

City of Raleigh



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079-18-CA

613 WILLS FOREST RD
GLENWOOD-BROOKLYN
HISTORIC DISTRICT (R-10)

0 30 60 120
Feet



Nature of Project:
Addition of full 2nd story
to existing 1 1/2-story rear addition;
roof alteration to rear
of historic pyramidal roof

APPLICANT:
INCLUSION STUDIO PLLC



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

079-18-CA 613 WILLS FOREST STREET
Applicant: DAVID COLE FOR INCLUSION STUDIO PLLC
Received: 6/12/2018 Meeting Date(s):
Submission date + 90 days: 9/10/2018 1) 6/28/2018 2) 8/23/2018

INTRODUCTION TO THE APPLICATION

Historic District: GLENWOOD-BROOKLYN HISTORIC DISTRICT

Zoning: STREETSIDE HISTORIC OVERLAY DISTRICT (HOD-S)

Nature of Project: Addition of full 2nd story to existing 1 ½-story rear addition; roof alteration to rear of historic pyramidal roof

DRAC: An application was reviewed by the Design Review Advisory Committee at both its May 2 and June 4, 2018, meetings. Members in attendance were Mary Ruffin Hanbury, Curtis Kasefang, and David Maurer; also present were staff members Melissa Robb and Collette Kinane, and applicants David Cole, Eric Mitchell, and Madeleine McKenzie.

Staff Notes:

- Streetside HODs are "...established to provide for protection of the traditional development patterns of an area and to preserve historic resources found in it. The focus is on maintaining that character and on preserving those key character-defining features of individual historic resources within the district as viewed from the street right-of-way, excluding alleys..." (Section 5.4.2.A.1. of the Unified Development Ordinance)
- Section 5.4.2.B. of the Unified Development Ordinance governs the applicability of the COA process in Streetside HODs. Any addition to a building or structure that projects beyond an existing building's maximum front and side wall and roof plane envelope regardless of distance from the public right-of-way requires a COA. For the site, only the lot area between the public rights-of-way and the façade of the house are regulated. For the purpose of Streetside HODs, alleys are not public rights-of-way.
- **Changes to the staff report appear in bold lettering below.**

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Addition of full 2 nd story to existing 1 ½-story rear addition
3.2	Additions to Historic Buildings	Addition of full 2 nd story to existing 1 ½-story rear addition; roof alteration to rear of historic pyramidal roof

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. An addition of a full 2nd story to an existing 1 ½-story rear addition, and a roof alteration to the rear of historic pyramidal roof are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 3.2.1, 3.2.2, 3.2.4, 3.2.5, 3.2.6, 3.2.8, 3.2.9, 3.2.11, 3.2.12; however, the size, scale and massing of the addition **may be** incongruous according to *Guidelines* 3.2.7, 3.2.8, 3.2.10, and the following suggested facts:
- 1* From the Historic Research Report for the Designation of the Glenwood-Brooklyn District as a Historic Overlay District: "C. 613 Wills Forest Street. S. Johnson Ferguson House. ca. 1911. One-story frame Queen Anne house with weatherboard siding and a slate-shingled hipped roof with a front cross gable with a lunette window. The porch has modern classical wood columns. Other exterior features include a foundation of brick piers with cinder block infill, an interior brick chimney, a decorative front window, and 2/2 windows. There appears to be a two-story camelback addition constructed since 2001."
 - 2* The Sanborn Fire Insurance Map from 1914 shows what appears to be a one-story addition on the rear of the house. The map is included as staff evidence.
 - 3* Over time, the house has had several additions to the rear of the structure which were added prior to designation of the historic district.
 - 4* The proposed addition is at the rear of the house, and changes the existing 1 ½-story addition into a 2-story addition by raising and changing the roof form and by extending the walls to full height. The existing addition measures 22' at the roof ridge. **The proposed addition has a roof ridge height of approximately 23'.**
 - 5* **No evidence was provided regarding the appropriateness of the proposed configuration of the house (a one-story historic house with a two-story rear addition) in the historic district.**
 - 6* **The size and scale of the proposed addition may be incongruous with Guideline 3.2.7: "Limit the size and scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building."**
 - 7* **The massing and relationship of solids to voids of the proposed addition, especially on the west elevation, may be incongruous with Guideline 3.2.8: "Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original."**

- 8* **The size and scale of the proposed addition may be incongruous with Guideline 3.2.10: “It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.”**
- 9* The proposed addition extends the 2nd-story over the existing patio at the rear.
- 10* **The windows in the new addition are 1/1 of the same or similar proportion to the windows in the historic house. A few existing windows beyond the front 50% of the house are proposed for removal as part of the proposed addition.**
- 11* The addition is proposed to be smooth-faced fiber cement siding and wood windows, which are the same materials that are on the existing addition. Specifications were provided.
- 12* **One new door will be installed on the south elevation. Door specifications were not provided.**
- 13* The application states that a tree protection plan is not required as no trees meeting the threshold for protection are on the property. There are two large trees in the right-of-way in front of the house. A tree protection plan was not provided.
- 14* No landscape changes are proposed.

Pending committee discussion on the size, scale and massing of the addition, staff suggests that the committee approve the application with the following conditions:

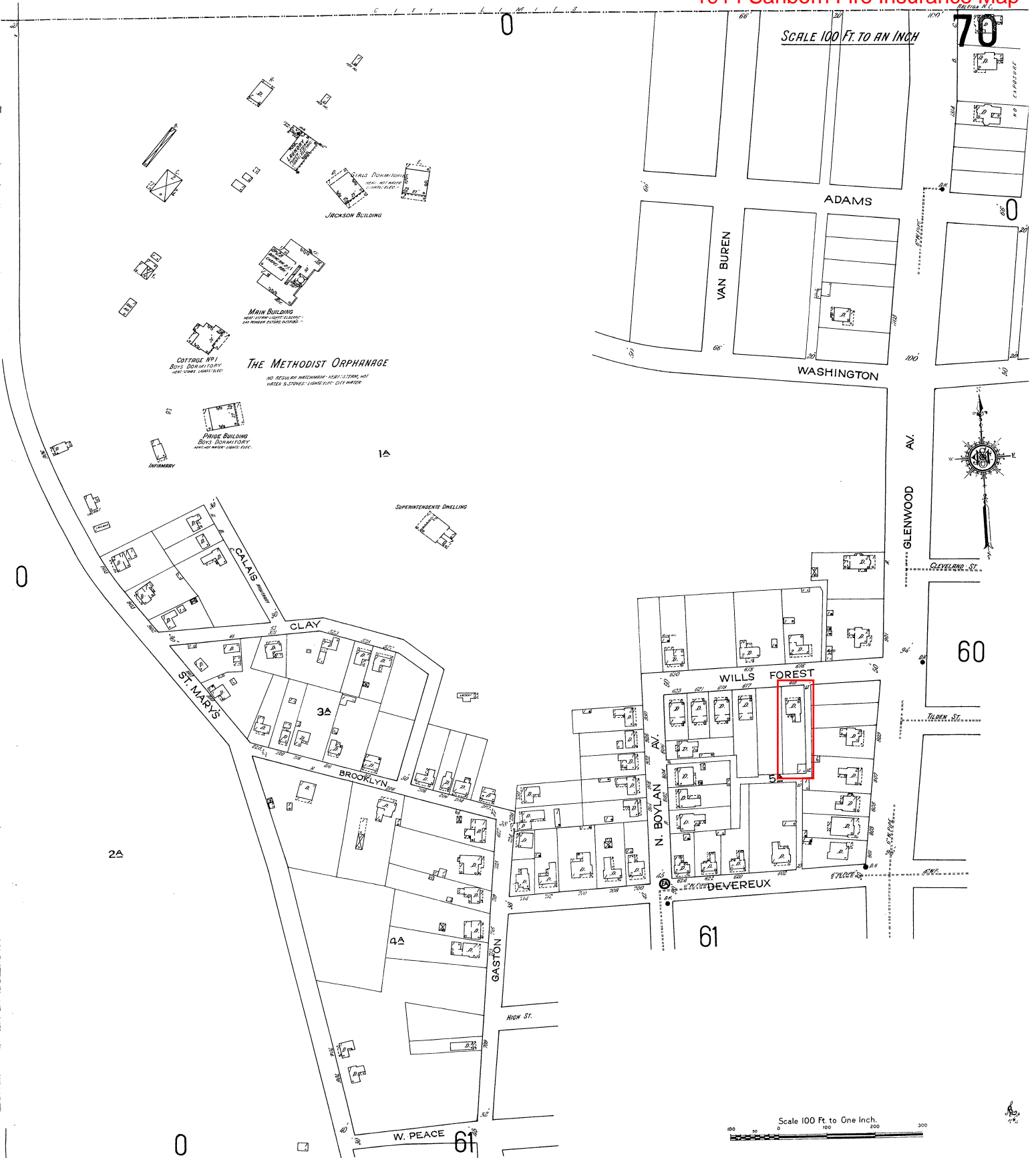
1. That a tree protection plan for the trees in the right-of-way be implemented and remain in place for the duration of construction.
2. That details and specifications for the following be provided to and approved by staff prior to issuance of the COA blue placard:
 - a. A tree protection plan for the trees in the right-of-way prepared by an arborist certified by the International Society of Arboriculture or by a North Carolina licensed landscape architect that addresses the critical root zones and provides staging areas for construction activity and material storage.
3. That details and specifications for the following be provided to and approved by staff prior to installation or construction:

- a. **Manufacturer's specifications for doors, showing both section and elevation views, and material descriptions;**
- b. **Manufacturer's specifications for exterior lighting, and locations on building;**
- c. **HVAC location and screening;**
- d. **Gutters and downspouts, and locations on building.**

079-18-CA

Staff Evidence

1914 Sanborn Fire Insurance Map



Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☒ Major Work (COA Committee review) – **10 copies**
- ☐ Additions Greater than 25% of Building Square Footage
 - ☐ New Buildings
 - ☐ Demo of Contributing Historic Resource
 - ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 553377

File # 079-18-CA

Fee _____

Amount Paid _____

Received Date 7/30/18

Received By _____

Property Street Address *613 Wills Forest Street, Raleigh, NC 27605*

Historic District *Glenwood-Brooklyn*

Historic Property/Landmark name (if applicable)

Owner's Name *Jasper Beard*

Lot size *23 acres*

(width in feet) *52ft*

(depth in feet) *298ft*

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
See Attached Mail List (19 Total Mailings)	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant *Inclusion Studio PLLC*

Mailing Address *206 New Bern Place*

City *Raleigh*

State *North Carolina*

Zip Code *27601*

Date *04/30/2018*

Daytime Phone *919-616-8160*

Email Address *david@inclusionstudio.com*

Applicant Signature



Office Use Only

Type of Work _____

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.3	Site Features and Plantings	<p>1.3: Retain and preserve existing plantings as possible during construction. Replace, plants with like kind and size if required</p> <p>2.1: Retain and preserve existing porch, siding and wood details.</p> <p>2.4 Match existing paint color</p> <p>2.5 Remove select portions of previous addition roof and associated roof structure. Retain original house roof. Construction new addition in the back of the house and tie into previous addition . New roof to be asphalt shingle to match previous addition</p> <p>2.6: Retain and preserve existing walls</p> <p>2.7: Retain and preserve existing windows and doors. New windows to maintain architectural continuity</p> <p>2.8: Retain and preserve existing porch</p> <p>3.2: Proposed second story addition out the back of the house. Original house to remain with new addition tied into previous addition. Addition footprint to be over existing patio in the back of the house.</p>
2.1	Wood	
2.4	Paint and Paint Color	
2.5	Roofs	
2.6	Exterior Walls	
2.7	Windows and Doors	
2.8	Entrances, Porches, and Balconies	
3.2	Addition	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies	X				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

Inclusion Studio

RE: 079-18-CA (613 Wills Forest St)
Initial Staff Comments
6.11.2018 (rev1 -7.29.2018)

1. Please provide both one hard copy set of your application and a digital file of the complete application, as the list of additional documents below is extensive and we want to ensure the application is complete for the COA Committee's review.
A digital copy has been emailed and a hard copy has been dropped off.
2. Please provide both existing and proposed site plans on 11"x17" paper showing the house, any accessory buildings and hardscape elements.
Existing and Proposed Site Plans have been provided on C-001.
3. Please provide a tree protection plan prepared by an arborist certified by the International Society of Arboriculture or by a licensed landscape architect. This will include a site plan showing all trees with a combined stem girth of 8" or more in diameter when measured 4.5' above ground level. All trees must be labeled with their dimension and species name, and should show the critical root zone. [From the Design Guidelines: "CRITICAL ROOT ZONE—The area uniformly encompassed by a circle with a radius equal to one and one-quarter (1.25) foot per inch of the diameter of a tree trunk measured at four and one-half (4.5) feet above the ground, with the trunk of the tree at the center of the circle."] Include staging areas for construction materials.
No tree protection plan is required per email with staff dated 7/25/2018
4. Please provide color photos of the front, back and sides of the house, showing as much of the house and yard in context as possible. Please also provide a photo of the house and its neighbors to illustrate the neighborhood context.
Digital copies have been emailed.
5. Please update your plan drawings to include clear labeling of existing and proposed, as well as eliminating the shadows. Include a north arrow on the plan. There is no need to label interior rooms, but all exterior elements such as porches and planters should be labeled. Please show the 50% line on the plan to illustrate the portion of the existing house that requires review for changes vs the new construction.
We have noted the 50% line on several views including the site plans. For clarification we provided the existing building limits on the proposed views.
6. Please update your elevation drawings to include clear labeling of existing and proposed, as well as eliminating the shadows. Each elevation should be on a separate page so the drawings are clearly legible. Label some key heights, such as the existing roof height of the historic house and addition, as well as the height of the new addition. Please show the 50% line on the elevations. Also include accurately drawn windows and porches.
We have noted the 50% line on several views including the site plans. For clarification we provided the existing building limits on the proposed views.
7. Please provide roof plans for both existing and proposed.
These have been provided on A-103.
8. It appears the proposal includes removing the front gable. Is this accurate? It does not get removed.
The existing gable is to remain and this has been clarified on the proposed street elevation.
9. Please provide descriptions, samples or manufacturer's information sheets about all materials.
This has been emailed.

10. Provide manufacturer's specs on any new windows and doors.
This has been emailed.
11. Will there be any changes to landscape components in this proposal? If so, provide information about those changes.
There are no changes.

Staff Review Comments

1. The proposed addition is at the rear of the house, and changes the existing 1 ½-story addition into a 2-story addition by raising and changing the roof form and by extending the walls to full height. The existing addition measures 22' at the roof ridge. The drawings show an increased roof ridge height, but do not clearly convey the measurement of the roof ridge height. **The drawings have been revised to more clearly indicate the roof heights.**
2. Drawings seem to indicate the proposal brings the west wall of the addition out to meet the wall plane of the historic house, rather than being inset as it is currently. The chimney on the west elevation of the existing addition appears to be encased with a wall, rather than being outside of the west wall plane. **The design has been revised to keep the addition in line with the most recent addition and to step the addition to match the step from a previous addition.**
3. The side elevation drawings do not accurately portray the revised connection between the addition and the historic pyramidal roof. The drawings appear to show the roof ridge as a single line, but without the hatching underneath it to represent the roofing material this revised roof does not read as a solid roof plane in the way the other roofing is presented in the drawings. **The drawings have been revised to more clearly show the connection between the existing house and the addition.**
4. The application proposes the use of cedar shakes on the second story rear elevation. This material does not appear anywhere else on the house. **The cedar shakes have been removed.**
5. The majority of the addition is proposed to be smooth-faceted fiber cement siding and wood windows. **This is the material that is currently used on the historic house. We do not find it appropriate to change this material.**
6. The application proposes installing five windows on second story rear elevation that are significantly narrower than any others on the house. **The windows on the rear elevation, that are not visible from any public right of way, have been revised to match the existing sizing.**

Inclusion Studio

RE: 079-18-CA (613 Wills Forest St)
Initial Staff Comments
6.11.2018 (rev1 -7.29.2018)

7. The application states that a tree protection plan is not required as no trees meeting the threshold for protection are on the property. There are two large trees in the right-of-way in front of the house. **Per email from staff, no tree protection plan is required.**
8. A tree protection plan was not provided. **Please see above.**
9. No landscape changes are proposed. **Noted.**

3.2 Additions: Guidelines

.1 Construct additions, if feasible, to be structurally self-supporting to reduce any damage to the historic building. Sensitively attach them to the historic building so that the loss of historic materials and details is minimized.

The proposed addition occurs over a recent addition and an existing patio. The historic structure will be uncompromised by the proposed addition.

.2 Design additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.

The addition maintains the overall character of the site, site topography, character defining site features, trees and significant district vistas and views are retained. The existing façade remains unchanged.

.3 Survey in advance and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.

The proposed addition occurs over a recent addition and an existing patio. The site remains largely unchanged and only slightly occurs on currently undisturbed land.

.4 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone.

There are no trees meeting these requirements on the property at 613 Wills Forest. In any event every reasonable effort will be made to protect the critical root zone of adjacent neighbor trees. Any large equipment or heavy materials will be precluded from damaging the critical root zone of any trees.

.5 It is appropriate to implement a tree protection plan prior to the commencement of construction activities.

There are no trees meeting these requirements on the property at 613 Wills Forest. In any event every reasonable effort will be made to protect the critical root zone of adjacent neighbor trees. Any large equipment or heavy materials will be precluded from damaging the critical root zone of any trees.

.6 Locate a new addition on an inconspicuous face of the historic building, usually the rear one.

The proposed addition occurs over a recent addition and an existing patio. The historic structure will be uncompromised by the proposed addition.

.7 Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

The proposed addition occurs over a recent addition and an existing patio. The historic structure will be uncompromised by the proposed addition. The limits of the proposed addition only slightly protrude beyond the existing limits. Please see the attached rendering.

.8 Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

The addition utilizes similar mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls and is discernable from the historic house through the use of an independent roof. Please see the attached rendering

.9 Design additions so that the placement, configuration, materials, and overall proportion of windows and doors are compatible with those of the historic building. Select exterior surface materials and architectural details that are compatible with the existing building in terms of composition, module, texture, pattern, and detail.

The proposed addition utilizes similar placement, configuration, materials, and overall proportion of windows and doors and are compatible with those of the historic building. Compatible exterior surface materials and architectural details have been selected that match the historic house in terms of composition, module, texture, pattern, and detail.

.10 It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.

The proposed addition will not detract from or remove any significant portions of the historic structure.

.11 It is not appropriate to construct an addition that significantly changes the proportion of original built mass to open space on the individual site.

The proposed addition occurs over a recent addition and an existing patio. The existing proportion of original build mass to open space will largely remain unchanged.

.12 It is not appropriate to construct an addition if the overall proportion of built mass to open space on its site will significantly vary from the surrounding buildings and sites that contribute to the special character of the historic district.

The proposed addition occurs over a recent addition and an existing patio. The built to unbuilt site area will largely remain unchanged.

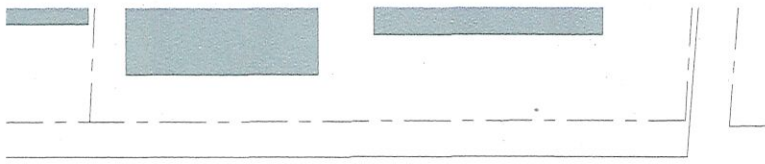
WILLS FOREST

613 WILLS FOREST STREET, RALEIGH, NC 27605

SITE PLAN
 COA

C-001

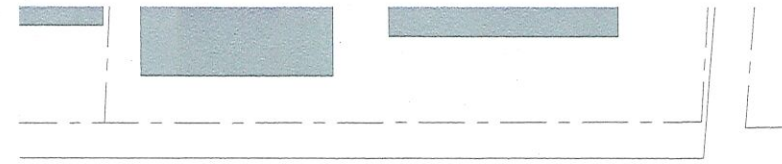
7/30/2018
 17_0026
 CLIENT SIGNATURE



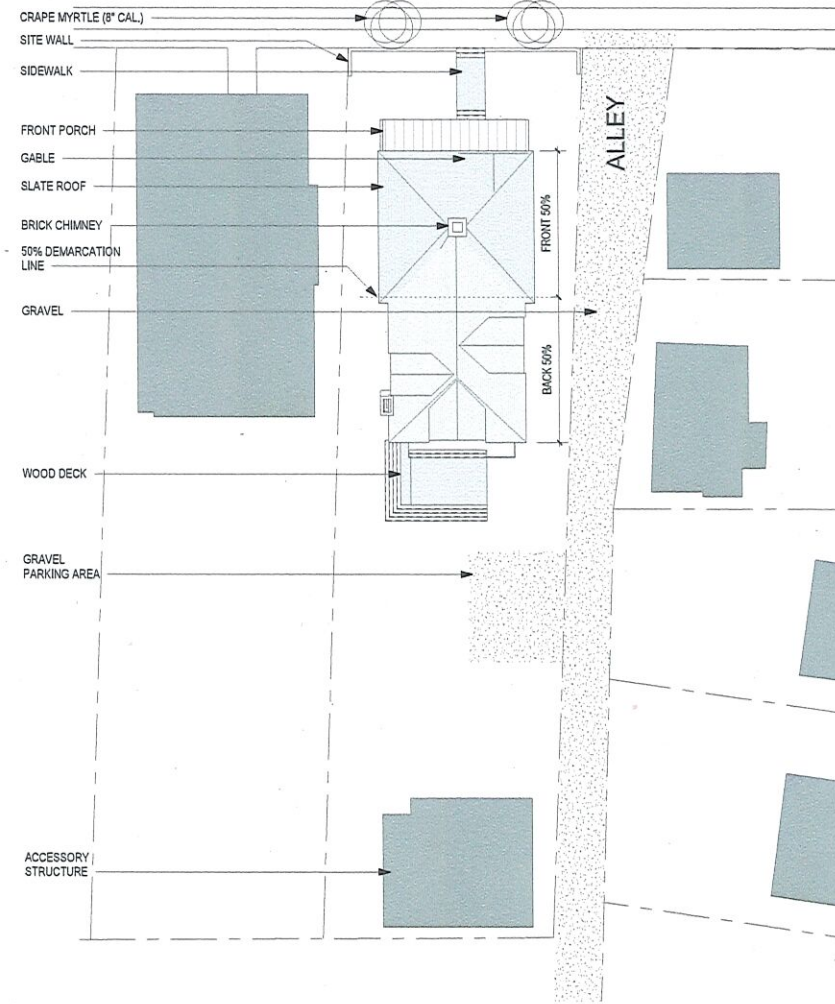
WILLS FOREST STREET



2 PR SITE PLAN
 SCALE: 1" = 20'-0"



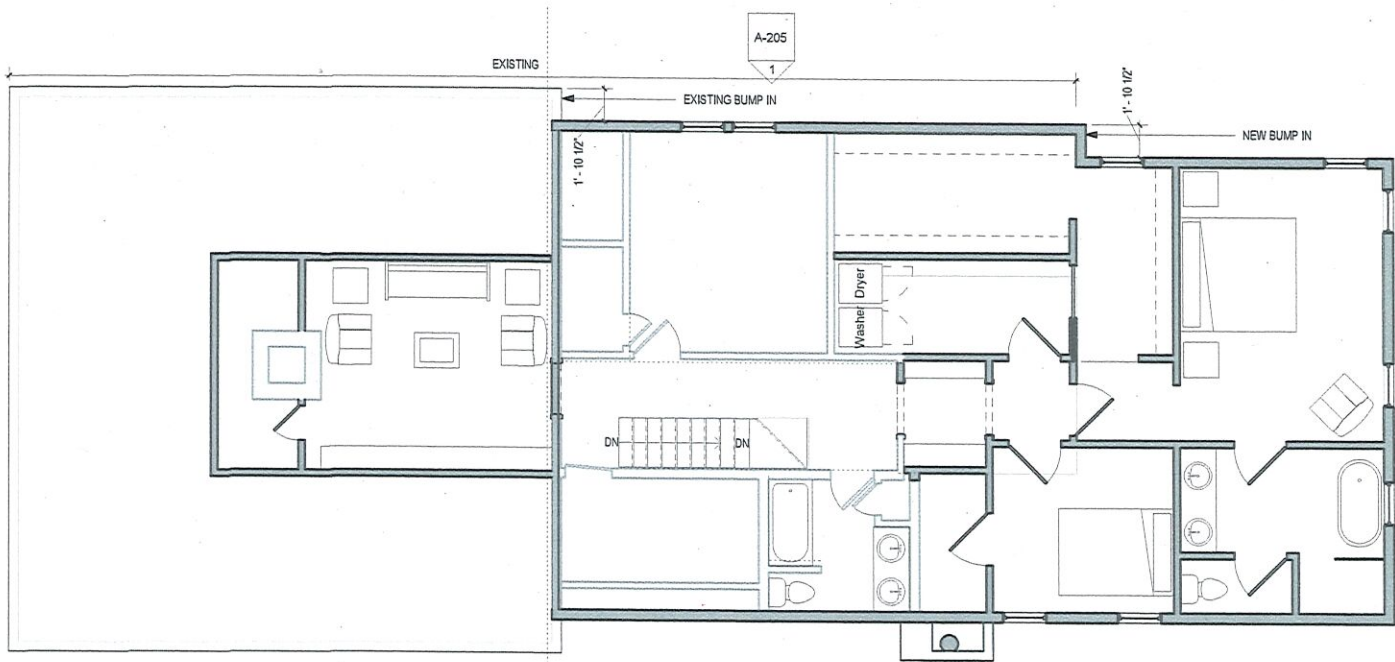
WILLS FOREST STREET



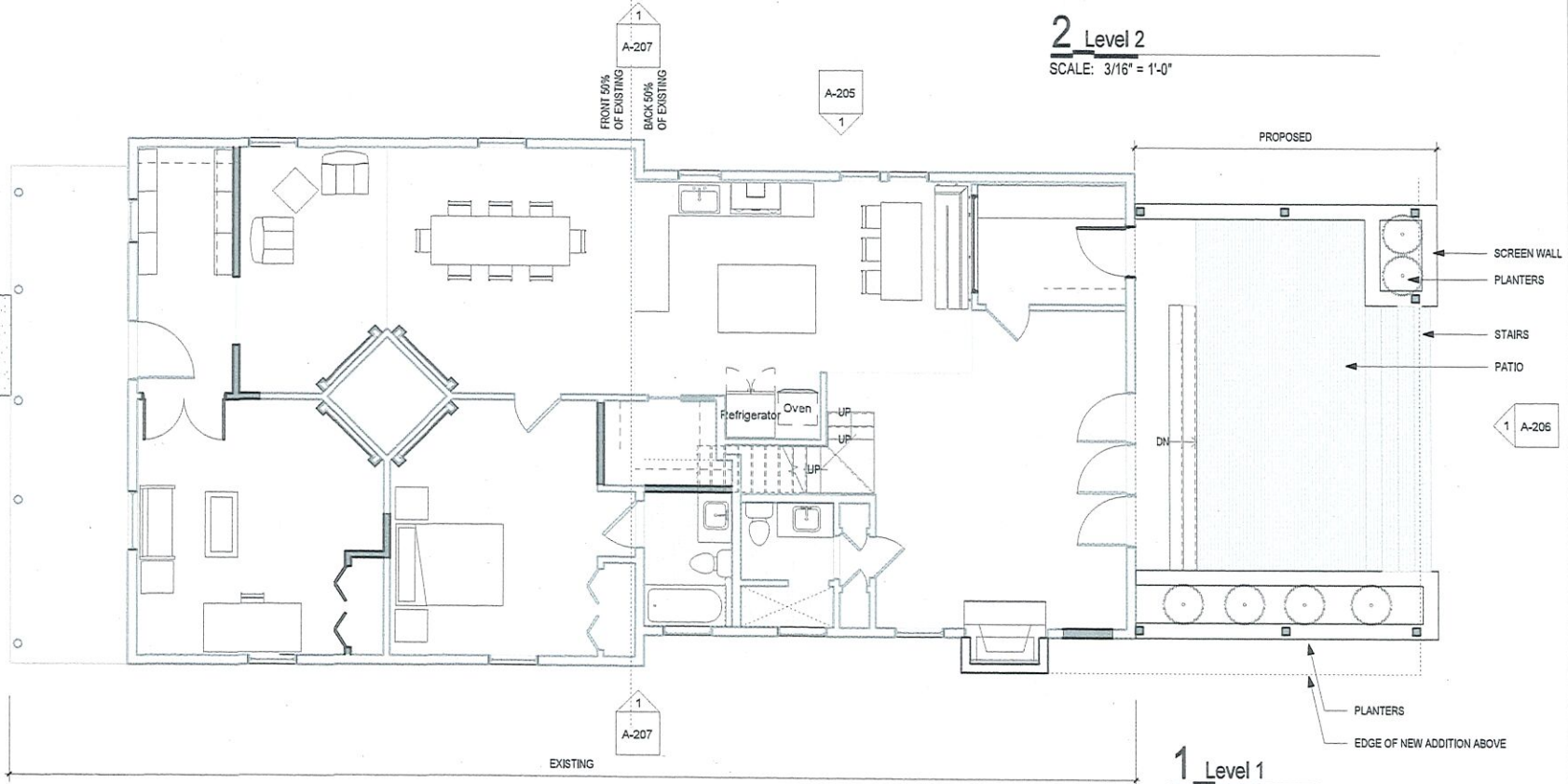
1 EX SITE PLAN
 SCALE: 1" = 20'-0"

A-204 1

A-204 1



2 Level 2
SCALE: 3/16" = 1'-0"

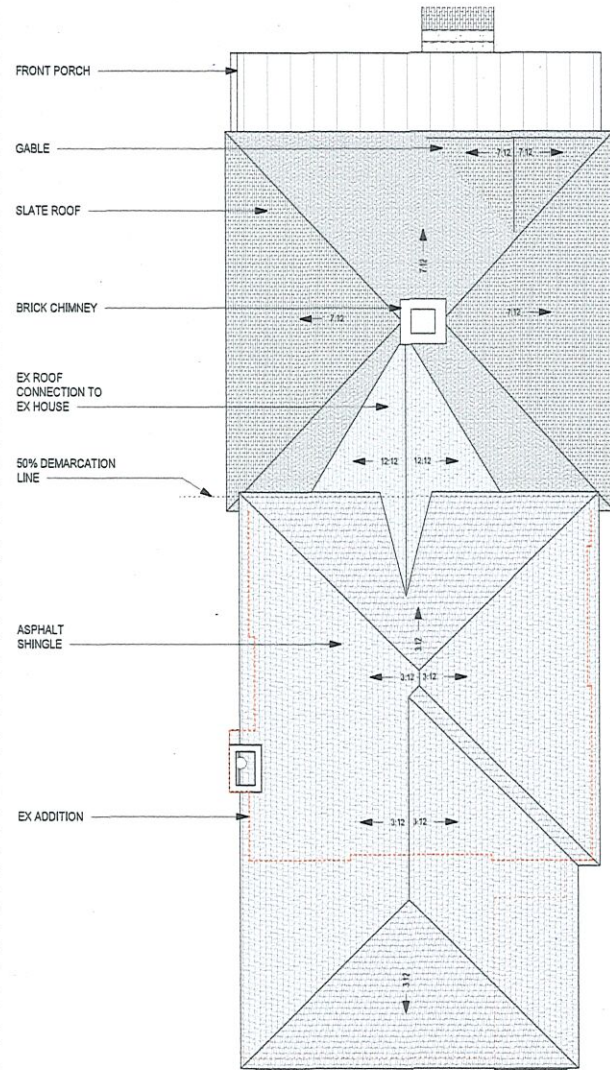


1 Level 1
SCALE: 3/16" = 1'-0"

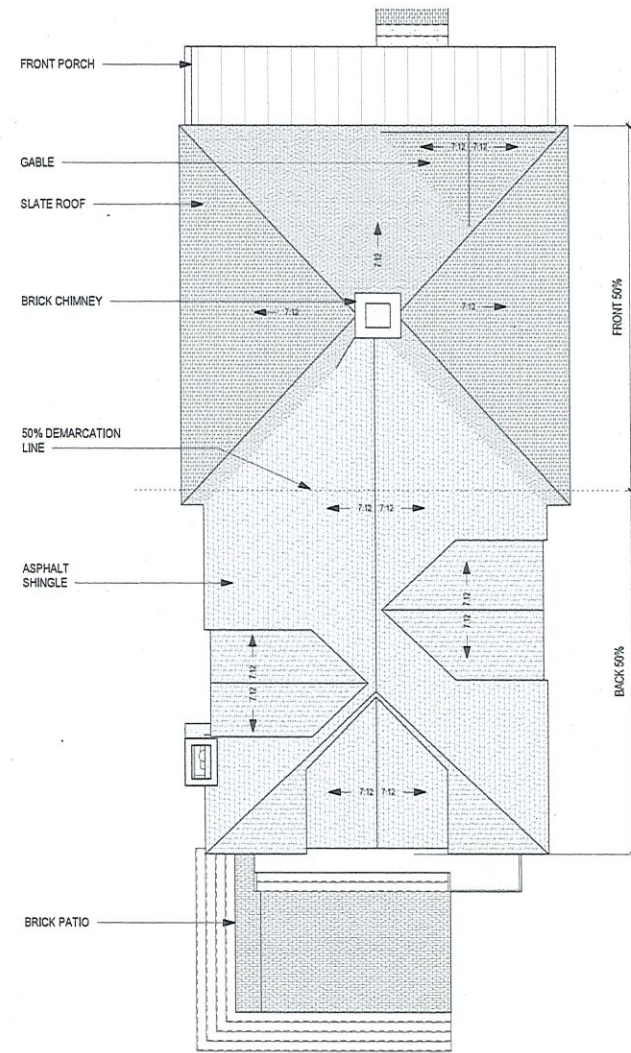
Inclusion Studio
206 New Bern Place
Raleigh, NC 27601
inclusionstudio.com

WILLS FOREST
613 WILLS FOREST STREET, RALEIGH, NC 27605

FLOOR PLANS
COA
A-100
7/30/2018
17_0026
CLIENT SIGNATURE



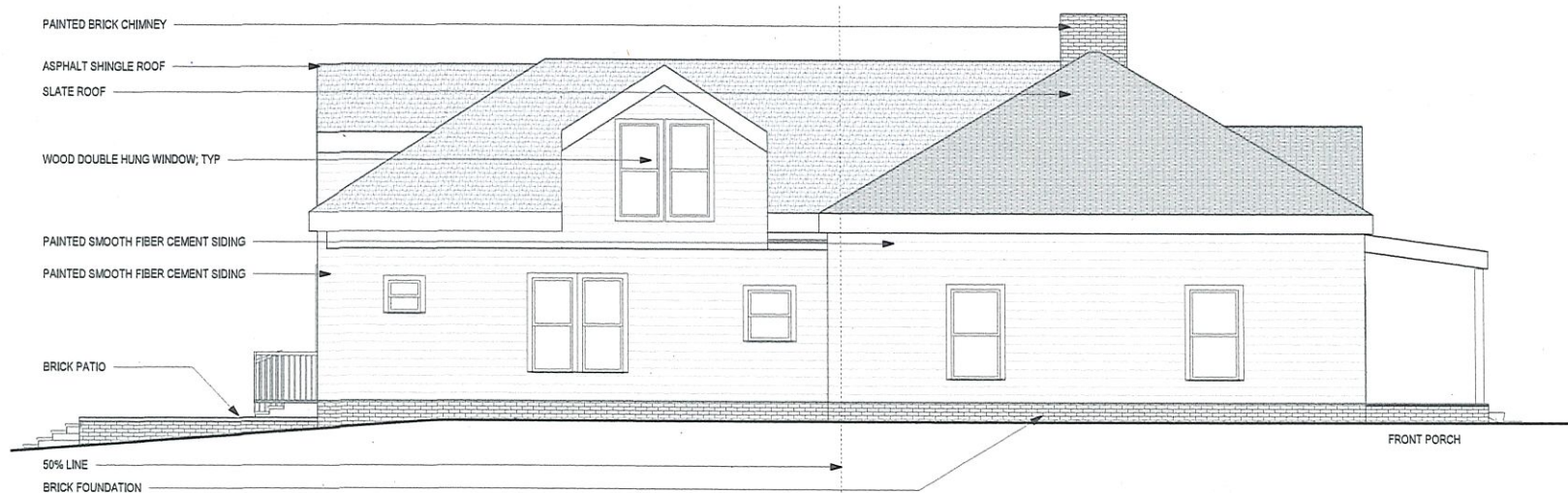
2 PR ROOF PLAN
SCALE: 1/8" = 1'-0"



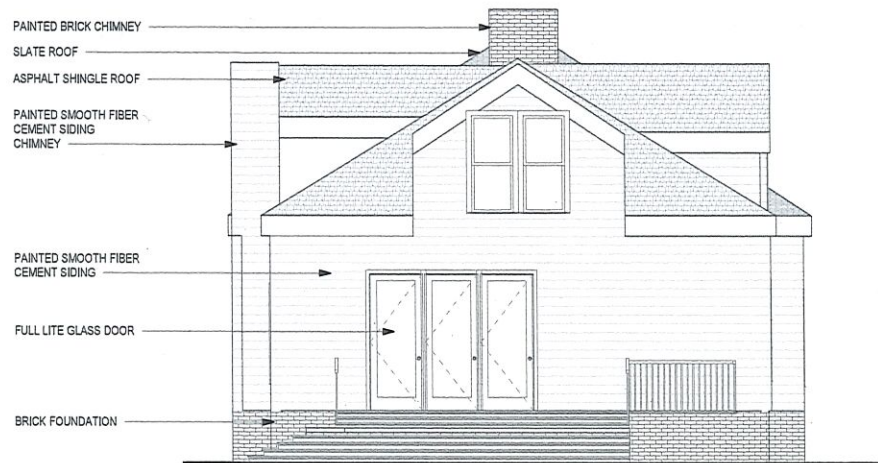
1 EX ROOF PLAN
SCALE: 1/8" = 1'-0"



1 EX STREET ELEVATION
SCALE: 3/16" = 1'-0"

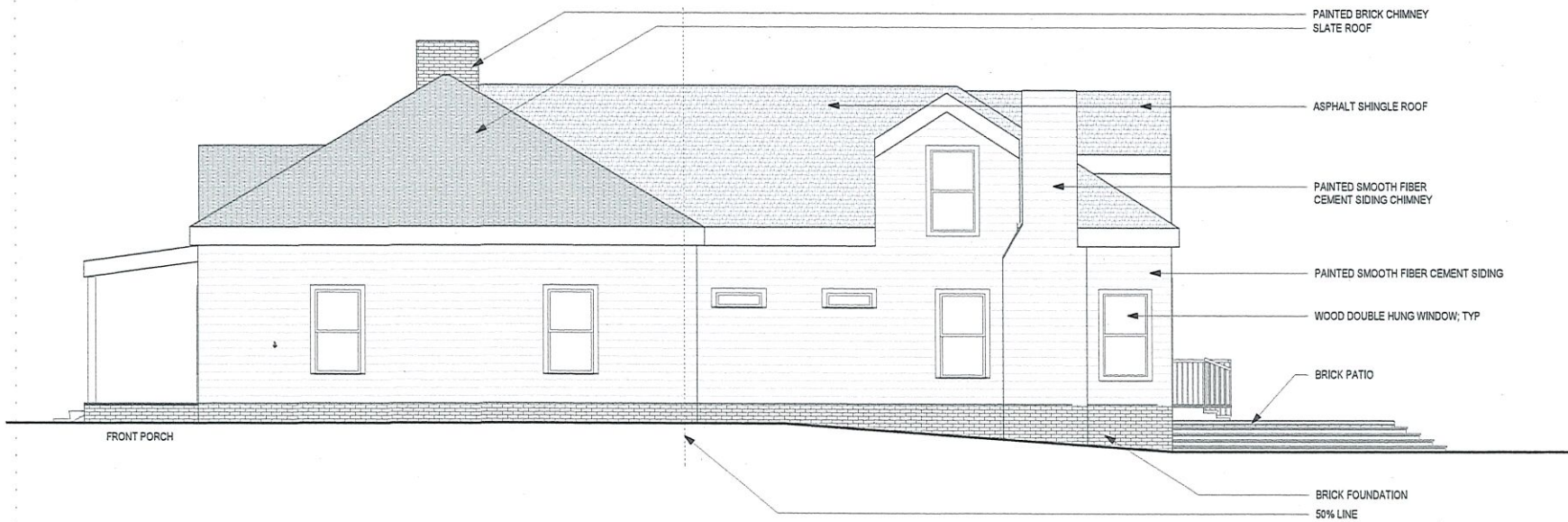


1 EX EAST ELEVATION
 SCALE: 3/16" = 1'-0"



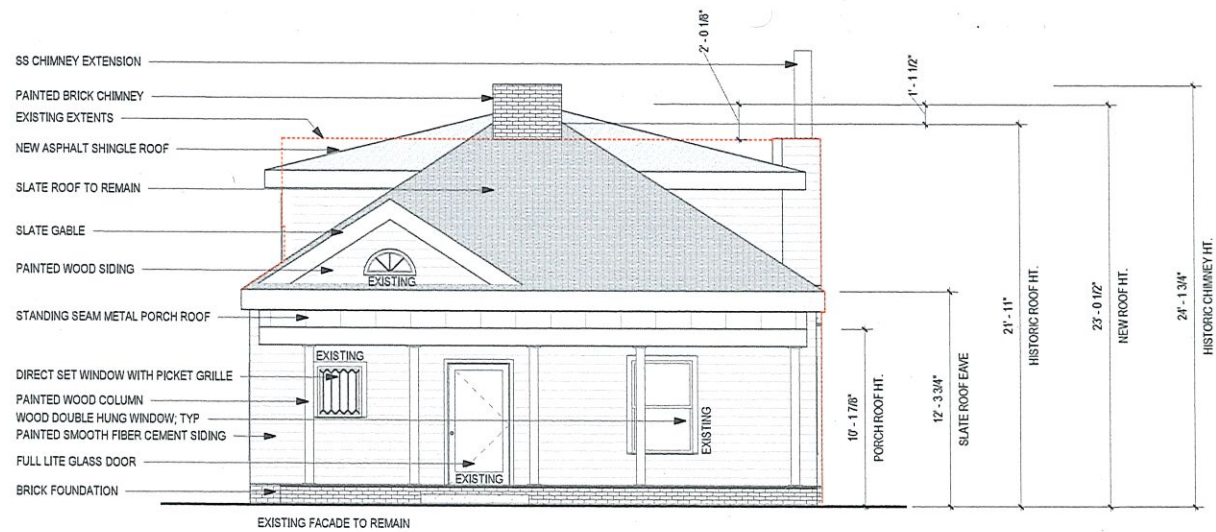
1 EX SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



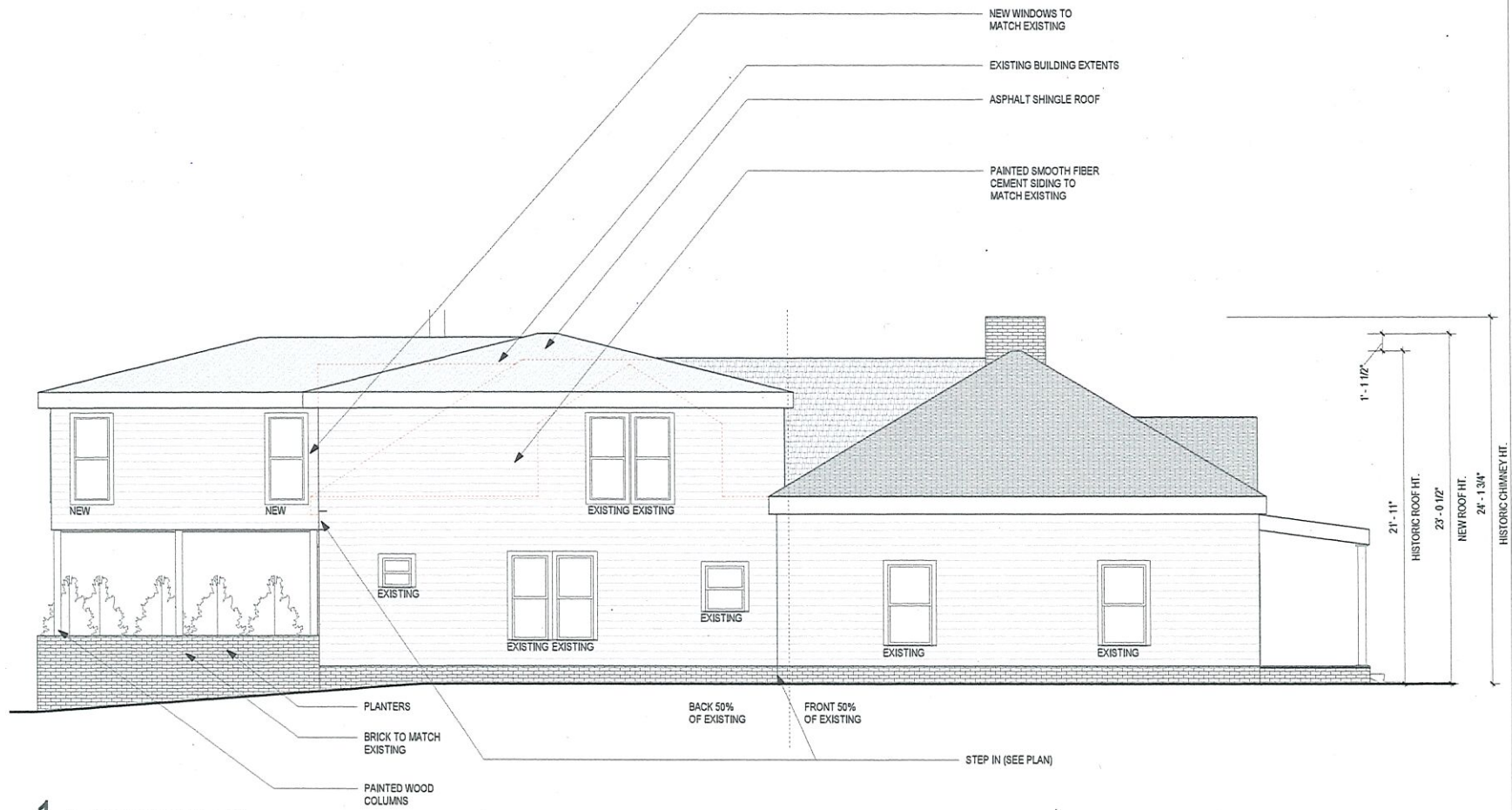


1 EX WEST ELEVATION

SCALE: 3/16" = 1'-0"



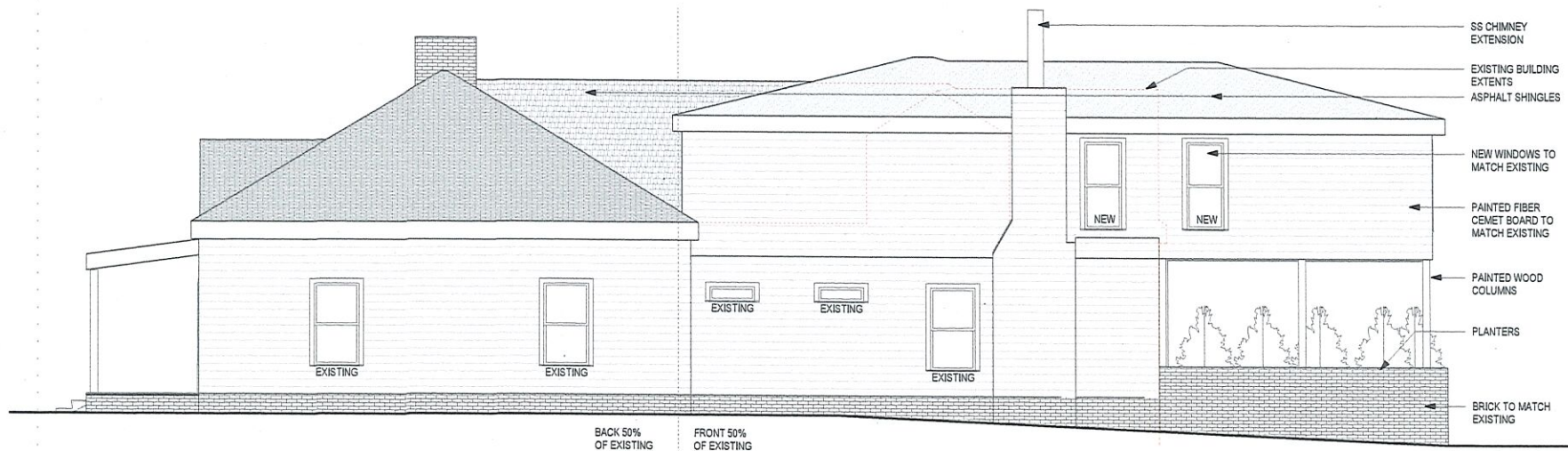
1 PR STREET ELEVATION
SCALE: 3/16" = 1'-0"



1 PR EAST ELEVATION
 SCALE: 3/16" = 1'-0"



1 PR SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 PR WEST ELEVATION
SCALE: 3/16" = 1'-0"



BEFORE



AFTER



1 1100 W CABARRUS
SCALE: NTS



Front elevation at sidewalk



The addition will only be minimally visible from this vantage point.

Front elevation from adjacent sidewalk



The addition will only be minimally visible from this vantage point.

Left elevation from alley



Right elevation from sidewalk



The addition will be slightly more visible from this vantage point. The mature shrubbery will help shield the addition from view.

Rear elevation

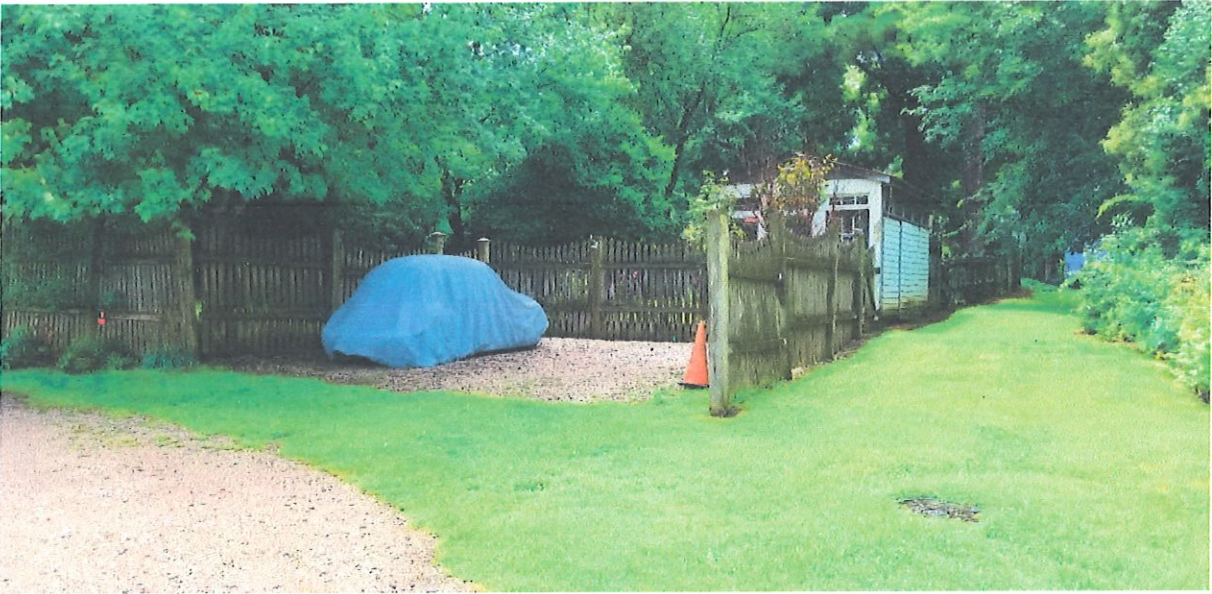


The proposed addition will be visible from the rear of the property. The trees visible in this picture are on adjacent properties.

Rear Alley Context



Edge planting shielding the rear view of the house



Neighbor to rear parking area with utility easement.

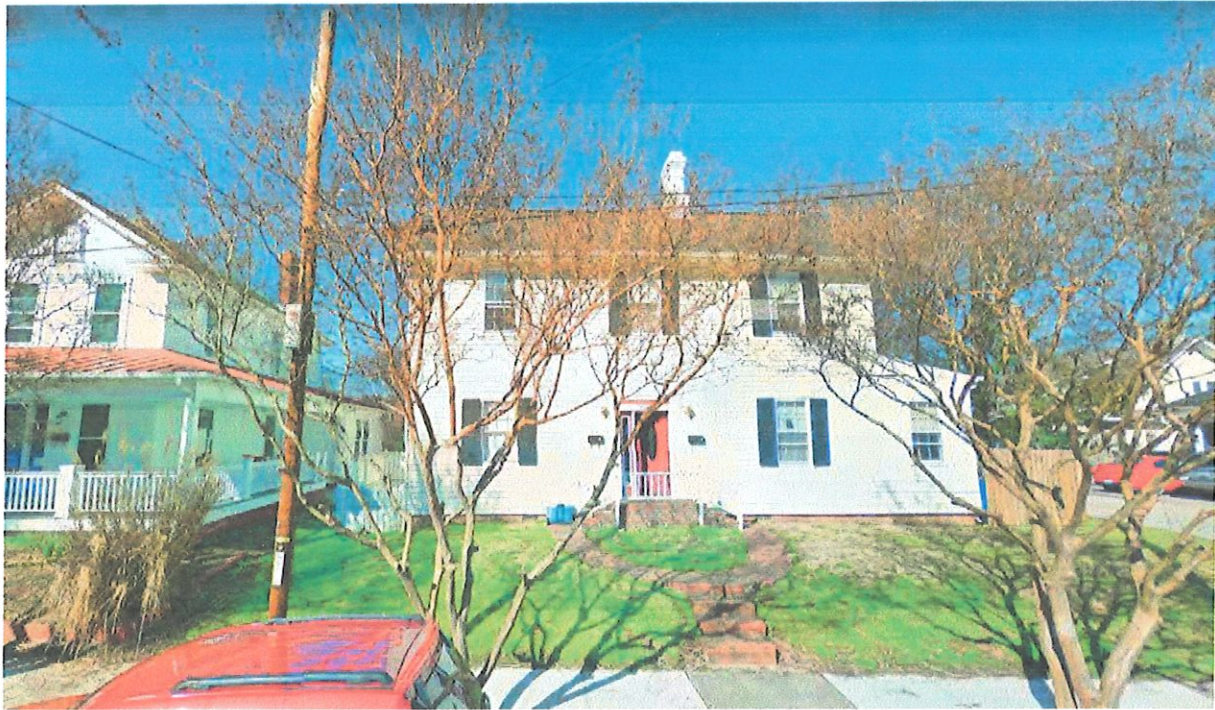
613 Wills Forest



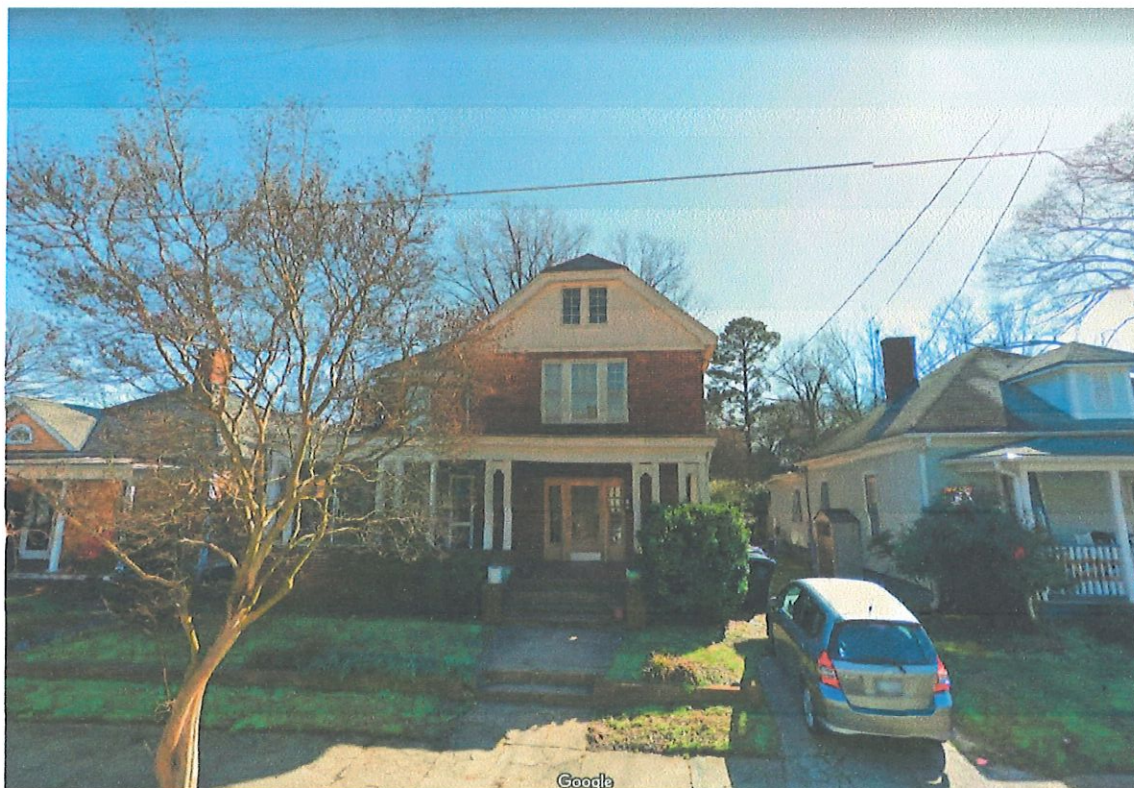
611 Wills Forest



614 Wills Forest



615 Wills Forest



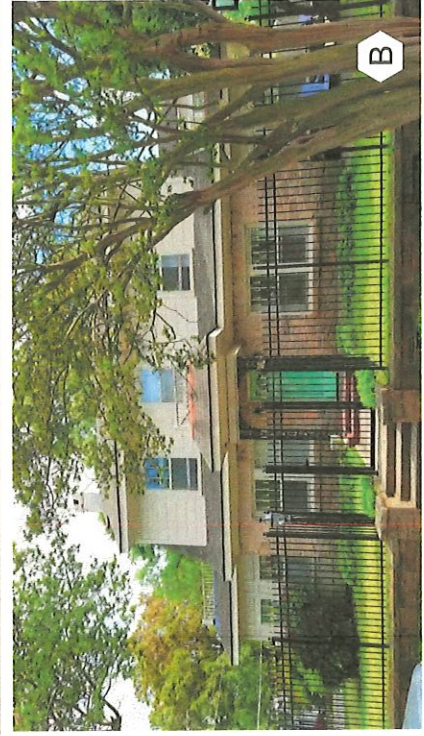
616 Wills Forest



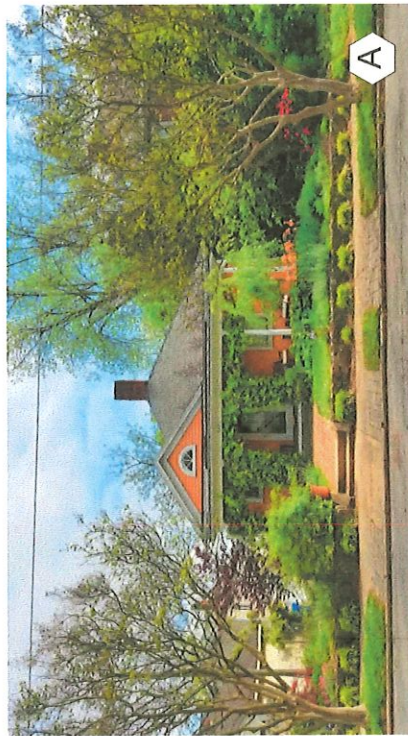
617 Wills Forest



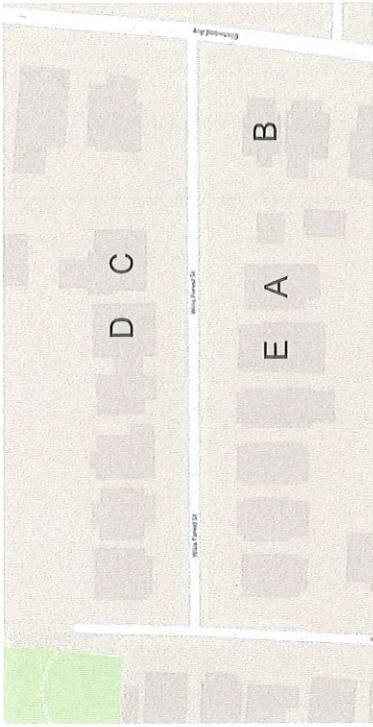
WILLS FOREST



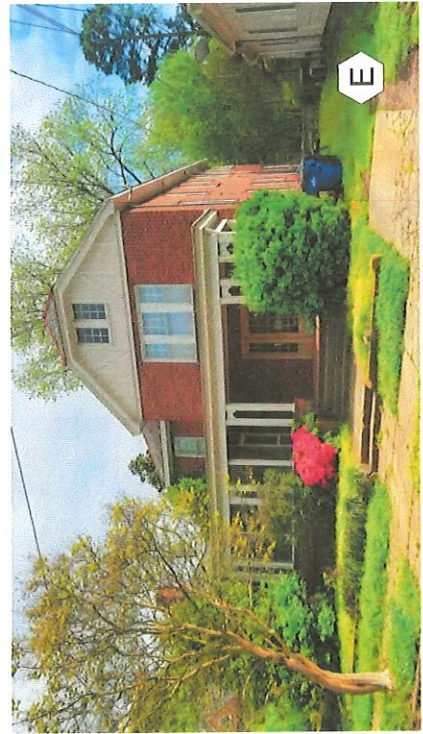
611 WILLS FOREST ST



613 WILLS FOREST ST



VACINITY MAP



615 WILLS FOREST ST



616 WILLS FOREST ST



614 WILLS FOREST

Project Specifications

Owner: Jasper and Courtney Beard
613 Wills Forest Street,
Raleigh, North Carolina 27605

Contractor: Inclusion Construction
206 New Bern Place
Raleigh, North Carolina 27601

For the Project: 613 Wills Forest Street,
Raleigh, North Carolina 27605

Date: June 04, 2018

Article 1. WRITTEN DESCRIPTION

Article 1.1. Summary

The owners of 613 Wills Forest Street propose to expand their existing home to include a new master suite, bedroom and laundry. The second story addition would be placed over an existing patio, allowing the patio to become covered from the elements. The proposed addition would be placed at the back of the house and tie into an addition previously completed in 2003. The existing single-story structure will be maintained and preserved, including: front porch, walls/façade, windows, doors, and plantings. In the event any plantings are damaged during construction, plantings of the same type, size and location will be installed. The proposed addition is designed to have minimal impact if any, on the front elevation. The new addition will be placed at the back of the house as far from the primary historic contributing front elevation.

Article 1.2. Massing and Design Impact

The proposed addition is at the rear of the house with the historic front façade to be maintained and preserved in its entirety. With the exception of tying into the existing roof, all proposed construction is behind the 50% designation line.

The proposed construction is a second story addition over an existing patio at the back of the house. The addition is designed in such a way so as to create minimal increased footprint. The massing size, proportion and location minimize any changes to the primary historic contributing front elevation.

Project Specifications

Article 2. MATERIALS

Article 2.1. Exterior Siding

Lap Siding: HardiePlank HZ10 Lap as manufactured by James Hardie Building Products, Inc.
Type: Smooth 6-1/4 inches (159 mm) with 5 inches (127 mm) exposure

Trim: HardieTrim HZ10 boards as manufactured by James Hardie Building Products, Inc.

Product: Batten Boards, 2-1/2 inch (63 mm) width.

Product: 4/4 Boards, 3-1/2 inch (89 mm) width.

Product: 4/4 Boards, 5-1/2 inch (140 mm) width

Fascia: HardieTrim HZ10 Fascia boards as manufactured by James Hardie Building Products,

Soffit Panels: HardieSoffit HZ10 soffit panel, factory sealed on 5 sides as manufactured by James Hardie Building Products, Inc.

Type: Smooth non-vented, 12 inches (305 mm) by 12 feet (3658 mm).

Type: Smooth non-vented, 16 inches (406 mm) by 12 feet (3658 mm).

Type: Smooth non-vented, 24 inches (610 mm) by 8 feet (2438 mm).

Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 12 inches (305 mm) by 12 feet (3658 mm).

Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 16 inches (406 mm) by 12 feet (3658 mm),

Type: Smooth vented, provides 5 square inches (32.3 sq.cm) of net free ventilation per linear foot, 24 inches (610 mm) by 8 feet (2438 mm).

Article 2.2. Windows

Siteline Series Wood window assemblies as manufactured by JELD-WEN, Inc.

Window Type: Double-hung:

Article 2.3. Roof

New roof will be architectural fiberglass shingle to match the existing addition roof.

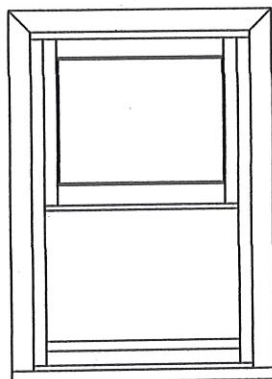
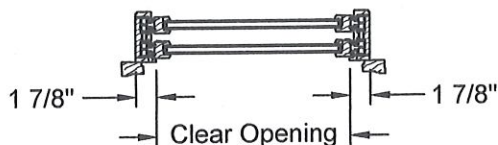
Article 2.4. Paint

New roof will be architectural fiberglass shingle to match the existing addition roof.

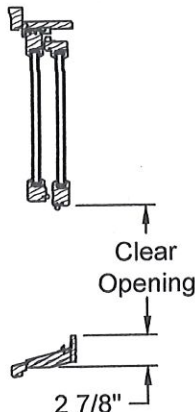


CLEAR OPENING

Clear Opening Layout



Double-Hung Window



Double-Hung Clear Opening Formula

Interior Glazed Sash Vertical

(Frame Height / 2) - 2 27/32" = Clear Opening

Horizontal

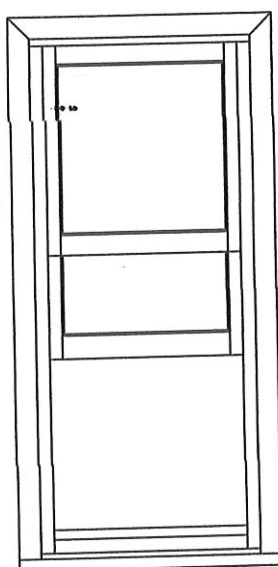
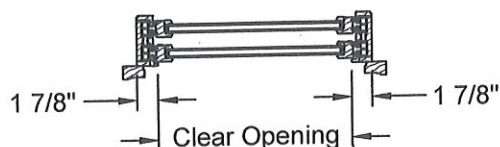
Frame - 3 3/4" = Clear Opening

Exterior Glazed Sash Vertical

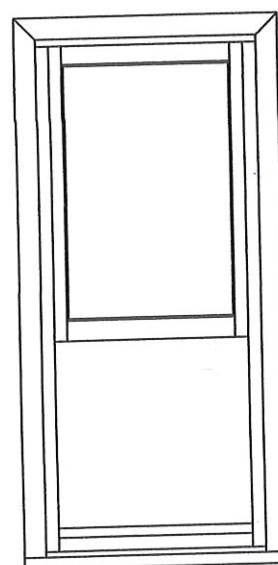
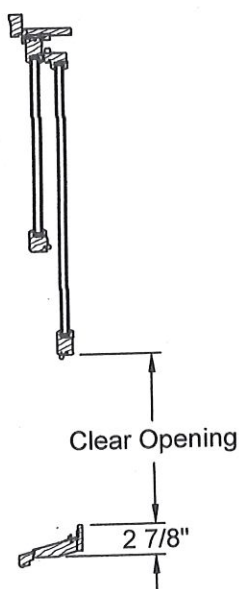
(Frame Height / 2) - 2 27/32" = Clear Opening

Horizontal

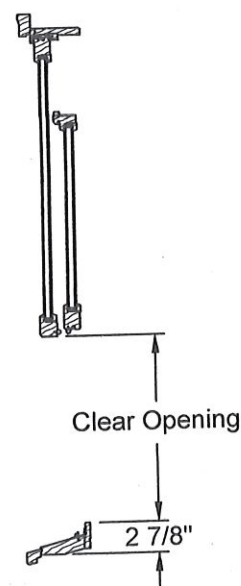
Frame - 3 3/4" = Clear Opening



Cottage Window



Reverse Cottage
Window



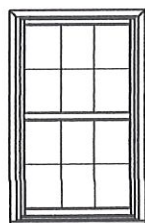
Cottage & Reverse Cottage

Consult the Design Data Tables for clear opening information. For dimensional units, contact Jeld-Wen - Hawkins Window Division Technical Services Department for Clear Opening information.

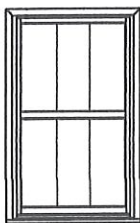


LITE CUT INFORMATION

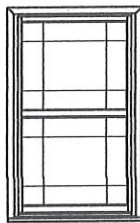
Siteline Wood Double-Hung Windows are available with removable Grilles, Grilles Between Glass (GBG), or Simulated Divided Lites (SDL) in various widths and styles.



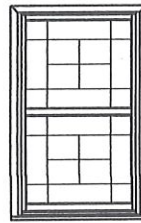
Rectangular



Vertical

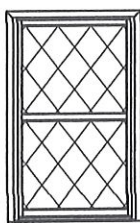


Prairie

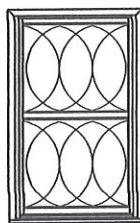


Uneven

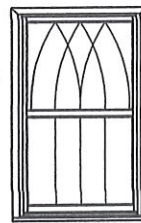
**NO DIVIDED
LITES WILL BE
USED, IN
ORDER TO
MATCH THE
EXISTING
WINDOWS**



Diamond



Radius



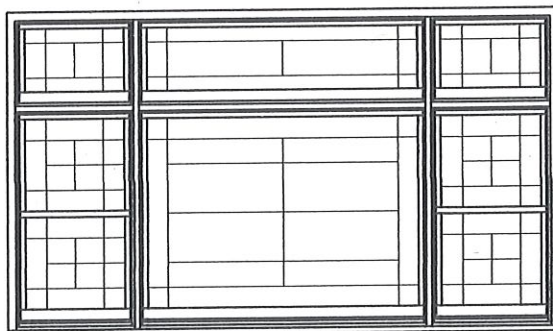
Gothic

Lite Cut Options

Special lite cut patterns can include a wide variety of straight line and radius patterns. The illustrations shown above represent just a few of the possibilities. Rectangular, horizontal, vertical and Prairie lite patterns are available in all standard size windows. Uneven, diamond, radius and Gothic lite cuts are available, subject to approval.

Bar Alignment

Alignment of divided lite muntin bars from one window to the next is often required by fine architectural design. Wood grilles, GBG, and SDL's may be specified with muntin bars aligned.





UNIT SIZING

General Notes:

Unit size is always the maximum size of the window with or without trim and does not include nail fin.

Masonry Opening:

Masonry opening is always 1/2" over (height and width) the unit size or the outside of the trim of the window.

Rough Opening:

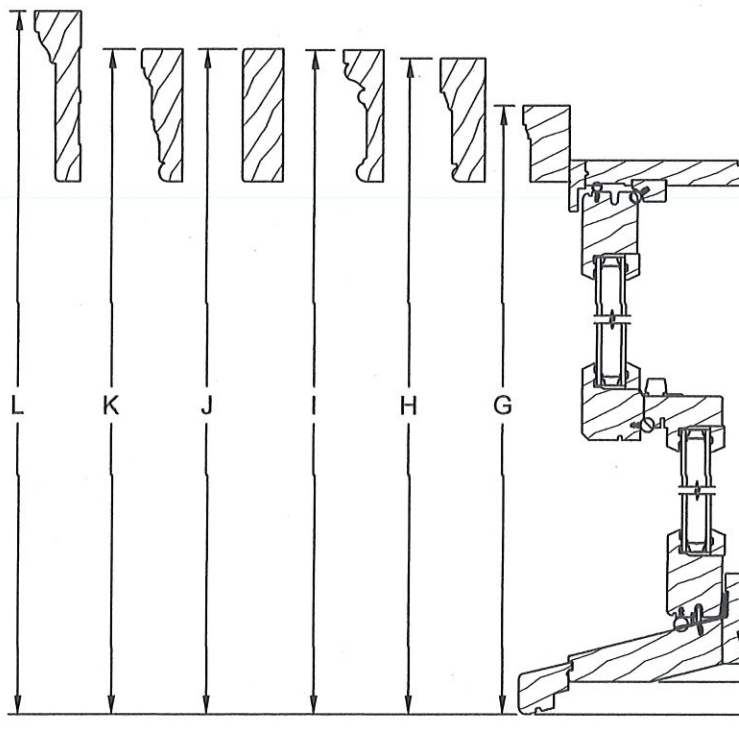
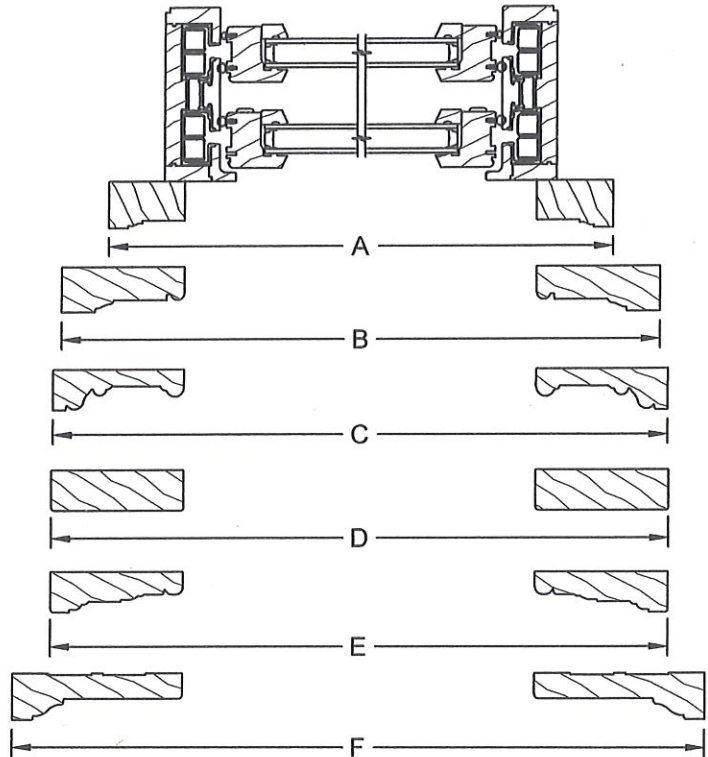
Rough opening is always 3/4" over frame size of the window.

Horizontal Sections		
Trim Option	Dimension	Frame +
Brickmould (BM)	A	2-7/8"
Heritage Casing (HC)	B	5-3/8"
RG 3 Casing (RG3)	C	5-13/16"
3 1/2" Flat Casing (FC)	D	5-7/8"
Adams Casing (AC)	E	5-7/8"
1 X 4 Back Band (BBC)	F	7-7/8"

TO MATCH EXISTING

Vertical exterior trim offerings with standard sill nosing. Trim on 3 sides.

Horizontal exterior trim offerings below are the same with or without sill nose.



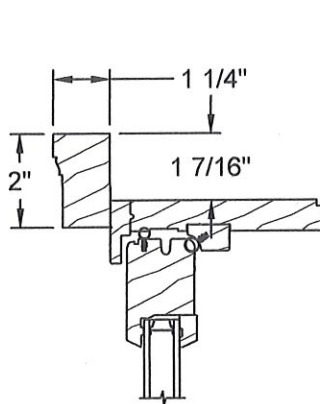
Vertical Sections (w/ Sill Nose)		
Trim Option	Dimension	Frame +
Brickmould (BM)	G	2-5/16"
Heritage Casing (HC)	H	3-9/16"
RG 3 Casing (RG3)	I	3-25/32"
3 1/2" Flat Casing (FC)	J	3-13/16"
Adams Casing (AC)	K	3-13/16"
1 X 4 Back Band (BBC)	L	4-13/16"

TO MATCH EXISTING

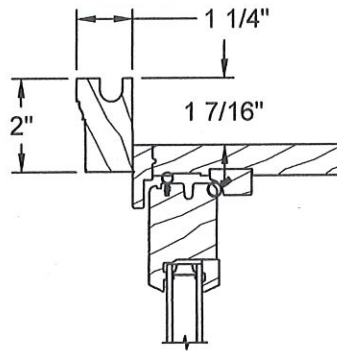
7/8"



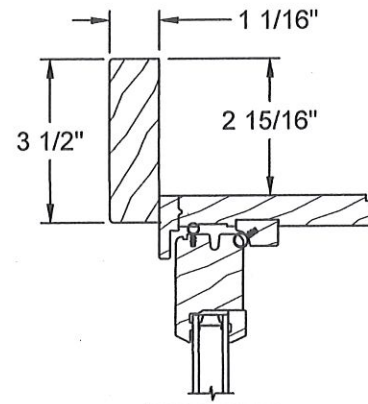
TRIM OPTIONS



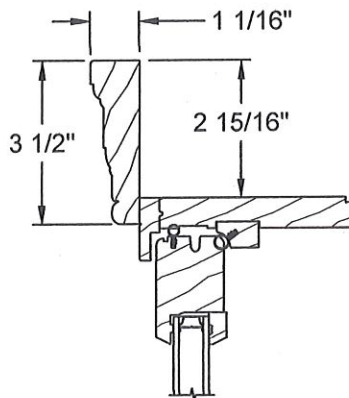
Brickmould



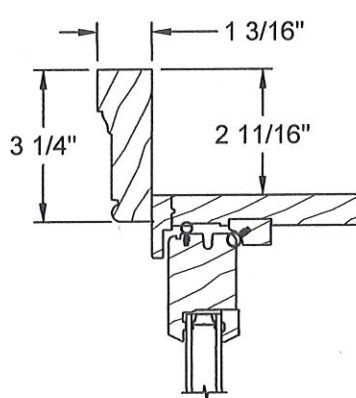
Stucco Brickmould



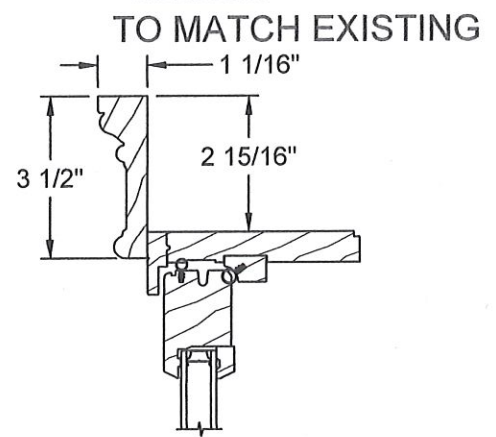
Flat Casing



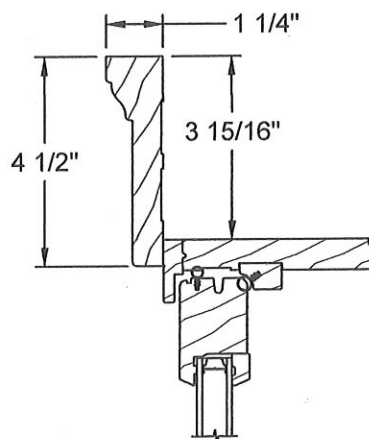
Adams Casing



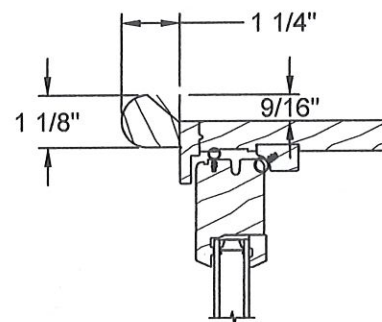
Heritage



RB 3 Casing



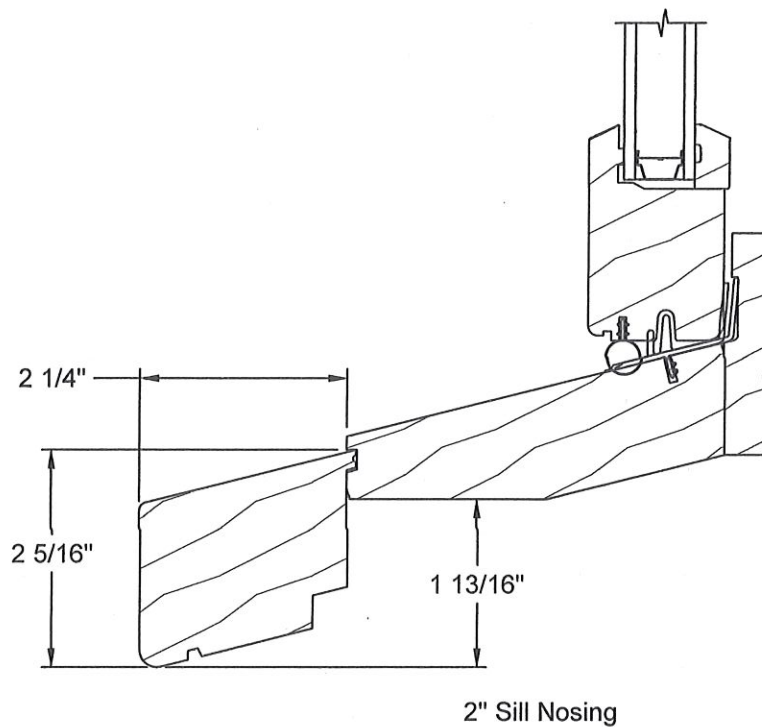
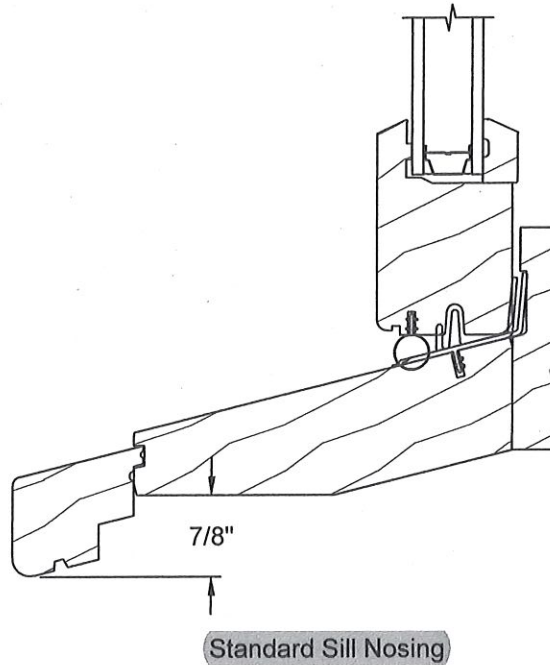
1 X 4 Backband



Bullnose Casing

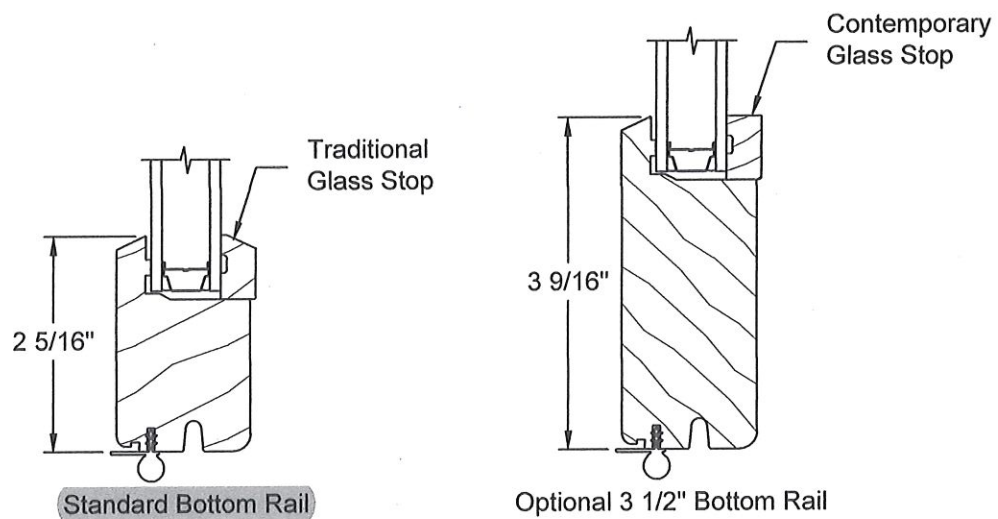


SILL NOSE OPTIONS





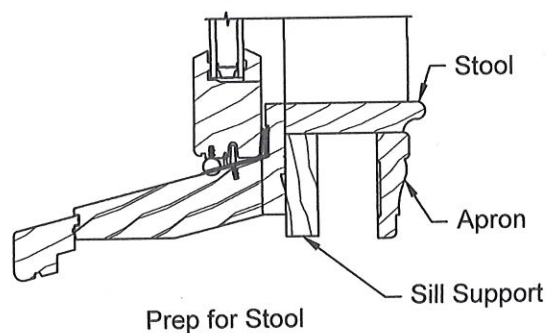
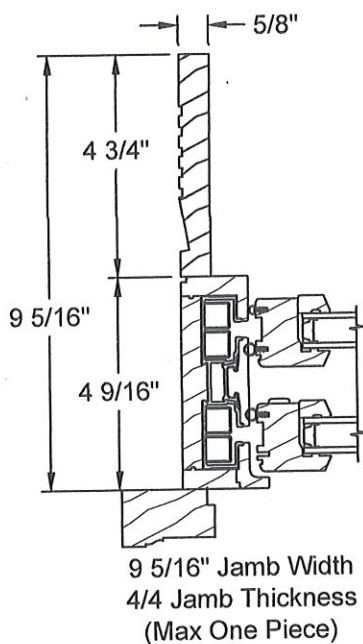
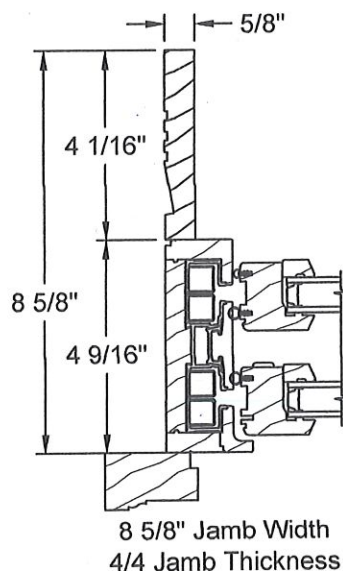
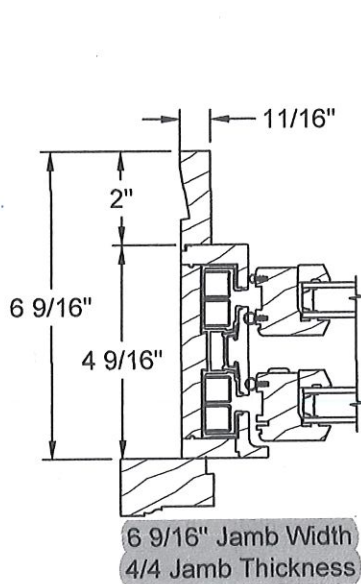
BOTTOM RAIL & GLASS STOP OPTIONS



Note: Traditional Or Contemporary Glass Stop Can Be Selected When Ordering



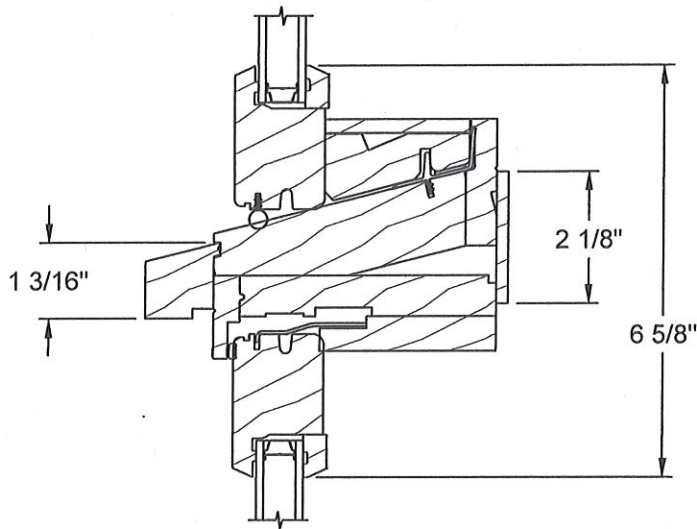
JAMB EXTENDER & PREP FOR STOOL OPTIONS



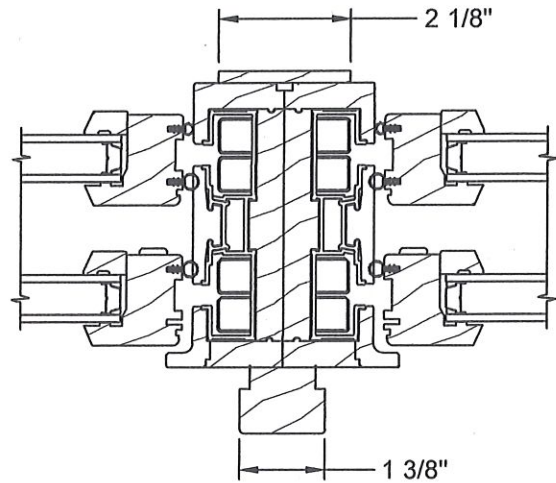
Note: Stool, apron, and sill support are applied by trim carpenter after window is installed and are not provided by JELD-WEN.
Unit is shipped without sill jamb extenders.



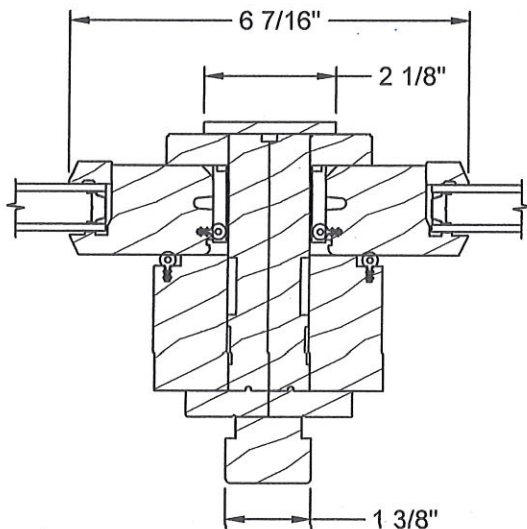
MULLION OPTIONS



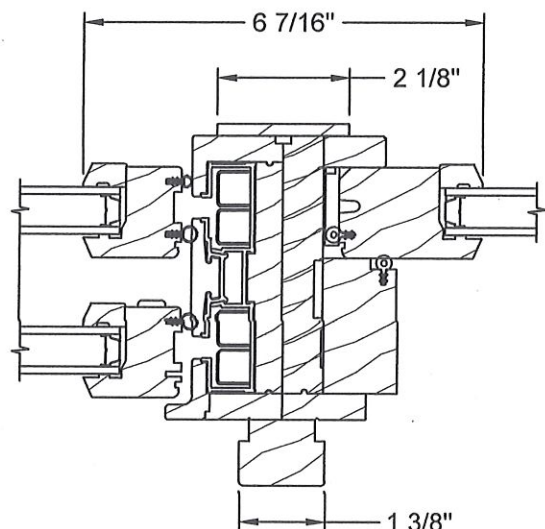
Stationary
Operating



Operating / Operating



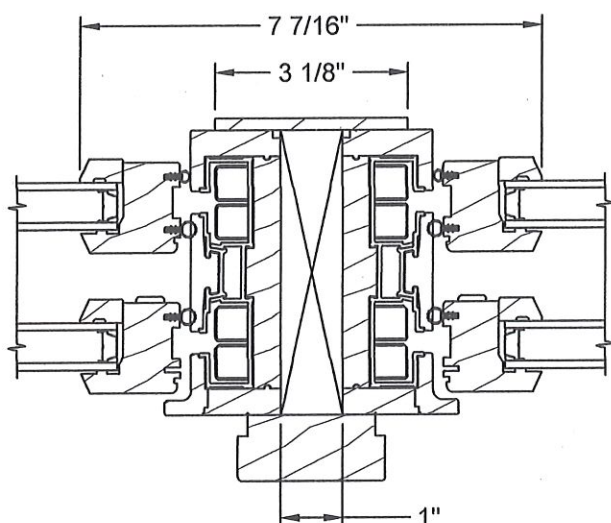
Stationary / Stationary



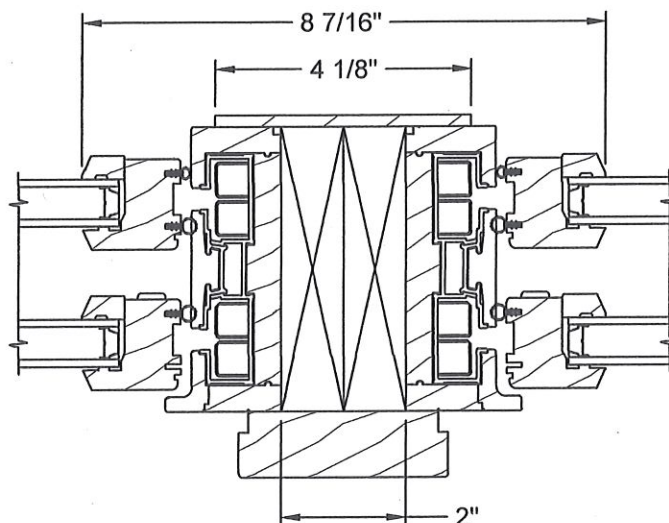
Operating / Stationary



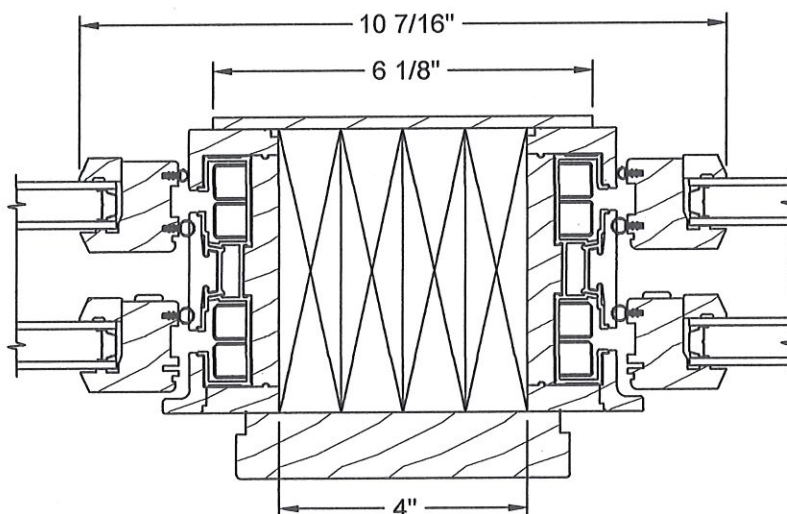
SPREAD MULLION OPTIONS



Operating / Operating
with 1" Solid Spread Mull



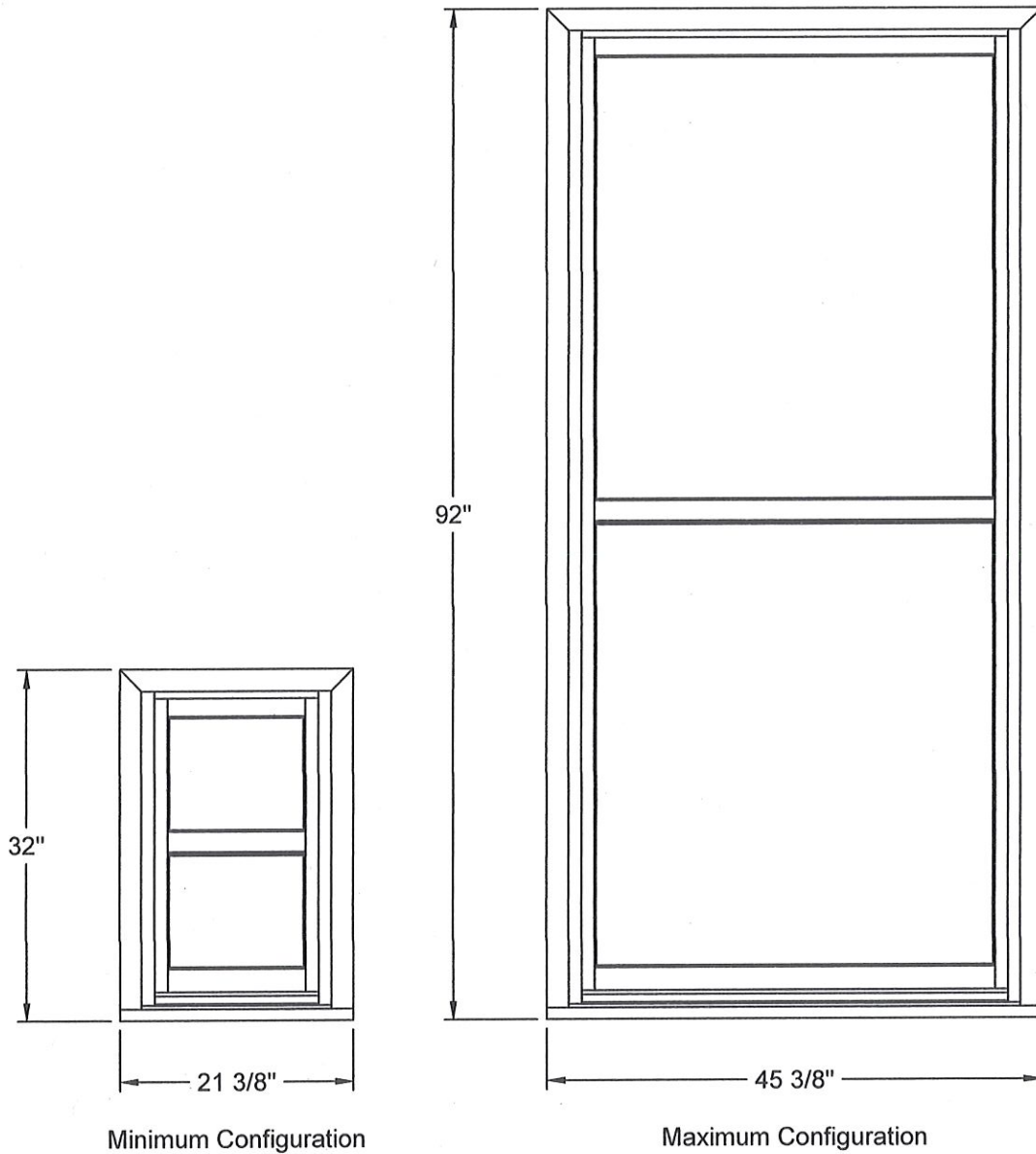
Operating / Operating
with 2" Solid Spread Mull



Operating / Operating
with 4" Solid Spread Mull



OPERATOR MIN-MAX SIZING

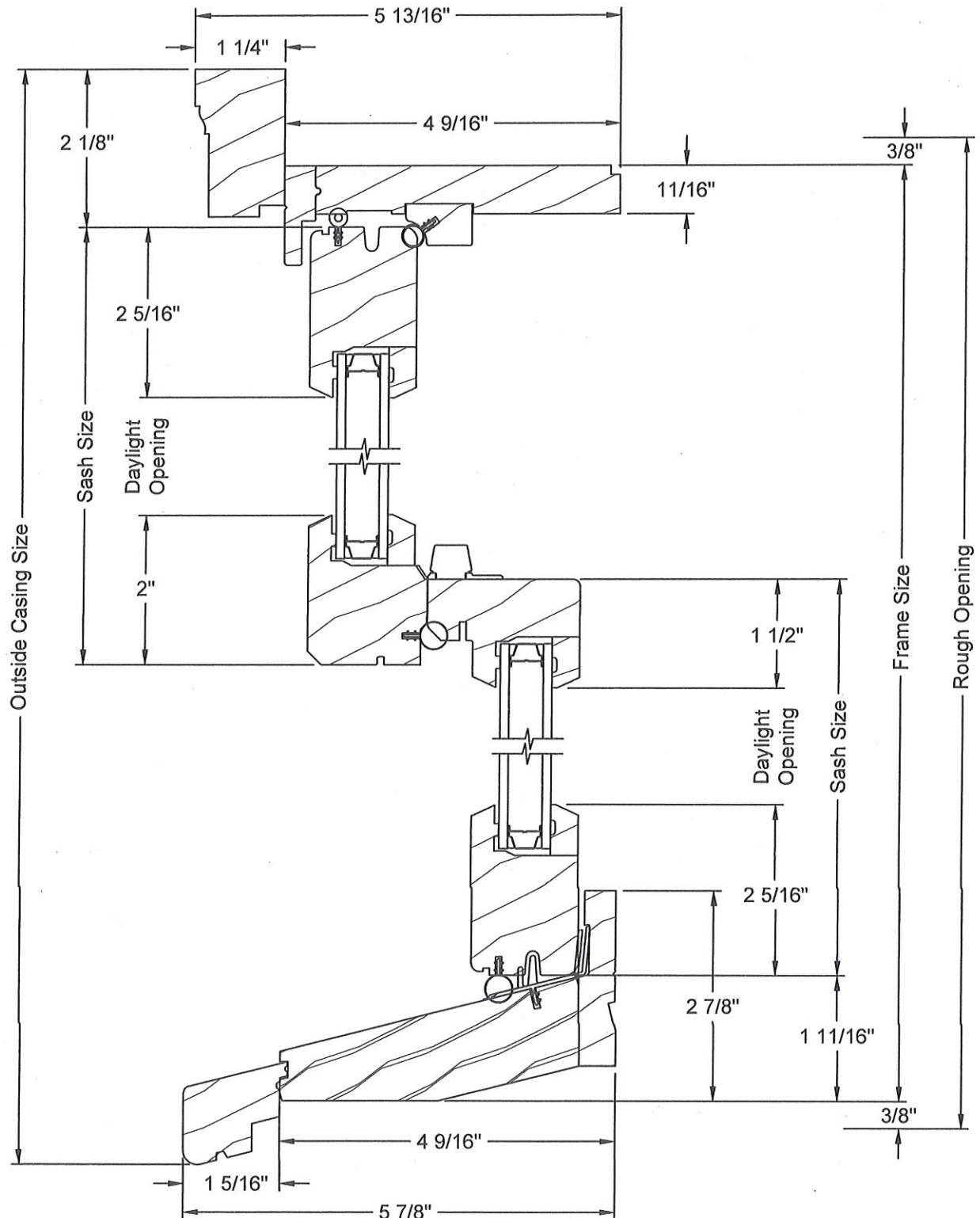


Operator Width				
21 3/8"	25 3/8"	29 3/8"	31 3/8"	33 3/8"
35 3/8"	37 3/8"	41 3/8"	45 3/8"	

Operator Height				
32"	36"	40"	44"	48"
52"	56"	60"	64"	68"
72"	76"	80"	88"	92"



OPERATOR - VERTICAL SECTION





OPERATOR - HORIZONTAL SECTION

