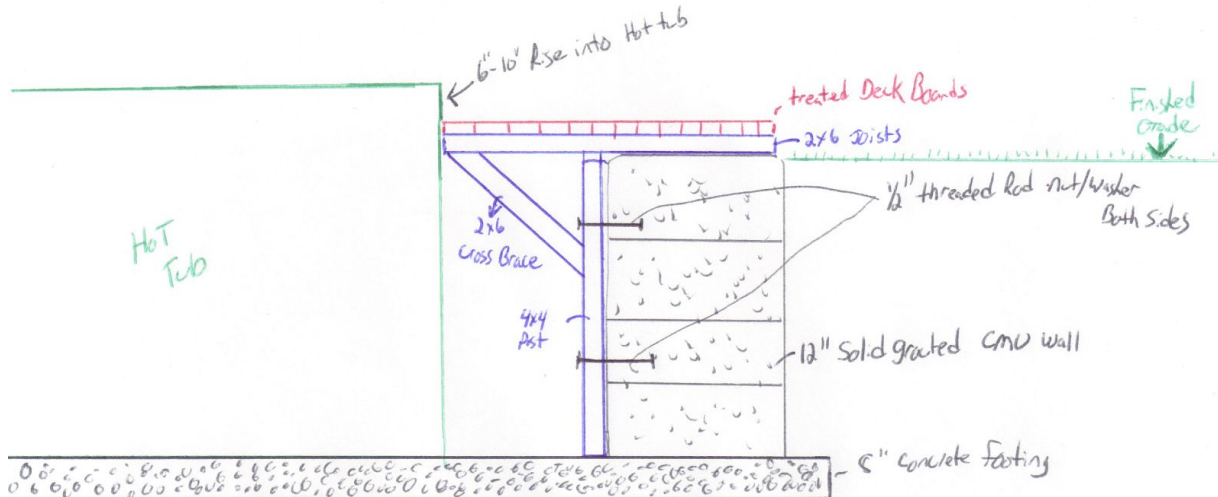


096-16-CA Addendum

Response to Staff Questions to COA Submission for 522 N. Person St.

- What are the width and length dimensions for wood decking that surrounds the hot tub. If in fact the plywood on the ground is defining the area that the hot tub and deck surround are intending to cover, when you compare drawing to photo, the hand-drawn plot plan is misleading as to the ground area covered by the proposed installation
 - The width of the decking surrounding the hot tub will be 3 feet and will run approximately 14 feet long on each side in a square shape surrounding the spa.
 - See details included in updated scale drawing.
 - Plywood on the ground is unrelated and has been removed. See latest pictures below.
- What is the relationship of the deck edge to ground plane...is it flush? Is there a step or steps? How is the deck constructed?
 - The deck edge will be approximately 6 inches above finished ground grade and will be flush with the existing patio. All Construction will conform to the latest deck codes. The deck will sit on top of a 12" solid grouted CMU foundation wall, which in turn, will be sitting on an 8" thick concrete footing. The deck will be cantilevered out from the top of the CMU wall to the edge of the hot tub enclosure and will be supported by 4x4 posts secured into the solid grouted wall and 2x6 cross braces. The outer edge of the deck will also be secured with a 2x6 bottom plate anchored every 4' with 1/2 inch anchor bolts at a minimum 7 inch embedment into the CMU core (just like a house foundation).



~~NOT TO SCALE~~

catwalk / Deck to conform to latest code standards

catwalk / Deck to have 2x6 Bottom Plate secured with 1/2" anchor bolts spaced 4' apart with min 7" embedment

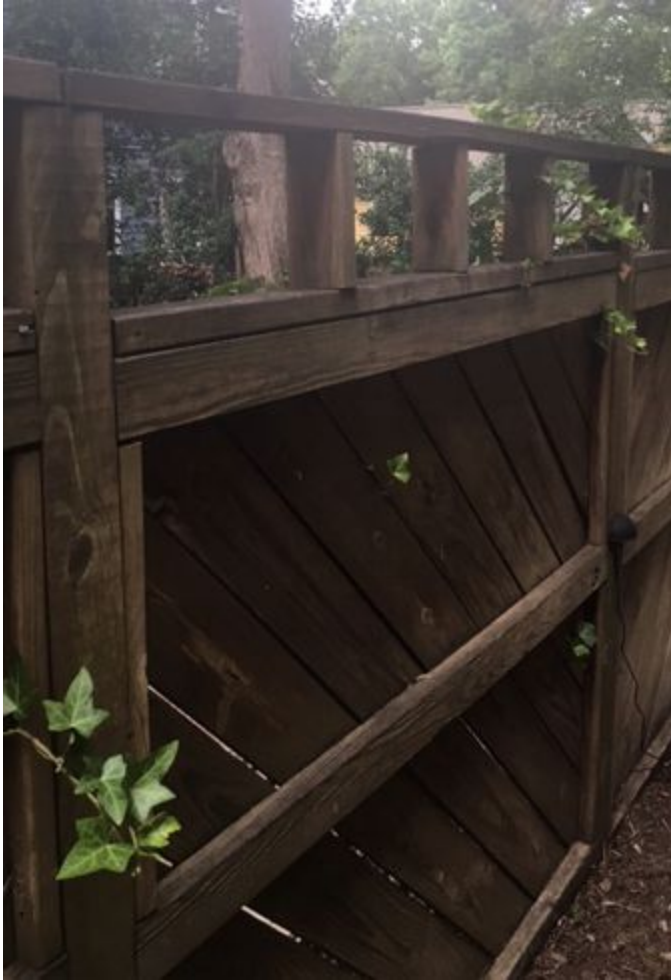
catwalk / Deck to have 2x6 Rim Joist

- Clarification on the visual appearance of the opposite side of the fence that is depicted at top of second photo page as the one being extended. Is the first picture on the first photo page representative of the opposite side? Is that picture taken from the 306 or 308 Pell Street side? Good neighbor design for 306 Pell Street and 528 Person Street properties that the new fence will abut?

- Included are photos of both sides of the existing fence between 520 and 522 N. Person St. The proposed fence will match the existing fence.



This is the fence between 522 N. Person St and 520 N. Person St. This represents the side facing 522 N. Person St.



This is the same stretch of fence on the 520 N. Person side.

- Are there any gates in the fence? Perhaps in the section where the fence returns to the north side of the house?
 - Yes, there will be a gate in the fence where the fence return to the north side of the house.
- How does the 8' height of the fence work? The existing fence is above a brick wall. Is it a 6' fence on top of a 2' wall? Is there going to be a brick wall with the new fence? Or is the new fence going to be an 8' tall wood fence? Given the preponderance of 6' fences in the neighborhood, the a new 8' fence is likely out of character of the existing context of the historic district, where 6' has been the max for decades.
 - The fence will run behind the retaining wall not on top of the retaining wall and will match the style and look of existing fence between 520 and 522 N. Person St.
 - See photo above to see how the fence runs between 520 and 522 N. Person St. New fence will replace existing chain link and wire fence shown in pictures below.



This is the back lot line and shows where the new fence will sit behind the retaining wall.



These show the fence line between 522 N. Person St and 528 N. Person St.

- Provide elevation drawings of grill island with dimensions. How tall? How thick is granite top? What is “leathered top”? How does the top related to the stone cladding of the island?
 - See attached updated drawings.



Picture of black leathered granite from kitchen at 522 N. Person St.

- What is the nature of the water and electrical access? What do they look like?
 - The water and electrical will be installed to current code. The water will be just an additional spigot on the outside of the house to fill the pool when necessary. There will be no permanent, fixed water supply to hot tub. The electrical code requires a GFCI within 5-10 feet of the hot tub and will be mounted on one of the existing deck posts.
- Provide a description of the hot tub. In ground? Height? Materials? We have no data on the hot tub next door at 520 upon which to judge the statement “installation consistent with the hot tub at 520 N Person St the property next door.”
 - The Hot Tub is the Cameo model hot tub: <http://www.sundancespas.com/880series/cameo/>
 - The cabinet is the Mahogany finish and the shell is Platinum

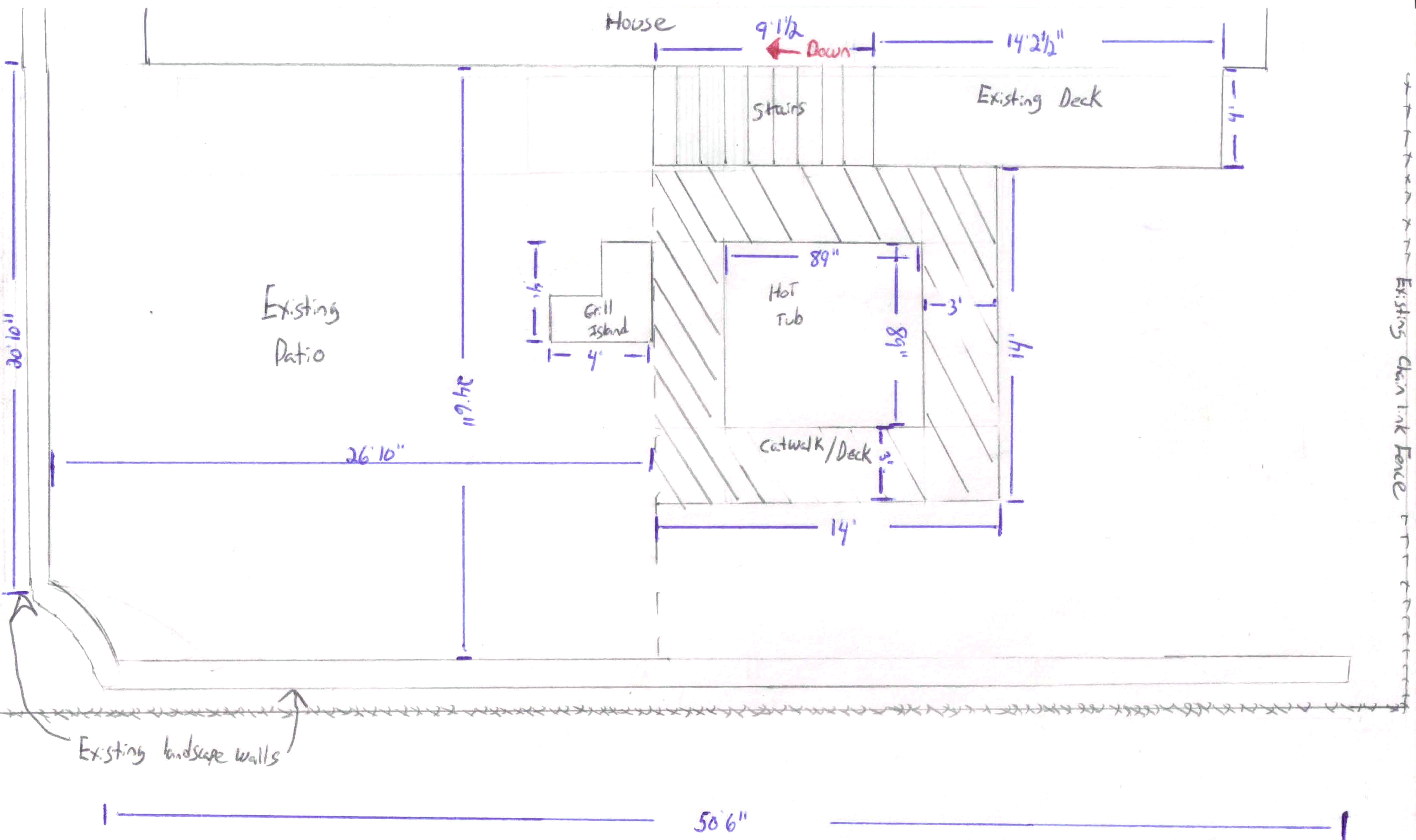
Additional Photos of project space:





Trees:

There are three trees that run along the back fence line and two that run between 522 N. Person St. and 528 N. Person St. that will need to be accounted for in the fence plan. The proper tree protection zones will be setup around all 5 impacted trees as determined by the fence contractor and a consulting arborist (Robert Underwood).



Existing Deck in Force