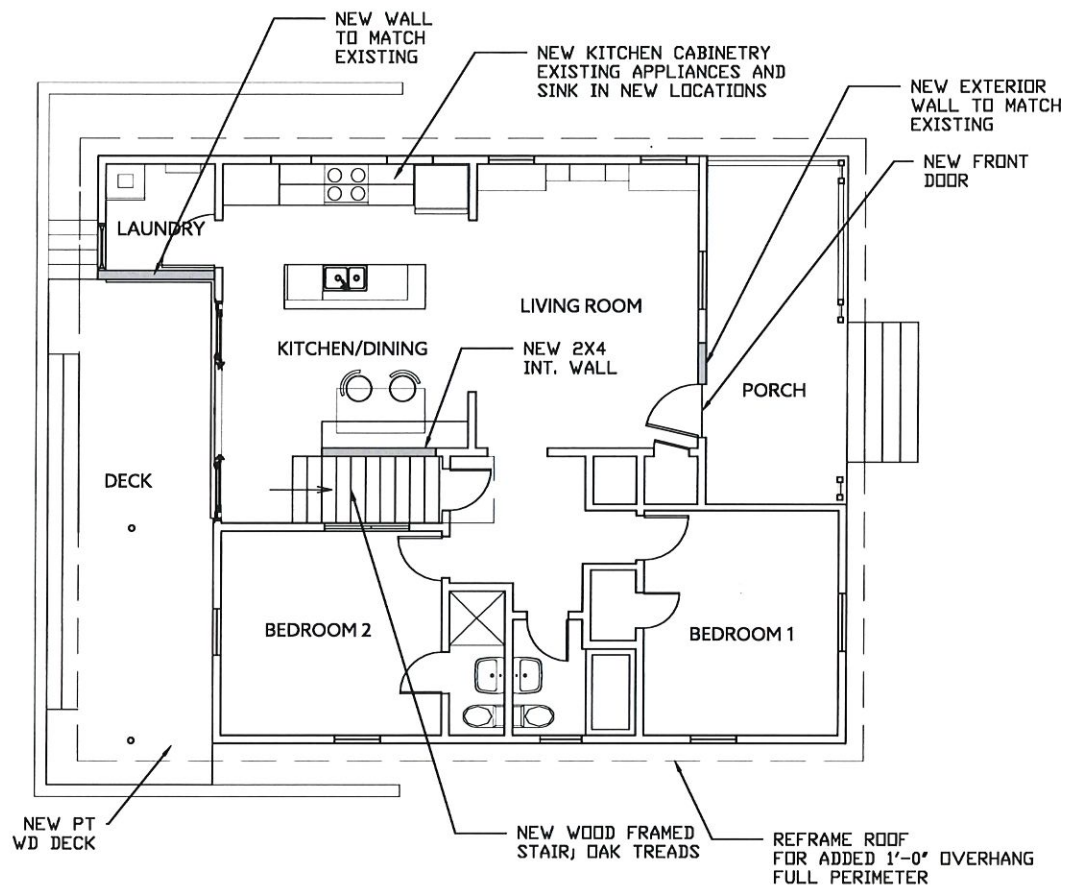
Note: There are no existing trees on Site.



5.1 PLOT PLAN

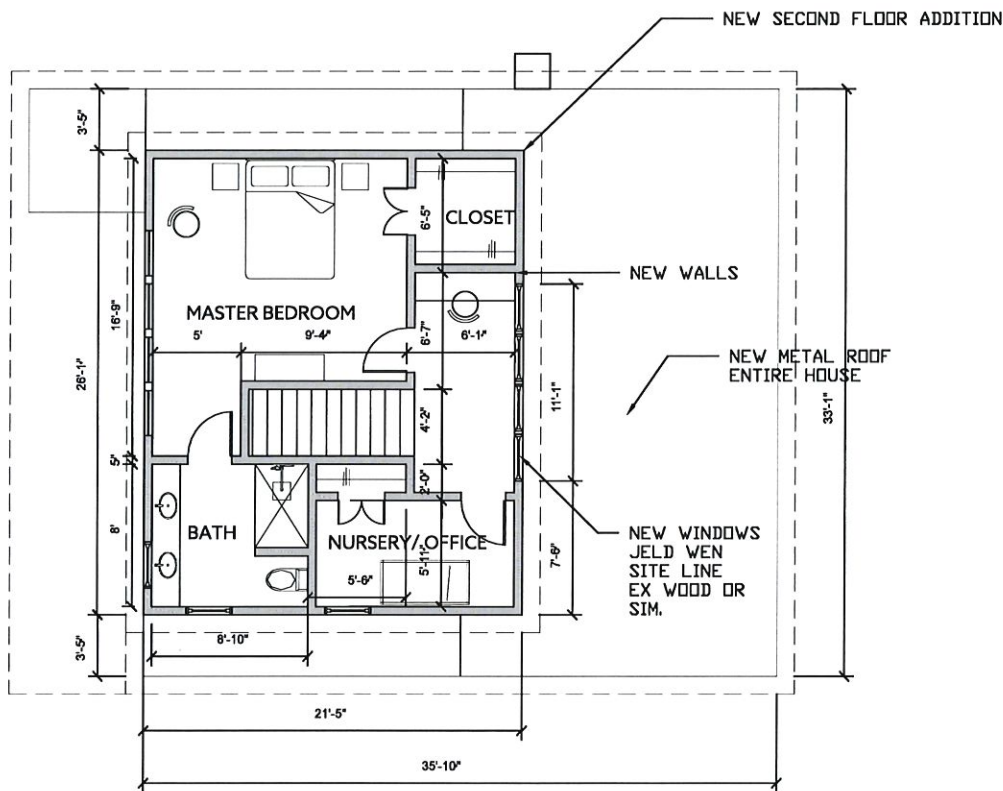


6. Drawings - First Floor Plan



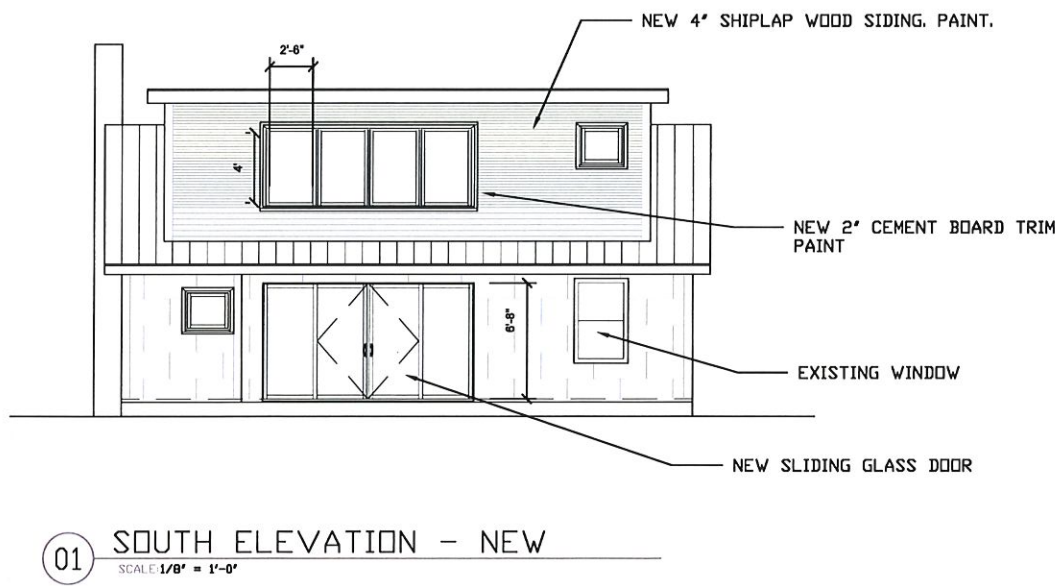
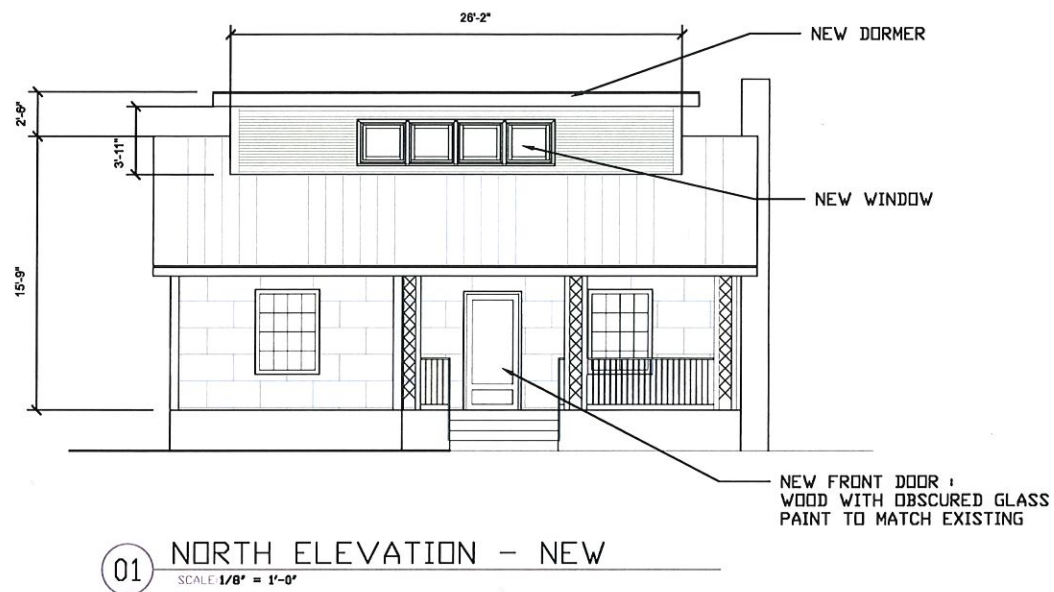
01 FIRST FLOOR PLAN - NEW
SCALE: 1/8" = 1'-0"

6.1 Drawings - Second Floor Plan

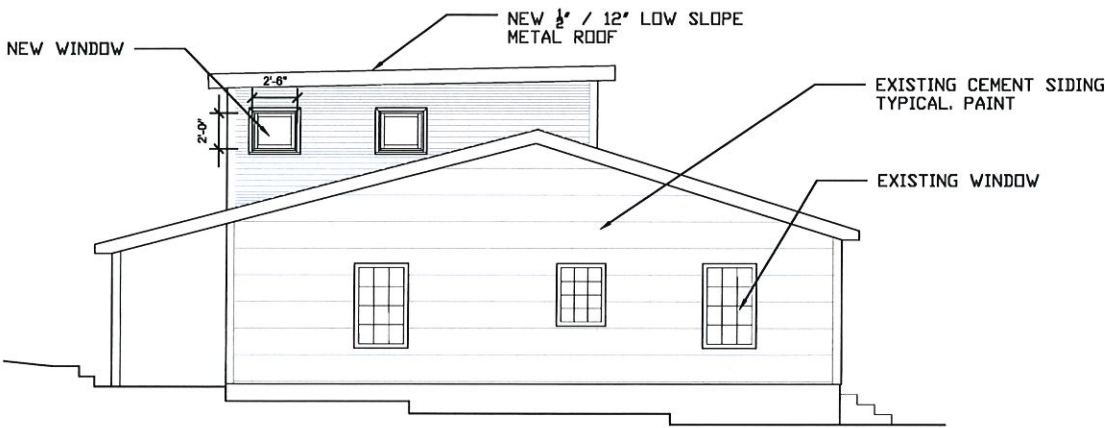


02 SECOND FLOOR PLAN - NEW
SCALE 1/4" = 1'-0"

6.2 Drawings - Elevations



6. Drawings - Elevations



01 EAST ELEVATION - NEW
SCALE: 1/8" = 1'-0"