



APPLICANT:
MARK RIEDERMAN

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☒ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 502816

File # 041-17-CA

Fee \$294

Amount Paid \$294

Received Date 2/6/17

Received By AC#

Property Street Address 506 & 506B Cole Street Raleigh NC, 27605

Historic District Glenwood-Brooklyn

Historic Property/Landmark name (if applicable)

Owner's Name Mark Riedeman

Lot size

(width in feet) ≈ 50'

(depth in feet) ≈ 150'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
Please see attached list	

14 env

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant ~~Charles Holden, Child Architects PC~~ Mark Riedeman

Mailing Address 217 Dexter Pl

City Raleigh

State North Carolina

Zip Code 27605

Date 2017- 2/6

Daytime Phone 919 222 2227

Email Address ~~Charles.Holden@childarchitects.com~~

Applicant Signature

Mark Riedeman 2017-2/5

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☐ Yes ☒ No

Office Use Only

Type of Work _____

3

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
	Additions 25% or greater	PLS SEE ATTACHMENT.
	Removal of Chimney	
	Alteration of Chimney	
	Alteration of roof form	

From: [Mark Riedeman](#)
To: ttully@rhdc.org
Cc: [Robb, Melissa](#)
Subject: Re: 506 Cole St. Renovations
Date: Thursday, March 09, 2017 11:51:19 AM
Attachments: [x1605 tr 170309 COR set.pdf](#)
[x1605 tr 170309 COR from street.pdf](#)

Hello Tania and Melissa,

Thank you both for taking the time yesterday to visit my home and to discuss my proposed addition and how it fits in with the neighborhood and the new Design Guidelines.

I will be putting together my documentation for why I feel the addition is in congruity with the design guidelines over the next several days, but I wanted to get you the latest plans so that we can continue to make progress on the COA application, which are attached. They should include the site plan (and visual legend) we talked about, but please let me know if there are any additional documents you need.

Also, as we discussed, can you please change the applicant from Charles Holden at Oxide Architecture to me, Mark Riedeman so that I can be the primary point of contact for everyone involved.

And finally, if you would be so kind as to pass along the minutes of any meetings with discussions of proposed additions that may provide insight into the committee's interpretation of those guidelines, I would sincerely appreciate it.

Thank you much. I look forward to the next stage in the process, and I will send you the reasons I think my proposal is in line with the spirit and language the Design Guidelines in the next week.

Have a great weekend.

--M.

P.S. Thank you also for the follow up reminder. I apologize for cutting it so close to the deadline, but we wanted to make sure we got as much detail on the site plan as we could and only just finished exporting.

On Thu, Mar 9, 2017 at 11:27 AM Tania Georgiou Tully <ttully@rhdc.org> wrote:

This is a reminder that I need the revised drawings by noon.

Tania Georgiou Tully, Preservation Planner
Raleigh Historic Development Commission
PO Box 829 Century Station
Raleigh NC 27602
[919.832.7238](tel:919.832.7238)
[919.996.2674](tel:919.996.2674) (direct)
[919.516.2684](tel:919.516.2684) (fax)
www.rhdc.org

Design Guidelines are online [here](#).

PROPERTY ADDRESSES WITHIN 100 FEET

1704553241
RIEDEMANN, MARK
506 COLE ST
RALEIGH NC 27605-1208

1704551199
SINES, LIESL ANN SINES, BRANDON LEE
512 COLE ST
RALEIGH NC 27605-1208

1704552073
MCDUFFIE, A CRAIG NOBLE, LINDA J
509 COLE ST
RALEIGH NC 27605-1207

1704552159
JOHNSON, ANTHONY H JOHNSON,
KATHALEEN M
510 COLE ST
RALEIGH NC 27605-1208

1704552290
KISSEE, ROBERT DALE II KISSEE, EMILY
JULIA
508 COLE ST
RALEIGH NC 27605-1208

1704552334
GUPTON, WILLIAM C GUPTON, CHRISTINA
R
514 COLE ST
RALEIGH NC 27605-1208

1704553024
SEBLEY, CHRISTOPHER HUGH SEBLEY,
JENNIFER LYNN
507 COLE ST
RALEIGH NC 27605-1207

1704553064
ADAMS, JOHN
505 COLE ST
RALEIGH NC 27605-1207

1704553292
PHIPPS, WILLIAM A PHIPPS, SARAH
PEARCE
502 COLE ST
RALEIGH NC 27605-1208

1704553374
HUTZLER, PATRICIA M
8908 EAGLEBROOK CT
RALEIGH NC 27617-7540

1704554025
JOHNSON, ANNIE DRIVER HEIRS
ALAN JOHNSON
3005 BEANE DR
RALEIGH NC 27604-5803

1704554088
BROMMER, CHAD L
501 COLE ST
RALEIGH NC 27605-1207

1704554245
COBB, CARSON L JR & DEBRA T TRUSTEE
THE COBB LIVIN...
4209 MARVIN PL
RALEIGH NC 27609-5951

1704554294
SHACAN INVESTMENTS LLC
8108 TYLERTON DR
RALEIGH NC 27613-1575

Written Description

1. Construction of second story to the existing house. (see plans for dimensions and a list of the materials and details)
2. Alteration to the current crawlspace to a finished basement. (see plans for dimensions and a list of the materials and details)
3. Construction of a small addition on the east side of the house to accommodate a stairway. (see plans for dimensions and a list of the materials and details)
4. Construction of new fireplace on the west side of the house. (see plans for dimensions and a list of the materials and details)
5. Alteration of the current roof form. (see plans for dimensions and a list of the materials and details)
6. Removal of the current west side chimney. (see plans for dimensions and a list of the materials and details)



East Side Elevation



South Front Elevation



WestSide Elevation



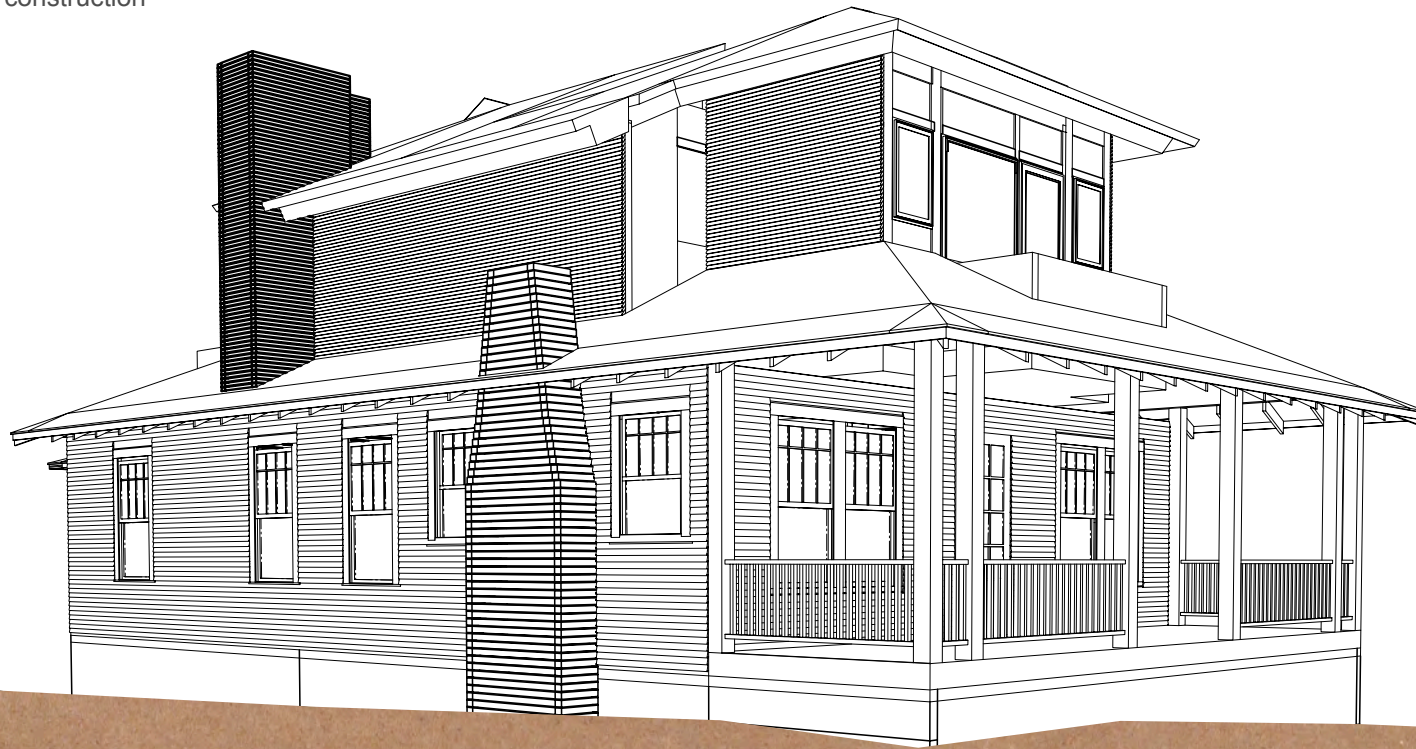
North Back Elevation

x1506 Reideman Residence

01 08 39 View of

2017 - 3/6

preliminary, not for construction



BUILDING CODE SUMMARY			
Name of Project		Riedeman Residence (x1605) 506 Cole Street Raleigh, North Carolina 27605	
Authorized Agent:		Charles Holden, Oxide Architecture charles@oxidearchitecture.com	(828) 553-7832
Ownership		Private, Mark Reideman	
Code Enforcement Jurisdiction		City of Raleigh, North Carolina	
Project Summaries,			
Building Description		Wood Frame, Two Family Dwelling	
Project Description		Construction of new residence on existing city lot.	
Code Compliance Summary		All work to conform to current building standards.	
Alternative Compliance		n/a, None Requested	
Lead Design Professional		Charles Holden, Oxide Architecture charles@oxidearchitecture.com	(919) 932-2207
		License	
Architectural		Oxide Architecture, Charles Holden, Architect	51786, 8922 (919) 932-2207
Builder		Oxide Structure Company, Charles Holden, Builder	61524 (I) (919) 795-4458
Civil		n/a	
Electrical		n/a	
Fire Alarm		n/a	
Plumbing		n/a	
Mechanical		n/a	
Sprinkler-Standpipe		n/a	
Structural		n/a	
Pre-cast		n/a	
Trusses		n/a	
Retaining Walls >5'		n/a	
Other		n/a	
Building Code		2012 North Carolina Residential Code for One and Two Family Dwellings	
New Building		Two Family Dwelling	
Existing Building		n/a	
Original Occupancy		Residential	
Proposed Occupancy		No Change	
Building Data		Residential, R-10, Permanent Two Family Dwelling	
Construction Type		(Steel and) Wood Frame (V-B unprotected)	
Building Height		22'-4" Average highest roof (per City of Raleigh zoning)	
		Existing Height	19' 11 1/2"
		Proposed Height	27' 7/8"
Number of Stories		3	
Gross Building Areas in sq.ft.		Lower Level	780
		Upper Level	970
		Main Level	1,750
		Total Conditioned	
		Entry Porch	300
		Porch/Carport	115
		Balcony	415
		Total Porches and Balcony	
Note		Heated areas measured to exterior of wood studs or masonry veneer, if present. Porch/Carport measured to edge of slab or exterior of columns, if present.	
Water		Public	
Sewer		Public	

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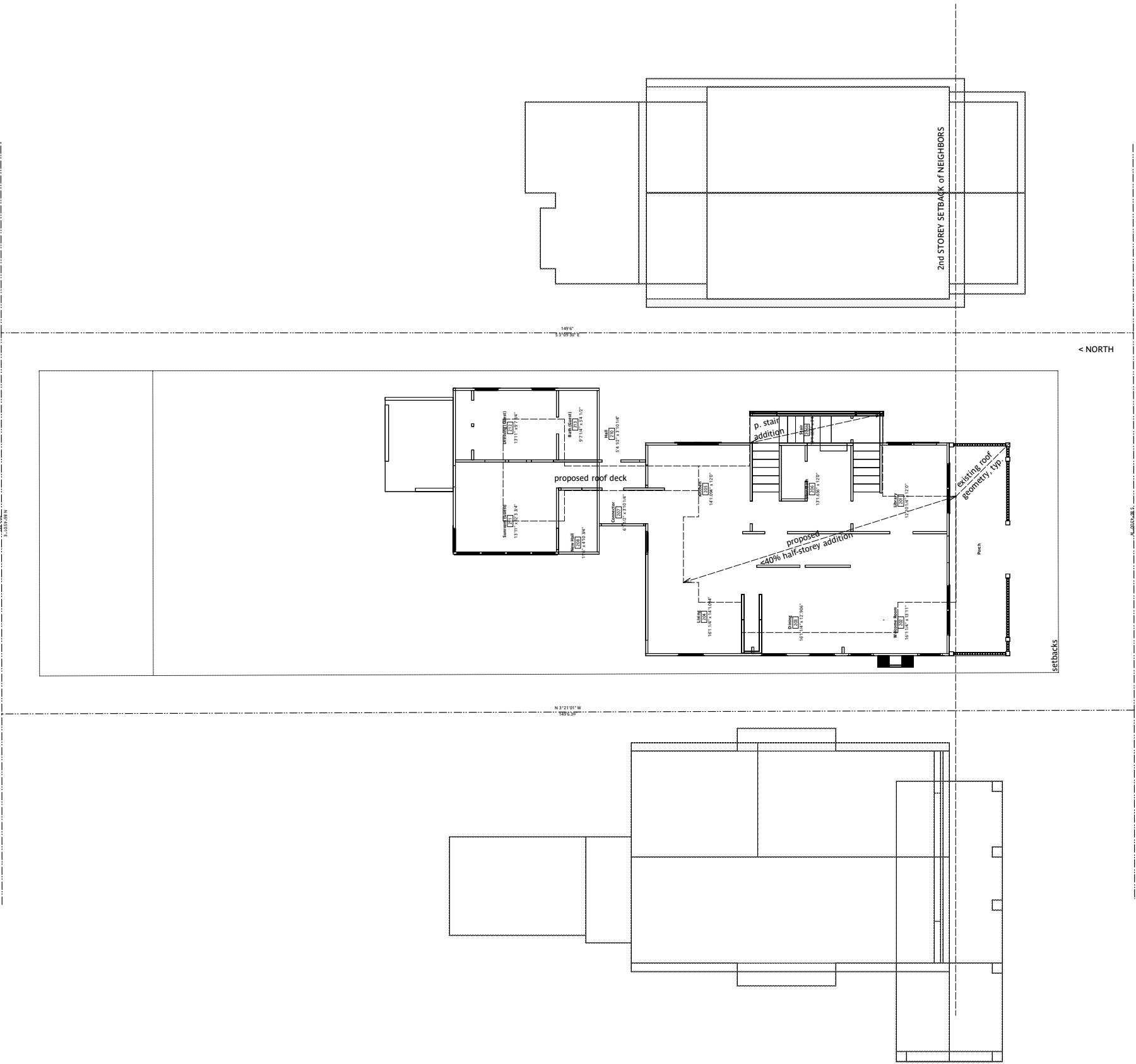
WORK SUMMARY	
Project Accounting	Contractor should submit as part of total estimate a Schedule of Values organizing costs and associated vendors / subcontractors by project item numbers (CSI) as well as include a preliminary Schedule of Work (gantt chart), organized by each week of construction.

MATERIALS LEGEND	
	Earth
	Gravel Or Crushed Stone As Noted
	Concrete In Section
	Concrete Block Masonry
	Steel In Section
	Wood Framing In Section
	Treated Wood
	Wood Blocking In Section
	Finished Wood In Section
	Batt Insulation
	Rigid Insulation

SHEETS; 36 x 24	
0 01	Title Sheet
1 11	Site Plan
1 11	Site Plan
1 21	Demo, Lower
1 22	Demo, Main
1 23	Demo, Upper
2 01	Floor Plan, Lower
2 02	Floor Plan, Main
2 03	Floor Plan, Upper
2 10	Foundation Details
2 11	Footing Plan
2 12	Foundation Plan
2 13	Slab and Brick Plan
2 14	Chimney Plan
2 15	Structural Steel
2 21	Ceiling Framing, Lower
2 22	Framing Main
2 23	Ceiling Framing, Main
2 24	Framing Upper
2 25	Floor Framing, Lower
2 26	Roof Framing
2 31	Wall Framing
2 40	Roof Details
2 41	Roof Plan
2 91	Reflected Ceiling Plan, Lower
2 92	Reflected Ceiling Plan, Main
2 93	Reflected Ceiling Plan, Upper
3 01	Elevation, East
3 02	Elevation, South
3 03	Elevation, West
3 04	Elevation, North
4 01	Longitudinal Section
4 02	Transverse Section
4 03	Stair Sections
5 01	Wall Details

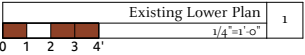
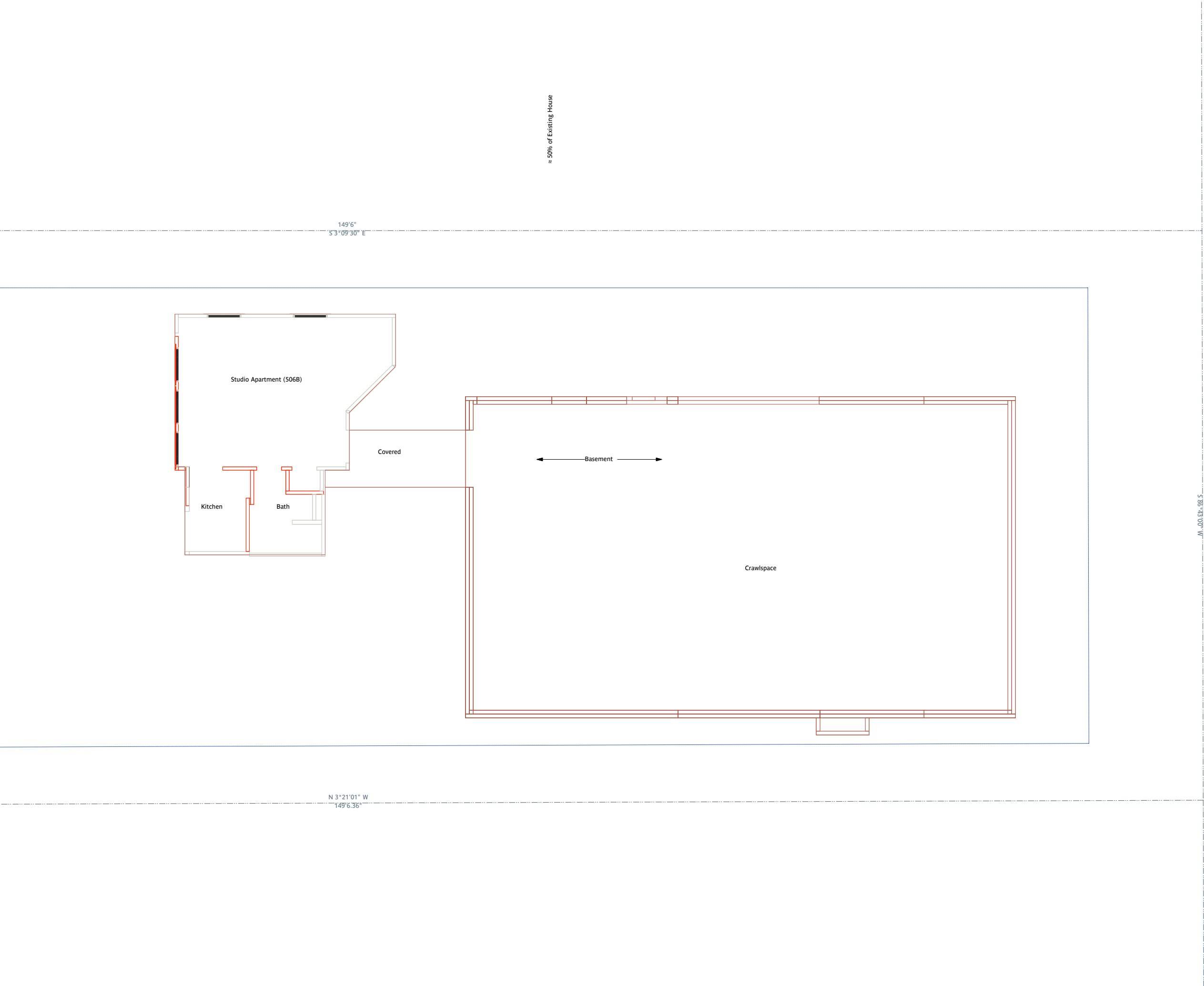
PAGES; 8-1/2 x 11	
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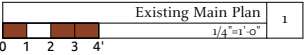
Title Sheet	O 01	© 2017
	preliminary for bank appraisal	
	CFH	checked
Oxide Architecture	TYS	drawn
	2017 - 3/9	date
	217 Dexter Place, Raleigh, North Carolina 27605 (919) 832-2207	
Riedeman Residence	x1605	project
	506 Cole Street, Raleigh, North Carolina, 27605	
		

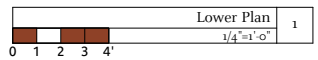
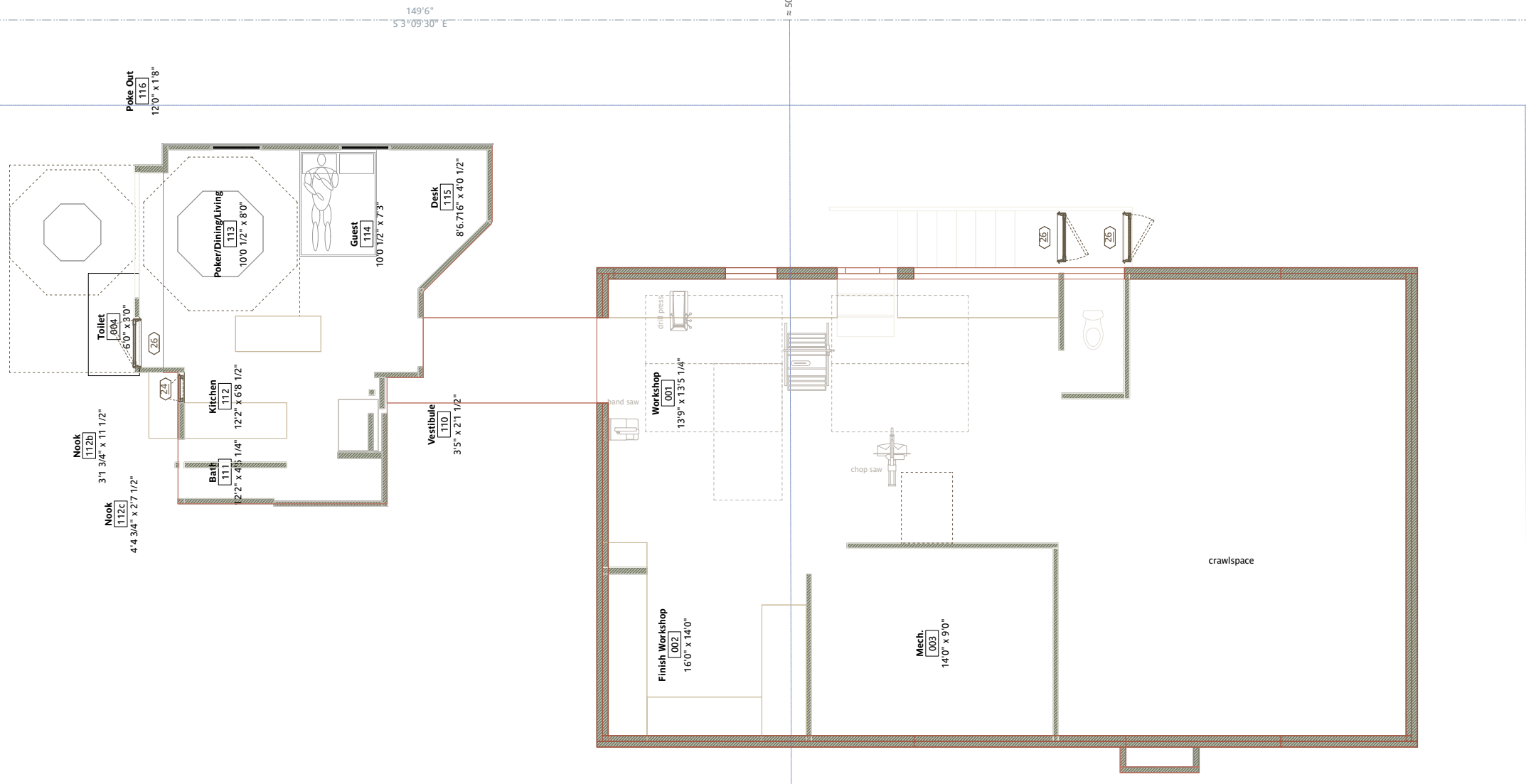


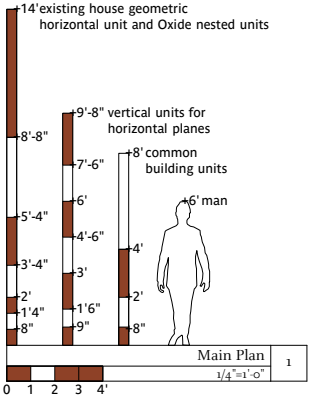
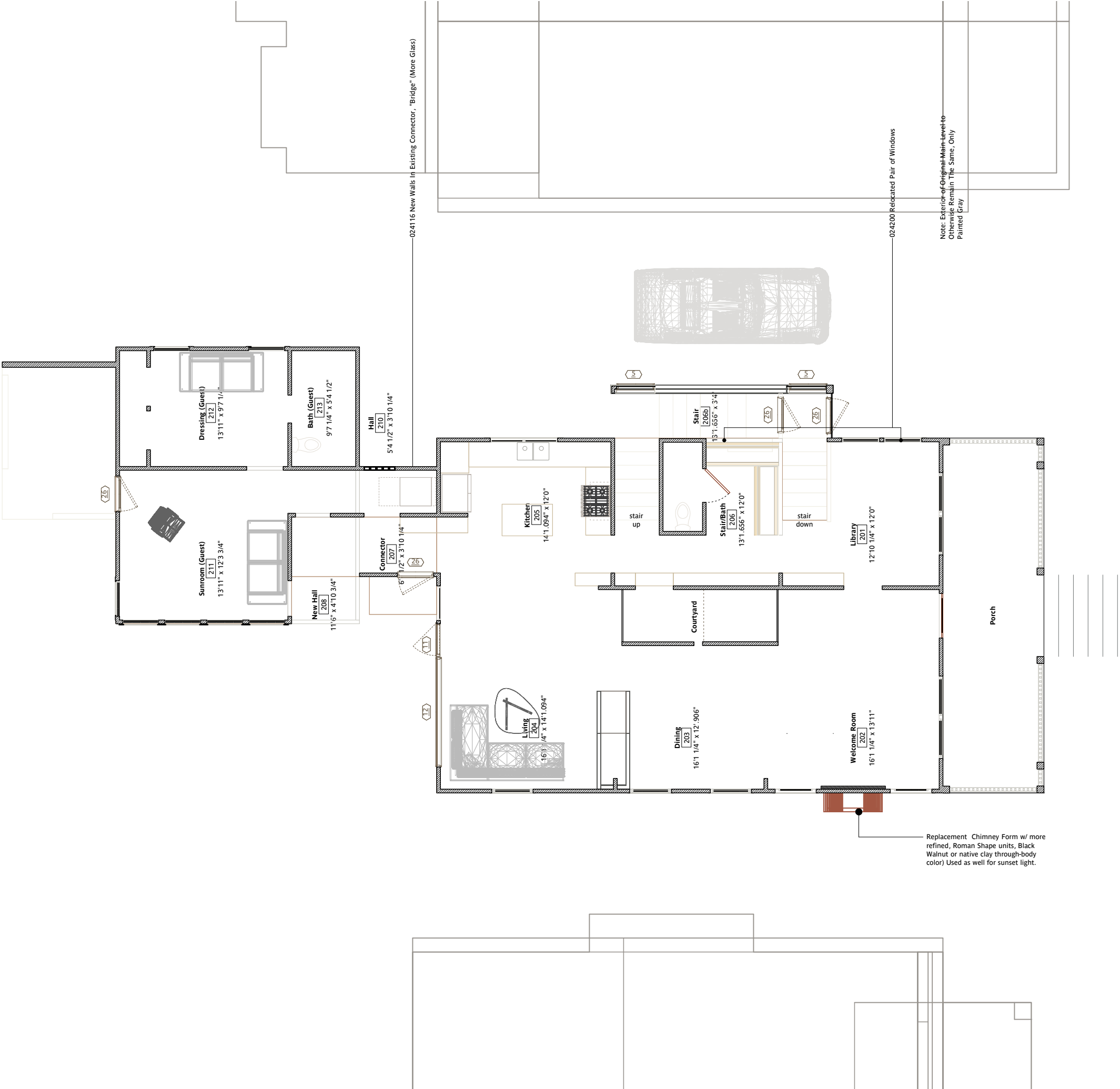
NO TREES >8" dia.

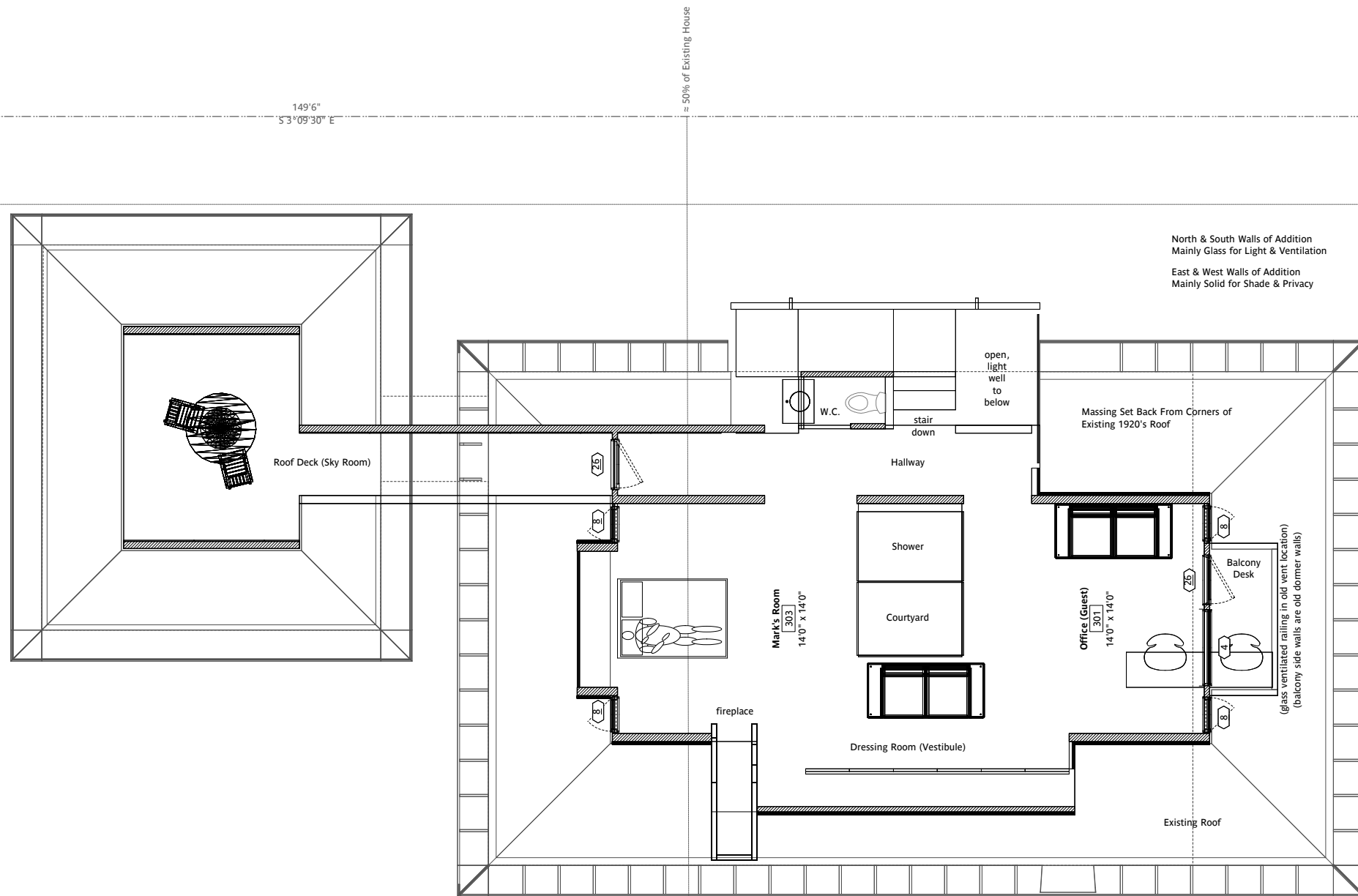
COLE STREET

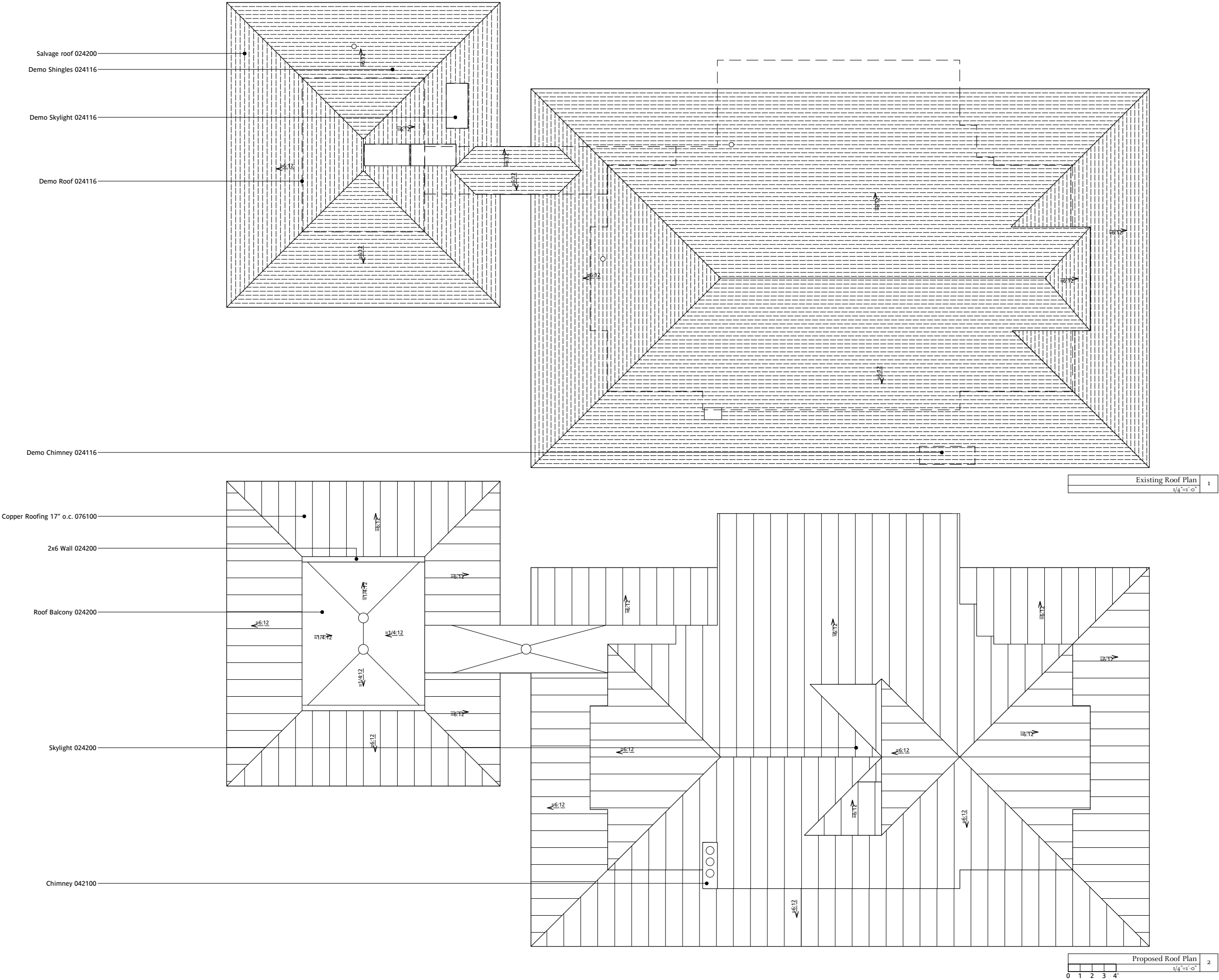














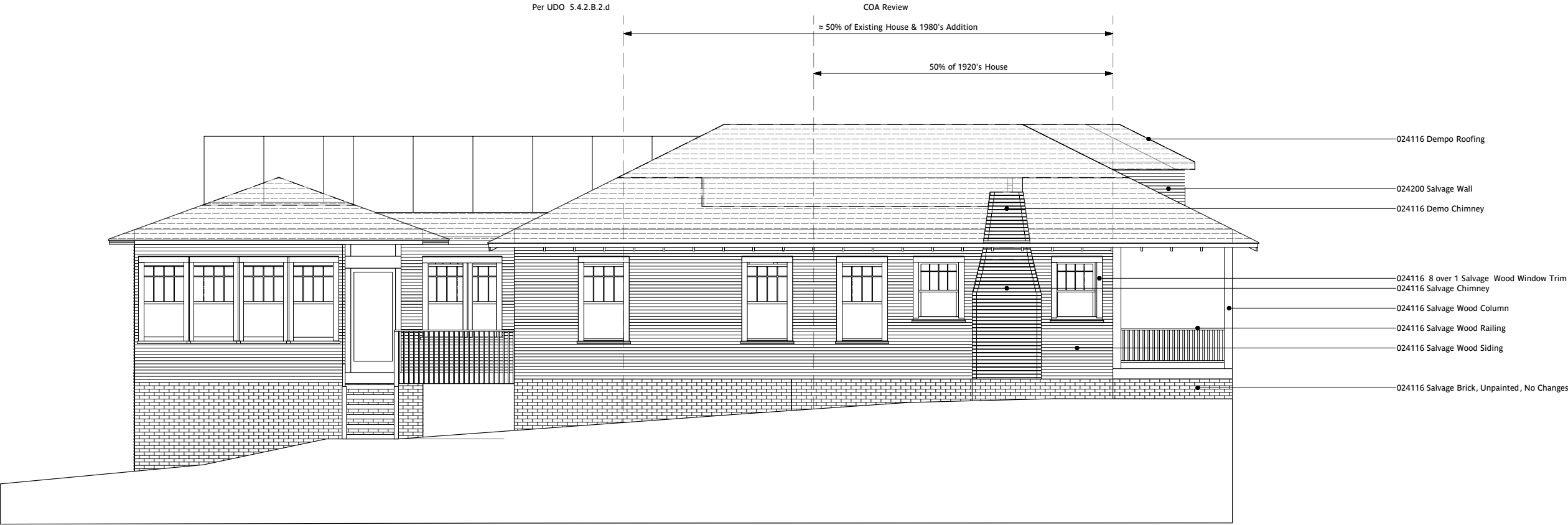
Existing East Elevation	1
1/4"=1'-0"	

- 024116 Demo Roofing
- 024200 Salvage Roof
- 024116 Demo Windows
- 024200 Relocate Double Window
- 024200 Remove Single Window, Store per Owner
- 024200 Salvage Wood Window Trim
- 024200 Salvage 2 1/2" Wood Siding
- 024200 Demo Bricks
- 024200 Existing Brick, Unpainted, No Changes



Proposed East Elevation	2
1/4"=1'-0"	

- 051200 Copper Roofing @ 17" o.c.
- 051200 Siding (shiplap) on each side of the roof deck
- 051200 Glass Window
- 051200 Brick Wall
- 051200 Salvage Window & Trim
- 051200 Window
- 051200 Glass Block
- 051200 Stucco Wall

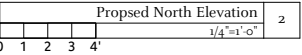
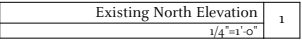


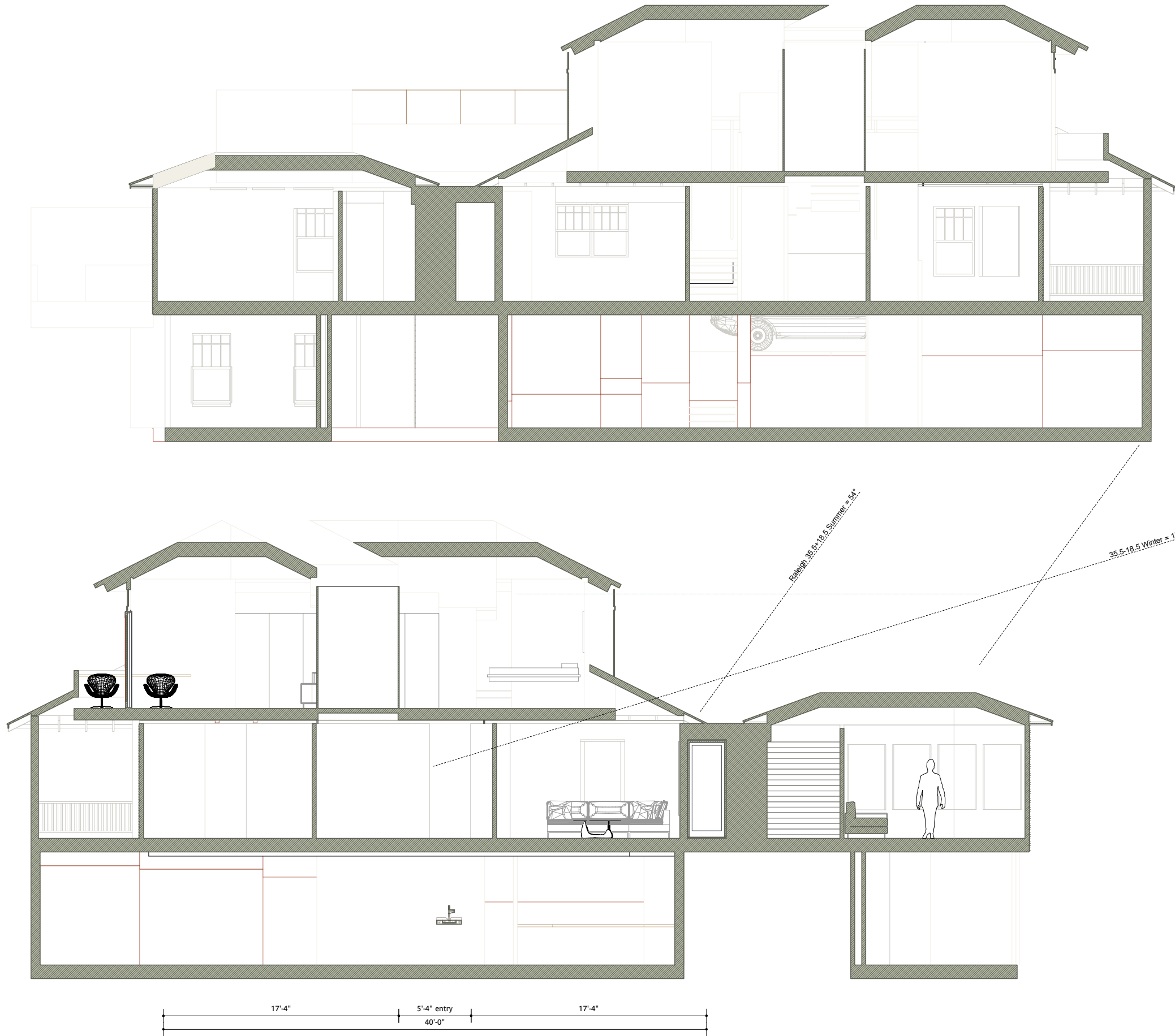
Existing West Elevation	1
1/4"=1'-0"	



Proposed West Elevation	2
0 1 2 3 4' 1/4"=1'-0"	

COA Review Above Existing Roof Plan UDO 5.4.2.B.2.e
31'-1 3/4"





072100 (c) INSULATION, ROOF
072100 (b) INSULATION, WALL
072100 (a) INSULATION, FLOOR (OVER PORCH)

- 241 Roofing
- 236 Roof Sheathing
- 235 Roof Framing
- 234/02 Upper Ceiling Sheathing
- 234/01 Upper Ceiling Framing
- 293 Upper Reflected Ceiling
- 203 Upper Plan
- 233/02 Upper Sheathing
- 233/01 Upper Framing
- 232 Main Ceiling Sheathing
- 231 Main Ceiling Framing
- 292 Main Reflected Ceiling
- 202 Main Plan
- 212 Slab
- 211 Foundation

