



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

125 N HARRINGTON STREET

Address

Historic District

CP&L CAR BARN & GARAGE

Historic Property

048-14-MW

Certificate Number

4/22/2014

Date of Issue

10/22/2014

Expiration Date

Project Description:

- Remove non-historic features: 3 wood windows; main entry door; wood panels on south side; main lights;
- install new metal windows, doors and storefront system;
- install new louver;
- install metal canopy.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

A handwritten signature in dark ink, appearing to read "James G. Kelly", is written over a horizontal line. The signature is fluid and cursive.



Planning & Development

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- ✓ Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - ☐ Most Major Work Applications
 - ☐ Additions Greater than 25% of Building Square Footage
 - ☐ New Buildings
 - ☐ Demo of Contributing Historic Resource
- ✓ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 392679
File # 048-14-MW
Fee \$28.00
Amt Paid \$28.00
Check # 6880
Rec'd Date 4-3-14
Rec'd By K. Pruitt

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address: 125 North Harrington St

Historic District: Yes

Historic Property/Landmark name (if applicable): Carolina Power and Light Car Barn and Automobile Garage

Owner's Name: Powerhouse Square LLC

Lot size 1.04 acre

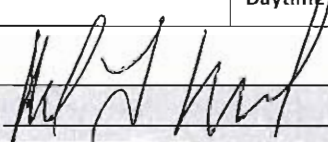
(width in feet)

(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:		
Applicant: Brett Powell, Cline Design Associates		
Mailing Address: 125 N. Harrington St		
City: Raleigh	State: NC	Zip Code: 27603
Date: 4.2.2014	Daytime Phone: 919.833.6413	
Email Address	BrettP@CLINEDESIGNASSOC.COM	
Signature of Applicant		

Minor Work Approval (office use only)	
<p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>10/22/14</u>. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.</p>	
Signature 	Date <u>4.2.2014</u> <u>4/22/14</u>

<p>Project Categories (check all that apply):</p> <p><input checked="" type="checkbox"/> Exterior Alteration</p> <p><input type="checkbox"/> Addition</p> <p><input type="checkbox"/> New Construction</p> <p><input type="checkbox"/> Demolition</p> <p>Will you be applying for state or federal rehabilitation tax credits for this project?</p> <p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p>	<p>(Office Use Only)</p> <p>Type of Work <u>108, 29, 84, 81</u> <u>18</u></p>
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Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief Description of Work
3.7; pg 38	Windows and Doors	Replace two ³ non-historic single pane painted wood windows with insulated thermally broken aluminum windows on the West St elevation.
3.7; pg 38	Windows and Doors	Replace the non-historic entry with a new aluminum entry.
3.8; pg 42	Entrances, Porches & Balconies	Install a new metal canopy over the entrance. We believe that the canopy will look to be in kind with what may have been installed if it were part of the original building.
Not sure	Louver	Provide a louver for the new code's make up air requirements.
3.7; pg 38	Windows and Doors	Replace the wood infills on the parking lot side with a new thermally broken energy efficient aluminum system and possibility of adding an aluminum roll-up garage door.
		not included in application.

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
Minor Work (staff review) – 1 copy					
Major Work (COA Committee review) – 13 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing proposed work Plan drawings ✓ Elevation drawings showing the new façade(s). ✓ Dimensions shown on drawings and/or graphic scale. ✓ 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				



Architecture
Urban Design
Planning
Landscape Architecture
Community Design
Interiors

April 2, 2014

City of Raleigh
Historical Commission
One Exchange Plaza, 4th Fl
Raleigh, NC 27603

Project: 125 N. Harrington St

Re: Changes to Historical Structure

To Whom It May Concern:


The subject building is known on the Historic Registry as the Carolina Power and Light Car Barn and Automobile Garage. The building is a 1 ½ story structure (the first floor is only roughly half of the second floor and back into earth) and the proposed work is for the first floor only. In the '90's, the project was renovated and a restaurant tenant occupied the first floor. The space was recently vacated and we are in the process of designing a new restaurant in this same first floor location.

Here is a list of the changes/repairs we are proposing for the project. After discussions with Tania Tully, she believed that this could be handled at a staff level.

1. There are two windows on the West St. elevation that are not original to the building. When they were replaced, they were replaced with a painted wood field assembled wood window and a single pane of glass. The two windows have started to rot and the new tenant would like to replace these with a thermally broken insulated aluminum storefront system. The new window will be finished in the same color as the remaining original steel windows and will also meet the energy code requirement.
2. The existing building had an overhead garage door in the center as the entrance, see attached. When the building was renovated in the '90's, this was replaced with a wood window and door entrance assembly, see attached. The new tenant would like to replace this with a new aluminum entry system.
3. The new tenant would like to add a metal canopy over the entrance. While there is no precedence on this building, the canopy we are proposing (see attached) is in kind with what may have been used when the building was constructed.
4. When the building was renovated initially, the building codes were different than they are today. The restaurant that occupied the space then was designed to meet that code. Today the code requires that a "make up" air system be installed to provide additional fresh air into the space to balance the amount of air being exhausted from the hoods in the kitchen. Since we are unable to run a duct up through the roof (there is an existing office tenant occupying the second floor), we are forced to draw in through the wall. There are existing louvers on the Jones St. elevation (see attached photographs), but we may need to add one that will be located in a previous opening that had been closed off. The new louver will match the existing louvers.
5. On the parking lot side, a fabric canopy structure was installed to cover a patio for outside dining. The openings on that side were filled with wood framing, paneling, windows and folding doors. The wood is dated and in parts, rotting. The new tenant would like to replace this with a new thermally broken energy efficient aluminum system with the possibility of adding an aluminum roll-up garage door.

Please let me know if you have any questions.

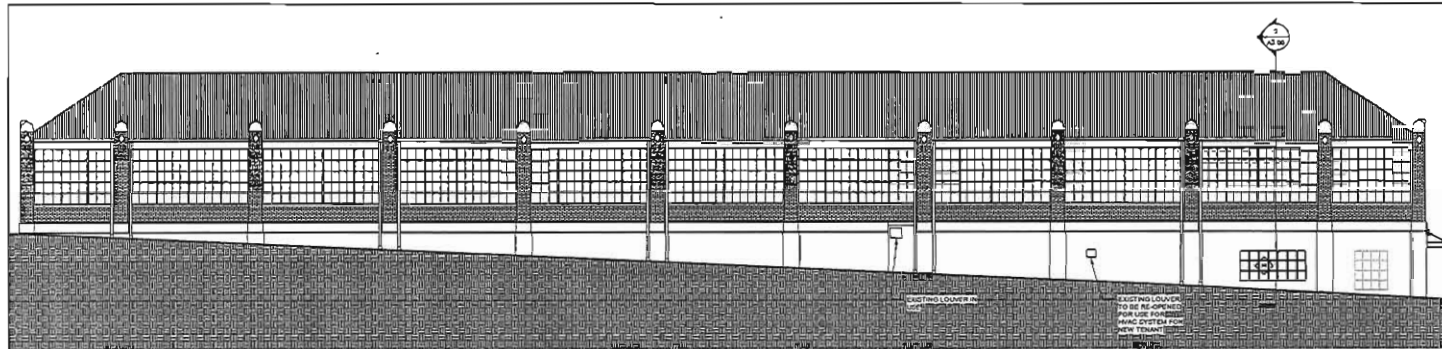
Sincerely,

A handwritten signature in dark ink, appearing to read "Brett W. Powell", with a large, stylized circular flourish at the end.

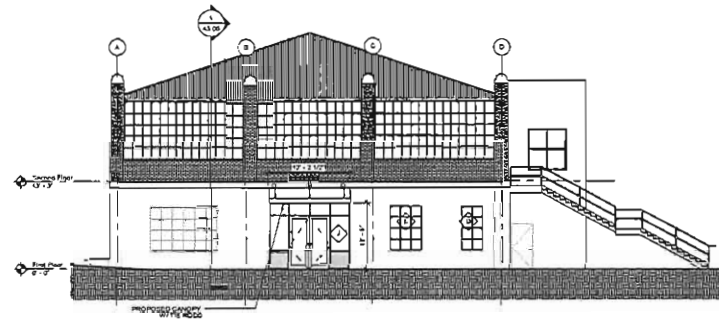
Brett W. Powell, AIA LEED AP BD+C
Associate Principal, Senior Project Manager
Cline Design Associates, PA

Encl: Photographs
 Canopy information
 Window frame detail
 Drawings

Copy: File 013136_CD05_Historical_140402 App Letter



NORTH ELEVATION 3
1/8" = 1'-0"



WEST ELEVATION 2
1/8" = 1'-0"



SOUTH ELEVATION 1
1/8" = 1'-0"

GENERAL NOTES

SYMBOL LEGEND

KEYED NOTES

**CLINE
DESIGN**

27501 KAYMAN ROAD
RALEIGH, NC 27603
919.833.6415
WWW.CLINEDESIGN.COM
CLINEDESIGN@GMAIL.COM

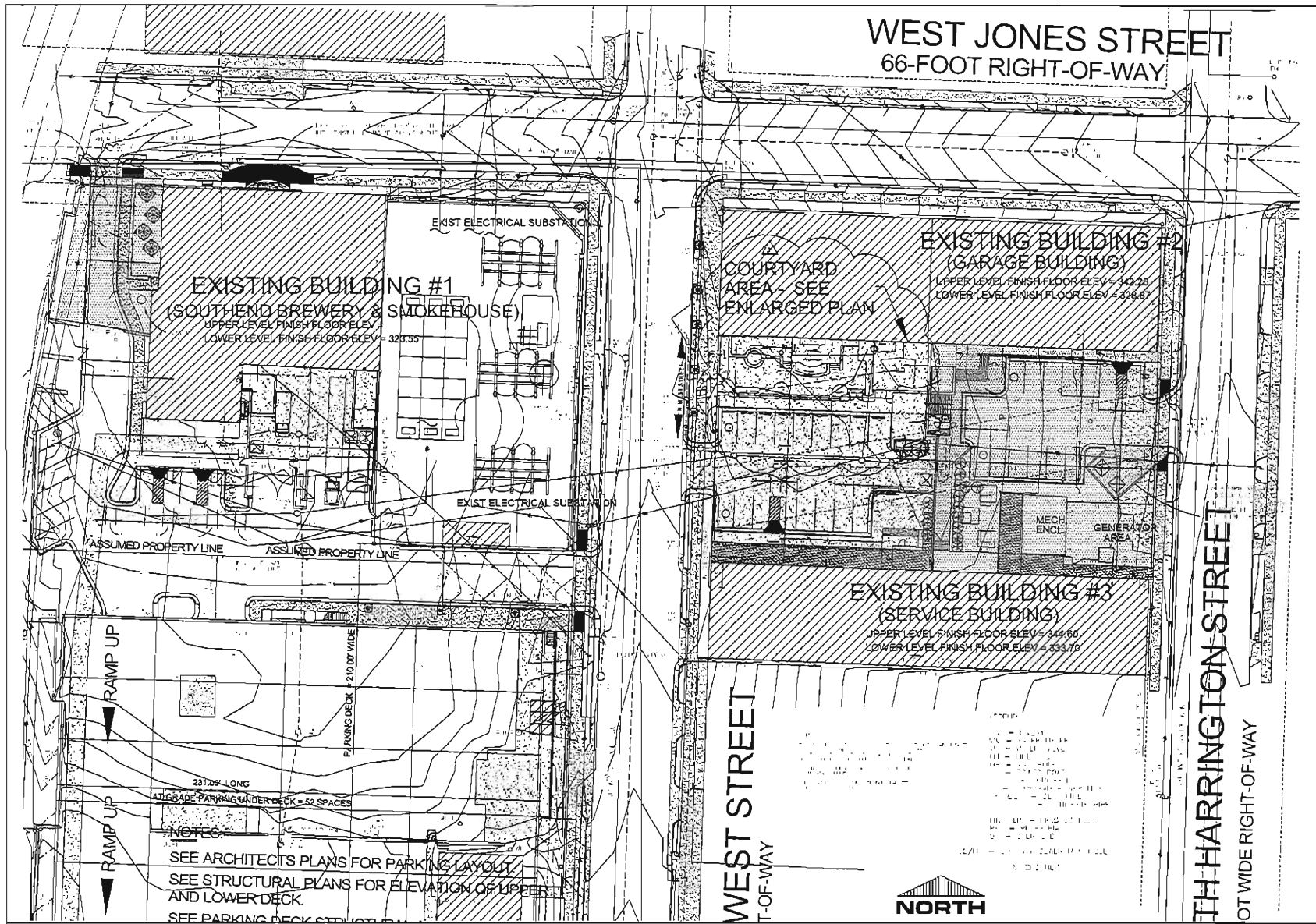
Storm Clouds Brewing
126 N. West Street, Raleigh, North Carolina



PROJECT: 09/13/18
DATE: 04/23/2014
REVISIONS: DATE

DRAWN BY: JES
CHECKED BY: CAB
EXTERIOR ELEVATIONS

A2.00



CLINE DESIGN

125 N. Harrington St.
Raleigh, NC 27601
919/853-4413
919/856-1780 FAX
ClineDesign@comcast.net

Storm Clouds Brewing
126 N. West Street, Raleigh, North Carolina



PROJECT: STORM CLOUDS BREWING
DATE: 08/03/2014
REVISION: 1
DATE:

Drawn by: JSC
Checked by: Checker
ARCHITECTURAL SITE PLAN

SITE PLAN
1" = 20'-0" 1

A0.00



125 M. HANCOCK ST.
RALEIGH, NC 27601
919.763.4413
919.763.1280 FAX
CLINE@CLINEDSIGN.COM

Storm Clouds Brewing
126 N. West Street, Raleigh, North Carolina



PROJECT: 013130
DATE: 01.03.2014
REVISIONS: DATE

DRAWN BY: AJR/DF
CHECKED BY: DFM/DF

CONSTRUCTION FLOOR PLAN

A1.00

GENERAL NOTES

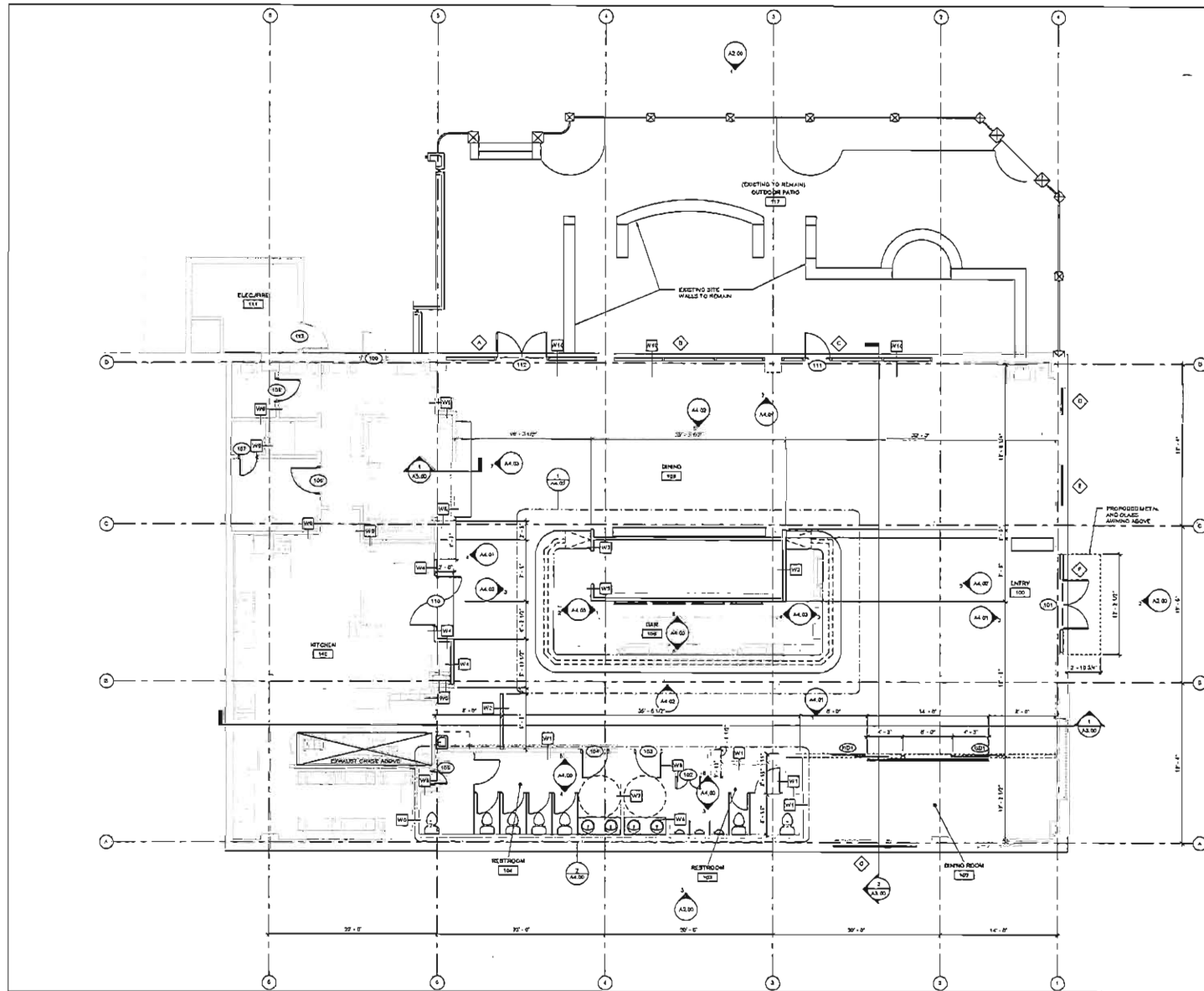
1. THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE CIVIL, STRUCTURAL, MEP, FIRE PROTECTION DRAWINGS AND SPECIFICATIONS. DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. THE CONTRACTOR SHALL BE ADVISED THAT THE FIRE RATED PARTITIONS FOR ROUTING ALL ELECTRICAL, MECHANICAL, AND PLUMBING SHALL BE PROVIDED BY THE CONTRACTOR IN MANY LOCATIONS. THE CONTRACTOR SHALL COORDINATE ALL OF THE TRADES HERE AND MAKE ADJUSTMENTS TO THE PARTITIONS APPROXIMATE TO THE ROUTING OF THESE ITEMS AS REQUIRED. ANY REMOVALS RESULTING FROM THE FAILURE TO COORDINATE WILL BE PERFORMED BY THE CONTRACTOR AT HIS/HER OWNERS RISK.
3. ALL PARTITIONS OF FIRE RATED ASSEMBLIES SHALL BE FIRE RATED AND SEALED PER IS APPROVED METHOD.
4. ALL CONCEALED FIRE RATED PARTITIONS SHALL BE PROVIDED WITH EXPOSURE INDICATING THE TYPE OF ASSEMBLY AND THE FIRE RATING IN INCHES IN LETTERS NO SMALLER THAN 7" HIGHER THAN SECTION 11.1.
5. CONTRACTOR IS TO SEAL ALL AREAS OF NEW FIRE PROOFING DAMAGED DURING THE INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING TO REQUIRED RESISTANCE RATINGS.
6. ALL DOORS SHALL BE MOUNTED MIN. 6" FROM THE INTERIOR FACE OF WALL TO THE EDGE OF THE DOOR UNDER.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL BLOCKING AND REINFORCING AS REQUIRED FOR THE INSTALLATION OF TOILET PARTITIONS, TOILET ACCESSORIES, HANDRAILS, AND WORKSHELF INDICATED IN THE DRAWINGS.
8. WOOD IN CONTACT WITH MASONRY, CONCRETE OR USED ON ROOF IS TO BE PRESURE TREATED WITH AN APPROPRIATE SEALANT BETWEEN ALL DISSIMILAR MATERIALS.
9. PROVIDE SEALANT BETWEEN WINDOW/DOOR FRAMES AND ADJACENT WALLS BOTH SIDES.
10. ALL WALLS THAT DO NOT EXTEND TO DECK ARE TO BE BRACED TO STRUCTURE ABOVE. 4" O.C. PLATE BRACES TO BE USED UTILITIES, ETC.
11. WALL PARTITION LEADING, SEE 01.30.
12. WINDOW AND DOOR FRAME TO BE 2" O.C. TO FACE OF STUDENT FACE OF GLASS. 1/2" FACE OF MASONRY/METAL PANELS UNDER.
13. SEE 01.30 FOR 1/2" O.C. WINDOW/DOOR.
14. SEE INTERIOR PLANS A.1.00 FOR DETAILS. SECTION 11.1.00 IS REVISION LOCATIONS TO BE MOUNTED RESISTANT TO COLLISION TRANSMISSION TO BE USED AT ALL FLOOR TRANSITIONS.
15. THE GENERAL CONTRACTOR SHALL PROVIDE AS REQUIRED BY LOCAL FIRE MARSHAL. GO TO REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
16. THE GENERAL CONTRACTOR SHALL PROVIDE AS REQUIRED BY LOCAL FIRE MARSHAL. GO TO REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
17. GO TO PROVIDE BRACING FOR ALL WALL MOUNTED TO DIVISIONS.

FLOOR PLAN LEGEND

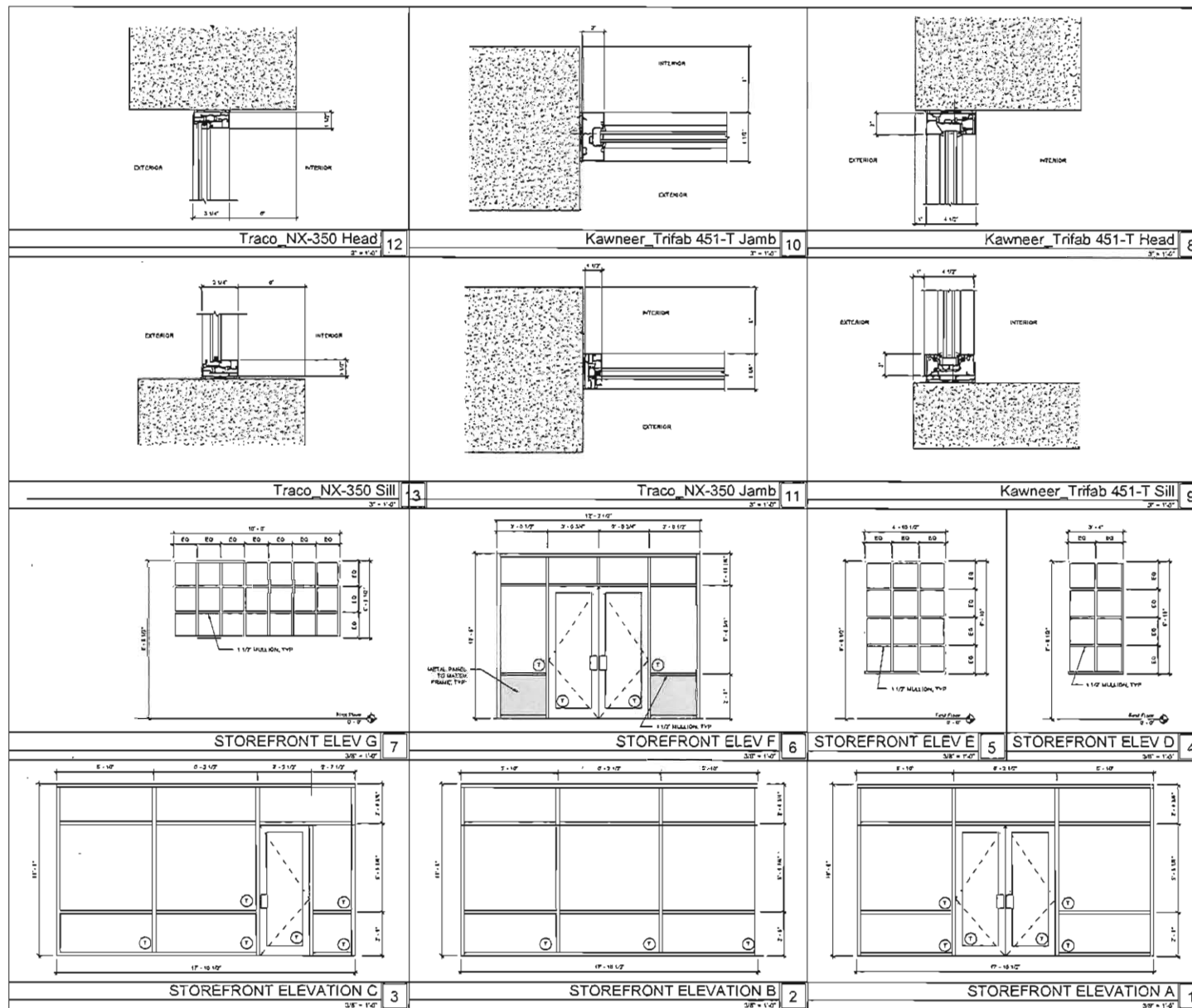
- WINDOW TYPE - SEE A1.01
- DOOR HANDLE TYPE - SEE A1.02
- WALL TYPE - SEE 01.30
- FIRE DETECTOR ON SMOKE DET. OF A.F.F. TO HANDLE
- FIRE DETECTOR ON SMOKE DET. OF A.F.F. TO HANDLE
- FLOOR DRAIN, SEE MEP DRAWINGS
- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM TAB
- KEY NOTE TAB
- EXISTING DOOR TO REMAIN
- NEW DOOR, U.N.D.
- NEW FLOOR MOUNTED TOILET
- NEW VENT

WALL TYPE LEGEND

- EXISTING WALL (RESTROOMS) - 2" WOOD STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- NEW WALL TO 5'0" (A.F.F.) - 3.5" METAL STUD FRAMING @ 16" O.C. AND LAYER OF 5/8" GWS ON EACH SIDE W/ RECLAIMED HARDWOOD PLANKING 2"X4" AND WOOD WALL GUT.
- NEW WALL TO 10'0" (A.F.F.) - 3.5" METAL STUD FRAMING @ 16" O.C. AND LAYER OF 5/8" GWS ON EACH SIDE. RECLAIMED HARDWOOD PLANKING 2"X4" AND WOOD WALL GUT ONLY. WOOD WALL GUT.
- NEW WALL KITCHEN - 3.5" METAL STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- EXISTING WALL KITCHEN - 2" WOOD STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- EXISTING WALL (RESTROOMS) - 2" WOOD STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- EXISTING WALL (RESTROOMS) - 2" WOOD STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- EXISTING WALL (RESTROOMS) - 2" WOOD STUD FRAMING @ 16" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD GROUND ATTACHMENT.
- EXISTING WALL TO REMAIN
- NEW STOREFRONT SYSTEM



FLOOR PLAN
31'0" x 15'0"



KEYED NOTES

1. STOREFRONT ELEVATIONS A, B, & C
- KAWNEER TRIFAB 451-T WITH 2 1/2" MULLIONS

2. STOREFRONT ELEVATIONS D, E, & F
- TRACO IS DASHION OF KAWNEER TRIFAB - HEAVY COMMERCIAL HISTORIC THERMAL ALUMINUM WINDOW

CLINE DESIGN

126 N. Washington St.
Raleigh, NC 27601
919/533-4413
919/536-1240 FAX
Cline@clinedesign.com

Storm Clouds Brewing
126 N. West Street, Raleigh, North Carolina

CLINE DESIGN ASSOCIATES, P.A.
CDDA
Raleigh, NC

PROJECT: 903133
DATE: 04.03.2014
REVISION:

	DATE
--	------

DRAWN BY: JES
CHECKED BY: CAB
STOREFRONT ELEVATIONS

A6.01



New towers

~~REPLACE~~
NEW COPY

Jones

REPLACE
WINDOW

REPLACE

Heat





Pre-Renovation





Existing louver





REPLACE Non-Historical
single pane wood window



Enlarged of window
to be replaced

Super Lumideck

Hanger Rod



FEATURES

- Pre-engineered
- All Extruded
- Color Options
- High Load
- Deck Options - Flat Soffit
- Fascia/Escutcheon Options
- Internal Drainage



ALL EXTRUDED HANGER ROD CANOPY

The Super Lumideck hanger rod canopy is an all extruded aluminum canopy designed for high load architectural applications. Optional deck styles provide a complete solution for any design requirement. Deck profiles can be combined with differing fascias to complement any design emphasis or building requirement. The all extruded design provides a solution for both high snow drift loads and hurricane force winds.

APPLICATIONS

- Retail Branding
- Storefronts
- Loading Docks
- Parking Garages
- Shopping Center
- Historical Renovation



mapes
ARCHITECTURAL CANOPIES

For design and budget information, please visit
www.mapes.com/superlumideck_hanger

A. Wagner Oil C. Culver's
B. Prospect Park D. Nebraska Machine

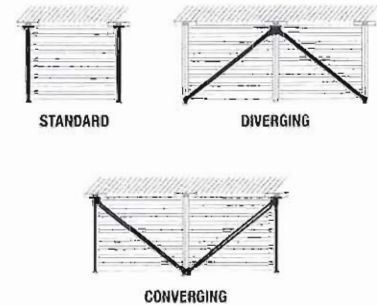
Mapes Canopies, LLC
7748 North 56th Street / Lincoln, NE 68514
888-273-1132 / 877-455-6572 fax
canopy@mapes.com / www.mapescanopies.com

Super Lumideck

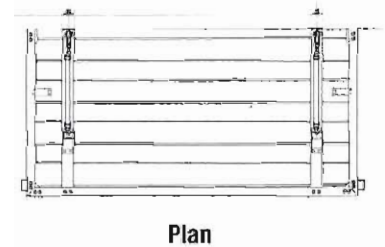
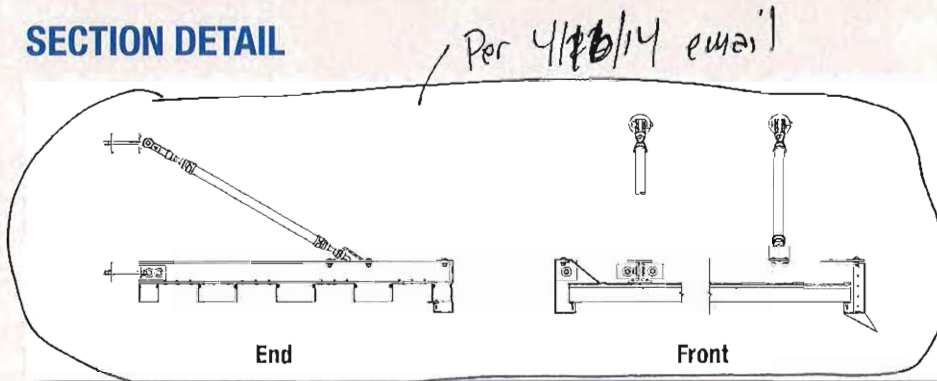
Backyard Burgers



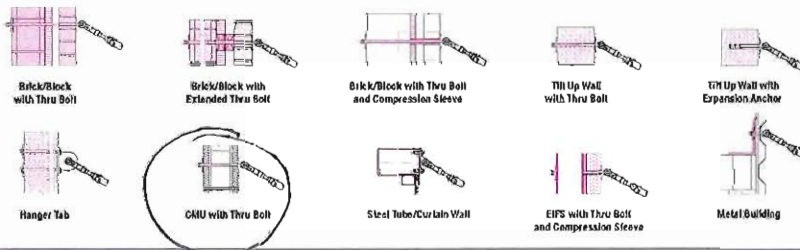
HANGER ROD CONFIGURATIONS



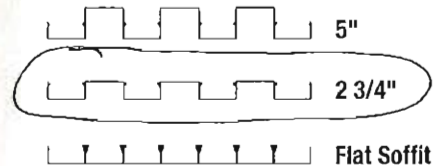
SECTION DETAIL



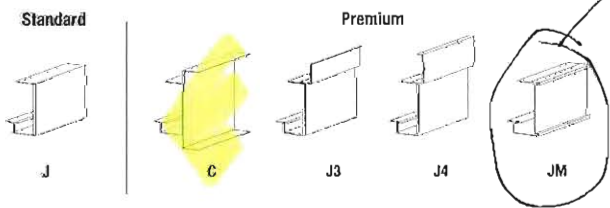
WALL MOUNT DETAILS



DECK OPTIONS



FASCIA OPTIONS

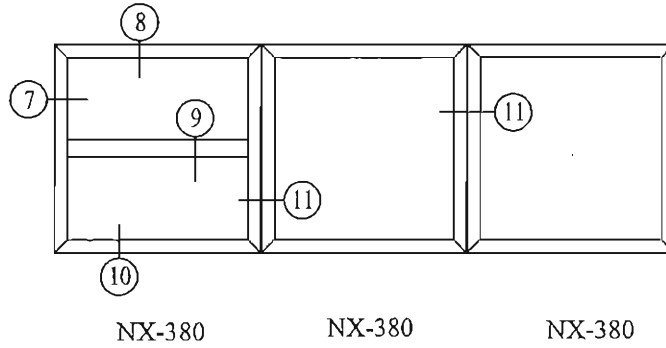


mapes
ARCHITECTURAL CANOPIES

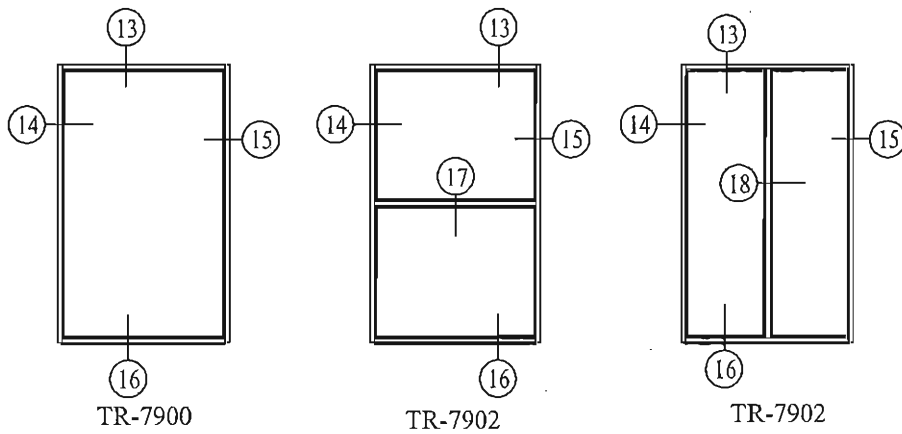
Mapes Canopies, LLC
7748 North 56th Street / Lincoln, NE 68514
888-273-1132 / 877-455-6572 fax
canopy@mapes.com / www.mapescanopies.com

For more details, please visit mapes.com/superlumideck_hanger

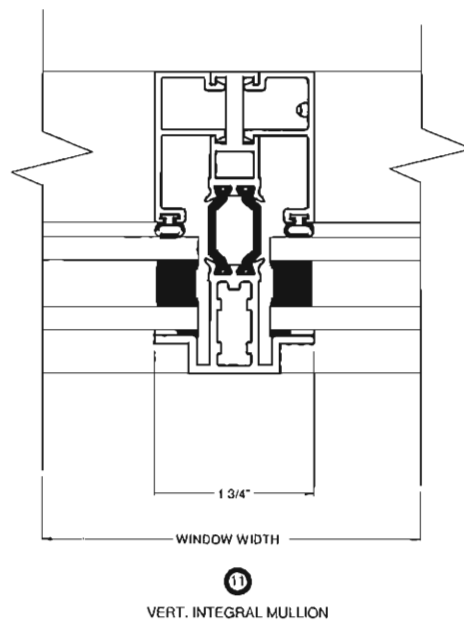
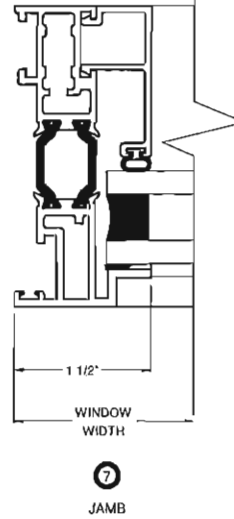
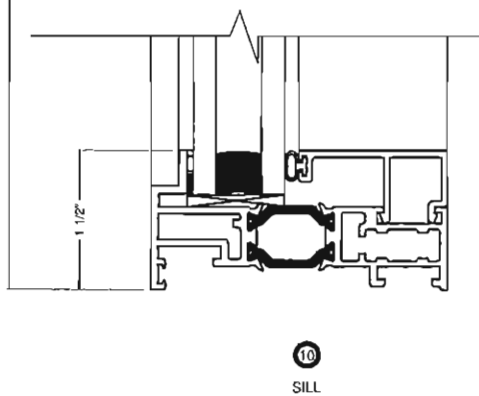
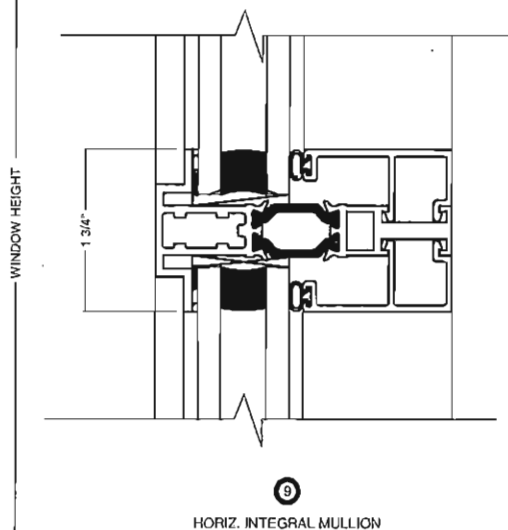
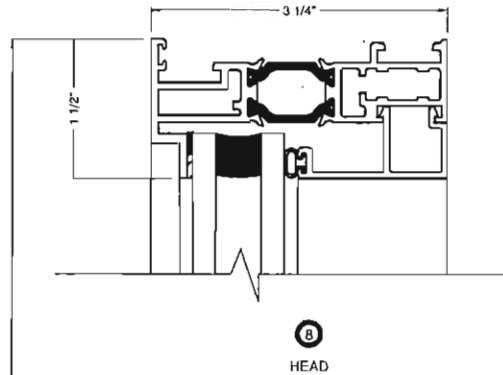
NX-380
3-1/4" DEPTH



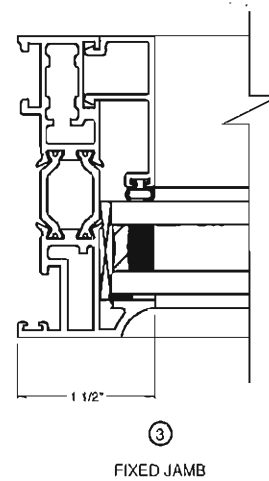
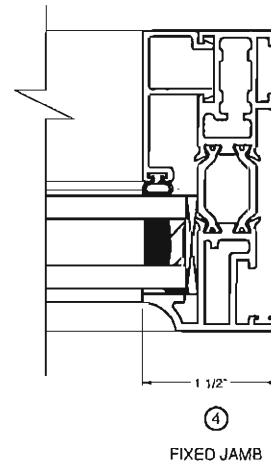
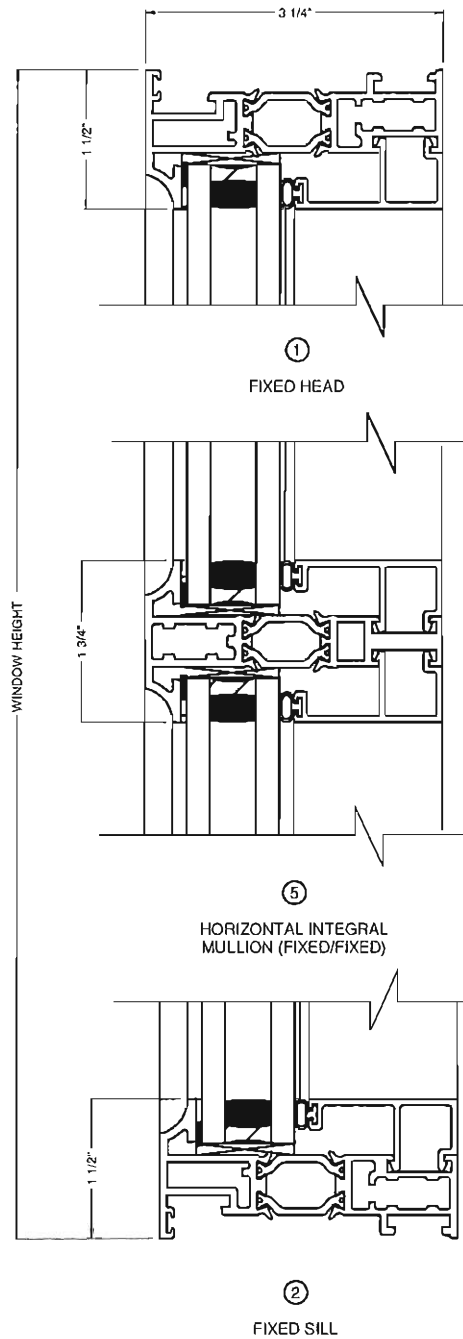
TR-7900
3-1/4" DEPTH



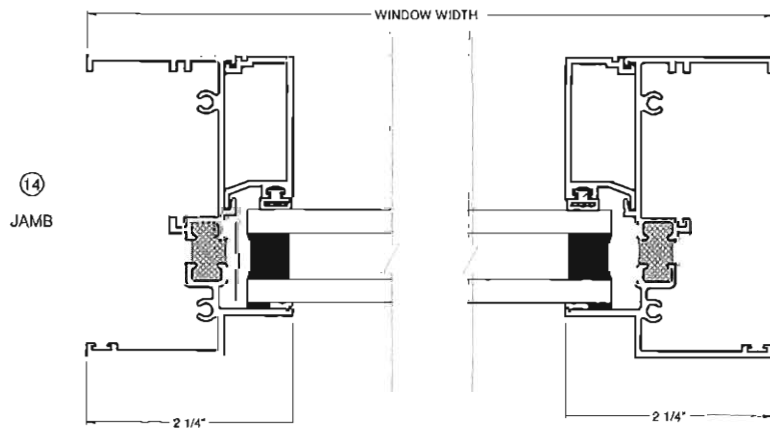
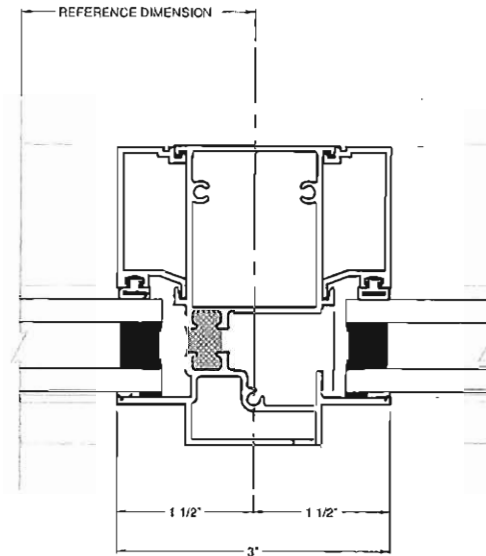
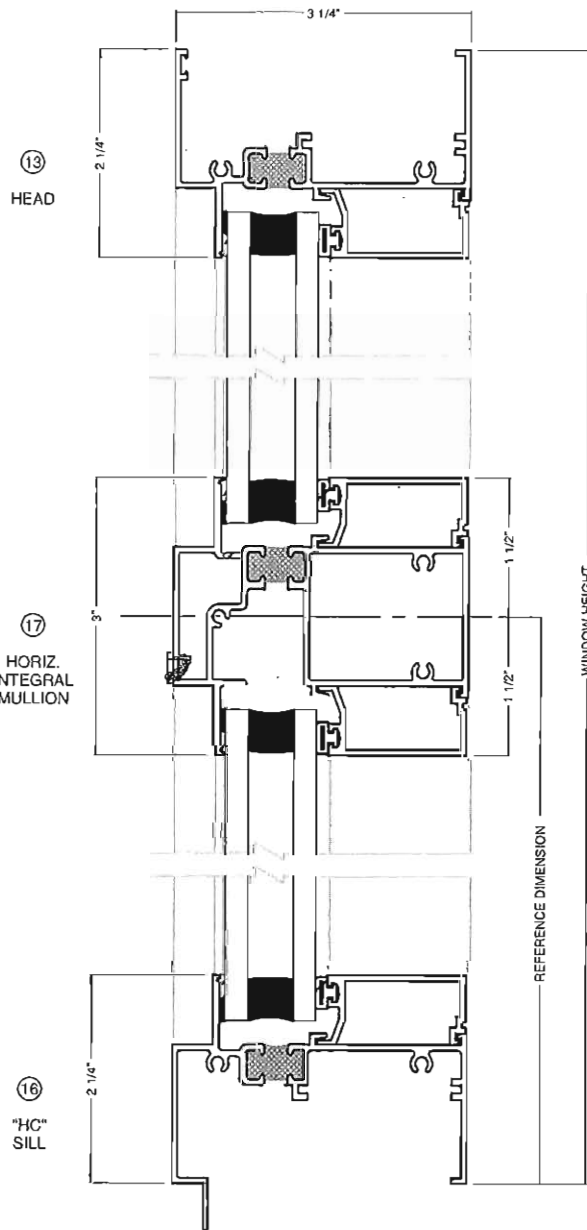
ELEVATIONS



Per 4/16/14
email



HALF SCALE SECTIONS



Tully, Tania

From: Tully, Tania
Sent: Tuesday, April 15, 2014 12:13 PM
To: Brett Powell (BrettP@clinedesignassoc.com)
Subject: CP&L Building COA

Brett –

I am in receipt of the COA application for exterior changes at 125 N Harrington Street and need the following additional information in order to complete my review:

- electronic versions of the drawings; the hard copies are too small to see;
- clarification of which of the details on the Traco spec sheets are applicable to the new windows;
- current photo of the louver location being re-opened;
- current photo of the north elevation window being replaced;
- current photos of the south side of the building;
- mounting details for the new awning (the larger drawings may help – I cannot tell where on the building the hanging rods will attach);
- indication of whether light fixtures are being removed and if new ones are being installed;
- request for removal of exiting signage (likely already removed, but technically needs a COA)

Note that any proposed signage will also need a COA.

Thanks!

Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674 **new phone number**
919.516.2684 (fax)
tania.tully@raleighnc.gov

Tully, Tania

From: Brett Powell <BrettP@clinedesignassoc.com>
Sent: Wednesday, April 16, 2014 3:20 PM
To: Tully, Tania
Subject: RE: CP&L Building COA
Attachments: 013136_Storm Cloud Brewery_HC_140403.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Tania, thank you for your reply. Here is a [link](#) to where you can download the items you requested. Some of them are going to be a bit difficult to see because they are behind landscaping. I named the photographs to help you follow where each is going. ✓

The sign that is shown for Ri Ra's has long since been gone. The restaurant that moved out in November (Napper Tandy's) had been there for several years. We do not have a new sign design at this time. *will require separate COA*

✓ Regarding the window mullion design, the fixed Bevel Frame on page 3 I think looks most like the original windows.

✓ Regarding the metal canopy, I have included the spec sheet again and highlighted which details we would be using. Let me know if that helps.

✓ Right now we are not replacing the existing exterior fixtures on the west side. The finish is a bit rough, but I believe we can have them repainted.

Let me know if you have any questions or would like me to go over with you.

Thank you for your help. Have a great day.

Brett Powell, AIA · LEED AP BD+C
Associate Principal · Senior Project Manager

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125 N. Harrington Street · Raleigh, NC 27603
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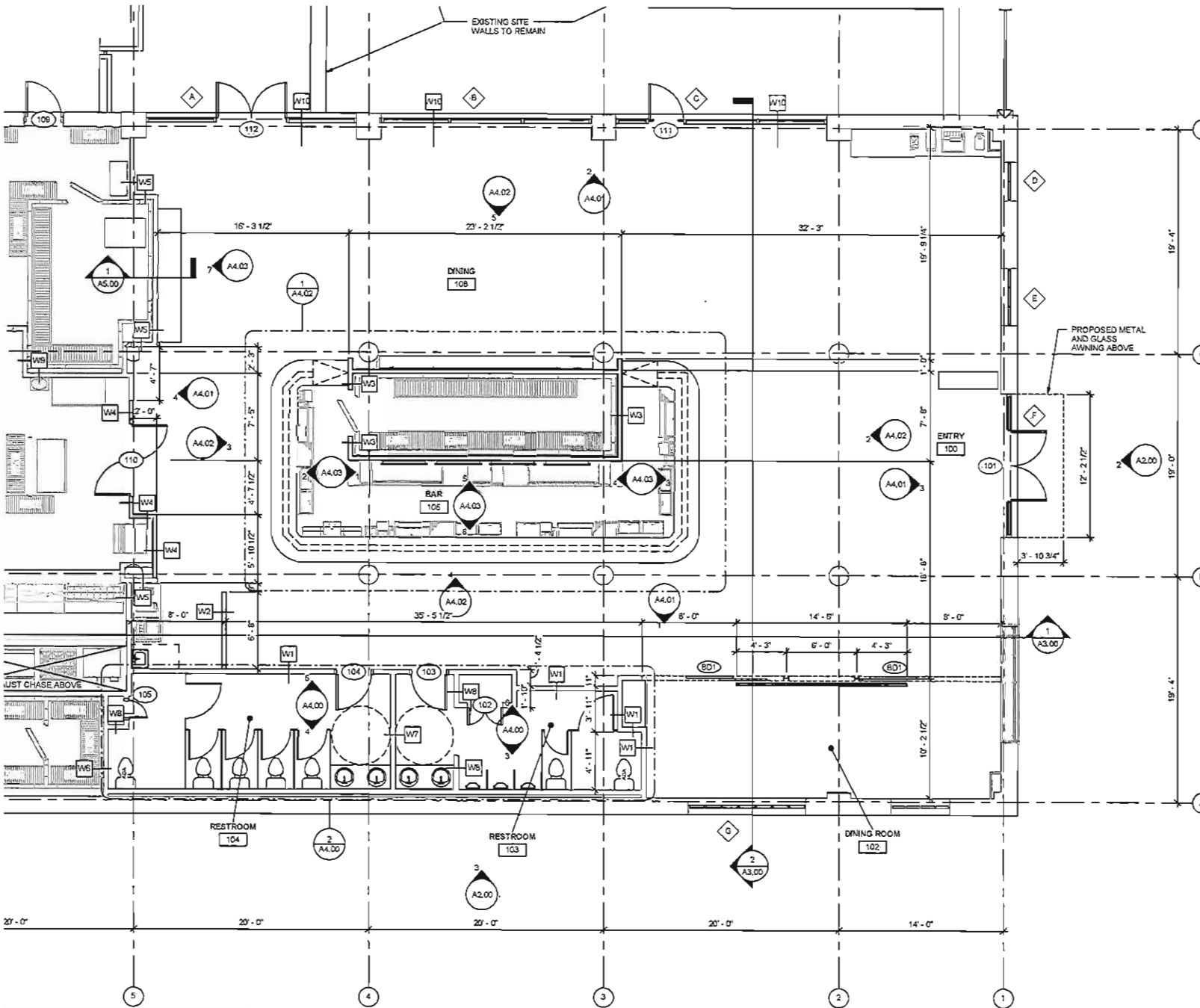
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From: Tully, Tania [<mailto:Tania.Tully@raleighnc.gov>]
Sent: Tuesday, April 15, 2014 12:12 PM



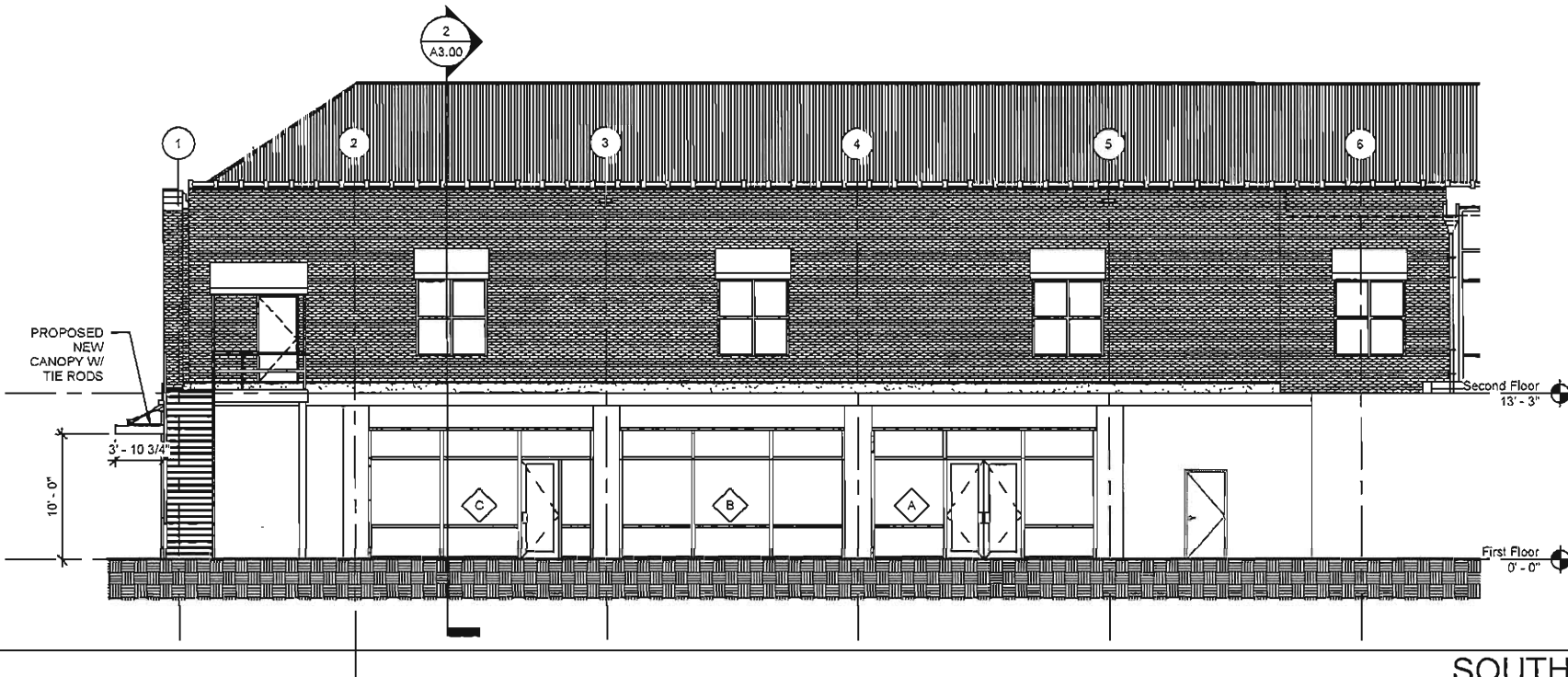
11. PROVIDE SEALANT BETWEEN WINDOW & DOOR FRAMES AND ADJACENT WALLS BOTH SIDES.
12. ALL WALLS THAT DO NOT EXTEND TO DECK ARE TO BE BRACE TO STRUCTURE ABOVE. 48" O.C. PLACE BRACES TO AVOID UTILITIES, DUCTS, ETC.
13. WALL PARTITION LEGEND. SEE G1.20
14. DIMENSIONS ARE FACE OF STUD (F.O.S.) TO FACE OF STUD. FACE OF COLUMN & FACE OF MASONRY/METAL PANELS U.N.O.
15. SEE SHEET A6.01 FOR ALL EXTERIOR WINDOWS.
16. SEE INTERIOR PLANS & ELEVATIONS FOR DETAILS & SECTIONS.
17. GWS @ RESTROOM LOCATIONS TO BE MOISTURE RESISTANT SCHLUTER TRANSITION STRIPS TO BE USED AT ALL FLOOR TRANSITIONS.
18. THE GENERAL CONTRACTOR TO PROVIDE KNOX BOXES REQUIRED BY LOCAL FIRE MARSHAL. GO TO REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
19. THE GENERAL CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY LOCAL CODE AND LOCAL FIRE MARSHAL. GO TO REVIEW ESTABLISHED LOCATIONS WITH ARCHITECT PRIOR TO BUILDING FRAMING COMMENCING.
20. G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED TELEVISIONS.

FLOOR PLAN LEGEND

- WINDOW TYPE - SEE A6.01
- DOOR NUMBER/TYPE - SEE A6.00
- WALL TYPE - SEE G1.20
- FIRE EXTINGUISHER ON BRACKET, 42" A.F.F. TO HANDLE
- FIRE EXTINGUISHER CABINET, 42" A.F.F. TO HANDLE
- FLOOR DRAIN, SEE MEP DRAWINGS
- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NAME
- ROOM TAG
- KEY NOTE TAG
- EXISTING DOOR TO REMAIN
- NEW DOOR, U.N.O.
- NEW FLOOR MOUNTED TOILET
- NEW VANITY

WALL TYPE LEGEND

- EXISTING WALL (RESTROOMS) - 2x4 WOOD STUD FRAMING @ 15" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD SOUND ATTENUATION.
- NEW WALL TO 9'-0" A.F.F. - 3 5/8" METAL STUD FRAMING @ 15" O.C. W/ ONE LAYER OF 5/8" GWS EACH SIDE W/ RECLAIMED HARDWOOD FLOORING FINISH AND WOOD WALL CAP.
- NEW WALL TO 12'-0" A.F.F. - 3 5/8" METAL STUD FRAMING @ 15" O.C. W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. RECLAIMED HARDWOOD FLOORING FINISH ON ONE SIDE ONLY. WOOD WALL CAP.
- NEW WALL (KITCHEN) - 3 5/8" METAL STUD FRAMING @ 15" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD SOUND ATTENUATION.
- EXISTING WALL (KITCHEN) - 2x4 WOOD STUD FRAMING @ 15" O.C. TO DECK W/ ONE LAYER OF 5/8" GWS ON EACH SIDE. ADD SOUND ATTENUATION.
- EXISTING WALL (KITCHEN/RESTROOM) - 3 5/8" MTL. STUD FRAMING @ 15" O.C. TO 1'-0" ABOVE CEILING W/ ONE LAYER OF 5/8" GWS ON EACH SIDE.
- EXISTING WALL (RESTROOMS) - 3 5/8" MTL. STUD FRAMING @ 15



SOUTH ELEVATION

1/8" = 1'-0"

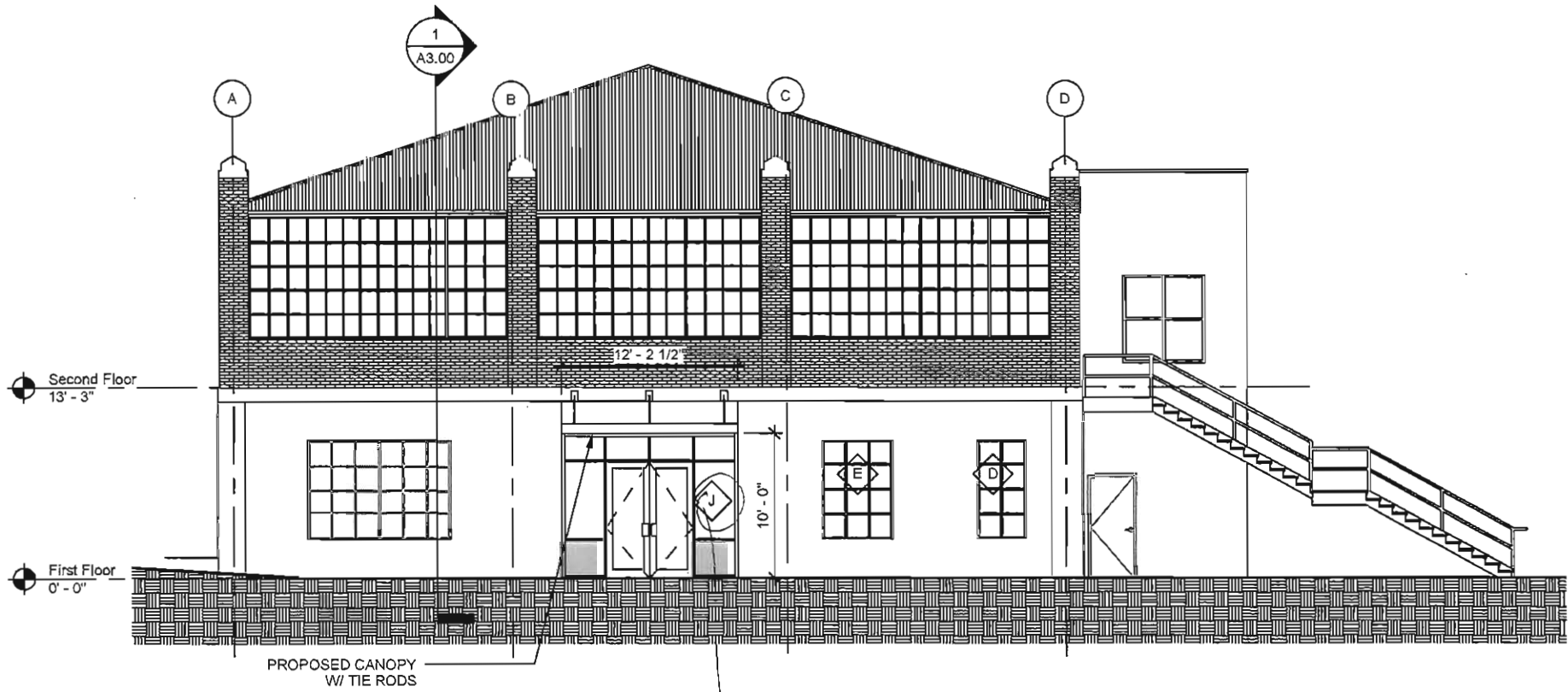
1



NORTH ELEVATION

1/8" = 1'-0"

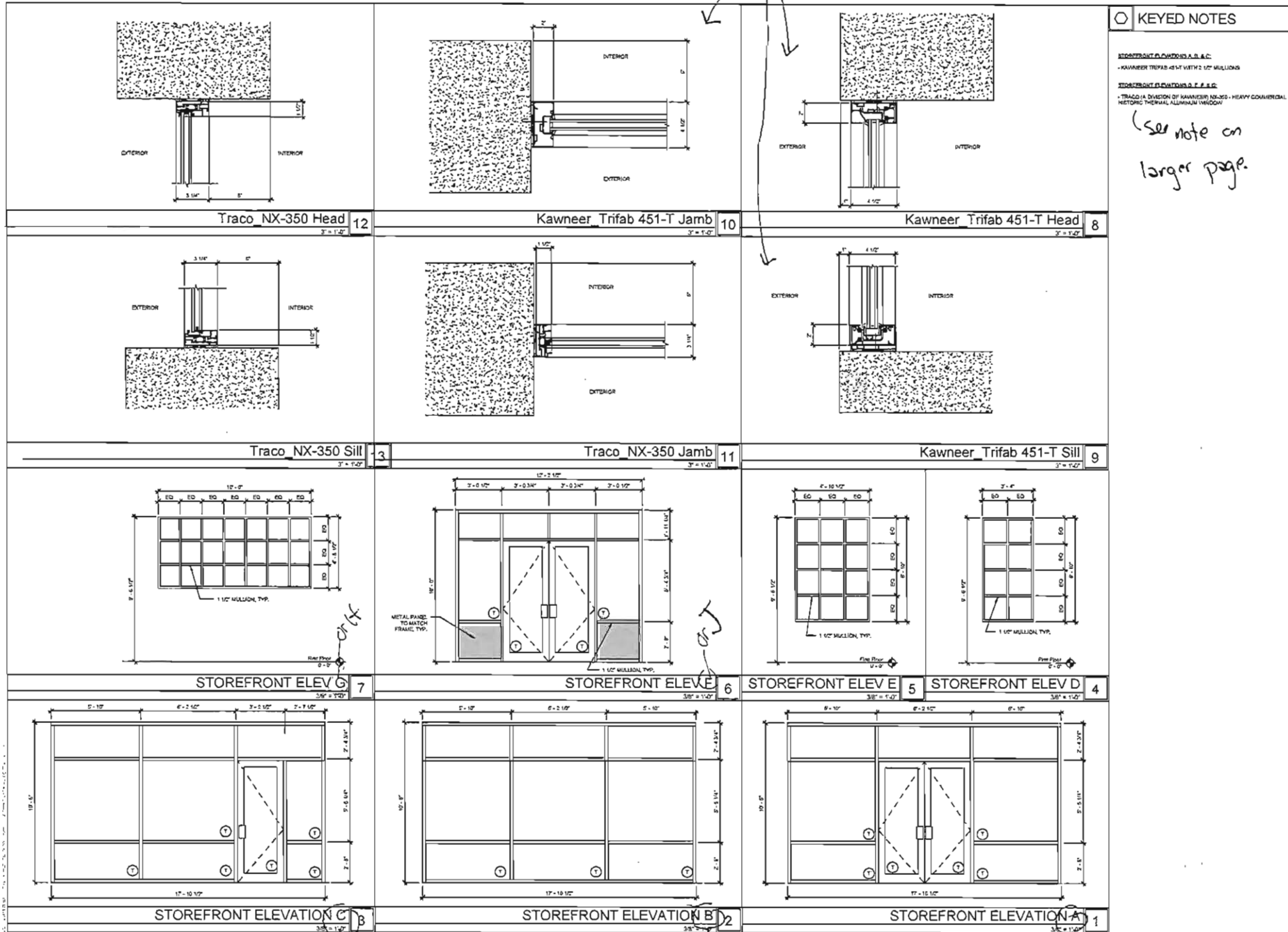
3



WEST ELEVATION

2

South Elevation New storefront system.



KEYED NOTES

STOREFRONT ELEVATIONS A, B, & C:
- KAWNEER TRIFAB 451-T WITH 2 1/2" MULLIONS

STOREFRONT ELEVATIONS D, E, & F:
- TRACO (A DIVISION OF KAWNEER) NX-350 - HEAVY COMMERCIAL
NETWORK THERMAL ALUMINUM WINDOW

(See note on larger page.)

CLINE DESIGN

125 N. Harrington St.
Raleigh, NC 27603
919/836-4415
919/836-1280 FAX
ClineDesignAssoc.com

Storm Clouds Brewing
126 N. West Street, Raleigh, North Carolina

CLINE DESIGN ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ARCHITECT
CORPORATE
RALEIGH, NC

PROJECT: 013136
DATE: 04.03.2014
REVISIONS: _____
DATE: _____

DRAWN BY: JES
CHECKED BY: CAB

STOREFRONT ELEVATIONS

A6.01



KEYED NOTES

STOREFRONT ELEVATIONS A, B, & C:

- KAWNEER TRIFAB 451-T WITH 2 1/2" MULLIONS

STOREFRONT ELEVATIONS D, E, F, & G:

- TRACO (A DIVISION OF KAWNEER) NX-350 - HEAVY COMMERCIAL HISTORIC THERMAL ALUMINUM WINDOW

OK

D, E & G will be

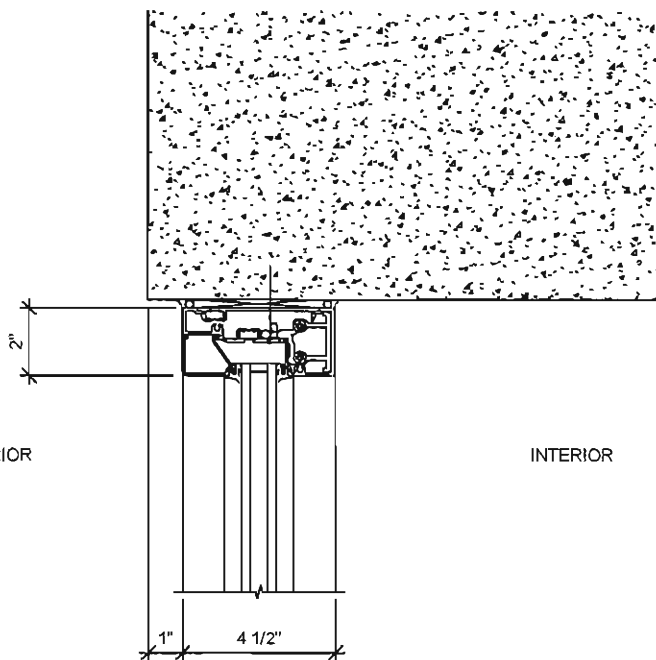
TRACO NX-350

Fixed Bevel Frame

per 4/16/14
email

EXTERIOR

INTERIOR



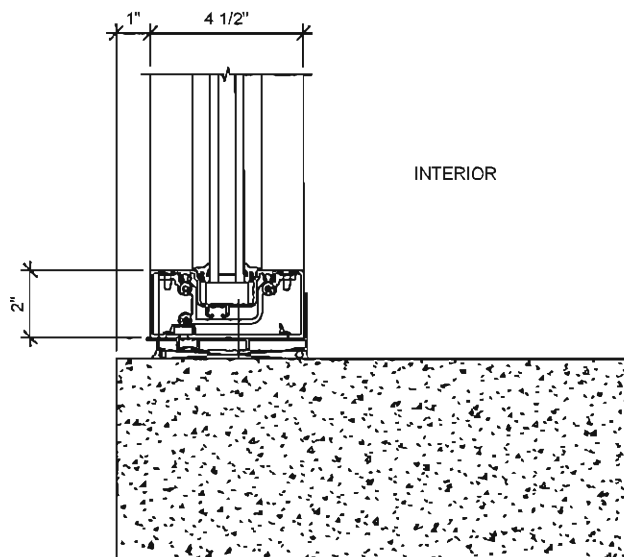
Kawneer_Trifab 451-T Head

8

3" = 1'-0"

EXTERIOR

INTERIOR

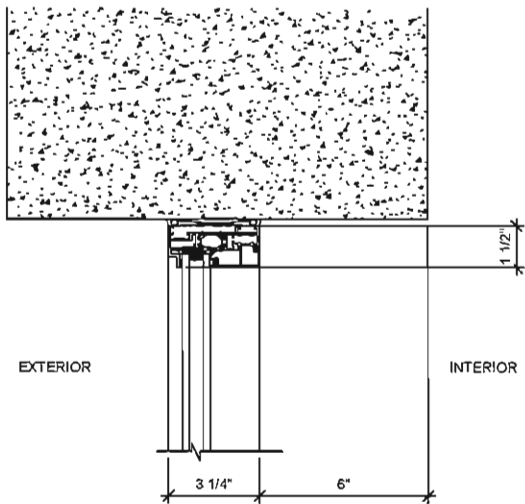


Kawneer_Trifab 451-T Sill

9

3" = 1'-0"

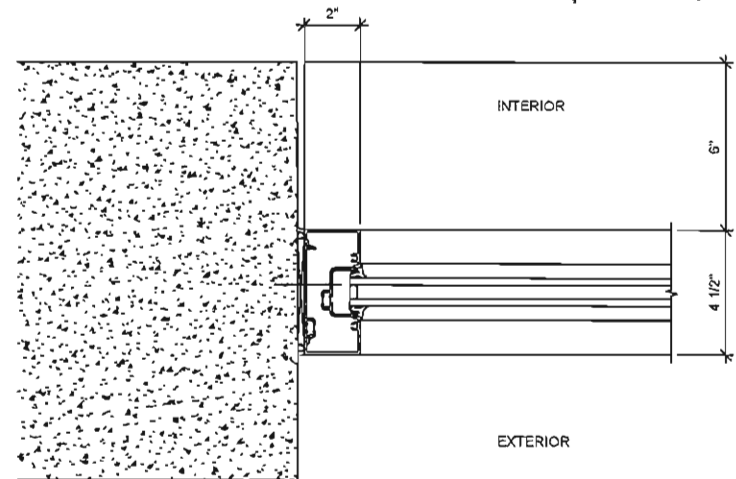
South Elevation Store fronts



Traco NX-350 Head

3" = 1'-0"

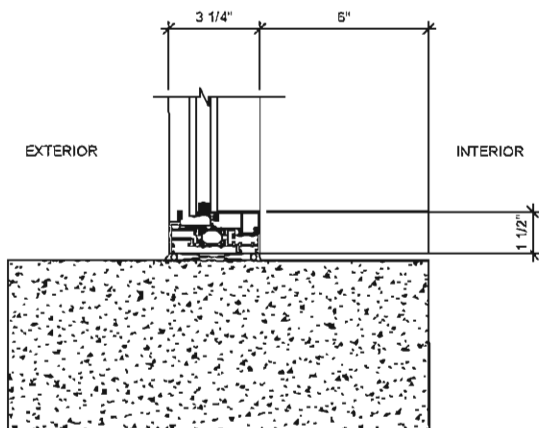
12



Kawneer Trifab 451-T Jamb

3" = 1'-0"

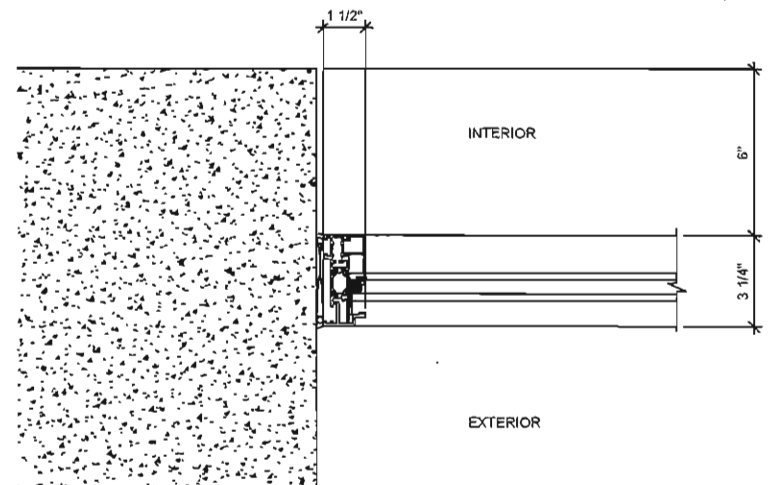
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Traco NX-350 Sill

3" = 1'-0"

13

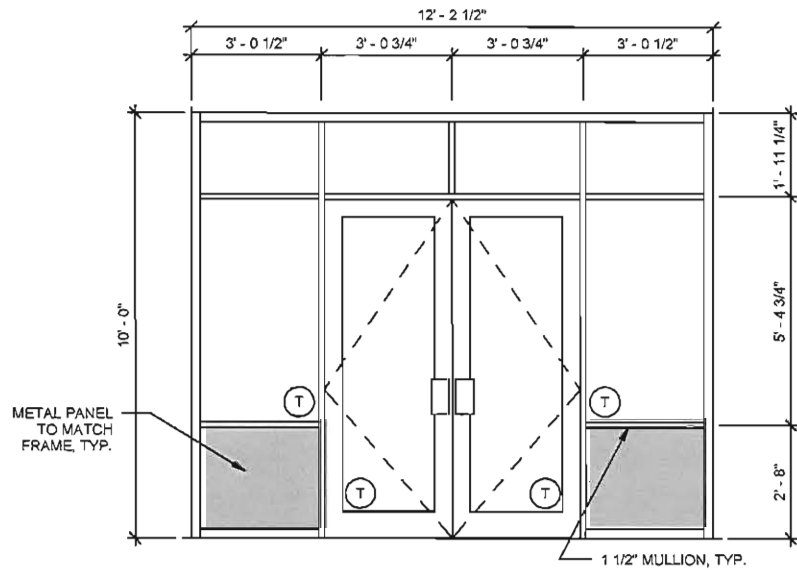


Traco NX-350 Jamb

3" = 1'-0"

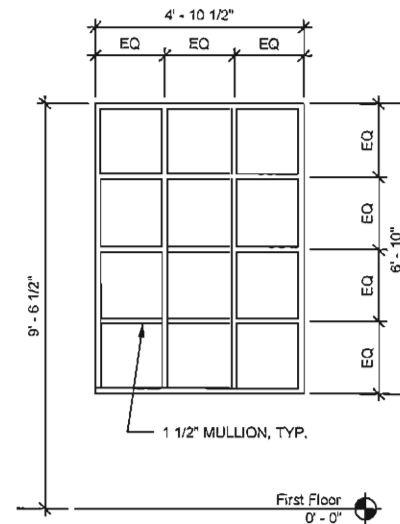
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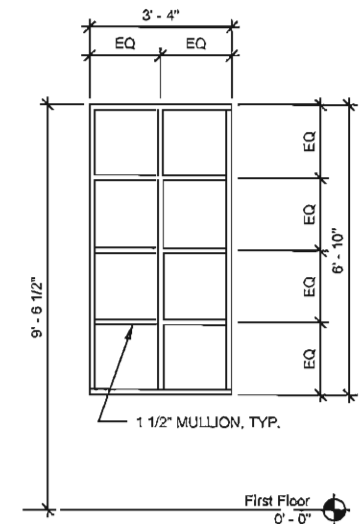
STOREFRONT ELEV F 6

3/8" = 1'-0"



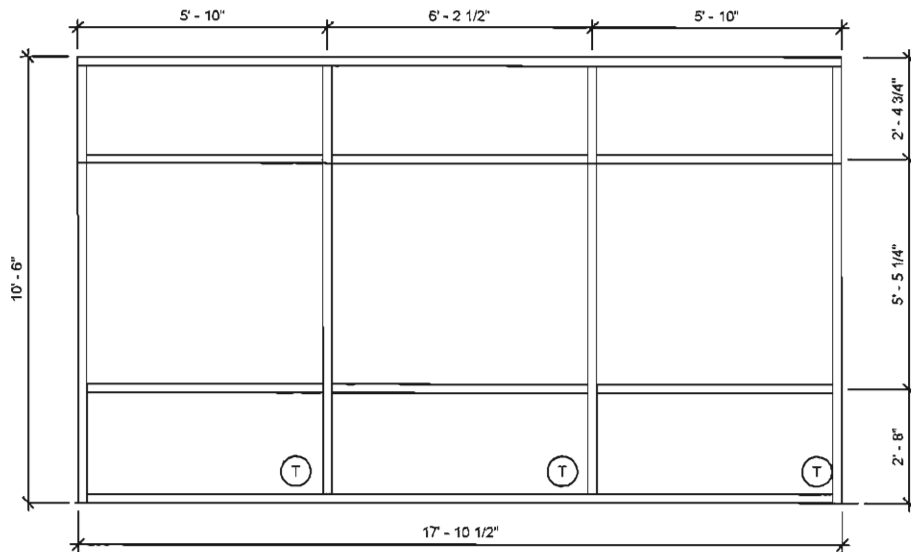
STOREFRONT ELEV E 5

3/8" = 1'-0"



STOREFRONT ELEV D 4

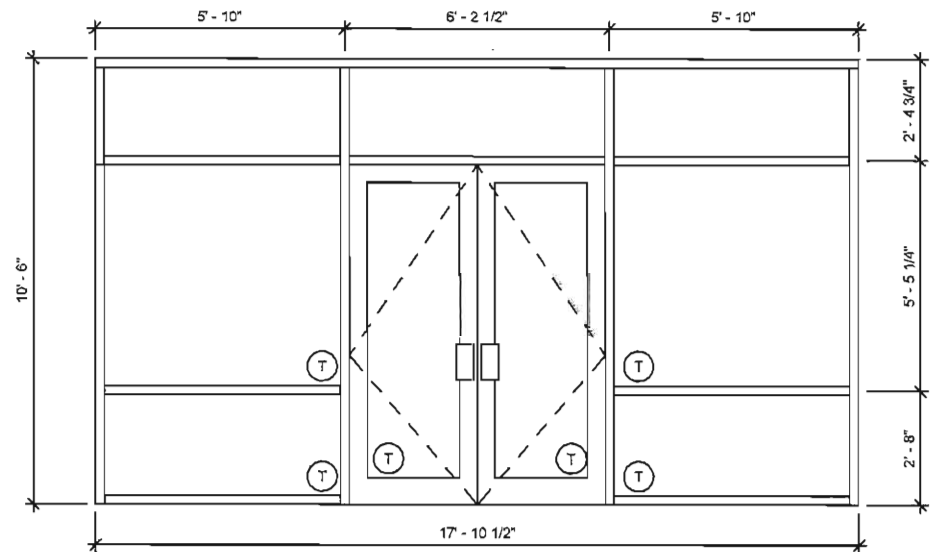
3/8" = 1'-0"



STOREFRONT ELEVATION B 2

3/8" = 1'-0"

South Elevation



STOREFRONT ELEVATION A 1

3/8" = 1'-0"

South Elevation

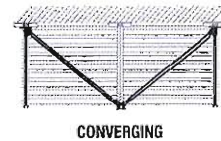
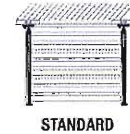
Super Lumideck

Backyard Burgers

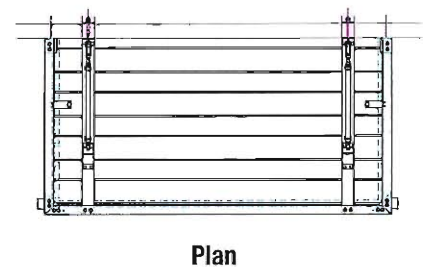
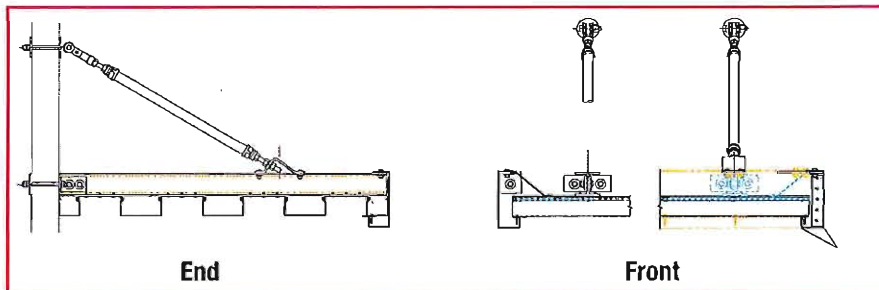
4/10/14 email



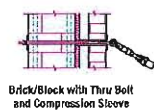
HANGER ROD CONFIGURATIONS



SECTION DETAIL



WALL MOUNT DETAILS

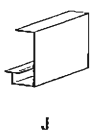


DECK OPTIONS

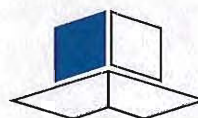
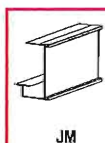
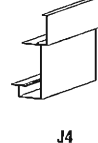
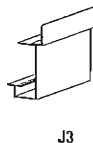
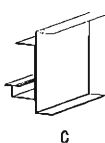


FASCIA OPTIONS

Standard



Premium



mapes
ARCHITECTURAL CANOPIES

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888-273-1132 / 877-455-6572 fax
canopy@mapes.com / www.mapescanopies.com

For more details, please visit mapes.com/superlumideck_hanger



North Window 1



North window 2



Existing louver patched 1



Existing louver patched 2



South Elevation lower



South elevation upper



South Elevation 1



SW Corner



Panoramic of South Side