

City of Raleigh



This document is a graphic representation only,
created from the best available sources.
The City of Raleigh assumes no responsibility for any errors,
or misuse of this document.

107-18-CA

504 E JONES STREET
OAKWOOD HISTORIC
DISTRICT (R-10)

0 25 50 100
Feet



Nature of Project:
Demolish garage

APPLICANT:
JUSTIN BONER AND
KIERNAN MCGORTY



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

107-18-CA 504 E JONES STREET

Applicant: JUSTIN BONER AND KIERNAN MCGORTY

Received: 7/09/2018

Meeting Date(s):

Submission date + 90 days: 10/07/2018

1) 8/23/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: OAKWOOD HISTORIC DISTRICT

Raleigh Historic Landmark: CAMERON-MAYNARD-GATLING HOUSE

Zoning: GENERAL HOD

Nature of Project: Demolish garage

Staff Notes:

- Unified Development Code section 10.2.15.E.1 provides that “An application for a certificate of appropriateness authorizing the demolition or destruction of a building, structure or site within any Historic Overlay District...may not be denied.... However, the authorization date of such a certificate may be delayed for a period of up to 365 days from the date of issuance... **If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal.**”

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features & Plantings	Demolish garage
1.6	Garages & Accessory Structures	Demolish garage
4.2	Demolition	Demolish garage

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Demolition of an accessory building is not incongruous in concept according to *Guidelines* 1.6.5, 4.2.3; however, demolition of an accessory building that contributes to the overall historic character is incongruous in concept according to *Guidelines* 1.3.1, 1.3.3, 1.6.1, 1.6.2, 4.2.1, 4.2.2, 4.2.4, 4.2.5, 4.2.6, 4.2.7, 4.2.8, and paragraph one on page 82, and the following suggested facts:

- 1* The subject property is within the original boundaries of Oakwood Historic District listed in the National Register in 1974 and was designated as a Raleigh Historic Landmark in 2011.

The designation ordinance states “In 1920 a west-facing wood-frame one-car garage was built at the east property line.”

- 2* The garage is located in the rear yard along the east property line directly to the southeast of the house.
- 3* The application included historic photographs that show the garage on site in 1920.
- 4* The application includes Sanborn documentation that shows the garage in its current location in the 1914-1950 map. The Sanborn maps also indicate that the property has an extended history of outbuildings in the rear yard.
- 5* The applicant provided several photographs that show the current condition of the garage. The application describes foundation and rot issues and presents one photograph showing a deteriorated sill plate. A professional assessment of the structural integrity of the garage was not provided. Detailed drawings of the existing garage were not provided.
- 6* The weatherboard on the north and south faces of the garage was removed during a previous project to repair deteriorated siding on the house. No COA was acquired for this alteration.
- 7* Photographs included in the application show that a mature Japanese Cedar tree is located in proximity to the garage. A tree protection plan was provided. The plan notes that all proposed work will be completed by hand to protect the cedar tree.
- 8* The application states that the applicants intend to salvage all reusable materials from the garage for use in future projects on the property.
- 9* A post-demolition site plan was not provided.

Staff suggests that the committee approve the application with the following conditions:

- 1. That a 365-day demolition delay be imposed.
- 2. That tree protection plans be implemented and remain in place for the duration of construction.
- 3. That prior to the issuance of the blue placard the following be provided to and approved by staff:
 - a. full documentation of the building with photographs and measured, scaled drawings;
 - b. a post-demolition site plan.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☒ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 502172

File # _____

Fee _____

Amount Paid _____

Received Date _____

Received By _____

Property Street Address 504 E Jones St

Historic District Oakwood

Historic Property/Landmark name (if applicable) Cameron-Maynard-Gatling House

Owner's Name Justin Boner and Kiernan McGorty

Lot size (width in feet) 109' (depth in feet) 144'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
409 E JONES ST	105 N EAST ST
426 E JONES ST	107 N EAST ST
503 E JONES ST	109 N EAST ST
511 E JONES ST	112 N EAST ST
514 E JONES ST	116 N EAST ST
516 E JONES ST	118 N EAST ST

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Justin Boner

Mailing Address 504 E Jones St

City Raleigh

State NC

Zip Code 27601

Date July 9, 2018

Daytime Phone 919-475-6756

Email Address justin.boner@gmail.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
4.2/82	Demolition	Owners propose to demolish a deteriorated one-car garage (c.1920) situated within 3 feet of the southeast of the house (c.1871).

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

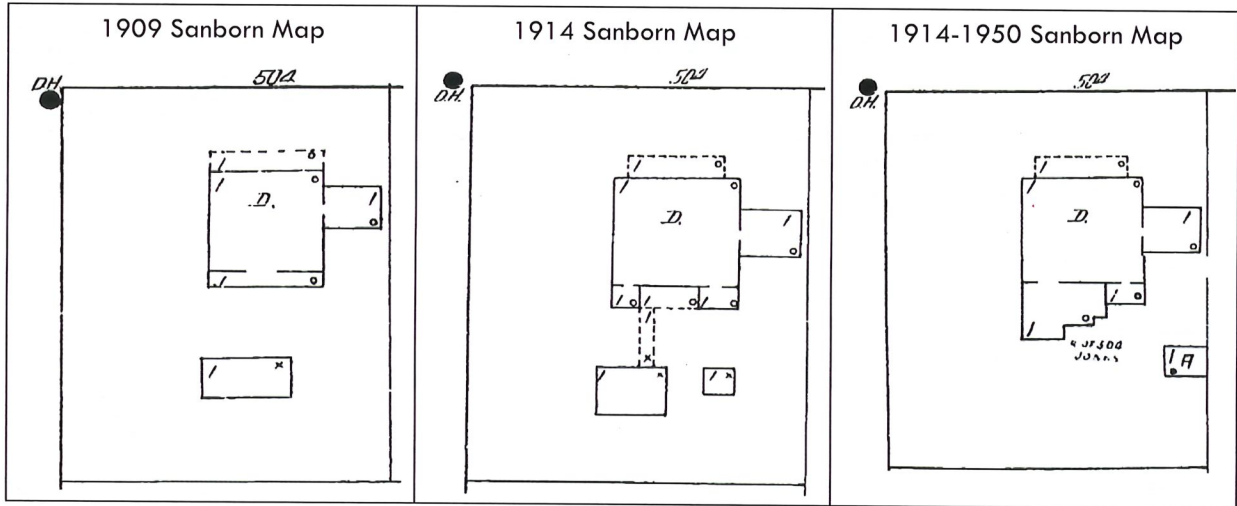
TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	X		✓		
2. Description of materials (Provide samples, if appropriate)		X		✓	
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	X		✓		
4. Paint Schedule (if applicable)		X			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	X		✓		
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.		X		✓	
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	X		✓		
8. Fee (See Development Fee Schedule)	X				

1. Written description

Owners propose to demolish a saddle-roofed frame one-car garage to the southeast of the house. The house was built in c.1871,¹ and the garage was not original to the house.

Dating the Garage

Below are the Sanborn Maps available for the house. The 1909 map depicts a detached kitchen; the 1914 map depicts the detached kitchen and likely an outhouse. In 1920, running water was installed in the house, the detached kitchen was moved and attached to the main house, and a bathroom was added to the south side of the house.² The 1914-1950 map depicts the garage.



Below are historical photographs of the garage, which were provided by the previous owner Bill Hutchins. Hutchins dates the photos from the 1920s to the 1940s.



Albertine Maynard and family members in the back yard (c. 1920s, photo provided by Hutchins).

¹ Inventory of Structures in the Oakwood National Register Historic District.

² Sanborn Maps, Raleigh, 1909 (Sheet 2), 1914 (Sheet 7), 1914-1950 (Sheet 7); Oral history interviews with former owner Bill Hutchins, February 2010 – February 2011.



Albertine Maynard standing on the stepping stones to the original detached kitchen in the backyard, with the garage in the background (c. 1920s or 30s, photo provided by Hutchins).



Bill and Hildred Hutchins in the backyard (1944, provided by Hutchins).

The Inventory of Structures in the Oakwood National Register Historic District dates the garage to c.1940. In response to the current owner's inquiry into the rationale for the 1940s date, Matthew Brown emailed, "No, I don't recall how I came up with c.1940. It is hard to date garages between Sanborn maps, because the directories and deeds are no help." In response to the pictures, Matthew stated, "It probably wasn't built while the USA was in the war (April 1917 to November 1918). If we are sure the photo is from 1920, we should date the garage to c.1916. Or if the photo is actually from, say, 1924, then we should date the garage to c.1920."

Because major renovations to the house (attaching kitchen, adding basement and bathroom) are dated to 1920, our best guess is that the garage was added at this time as well.

Rationale for Demolition

Because of the condition of critical elements of the structure, a thorough repair would essentially entail replacing the structure in its entirety.

- The foundation extends only 2-4" below grade and is not situated on a footing. A new foundation would be required to ensure a stable and durable structure.
- The sill plate has significant termite damage and rot due to its close proximity to grade. It would have to be replaced on all sides.
- At the suggestion of Mike Turner (a well-known painter of Raleigh historic houses), the owners removed a significant amount of wood siding from the garage to patch up many deteriorated boards on the main house because the old wood is thought to be superior to new wood available for purchase. Therefore, new siding would be necessary for the garage.
- The asphalt shingle roof is failing in places and would need to be replaced.

In addition to the condition of the garage, its location has an adverse impact on the property and the primary structure, which has been completely restored by the current owners from the verge of condemnation.

- Because the current owners tore down multiple, piecemeal, deteriorated additions to the southeast corner of the house and replaced them with a single addition that squared off the house (COA submitted in July 2013), the garage now sits only 3'1" from the house (1'11" if you measure to the garage eave).
- In addition, the garage is situated very close to one of only three mature trees on the .36 acre lot.

The current owners considered moving the garage, but the garage's deteriorated condition makes a move impractical. As they have done for all projects on the main house, the owners would salvage all reusable materials for future projects on site.



West side of garage



West side of garage



West side of garage



South side of house



North side of garage



East side of garage



South side of garage



Inside of garage, facing north



Inside of garage, facing east



Inside of garage, facing south



Rafters



Rafters



Shallow foundation



Deteriorated sill plate

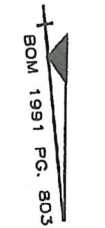


Holes in roof



Proximity to main house is 3'1" (1'11" from garage eave)

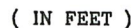
Plarissin



56' R/W

$$\overline{66'} \quad \overline{R/W}$$

GRAPHIC SCALE



JOHN Y. PHELPS, JR.
PROFESSIONAL LAND SURVEYOR
5110 BUR OAK CIRCLE
RALEIGH, NORTH CAROLINA, 27612 (919) 787-3658

L-1319

JOHN PAULSON 1319



North side of house/property (View from E. Jones Street)



West side of house/property (View from N. East Street)

Tree Protection Plan

There is a mature (22" DBH) Japanese cedar (*Cryptomeria japonica*) located within 6' of the garage. All proposed work will be completed by hand, and no heavy equipment will be used. If a dumpster is required, it will be placed in the driveway on the other (west) side of the house. We will install landscape fencing along the perimeter of the root ball for additional protection.

Landscape fencing to be installed along the perimeter of the root ball of the tree for protection.

This area to be used for construction access and dumpster. Trees on site to be preserved and protected.

New Site Plan with Tree Protection Details

Scale - 1/16" = 1'-0"



PELL ST studio

Architect
Ashley Herick Montie
300 Pell Street
Raleigh, NC 27604
919.986.1070

