

RHDC
 RALEIGH HISTORIC
 DEVELOPMENT COMMISSION

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

219 E SOUTH STREET

Address

PRINCE HALL

Historic District

Historic Property

079-15-MW

Certificate Number

6/16/2015

Date of Issue

12/16/2015

Expiration Date

Project Description:

- Changes to previously approved COA 124-14-CA:
- install gutters;
- eave detail;
- porch steps.

OK to PERMIT

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 13 copies**
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 434792
 File # 079-15-MW
 Fee \$29-
 Amt Paid \$29-
 Check # 1051
 Rec'd Date 6/16/15
 Rec'd By [Signature]

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 219 E. South St, Raleigh NC 27601

Historic District Prince Hall Historic District

Historic Property/Landmark name (if applicable) N/A

Owner's Name Sharp Properties

Lot size 0.1 acres

(width in feet) 55'

(depth in feet) 75'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Sharp Properties NC**

Mailing Address **2000 Chichester Ct.**

City **Raleigh** State **NC** Zip Code **27615**

Date **05.28.15** Daytime Phone **919-810-8858**

Email Address **sharppropertiesnc@gmail.com**

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/16/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  Date 6/16/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

66, 40, 89

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
3.8	Entrances, Porches, & Balconies	Change to previous COA approved porch design 124-14-CA
3.5	Roofs	Install gutters
3.1	Wood	Install eave trim to match existing

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

Most work after-the-fact.

219 E South St.

COA Minor Work application

Description of Work

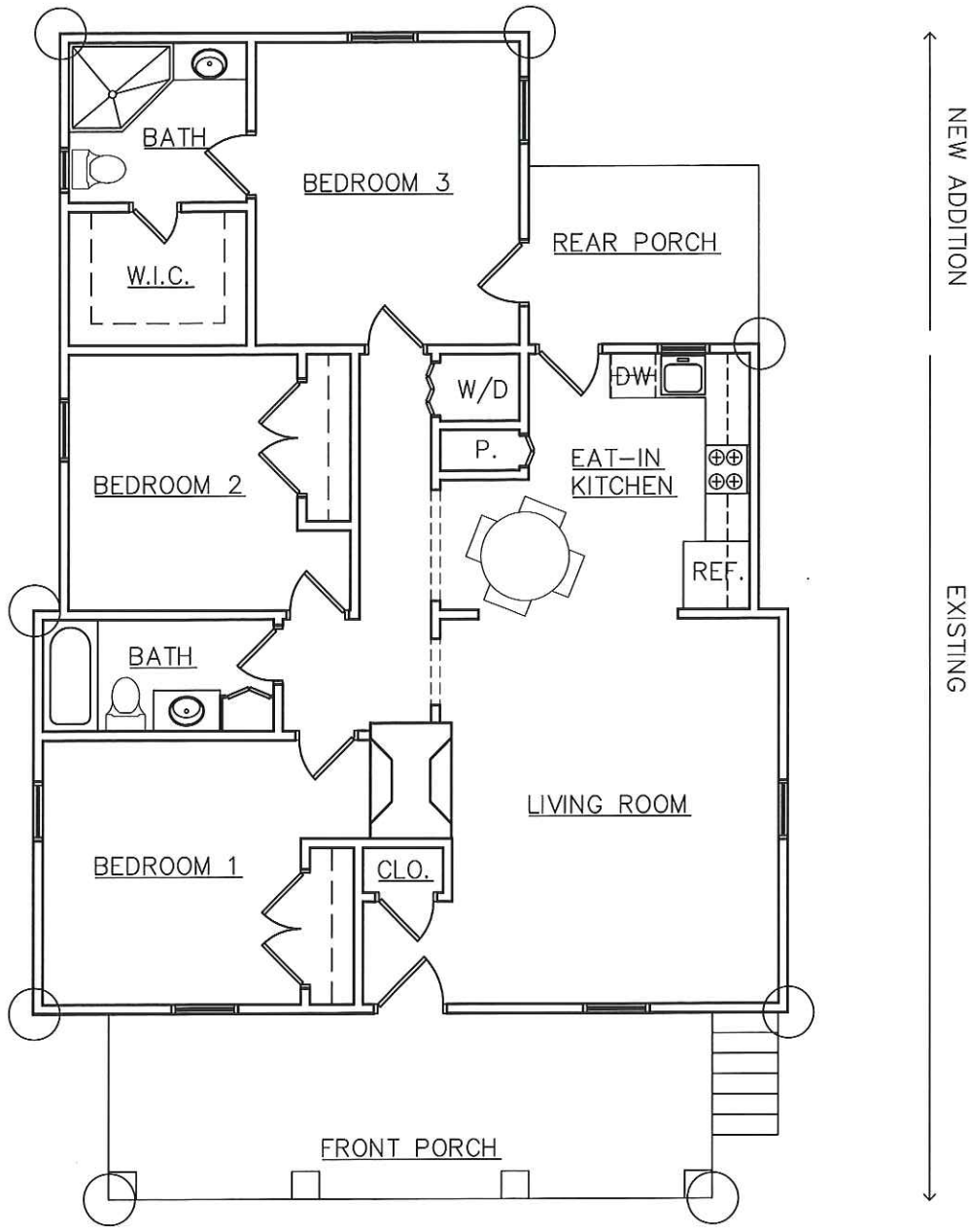
It is proposed to amend the COA (124-14-CA) approved porch design at 219 E. South St, specifically the configuration of the porch steps. The approved design consisted of a single run of porch steps leading to the new driveway strips located at the existing curb cut. As built, the existing grade and fixed location of drive did not allow enough space to facilitate a straight run of stairs. A landing will be added adjacent to the porch and the steps will terminate towards E. South St. as opposed to terminating at the driveway. See attached photographs of existing conditions.

✓ New aluminum 5" K-style gutters are proposed, with downspouts locations indicated on the attached plan. The gutters will be white to match the existing trim. The gutters will be installed so that no architectural features will be lost or damaged.

✓ As the rear portion of the existing residence is a later addition to the original structure, there was more than one kind of eave detail on the building at the time of purchase. With the most recent addition to the rear of the residence, new eave trim will be installed to match the original flat band eave trim located on the existing addition. See before photos of existing trim to be matched.

need drawings
of proposed
landing & transition
from stairs

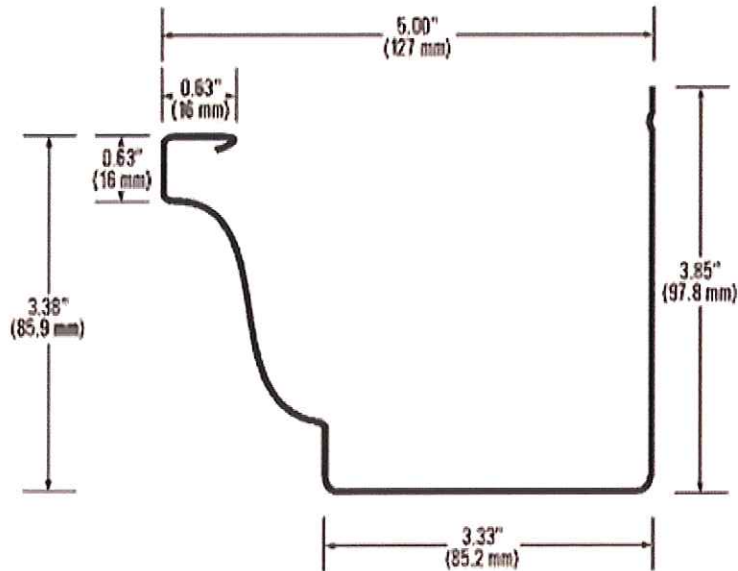
amended 6/11/15 -
no landing - just
continuation of
steps



○ = GUTTER LOCATION

5 inch K Style

The industry standard for over 40 years



This is the product preferred by architects, and builders across the country. We manufacture all five inch seamless gutters onsite, custom made for your home, eliminating any joints. We use only the heaviest .032 thickness aluminum available with a baked on enamel finish that comes with a 20 year warranty. Our standard installation method utilizes a 7 inch ring shank spike accompanied by a 5 inch ferro. Hidden bracket installation is also available utilizing a 2 inch screw. We use only box style miter corners, not the inferior strip miters, for an extra long leak-free life. All miters are sealed with the highest grade OSI gutter sealant available. This product will support a ladder when placed against it, and has withstood the worst northern Illinois and southern Wisconsin snow loads. Most 5 inch gutter installations utilize 2 X 3 inch aluminum downspout. Our standard downspout thickness is .019 fastened with stainless steel screws at every joint. Downspouts are normally attached to the house with a wraparound aluminum strap to maximum durability and stability.

219 E. SOUTH ST.
MINOR WORK COA

Porch roof not approved.
TGT 6/9/15



Existing south elevation



Straight run stair at driveway, removed



Stones
not approved,
TGT
6/9/15
Existing porch steps

219 E. SOUTH ST.
MINOR WORK COA



Existing trim at front corner of residence, original crown molding



Trim transition from crown molding to flat band at existing addition to original structure

219 E. SOUTH ST.
MINOR WORK COA



New flat band trim at new addition on rear of residence



New flat band trim at new addition at rear of residence

Tully, Tania

From: Tully, Tania
Sent: Tuesday, June 09, 2015 4:06 PM
To: Jeffrey Sharp (sharppropertiesnc@gmail.com)
Cc: Band, Daniel
Subject: COA for 219 E South Street

Hi Jeff –

I've reviewed the COA application for the 219 E South Street and am in need of one additional item:

- A drawing of the proposed landing at the reconfigured front porch stair.

Best,
Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

Amendment

Tully, Tania

From: Sharp Properties NC <sharppropertiesnc@gmail.com>
Sent: Thursday, June 11, 2015 10:42 AM
To: Tully, Tania
Cc: Band, Daniel
Subject: Re: COA for 219 E South Street

Hi Tania,

I think we are just going to continue with two additional steps down to meet code.

Jeff.

Sent from my iPhone

On Jun 9, 2015, at 4:13 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Yes. It's for the carriage stone that doesn't meet the Guidelines.

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Sharp Properties NC [<mailto:sharppropertiesnc@gmail.com>]
Sent: Tuesday, June 09, 2015 4:11 PM
To: Tully, Tania
Cc: Band, Daniel
Subject: Re: COA for 219 E South Street

That's for the carriage stone you didn't like correct?

Sent from my iPhone

On Jun 9, 2015, at 4:05 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Hi Jeff –

I've reviewed the COA application for the 219 E South Street and am in need of one additional item:

- A drawing of the proposed landing at the reconfigured front porch stair.

Best,
Tania