

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

059-18-CA 814 OBERLIN ROAD
Applicant: PRESERVATION NORTH CAROLINA
Received: 4/12/2018 Meeting Date(s):
Submission date + 90 days: 7/11/2018 1) 5/24/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Raleigh Historic Landmark: Plummer T Hall House & Willis Graves House

Nature of Project: Landscape master plan; install 12' sculpture; remove non-historic chimney (Hall House); remove non-historic windows and replace (Hall House)

Staff Notes:

- COAs mentioned are available for review.
- Two previous applications (COA 076-16-CA and 124-17-CA) were approved for prepping and moving both the Hall and Graves houses, as well as constructing foundations and some site work. Removal of non-historic additions and materials was also approved.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Landscape master plan; install 12' sculpture
2.5	Roofs	Remove non-historic chimney (Hall House)
2.7	Windows and Doors	Remove non-historic windows and replace (Hall House)

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Executing a landscape master plan and installing a 12' sculpture is not incongruous according to *Guidelines* 1.3.1, 1.3.2, 1.3.4, 1.3.5, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 1.3.10, 1.3.11, and the following suggested facts:
- 1* Two previous applications (COA 076-16-CA and 124-17-CA) were approved for prepping and moving both the Hall and Graves houses, as well as constructing foundations and some site work. One condition of 124-17-CA was for a unified site landscape plan to be brought to the COA Committee for review.

- 2* According to the applicant, the site plan included in the application has been modified from its originally approved layout based on the City site review process. None of the modifications affect historic resources. The previously approved site plan from COA 124-17-CA is attached as staff evidence.
 - 3* The previously approved COA included removing trees affected by the relocation of the houses, located within utility easements, or located in the proposed parking area; 6 pecans, 1 birch, 1 oak, 1 maple, 1 mulberry, 3 hackberries, 2 walnuts, 1 black cherry, and 1 unidentified tree. Five mature trees and several smaller trees remain.
 - 4* A tree replacement plan was provided, showing 15 new trees.
 - 5* A planting plan shows foundation plantings and a mix of species and sizes of new trees such as oaks, dogwoods and crape myrtles.
 - 6* A tree protection plan prepared by an ISA-certified arborist was approved as a condition under COA 124-17-CA. The previously approved tree protection plan from COA 124-17-CA is attached as staff evidence.
 - 7* The 12' plaster and wire mesh sculpture was moved from the former site of the Lustron House, 3612 Buffalo Road, temporarily to the property at 802 Oberlin Road to save it from being demolished.
 - 8* The sculpture is proposed to be installed on an existing concrete pad behind the Hall House.
- B. Removing a non-historic chimney on the Hall House is not incongruous according to *Guidelines 2.5.1 and 2.5.7*, and the following suggested facts:
- 1* The chimney proposed for removal is on the back of the main roof. According to the applicant, during relocation preparations the chimney was found to be "a 1990s dummy built of concrete block with a brick stack."
 - 2* Removal of non-historic utility chimneys is a minor work item approvable by staff, and is included in this application for efficiency.
- C. Removing non-historic windows and replacing them on the Hall House is not incongruous according to *Guidelines 2.7.1 and 2.7.7*, and the following suggested facts:

- 1* The applicant proposes removing three ganged windows on the front porch and replacing with a single wood 6/6 double hung window. Evidence was provided for this configuration with a historic photo. In addition, the applicant states that parts of the original framing are in place.
- 2* Two other windows are proposed to be removed and replaced, one on the north side of the building and one on the right side of the front door. The applicant states the existing windows are “modern, cheap and smaller than the one surviving original window.” No evidence was provided by the applicant. The replacement windows will be wood 6/6 double hung windows to match the historic window on the south elevation.
- 3* Window specifications were included in the application.
- 4*

Staff suggests that the committee approve the application.

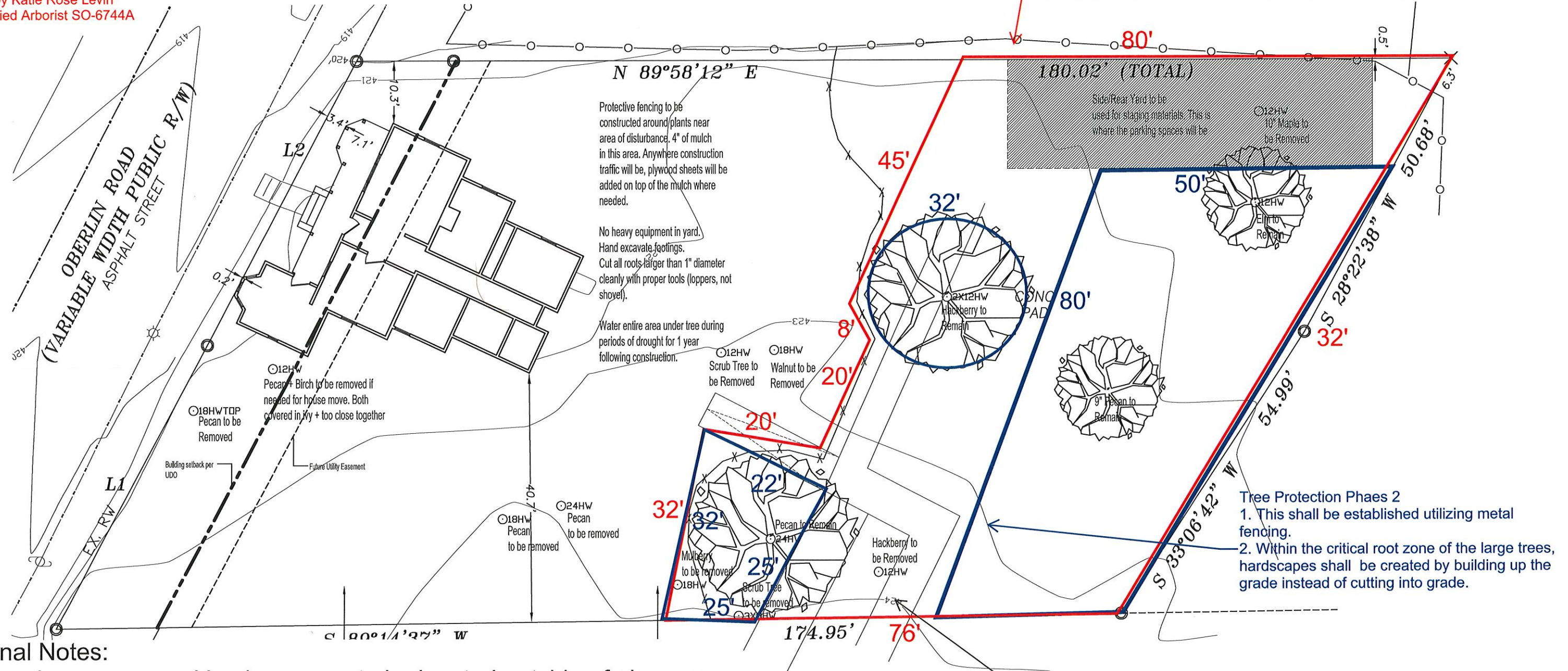


Created by Katie Rose Levin
ISA Certified Arborist SO-6744A

COA 059-18-CA staff evidence
Conditions approved: 124-17-CA

CONDITIONS 3e, 3f, 6e, 6f
APPROVED 3/13/18 MR

Tree Protection Fence, Phase One.
1. Tree Protection Fence shall be metal fence established after removal of undesirable trees and undergrowth from wooded areas.
2. Upon completion of the majority of the work and the removal of heavy equipment from the site, the tree protection fencing may be reconfigured into phase two to create the needed hardscape in this area



Protective fencing to be constructed around plants near area of disturbance. 4" of mulch in this area. Anywhere construction traffic will be, plywood sheets will be added on top of the mulch where needed.

No heavy equipment in yard. Hand excavate footings. Cut all roots larger than 1" diameter cleanly with proper tools (loppers, not shovel).

Water entire area under tree during periods of drought for 1 year following construction.

Tree Protection Phaes 2
1. This shall be established utilizing metal fencing.
2. Within the critical root zone of the large trees, hardscapes shall be created by building up the grade instead of cutting into grade.

Additional Notes:

- Construction access and laydown area to be located outside of phase one (red) tree protection zone at all times.
- Initial clearing of forested area shall be done utilizing small, rubber track machinery accessing the site to the far east. Great care shall be taken not to damage the trees.
- There shall be no grading or cutting within the forested area during clearing
- Vines growing on trees shall be cut at the bast of the tree and painted with glyphosate in such a way that ensures glyphosate does not hit the tree
- The large pecan tree to receive preventative borer treatments for two full growing seasons.

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
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Where hardscapes are to be installed within the critical root zones of trees, the grade shall be built up instead of the foundation cut in. No cutting to take place within the critical root zones of retained trees.

**COA 059-18-CA staff evidence
Conditions approved: 124-17-CA**

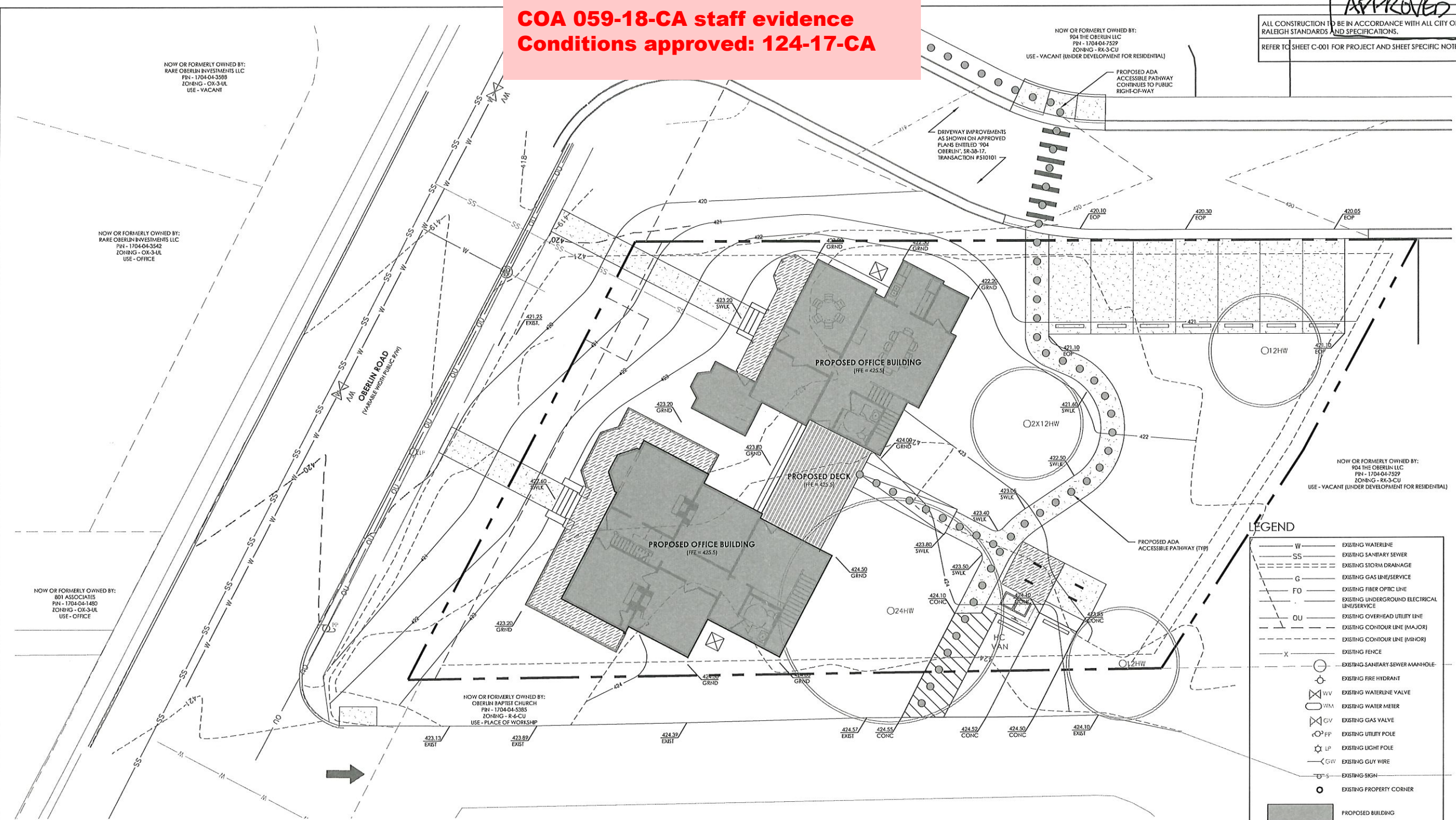
CONDITIONS 3a i 6a
APPROVED 3/13/18 MR

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET SPECIFIC NOTES.

grounded
ENGINEERING

PRESERVATION NC OFFICES
ADMINISTRATIVE SITE REVIEW
GRADING PLAN

ISSUE DATE	08/17/2017
PROJECT #	17020
SHEET #	C-500

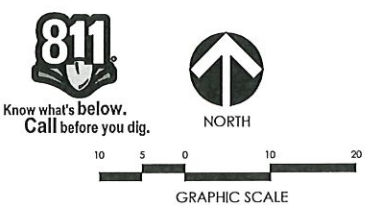


LEGEND

W	EXISTING WATERLINE
SS	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
G	EXISTING GAS LINE/SERVICE
FO	EXISTING FIBER OPTIC LINE
---	EXISTING UNDERGROUND ELECTRICAL LINE/SERVICE
OU	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CONTOUR LINE (MAJOR)
---	EXISTING CONTOUR LINE (MINOR)
X	EXISTING FENCE
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WATERLINE VALVE
⊙	EXISTING WATER METER
⊙	EXISTING GAS VALVE
⊙	EXISTING UTILITY POLE
⊙	EXISTING LIGHT POLE
⊙	EXISTING GUY WIRE
⊙	EXISTING SIGN
⊙	EXISTING PROPERTY CORNER
█	PROPOSED BUILDING
▨	PROPOSED BUILDING OVERHANG
▨	PROPOSED DECKING
▨	PROPOSED CONCRETE IMPROVEMENTS

STORMWATER MANAGEMENT NOTE
THE SUBJECT PARCEL IS LESS THAN 0.5 AC. IN SIZE AND HAS A PROPOSED IMPERVIOUS AREA LESS THAN 45%. BASED ON CITY OF RALEIGH IC-2-16, GIVEN THESE CONDITIONS FOR A PROPERTY ZONED OX-3, THE SUBJECT PARCEL AND PROPOSED DEVELOPMENT ARE EXEMPT FROM ALL CITY OF RALEIGH STORMWATER MANAGEMENT REQUIREMENTS.

IMPERVIOUS AREA AS-BUILT SURVEY NOTE
AFTER PERMIT ISSUANCE, AN IMPERVIOUS AREA AS-BUILT SURVEY WILL BE REQUIRED PRIOR TO FINAL INSPECTION / CERTIFICATE OF OCCUPANCY TO DOCUMENT COMPLIANCE.



4707 Liles Road
Raleigh, NC 27606
919.448.3694 (O)
Firm License C-3898

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input checked="" type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input checked="" type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	For Office Use Only Transaction # <u>551080</u> File # <u>059-18-CA</u> Fee <u>\$147⁰⁰</u> Amount Paid <u>0147⁰⁰</u> Received Date <u>04/12/2018</u> Received By <u>Pam Bert</u>
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Property Street Address **814 Oberlin Road (Relocation of Willis Graves House from 802 Oberlin Rd to 814 Oberlin Rd)**

Historic District **Oberlin Village (~~pending HOD-G~~)**

Historic Property/Landmark name (if applicable) **Rev. Plummer T. Hall House ~~Willis Graves House~~**

Owner's Name **Preservation North Carolina**

Lot size **.37 acres** (width in feet) **105'-0"** (depth in feet) **175'-0" (180'-0")**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
222 W Hargett St	806 Oberlin Rd
802 Oberlin Rd	817 Oberlin Rd
910 Oberlin Rd	815 Oberlin Rd
801 Oberlin Rd	818 Oberlin Rd

Lustron House, and the sculpture would have been destroyed but for the intervention of Preservation NC and RHDC.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			

814 Oberlin Rd – Unified Site Plan, Chimney Removal, Window Change + Sculpture

The Willis Graves House and the Rev. Plummer T. Hall House have been approved for relocation and for the additions to be built with final approval to be based on conditions to be submitted. A unified site plan was requested as a condition of approval for the COA 124-17-CA. The site plan that we are submitting is in its final round of approval process with the Planning Department. The additions and site plan were designed to maximize the aesthetic of the historic houses by being clean and simple. The site plan has been modified somewhat since the initial application submittal and hearing due to comments and revisions requested from the Planning Department. As initially presented the site plan has been designed so that the two houses appear as they would be in a normal neighborhood street scape, two residential houses sitting side by side. The deck that connects the two houses is in the rear and will be obscured from street view by plantings. Parking has been located to the sides of the property where the road accesses are located so that the rear yard can be preserved for trees, grass, plantings, and walkways. The accessible entry will also be from the rear of the houses in order to keep the view of the historic houses from the street uncluttered. Plantings will be kept to minimal and what was typical for planting. The owner has photos of the houses with the plantings shown and hopes to create a similar aesthetic.

The Hall House is being relocated onsite. In prepping the house for this move, we found that the chimney was a 1990s dummy built of concrete block with a brick stack. The owner is requesting that the dummy chimney not be rebuilt. The dummy stack was not readily visible from the street, and the taller new foundation and the reconstruction of the North wing will make the stack shorter and even less visible. The existing Hall House is small, and the planned addition is small. The structure to support a faux stack will take up much needed SF inside the house. All interior historic fabric related to any chimneys has been removed over the years. No mantles or hearths remain inside the house.

As the interior demo has progressed on the Hall House, we have found that three of the four windows in the main house are modern, cheap, and smaller than the one surviving original window (South elevation). The exposed framing also confirms that the new mid-to-late 20th century windows are too small. The owner would like to go back to the original size with three new windows to match the remaining historic window. Two of the replacements will be hardly noticeable -- only a few inches wider and taller, with the same 6/6 configuration. The third would replace a grouping of three modern windows on the front elevation under the porch. The commission previously approved replacing the center window of this grouping. The owner would now like to replace the grouping with a single window, matching the original.

The owner seeks approval to place a 12' sculpture of a dog by the artist George Morris on an existing concrete pad behind the Graves and Hall House. It will not be permanently affixed. Morris was the owner of the Lustron House, and the sculpture would have been destroyed but for the intervention of Preservation NC and RHDC.

814 Oberlin Rd

Existing Photos

Rev. Plummer T. Hall House



814 Oberlin Rd

Existing Photos

Rev. Plummer T. Hall House



814 Oberlin Rd

Existing Photos

Rev. Plummer T. Hall House



814

Oberlin Rd

current site photos



814

Oberlin Rd
current site photos



814

Oberlin Rd

current site photos



814

Oberlin Rd

current site photos



814

Oberlin Rd

current site photos



814

Oberlin Rd

current site photos







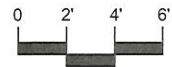
Hall House 814 Oberlin Rd - Existing Front Elevation

Scale - 1/8" = 1'-0"

By Others

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





New brick foundation to support new wood framing + floor of porch.
 Request removing center window (newer wdw of the three we believe) and replace with a 6/6 double hung window to match the existing on the front elevation

814 Oberlin Rd - New Front Elevation

Scale - 1/8" = 1'-0"

FROM PREVIOUSLY APPROVED COA 124-17-CA

PELL ST studio

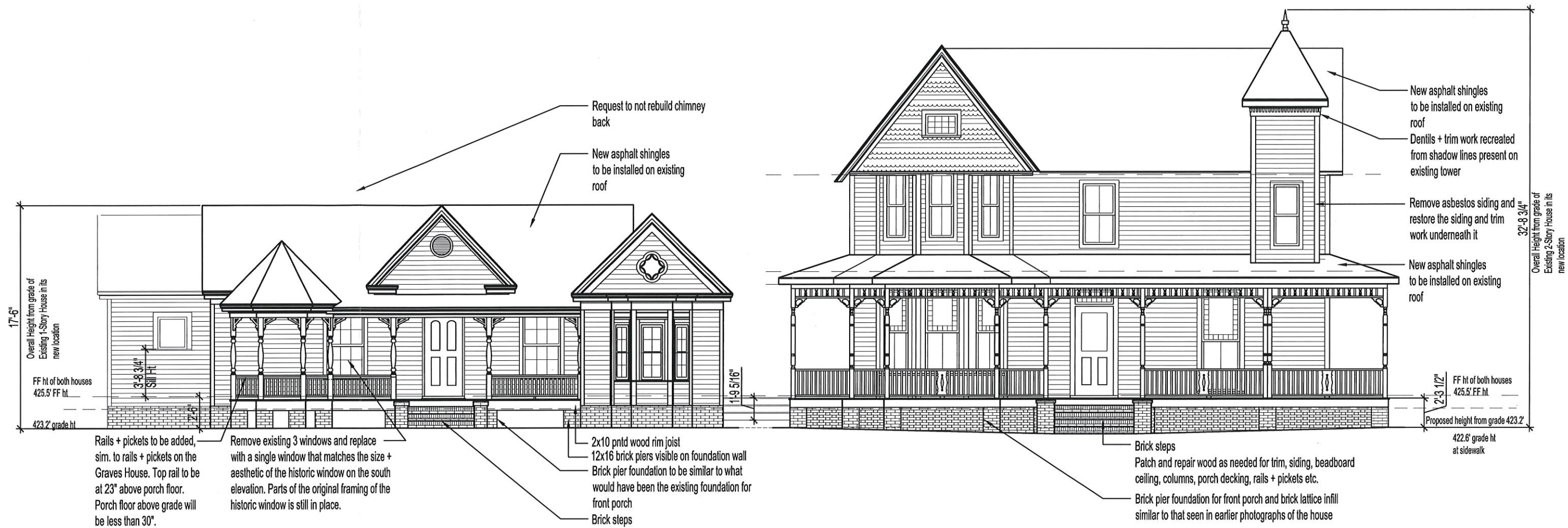
Architect
 Ashley Henkel Morris
 306 Pell Street
 Raleigh, NC 27604
 919.696.0970



Request removal of aluminum siding and restore the siding and trim work underneath it

Proposed height from grade

423' grade ht
 422' grade ht
 421' grade ht



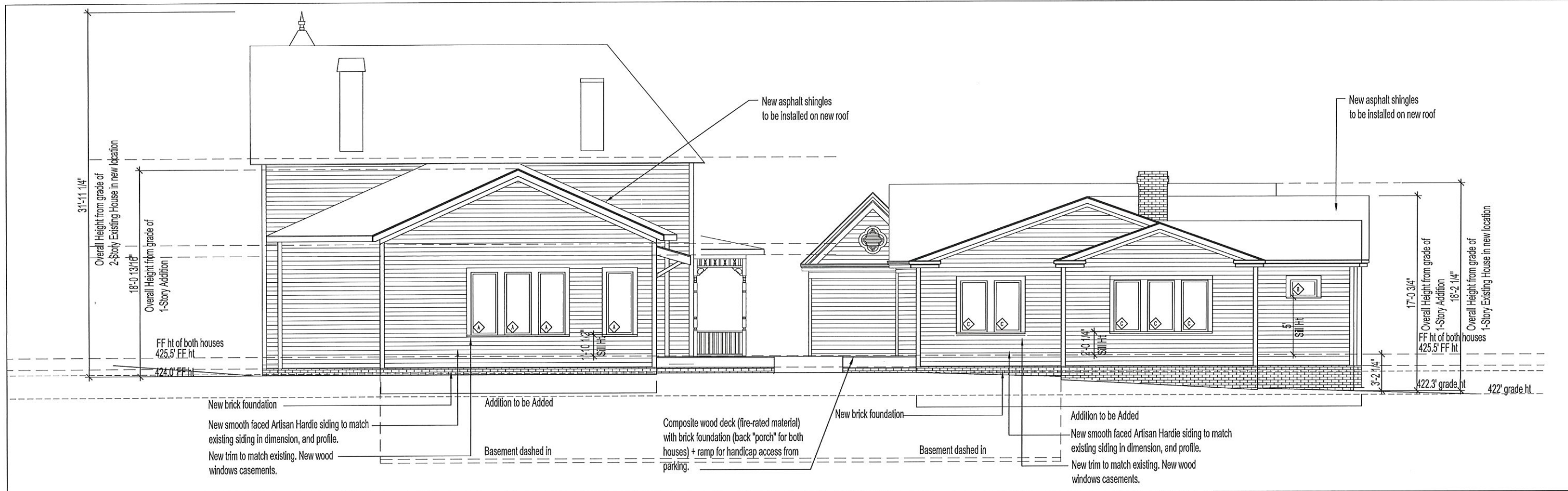
814 Oberlin Rd - New Front Elevation

Scale - 1/8" = 1'-0"

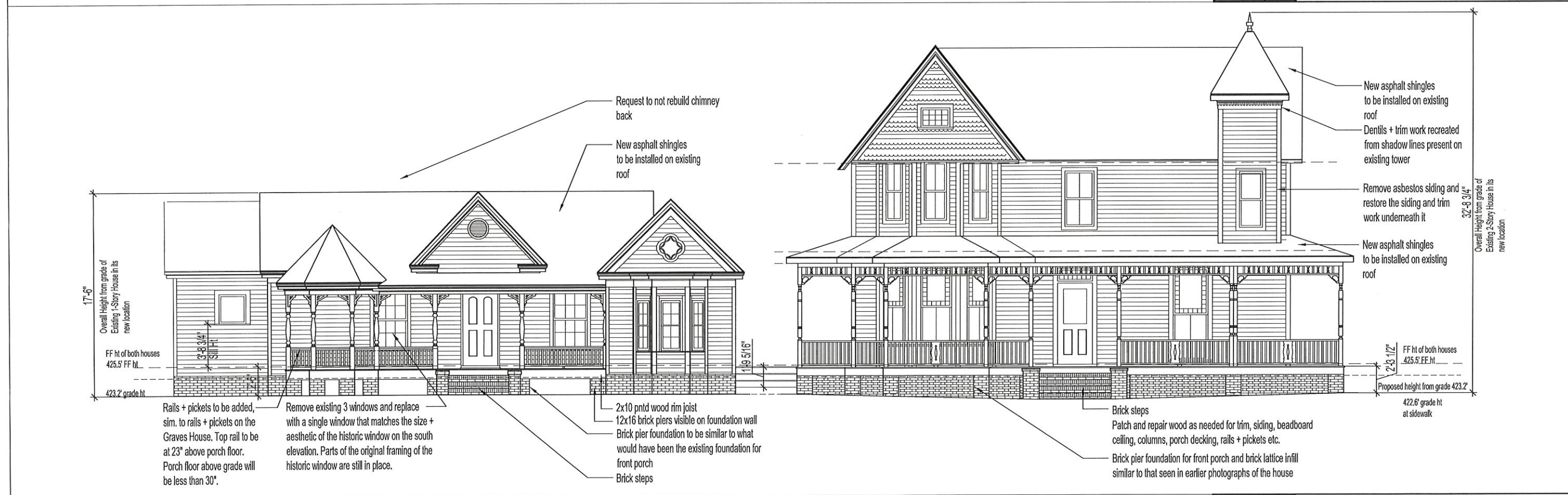
PELL ST studio

Architect
 Ashley Henkel Morris
 306 Pell Street
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A3.00 2 NEW REAR ELEVATION
SCALE: 1/4" = 1'-0"



A3.00 1 NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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NEW EXTERIOR ELEVATIONS

814 Oberlin Rd, Preservation NC Offices
RALEIGH, NC 27607

DATE: 24 April 2018

A3.00



Door Schedule - Existing door heights vary slightly. GC to verify all sizing for repurposed and new doors. Reuse doors where possible.

- 101A 3'-0" x 6'-8" exterior door full lite wood door (TBD)
- 103A 3'-0" x 6'-8" exterior door full lite wood door (fiberglass) door or half lite wood door (TBD)
- 102A 2'-8" x 6'-8" interior solid wood door to match existing historic wood doors
- 104A 2'-5" x 6'-8" interior solid wood door to match existing historic wood doors
- 107A 3'-0" x 6'-8" interior solid wood door to match existing historic wood doors
- 109A 3'-0" x 6'-8" exterior full lite wood door, see RHDC approved specs
- 110A 3'-0" x 6'-8" exterior full lite wood door, see RHDC approved specs
- 111A 3'-0" x 6'-8" interior solid wood door to be consistent with the doors that would be typical for the period of the existing house.
- 113A 3'-0" x 6'-8" interior solid wood pocket door to be consistent with the doors that would be typical for the period of the existing house.
- 114A 3'-0" x 6'-8" interior solid wood door to be consistent with the doors that would be typical for the period of the existing house.
- 118A 3'-0" x 6'-8" exterior door half lite wood door with paneling below to be consistent with period of house.

Window Schedule - Window dimensions will vary per manufacturer and material of windows. GC to verify all sizing and make modifications as required. Head hits to align where possible. New wood windows will need to match the approved window specs from the RHDC.

- 2'-8"x5'-6" casement, wood wdw. GC to verify dims w/manufacture
- 2'-6"x1'-6" awning, wood wdw. GC to verify dims w/manufacture
- 2'-4"x4'-6" casement, wood wdw to match existing. GC to verify dims w/manufacture
- 2'-4"x4'-6" DH, wood wdw to, no grilles. GC to verify dims w/manufacture
- 2'-4"x2'-6" casement, wood wdw. GC to verify dims w/manufacture.
- 3'-0"x5'-0" DH, wood wdw to match existing. 6 over 6 grille pattern. GC to verify dims
- 3'-0"x2'-0" awning, wood wdw. GC to verify dimensions w/ manufacturer

Legend

- New door location, reuse salvaged leaf, hardware and restore trim
- New window location, reuse salvaged hardware and restore trim
- Existing wall to remain
- Rated Wall

A2.03 2 Door + Window Schedule
SCALE: 1/4" = 1'-0"

A2.03 1 New Ground Floor Plan
SCALE: 1/4" = 1'-0"



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New Main Level Floor Plan

814 Oberlin Rd
RALEIGH, NC 27601

DATE: 30 April 2018

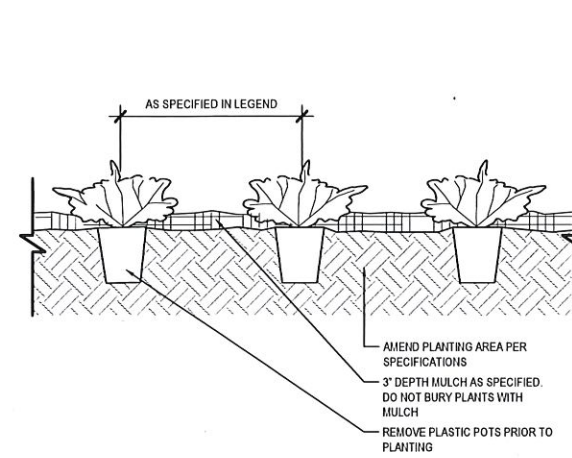
A2.03

PLANTING LEGEND			
Code	Botanical Name	Common Name	Quantity
CCA	<i>Cercis canadensis</i>	Redbud	3
CFL	<i>Cornus florida</i>	Flowering Dogwood	2
CSA	<i>Camellia sasanqua</i> 'Shishigashira'	Sasanqua Camellia	3
GJA	<i>Gardenia jasminoides</i> 'August Beauty'	Gardenia	1
HMA	<i>Hydrangea macrophylla</i> 'Endless Summer'	Bigleaf Hydrangea	5
HSY	<i>Hibiscus syriacus</i>	Rose-of-Sharon	1
LMI	<i>Lagerstroemia</i> x 'Miami'	Crape Myrtle	3
LTU	<i>Lagerstroemia</i> x 'Tuscarora'	Crape Myrtle	2
MXS	<i>Magnolia</i> x <i>soulangiana</i>	Saucer Magnolia	1
PSU	<i>Prunus subhirtella</i> 'Autumnalis'	Higan Cherry	2
QLY	<i>Quercus lyrata</i>	Overcup Oak	1
QPH	<i>Quercus phellos</i>	Willow Oak	1
RHO	<i>Rhododendron</i> sp.	Encore Azalea	5
SPR	<i>Spiraea prunifolia</i>	Bridalwreath Spirea	3
TJA	<i>Trachelospermum jasminoides</i>	Confederate Jasmine	3
VOP	<i>Viburnum opulus</i> 'Sterile'	Viburnum	3
PER	Varies	Perennial and Bulb Beds	
SOD	Sod	Sod	

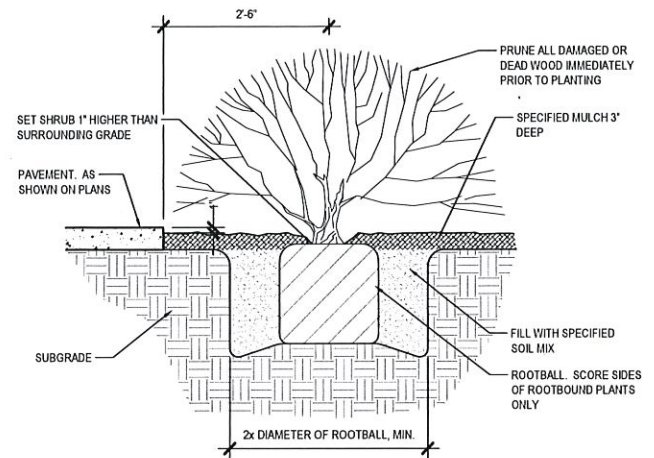


PLANTING AND SEEDING/SODDING NOTES

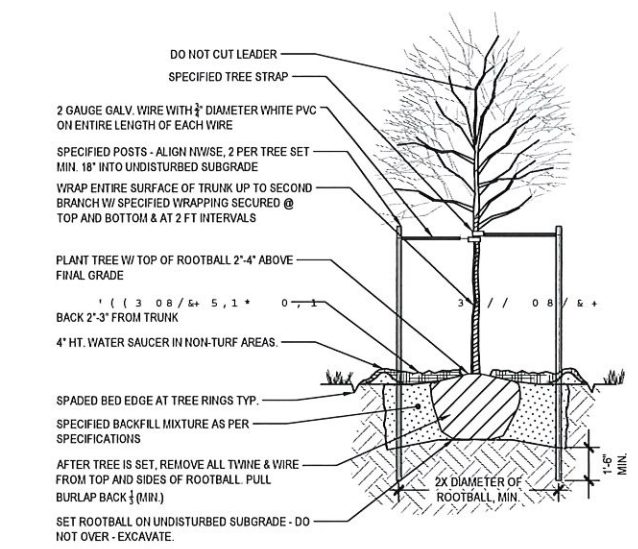
- FINAL GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION ACCEPTANCE BY PROJECT MANAGER OF THE FINAL GRADING SHALL OCCUR PRIOR TO THE START OF PLANTING INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION AND PLANTING.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- PRIOR TO PERMANENT PLANTINGS AND SEEDINGS, THE SITE SOILS SHALL BE PREPARED FOR PLANTING. WHERE NEEDED THE SOILS SHOULD BE PLOWED OR RIPPED TO IMPROVE COMPACTED SOILS AND ELIMINATE CHANNELIZED FLOW FROM NON-TARGET AREAS.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANISI STANDARD Z60.
- LANDSCAPE ARCHITECT MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND.
- CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO LANDSCAPE ARCHITECT AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY PROJECT MANAGER OR DESIGNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANISI Z60.1.
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANISI Z60.1.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- ALL TREES TO BE STAKED, UNLESS OTHERWISE DESIGNATED BY LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.
- SEED/SODDED BED PREPARATION: ALL AREAS TO BE SEEDDED/SODDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL ALL DEBRIS, ROCKS, ETC. LARGER THAN .5" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- TREE PROTECTION FENCING TO BE REVIEWED IN FIELD BY CITY OF RALEIGH URBAN FORESTRY STAFF PRIOR TO CONTRACTOR MOBILIZING ON-SITE TO MOVE HOUSE(S). CONTRACTOR TO ENSURE CRITICAL ROOT ZONE AND TREE PROTECTION MEASURES ARE ENFORCED DURING ENTIRE HOUSE MOVING AND CONSTRUCTION OPERATION.
- TREE PROTECTION FENCING AND CRITICAL ROOT ZONE PROTECTION TO BE INSPECTED BY CITY OF RALEIGH URBAN FORESTRY STAFF AT COMPLETION OF EACH HOUSE MOVE.
- CONTRACTOR TO REPAIR ANY LANDSCAPE AREAS DAMAGED BY CONSTRUCTION OR MOVING ACTIVITIES TO AN ACCEPTABLE LEVEL OF FINISH, ACCORDING TO DISCRETION OF LANDSCAPE ARCHITECT.



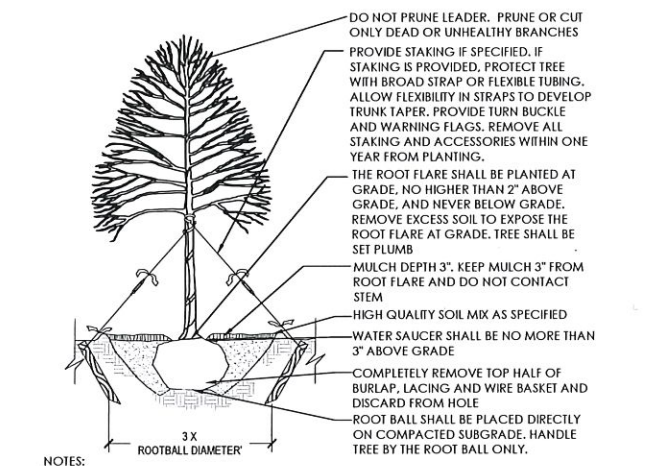
1 GROUNDCOVER PLANTING SCALE: 1" = 1'-0"



2 SHRUB PLANTING SCALE: 3/4" = 1'-0"



3 ON-SITE TREE PLANTING SCALE: 1/4" = 1'-0"



4 RIGHT OF WAY TREE PLANTING SCALE: NOT TO SCALE

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
 - PLANTING SEASON OCTOBER - APRIL.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER; TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPT	
REVISIONS	DATE BY/IT
TREE PLANTING DETAIL	
PRCR-03	

CONCURRENT REVIEW APPROVAL	
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION	
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.	
TRANSPORTATION FIELD SERVICES	_____
PUBLIC UTILITIES	_____
STORMWATER	_____
PLANNING/ZONING	_____
FIRE	_____
URBAN FORESTRY	_____
SITE ACCESSIBILITY	_____



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PRESERVATION NC OFFICES
 Preservation North Carolina
 814 Oberlin Road, Raleigh, North Carolina 27605

PROJECT NUMBER:
SC-17026

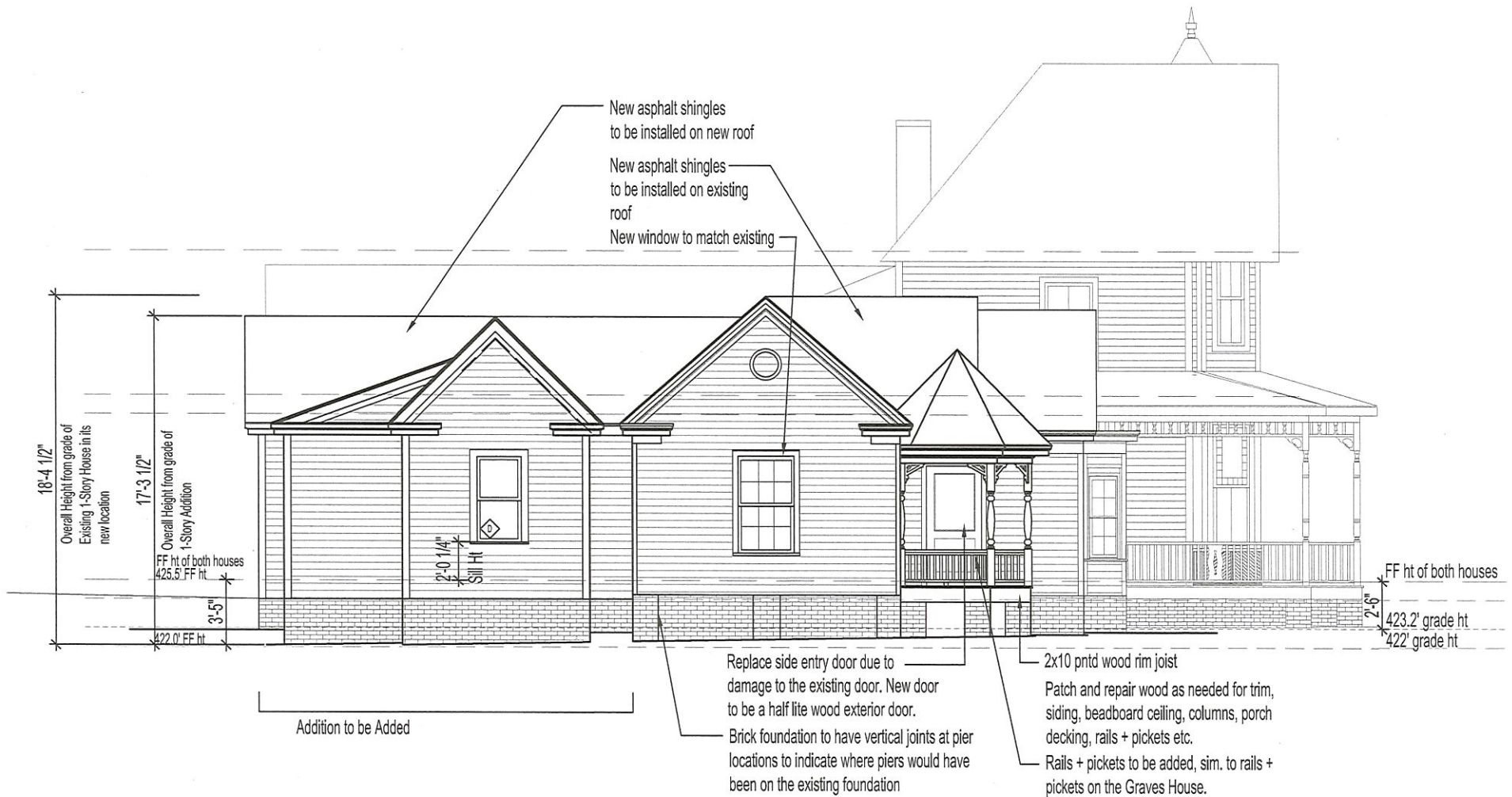
PROJECT PHASE:
CONCURRENT REVIEW SUBMITTAL

DATE:
02.14.2018

REV #1: 03.22.2018

SHEET TITLE:
PLANTING NOTES & DETAILS

SHEET NUMBER:
L-101



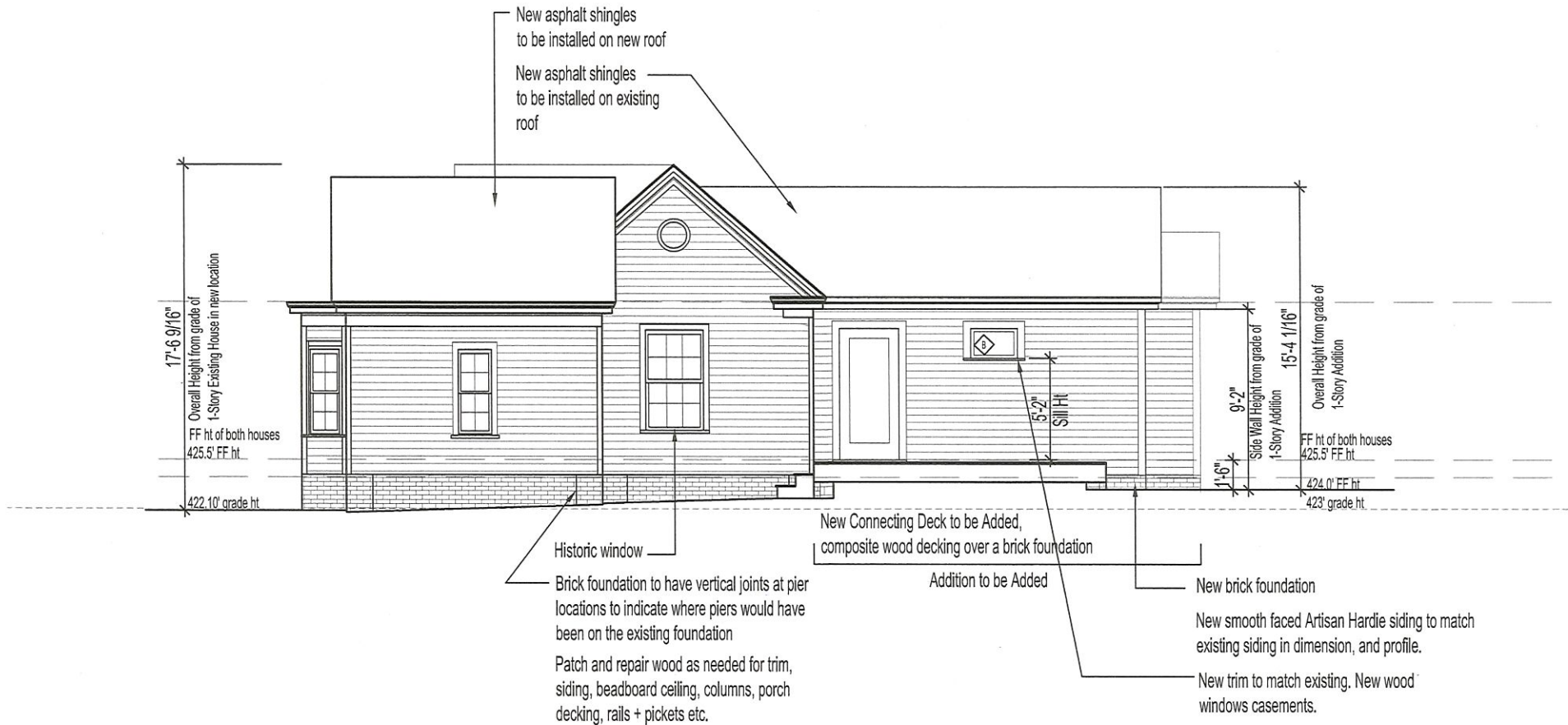
814 Oberlin Rd - New Hall Side Elevation (facing New Apartment Development)

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
 Ashley Henkel Morris
 306 Pell Street
 Raleigh, NC 27604
 919.696.0970





814 Oberlin Rd - New Hall Side Elevation (Facing Graves House)

Scale - 1/8" = 1'-0"

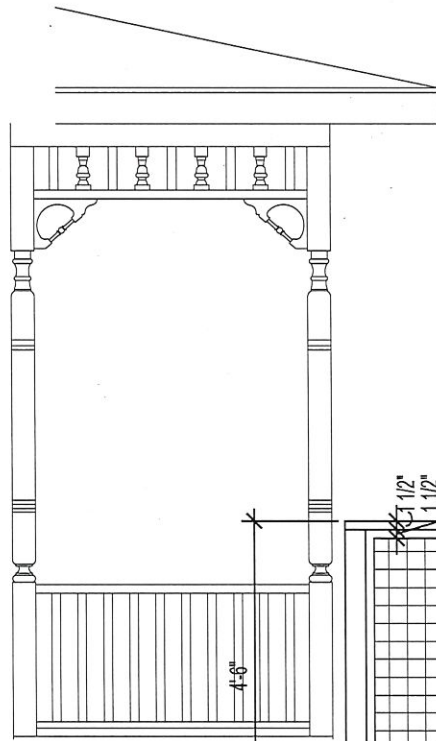
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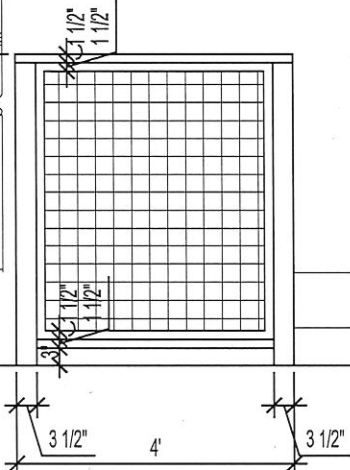




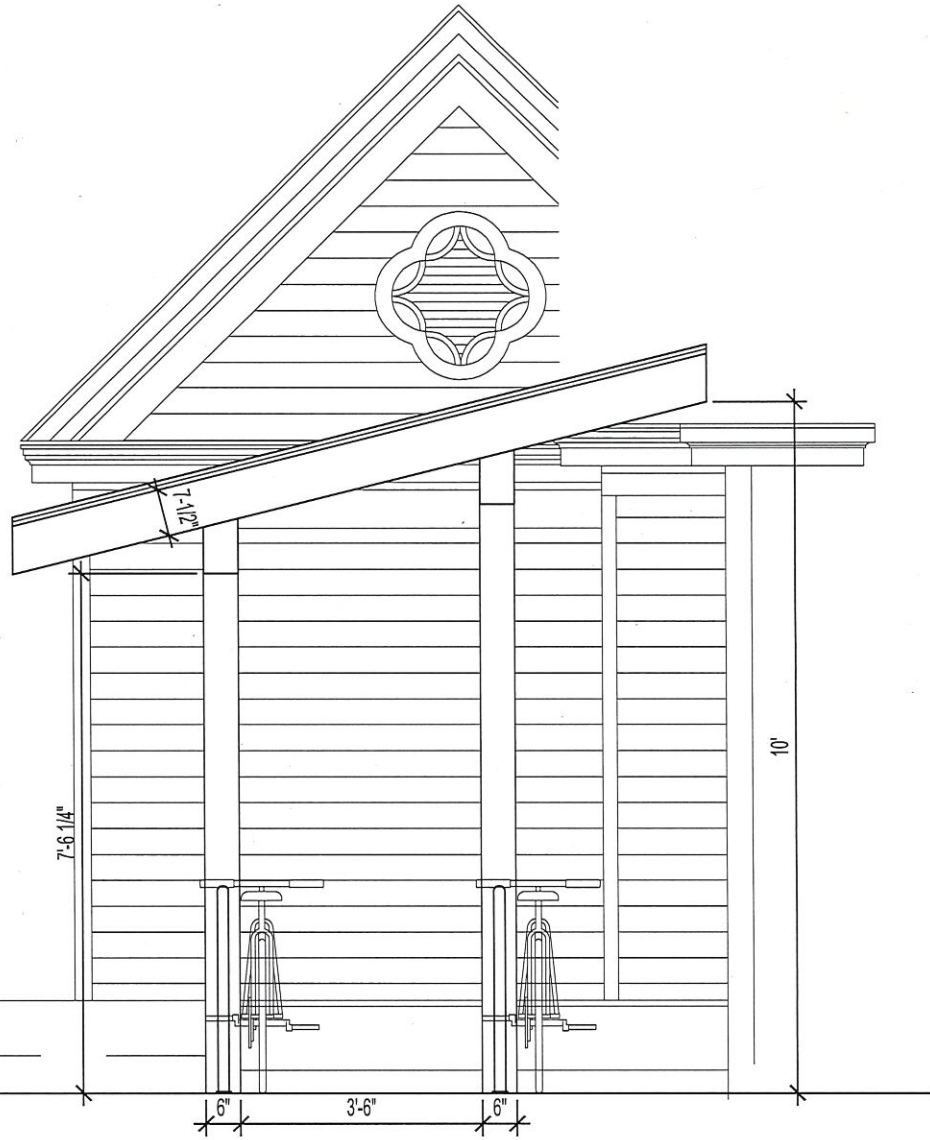
.Past photo showing the original single window on the Hall House with shutters



12 3



Pressure treated wood framed green screen w/ metal mesh or steel fence panel in fill for vines to climb. Landscape designer has planned for Confederate Jasmine to be the climbing vine for the screen. This same detail will be used for the rails of the ramp along with an offset wood handrail on the interior for accessibility.



Pressure treated wood framed shelter to cover bike parking.

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970

814 Oberlin Rd - Green Screen around Bins + Bike Shelter per Code

Scale - 1/8" = 1'-0"



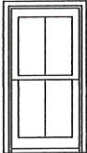




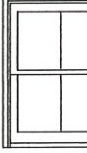
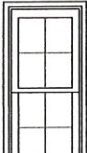
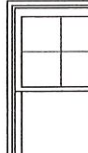
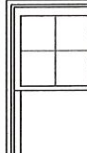
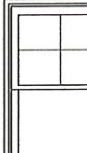

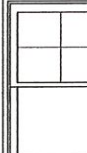
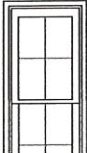





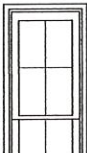





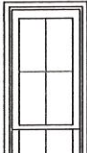
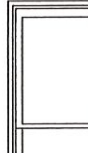
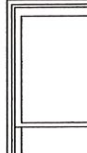





George the Pup - The owner seeks approval to place a 12' sculpture of a dog by the artist George Morris on an existing concrete pad behind the Graves and Hall House. It will not be permanently affixed. Morris was the owner of the Lustron House, and the sculpture would have been destroyed but for the intervention of Preservation NC and RHDC. George Morris, a local artist, experimented with plaster and wire mesh creating a menagerie of animals that have been displaced by the closing of his Gotno Farm.



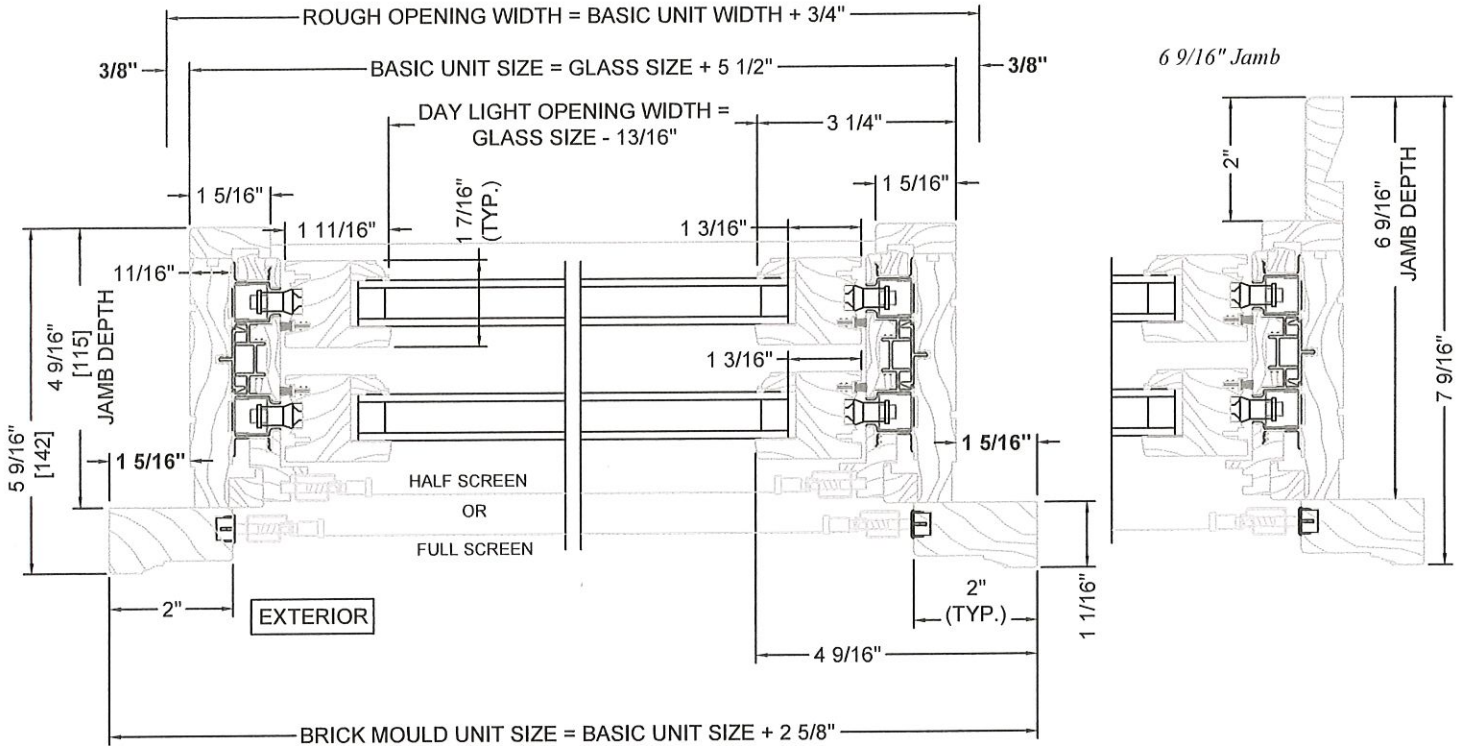
Wood Carmel Double Hung

Scale: 1/4" = 1'-0"

	18 3/4"	24 3/4"	30 3/4"	36 3/4"	42 3/4"	48 3/4"
ROUGH OPENING	18"	24"	30"	36"	42"	48"
FRAME SIZE	13 1/8"	19 1/8"	25 1/8"	31 1/8"	37 1/8"	43 1/8"
GLASS SIZE						
36 3/4"						
	DHC-1836	DHC-2436	DHC-3036	DHC-3636	DHC-4236	DHC-4836
42 3/4"						
	DHC-1842	DHC-2442	DHC-3042	DHC-3642	DHC-4242	DHC-4842
48 3/4"						
	DHC-1848	DHC-2448	DHC-3048	DHC-3648	DHC-4248	DHC-4848
54 3/4"						
	DHC-1854	DHC-2454	DHC-3054	DHC-3654	DHC-4254	DHC-4854
60 3/4"						
	DHC-1860	DHC-2460	DHC-3060	DHC-3660*	DHC-4260*	DHC-4860*

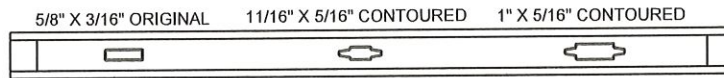
* Review for Egress. Refer to the "Egress Information Chart" PDF file.

all requested windows to be changed in this application will be this size which is the closest to the historic window on the South Elevation of the Hall House

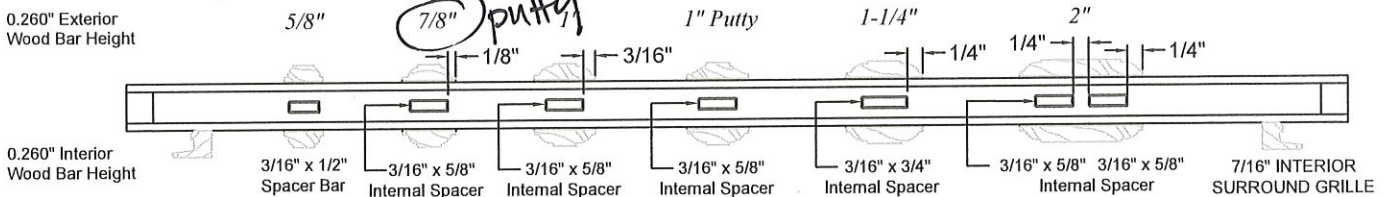


GLAZING OPTIONS

Single & Dual Insulated Glass available in operating and fixed units.
Grille in Airspace



HDL, Surrond and KD Grille Bar Chart

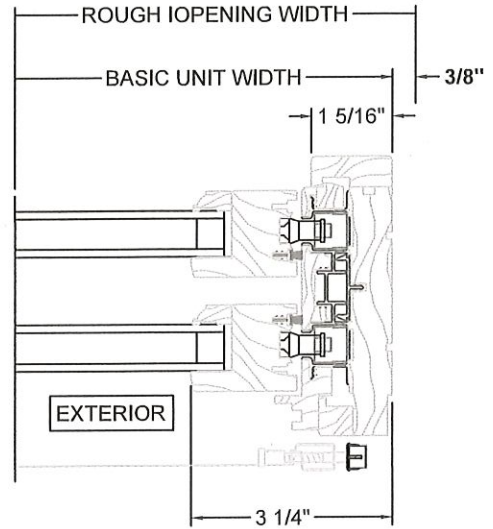
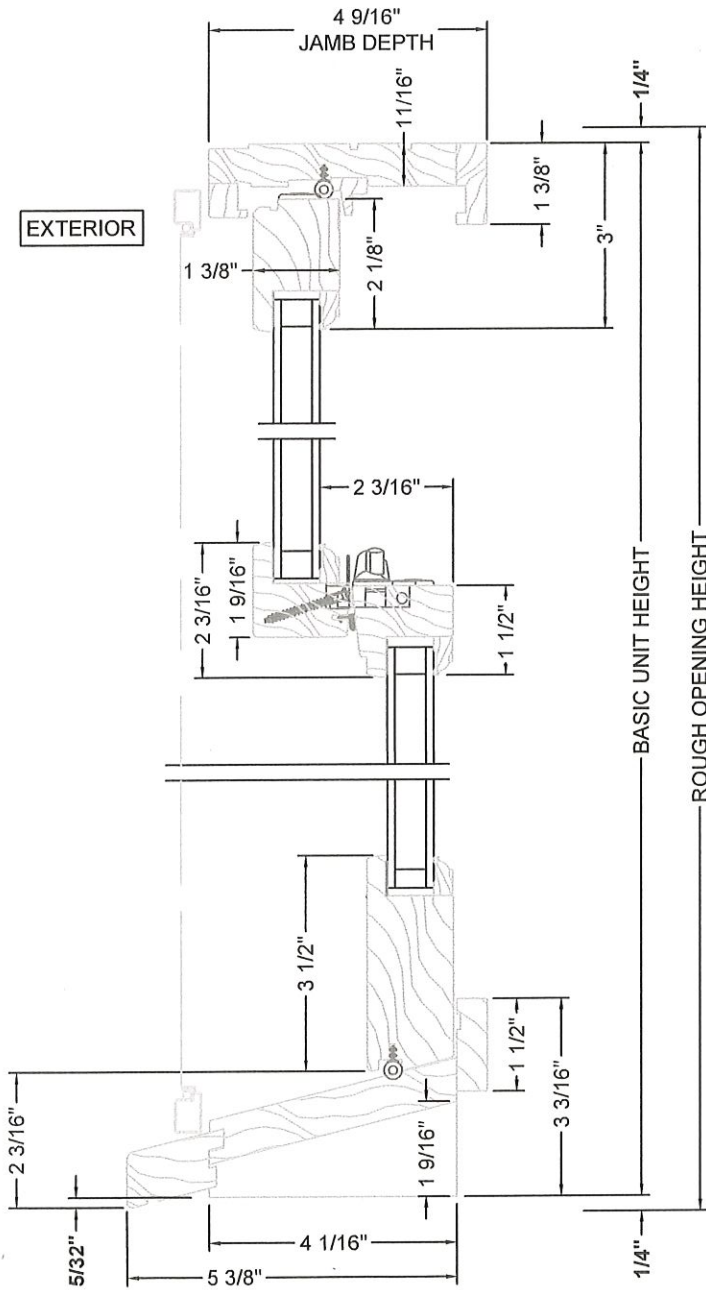


PLEASE NOTE: STANDARD INTERNAL SPACER COLOR IS MILL FINISH



All-Wood Tilt Double Hung Windows with Sill Nosing & No Brickmould

Head & Sill Details
Page 1 of 8
Drawn to Full Scale
Printed Scale 4" = 1'



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