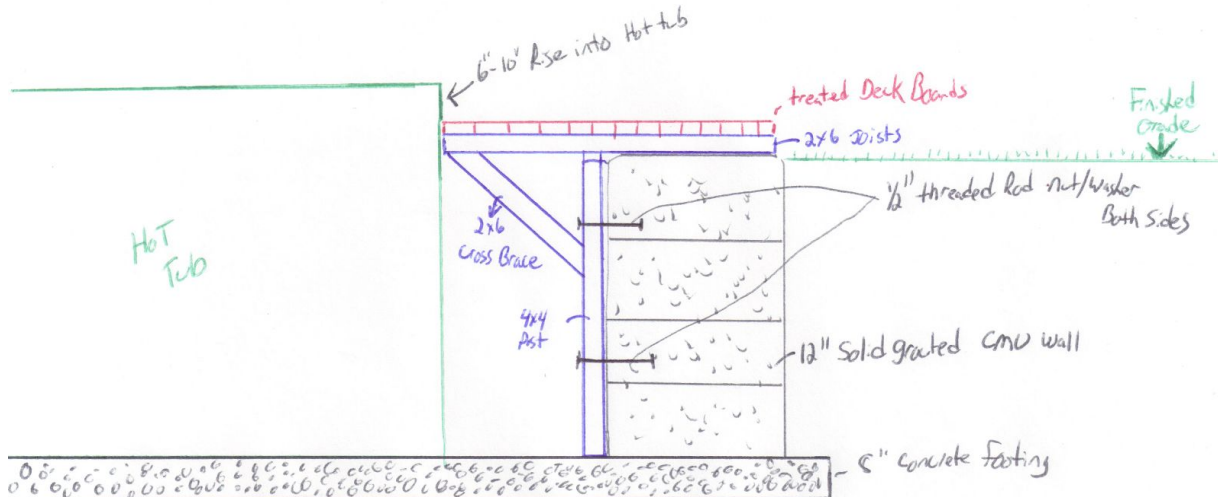




# 096-16-CA Addendum

## Response to Staff Questions to COA Submission for 522 N. Person St.

- What are the width and length dimensions for wood decking that surrounds the hot tub. If in fact the plywood on the ground is defining the area that the hot tub and deck surround are intending to cover, when you compare drawing to photo, the hand-drawn plot plan is misleading as to the ground area covered by the proposed installation
  - The width of the decking surrounding the hot tub will be 3 feet and will run approximately 14 feet long on each side in a square shape surrounding the spa.
  - See details included in updated scale drawing.
  - Plywood on the ground is unrelated and has been removed. See latest pictures below.
- What is the relationship of the deck edge to ground plane...is it flush? Is there a step or steps? How is the deck constructed?
  - The deck edge will be approximately 6 inches above finished ground grade and will be flush with the existing patio. All Construction will conform to the latest deck codes. The deck will sit on top of a 12" solid grouted CMU foundation wall, which in turn, will be sitting on an 8" thick concrete footing. The deck will be cantilevered out from the top of the CMU wall to the edge of the hot tub enclosure and will be supported by 4x4 posts secured into the solid grouted wall and 2x6 cross braces. The outer edge of the deck will also be secured with a 2x6 bottom plate anchored every 4' with 1/2 inch anchor bolts at a minimum 7 inch embedment into the CMU core (just like a house foundation).



~~NOT TO SCALE~~

catwalk / Deck to conform to latest code standards

catwalk / Deck to have 2x6 Bottom Plate secured with 1/2" anchor bolts spaced 4' apart with min 7" embedment

catwalk / Deck to have 2x6 Rim Joist

- Clarification on the visual appearance of the opposite side of the fence that is depicted at top of second photo page as the one being extended. Is the first picture on the first photo page representative of the opposite side? Is that picture taken from the 306 or 308 Pell Street side? Good neighbor design for 306 Pell Street and 528 Person Street properties that the new fence will abut?

- Included are photos of both sides of the existing fence between 520 and 522 N. Person St. The proposed fence will match the existing fence.



This is the fence between 522 N. Person St and 520 N. Person St. This represents the side facing 522 N. Person St.



This is the same stretch of fence on the 520 N. Person side.

- Are there any gates in the fence? Perhaps in the section where the fence returns to the north side of the house?
  - Yes, there will be a gate in the fence where the fence return to the north side of the house.
- How does the 8' height of the fence work? The existing fence is above a brick wall. Is it a 6' fence on top of a 2' wall? Is there going to be a brick wall with the new fence? Or is the new fence going to be an 8' tall wood fence? Given the preponderance of 6' fences in the neighborhood, the a new 8' fence is likely out of character of the existing context of the historic district, where 6' has been the max for decades.
  - The fence will run behind the retaining wall not on top of the retaining wall and will match the style and look of existing fence between 520 and 522 N. Person St.
  - See photo above to see how the fence runs between 520 and 522 N. Person St. New fence will replace existing chain link and wire fence shown in pictures below.



This is the back lot line and shows where the new fence will sit behind the retaining wall.



These show the fence line between 522 N. Person St and 528 N. Person St.

- Provide elevation drawings of grill island with dimensions. How tall? How thick is granite top? What is “leathered top”? How does the top related to the stone cladding of the island?
  - See attached updated drawings.



Picture of black leathered granite from kitchen at 522 N. Person St.

- What is the nature of the water and electrical access? What do they look like?
  - The water and electrical will be installed to current code. The water will be just an additional spigot on the outside of the house to fill the pool when necessary. There will be no permanent, fixed water supply to hot tub. The electrical code requires a GFCI within 5-10 feet of the hot tub and will be mounted on one of the existing deck posts.
- Provide a description of the hot tub. In ground? Height? Materials? We have no data on the hot tub next door at 520 upon which to judge the statement “installation consistent with the hot tub at 520 N Person St the property next door.”
  - The Hot Tub is the Cameo model hot tub: <http://www.sundancespas.com/880series/cameo/>
  - The cabinet is the Mahogany finish and the shell is Platinum

Additional Photos of project space:

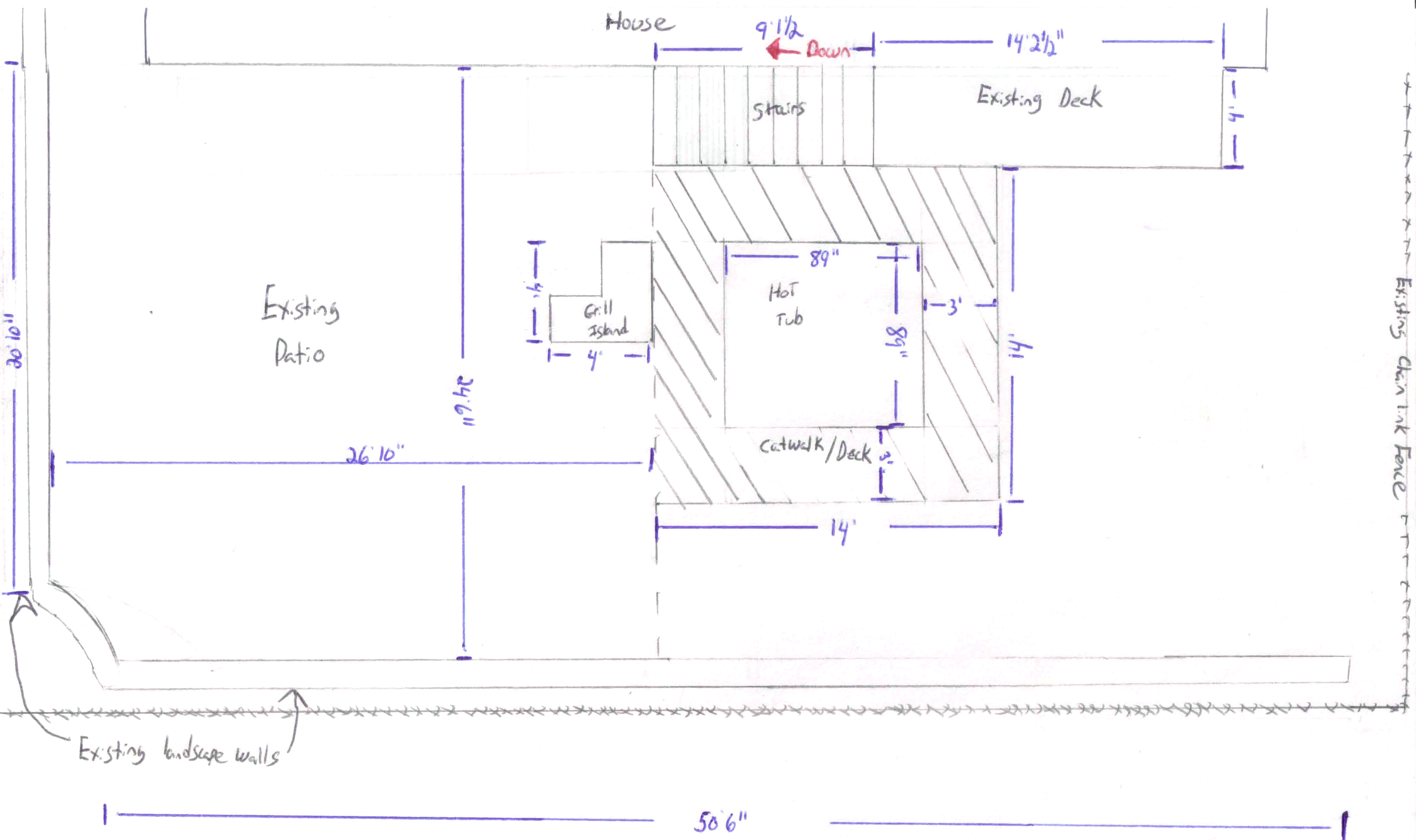




Trees:

There are three trees that run along the back fence line and two that run between 522 N. Person St. and 528 N. Person St. that will need to be accounted for in the fence plan. The proper tree protection zones will be setup around all 5 impacted trees as determined by the fence contractor and a consulting arborist (Robert Underwood).





Existing Chain Link Fence

# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



## DEVELOPMENT SERVICES DEPARTMENT

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495



RALEIGH HISTORIC DEVELOPMENT COMMISSION

eFax 919-996-1831

<p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p> <p style="padding-left: 20px;">Additions Greater than 25% of Building Square Footage</p> <p style="padding-left: 20px;">New Buildings</p> <p style="padding-left: 20px;">Demo of Contributing Historic Resource</p> <p style="padding-left: 20px;">All Other</p> <p>Post Approval Re-review of Conditions of Approval</p>	<p style="text-align: center;"><b>For Office Use Only</b></p> <p>Transaction # <u>475004</u></p> <p>File # <u>096-16-CA</u></p> <p>Fee <u>\$14700</u></p> <p>Amount Paid <u><del>\$14700</del> \$14700</u></p> <p>Received Date <u>06/06/2016</u></p> <p>Received By <u>Jamela Best</u></p>
Property Street Address <u>522 N. Person St</u>	
Historic District <u>Oakwood</u>	
Historic Property/Landmark name (if applicable) <u>N/A</u>	
Owner's Name <u>Maria S. DiMaio</u>	
Lot size <u>.16 Acres</u>	(width in feet) <u>60'</u>
(depth in feet) <u>122'</u>	
<p>For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:</p>	
Property Address	Property Address
528 N Person St, Raleigh NC 27604	308 Pell St, Raleigh NC 27604
520 N Person St, Raleigh NC 27604	306 Pell St, Raleigh NC 27604
518 N Person St, Raleigh NC 27604	324 Pell St, Raleigh NC 27604

516 N. Person St, Raleigh NC 27604	
501 N. Person St, Raleigh NC 27604	
506 N Person St, Raleigh NC 27604	
519 Bloodworth St, Raleigh NC 27604	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Maria DiMaio

Mailing Address 522 N Person St

City Raleigh	State NC	Zip Code 27604
Date 6/6/2016	Daytime Phone 1-919-451-4488	

Email Address [maria.dimaio@gmail.com](mailto:maria.dimaio@gmail.com)

Applicant Signature

<p>Will you be applying for state or federal rehabilitation tax credits for this project?</p> <p>Yes <input type="radio"/> No <input checked="" type="radio"/></p>	<p><b>Office Use Only</b></p> <p>Type of Work _____</p> <p>_____</p> <p>_____</p>
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Design Guidelines - Please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.4/14	Fences and Walls	Fence: Continuation of existing wood privacy fence from 520 N. Person St. to continue along back property line of 522 N. Person St and up North property line between 522 N Person St and 528 N. Person St.  Swimming Pool: Installation of hot tub in backyard.  Other: Construction of natural stacked stone grill island with black leathered granite countertop
Article XV – COA List/Item 72	Alteration/Addition of Swimming Pool	
Article XV – COA List/Item 100	Work Items not listed	


**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) \_\_\_\_\_ Date \_\_\_\_\_

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 13 copies	✓		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	✓		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. <b>Description of materials</b> (Provide samples, if appropriate)	✓		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. <b>Photographs</b> of existing conditions are required.	✓		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> <b>Paint Schedule</b> (if applicable)		✓	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<p><b>1. Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, side-walks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.</p>	✓				
<p><b>6. Drawings showing proposed work</b></p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the new façade(s)</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale</li> <li><input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet.</li> </ul>					
<p><b>7.</b> Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <a href="#">Label Creator</a> to determine the addresses.</p>					
<p><b>8.</b> Fee (See <a href="#">Development Fee Schedule</a>)</p>					

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

522 N PERSON STREET

Applicant: Maria S. DiMaio

Received: 6/6/2016

INTRODUCTION TO THE APPLICATION

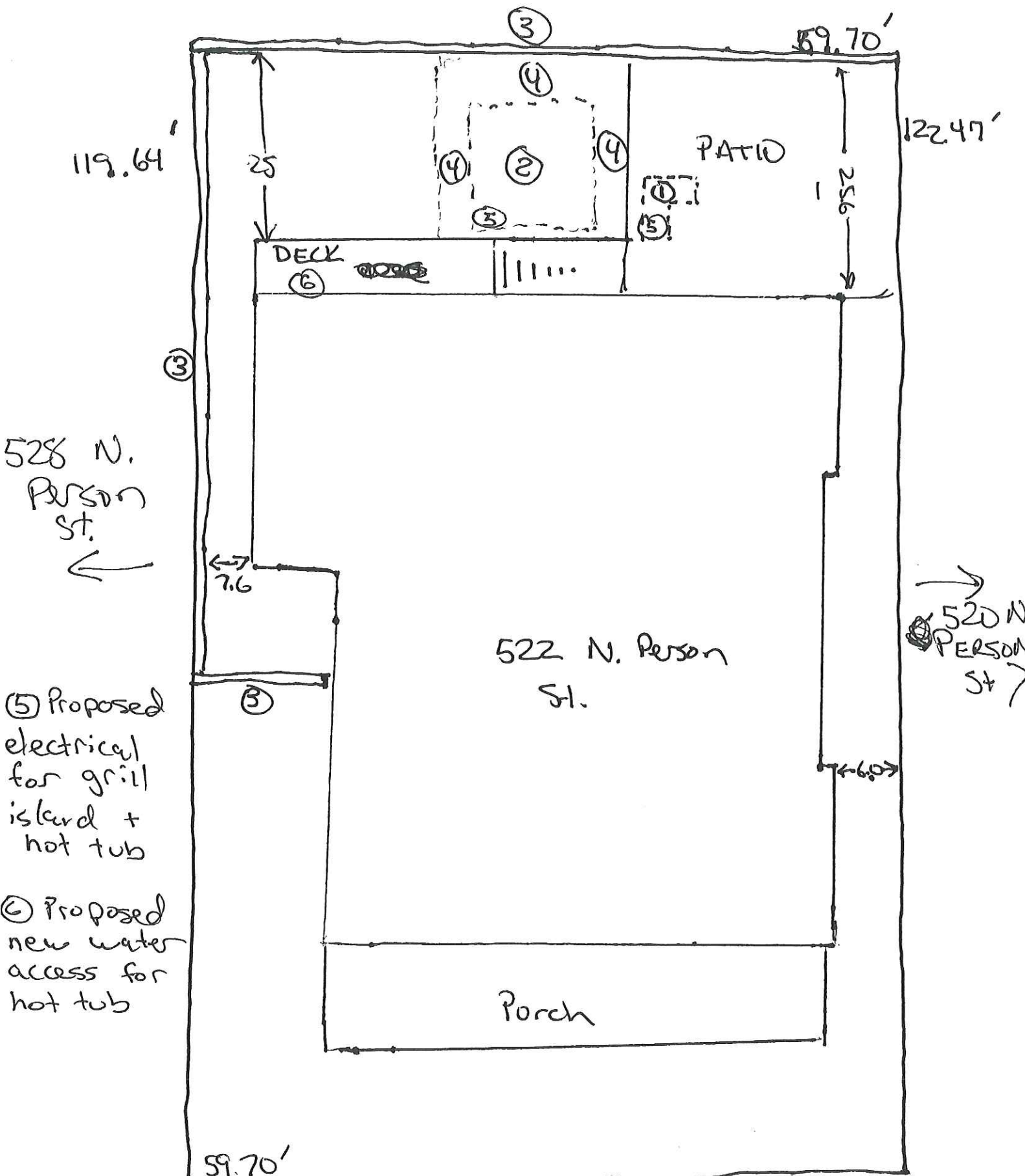
Historic District: OAKWOOD HISTORIC DISTRICT

Zoning: R-10

Nature of the Project: Continuation of existing wood privacy fence from 520 N. Person St. along rear property line between 522 N. Person St and 306 Pell St and up north property line between 522 N. Person St and 528 N. Person St. Installation of hot tub in backyard.

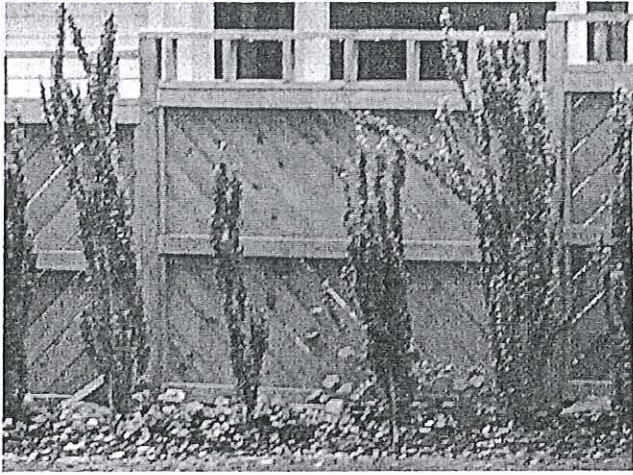
APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Section</u>	<u>Topic</u>	<u>Description of Work</u>
2.4	Fences & Walls	Construct 8' wood privacy fence along rear and north property line consistent with existing 8' wood privacy fence along south property line.
Article XV	Addition of Swimming Pool	Construction of (17' x 17') concrete pad and hot tub installation consistent with the hot tub at 520 N Person St the property next door.
Article XV	Work Items not listed	Construction of natural stack stone grill island with black leathered granite countertop.



- ⑤ Proposed electrical for grill island + hot tub
- ⑥ Proposed new water access for hot tub

- ① Proposed Grill Island (4x4)
  - ② Proposed Hot Tub (17x17)
  - ③ Proposed New Privacy Fence
  - ④ Proposed New Decking Around Hot Tub
- (PERSON ST)



Existing fence between 306 Pell St and 308 Pell St.

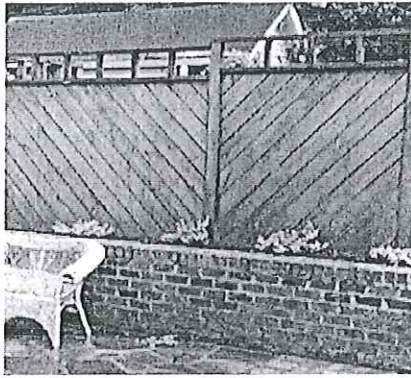


Existing chain link fence between 522 N. Person St and 528 N. Person St.

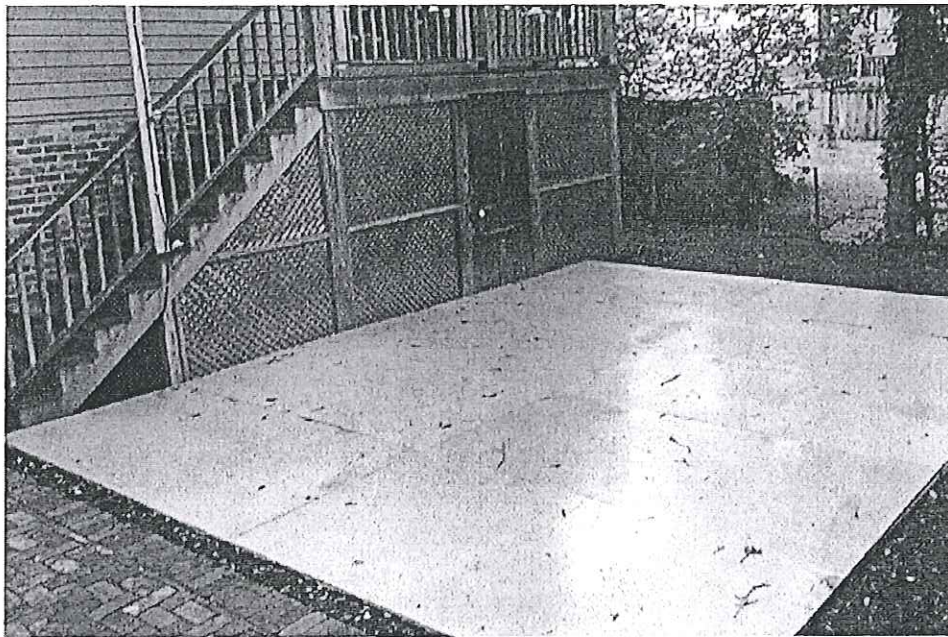


Back property line of 522 N. Person St showing existing chain link fence between 522 N. Person St and 308 Pell St.

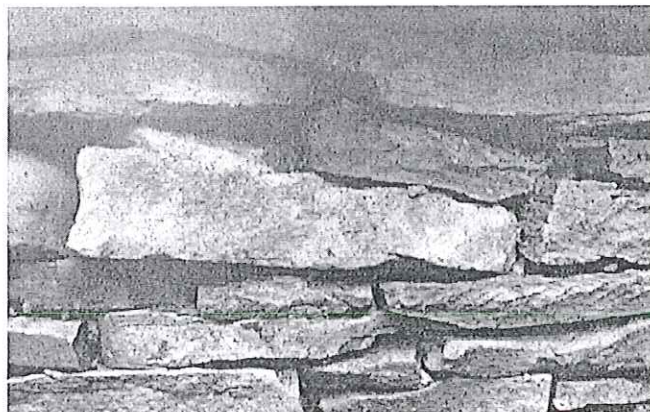




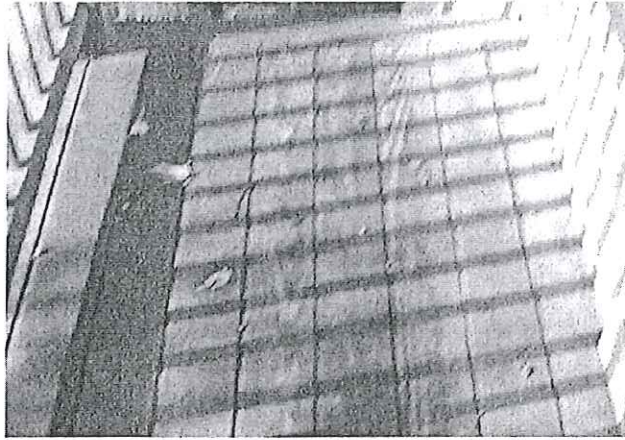
Existing fence between 522 N. Person St and 520 N. Person St.



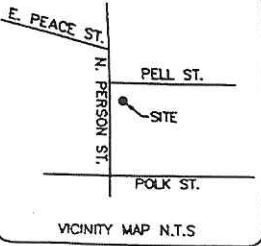
Rear of 522 N. Person St where hot tub and grill island will be located.



Stacked Stone to be utilized for proposed grill island.



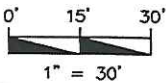
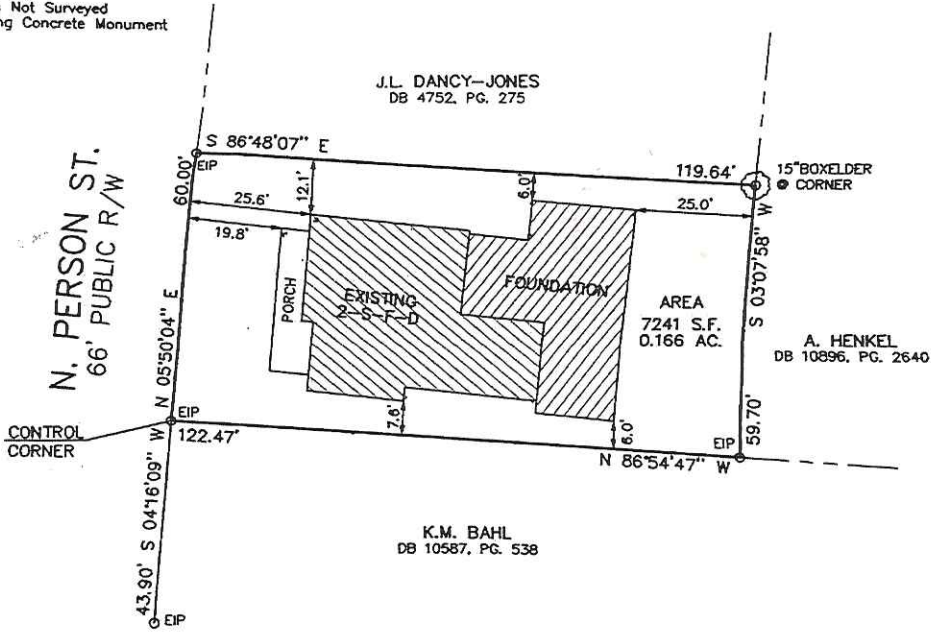
Existing decking at 522 N. Person St... to be replicated w/ like materials for proposed hot tub decking



VICINITY MAP N.T.S

LEGEND

- IPS—Iron Pin Set
- EIP—Existing Iron Pin
- PKS—Parker—Kalon Nail Set
- EPK—Existing Parker—Kalon Nail
- PP—Power Pole
- OHP—Over Head Power
- C—Center Line
- R/W—Right of Way
- R—Property Line
- Lines Not Surveyed
- ECM—Existing Concrete Monument



PIN#: 1704.20 81 5509 TOWNSHIP: RALEIGH ZONE: R-10  
 ALL OF A TRACT OF LAND  
 AS RECORDED IN D.B. 14012, PAGE 1805 W.C.R.