

City of Raleigh



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108-18-CA

314 E CABARRUS STREET

PRINCE HALL
HISTORIC DISTRICT (HOD-G)

0 25 50 100
Feet



Nature of Project:
Construct wall; construct pergola
and water feature; install driveway

APPLICANT:
VASANA AND VANVISA NOLINTHA



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

108-18-CA 314 E CABARRUS STREET

Applicant: ZACH HOFFMAN FOR INSITU STUDIO

Received: 7/12/2018

Meeting Date(s):

Submission date + 90 days: 10/10/2018

1) 8/23/2018 2) **9/27/2018** 3)

INTRODUCTION TO THE APPLICATION

Historic District: PRINCE HALL HISTORIC DISTRICT

Zoning: GENERAL HOD

Nature of Project: Construct fence; construct gazebo and water feature; construct driveway; install landscaping

Amendments: After the August hearing the application was amended. The material and design of the wall/fence and the roofing material of the gazebo were changed. More details were provided about the concrete pad, water feature, and landscaping.

Staff Notes: **Changes to the staff report appear in bold lettering below.**

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features & Plantings	Construct fence ; construct gazebo and water feature; construct driveway
1.4	Fences & Walls	Construct fence
1.5	Walkways, Driveways, & Off-street Parking	Construct driveway and walkway
1.6	Garages & Accessory Structures	Construct gazebo

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

A. **Construction of a fence is not incongruous in concept according to *Guidelines* section 1.3.9, 1.4.8, and the following suggested facts:**

- 1* The special character essay for the Prince Hall Historic District states that "Fences are uncommon, although a few wrought iron fences encircle front yards or vacant parcels and some chain link fencing is present."
- 2* **The proposed wooden fence is 6' tall. The double-sided fence is proposed to be 8" in depth. Wooden fences are typical of the district.**
- 3* The proposed fence run parallel to and are inset 2'8" from the east and west property lines. This is typical of fence construction.
- 4* **The south fence line is inset 11' from the southern property line due to a change in grade at the rear of the parcel.**

- 5* **Basic elevation drawings and detailed drawings were included.**
 - 6* The application indicates that the fence will only be visible from the front elevation. An elevation was provided to indicate the visible portion of the fence.
 - 7* **Several 6' tall fences have been approved in the rear yards of properties in the Prince Hall neighborhood through COA 082-12-CA, 062-14-CA, 144-14-CA, 154-14-CA, 193-14-CA, 176-15-CA, 179-15-CA, 012-16-CA, 054-16-CA, and 043-18-CA.**
 - 8* **A gate in the same style as the fence is proposed for the northwest side of the fence.**
 - 9* **The fence is not physically connected to the house.**
 - 10* **The site plan indicates a concrete pad for mechanical equipment will exist between the fence and the property line on the south side. The concrete pad and mechanical equipment will be screened from view by a 4' tall fence in the same style as the main fence.**
- B. Constructing a **gazebo** and water feature; constructing a driveway; and installing landscaping is not incongruous in concept according to *Guidelines* section 1.3.1, 1.3.2, 1.3.4, 1.3.8, 1.3.9, 1.3.11, 1.3.13, 1.5.1, 1.5.5, 1.5.6, 1.5.8, 1.6.6, 1.6.7, 1.6.10, 1.6.11, and the following suggested facts:
- 1* **Constructing a driveway, planting trees, and the construction of accessory structures less than 144 SQ FT are typically reviewed as minor works. For administrative efficiency, they are included in this application.**
 - 2* The applicant proposes the construction of a new 8' concrete driveway and the removal of the existing narrower concrete driveway/walkway. **The width and length of the proposed driveway is typical of the district. The required curb cut is existing.**
 - 3* **The three examples of similar driveways provided by the applicant pre-date the creation of the historic district.**
 - 4* **The application notes that a street tree will be planted adjacent to the driveway. No tree protection plan was provided due to the lack of trees located on the parcel.**
 - 5* The application states bluestone steppers will be installed between the driveway and the rear yard. No material specifications were provided on the steppers. **Bluestone pavers have been previously approved in Oakwood for use in the rear yard (018-08-MW).**

- 6* The landscaping site plan indicates significant coverage of clumping bamboo around the interior perimeter of the proposed fence. **Clumping bamboo has been previously approved in Prince Hall with a COA (179-15-CA).**
- 7* “Native vegetation” is indicated for the exterior perimeter of the proposed fence. **The vegetation currently exists on site. A 2’ gap is depicted between the proposed fence and the native vegetation.**
- 8* The application proposes the construction of a **gazebo** and water feature. **Gazebos** are traditional rear yard landscape features.
- 9* The proposed **gazebo** and water feature are in the rear yard and will be screened from view by the proposed fence.
- 10* The proposed water feature will be 8’ by 16’ 8”. The water feature is described as having a parged gunnite appearance. **A section drawing was provided.**
- 11* The proposed **gazebo** is located adjacent to the water feature in the southeast corner of the rear yard. This is a typical location for an accessory structure.
- 12* The gazebo is depicted with an asymmetrical **metal** hipped roof. Elevations were provided. **Construction details and materials were specified.**

Staff suggests that the committee approve the application with the following conditions:

- 1. That details and specifications for the following be provided to and approved by staff prior to installation or construction:**
 - a. Product sample of the bluestone pavers;**
 - b. Manufacturer’s specifications and locations for exterior lighting, if any;**
 - c. Metal roof details.**

RHDC COA 09 06 18

314 E CABARRUS STREET
#108-18-CA

CONSTRUCT DRIVEWAY, INSTALL
LANDSCAPING, CONSTRUCT PERGOLA +
WATER FEATURE, CONSTRUCT FENCE



VANSANA + VANVISA NOLINTHA

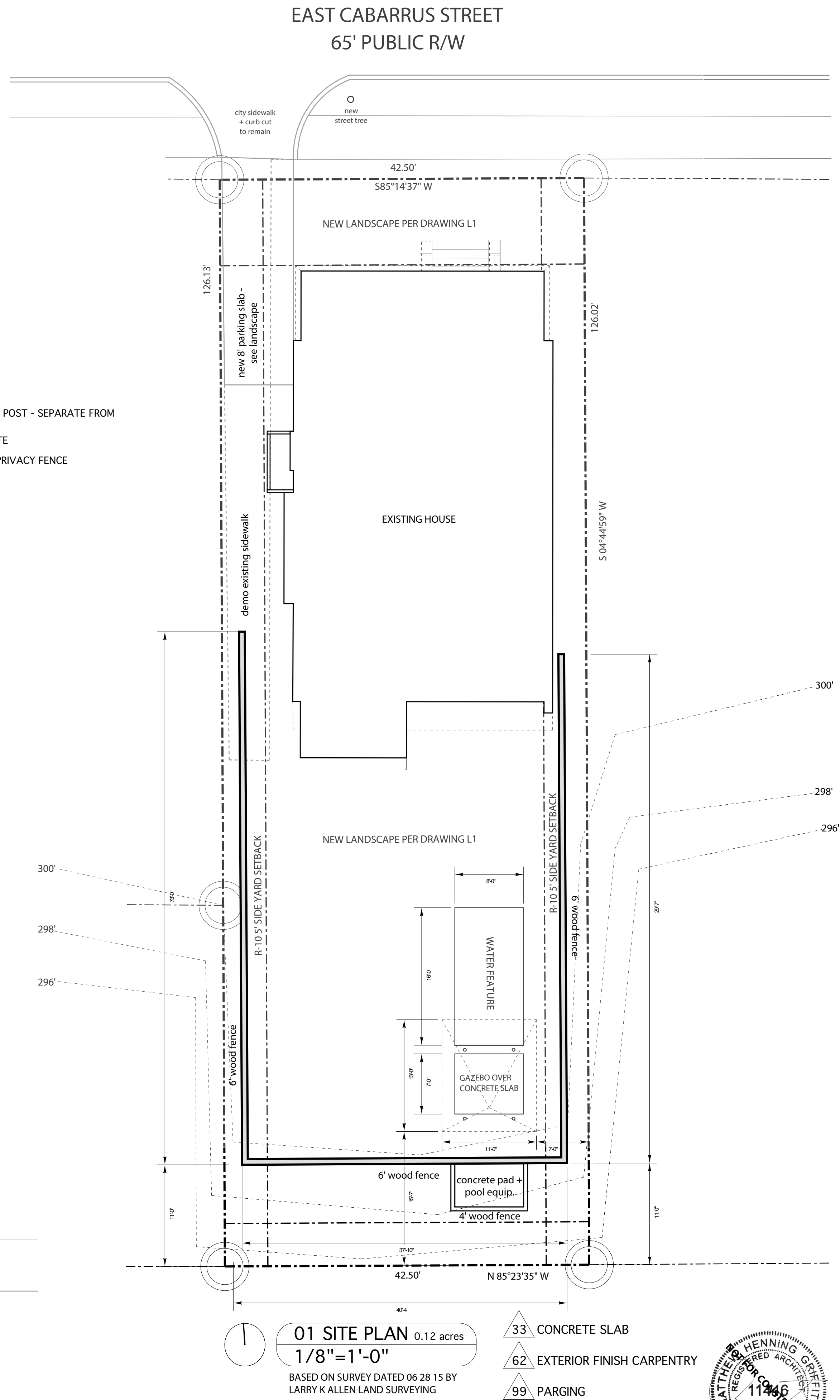
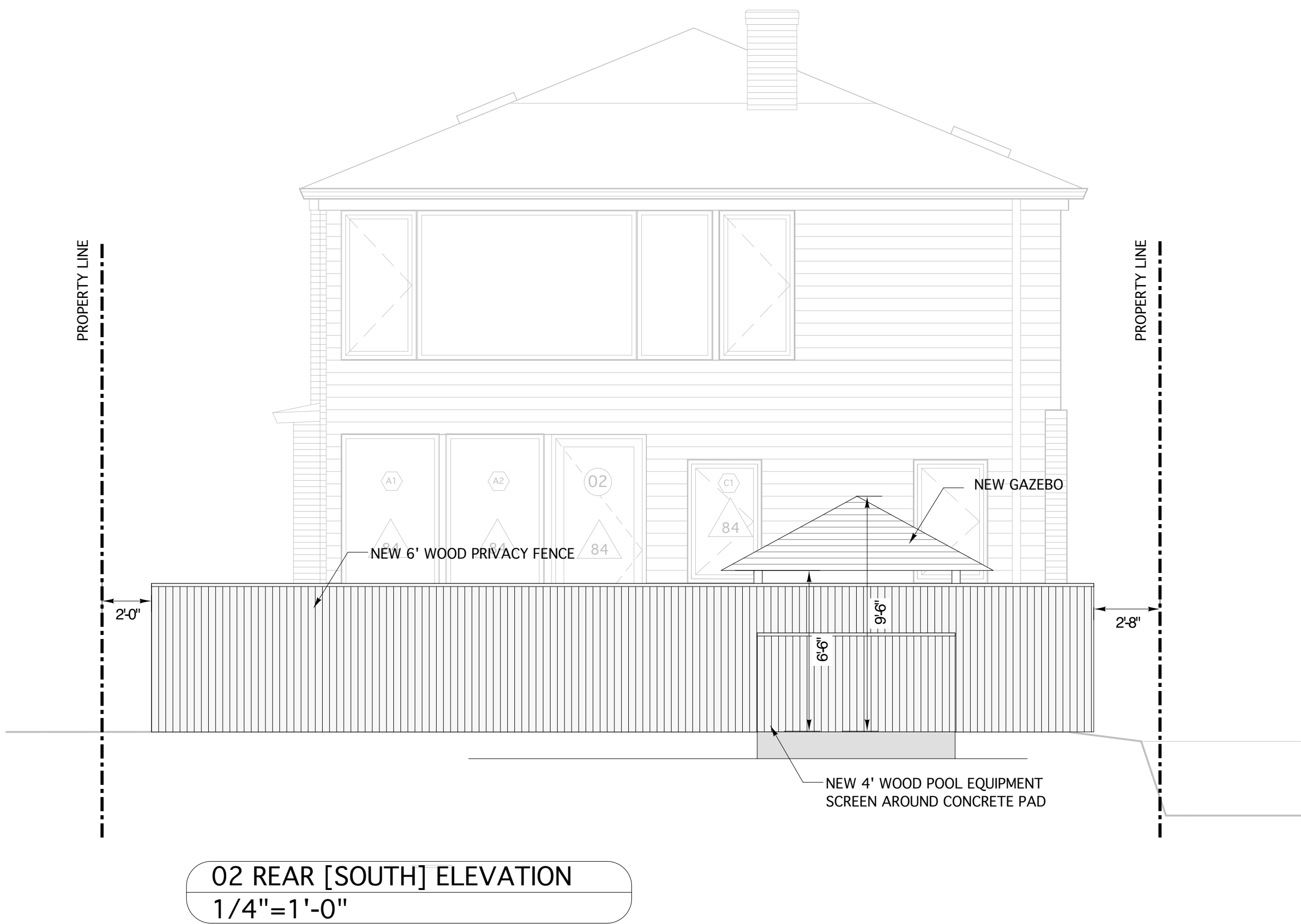
The work on 314 E Cabarrus Street will include the addition of a rear yard 6'-0" privacy fence which will house new landscaping, a gazebo, and a landscaping water feature. It also includes the removal of existing sidewalk and replacement with 8'-0" driveway pad with space for 1 car. The landscape, untouched during the renovation 2 years ago, includes the privacy fence as a way to separate from the dilapidated house on the east side of the property which has remained untouched throughout, and addresses grading, drainage, and washout issues of existing site topography.

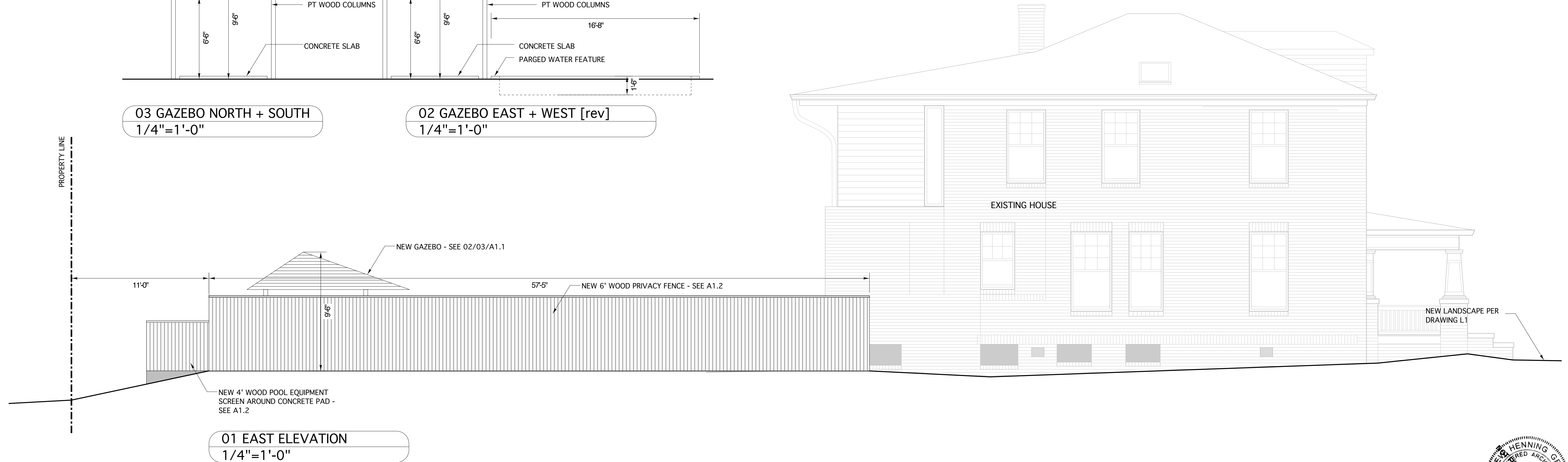
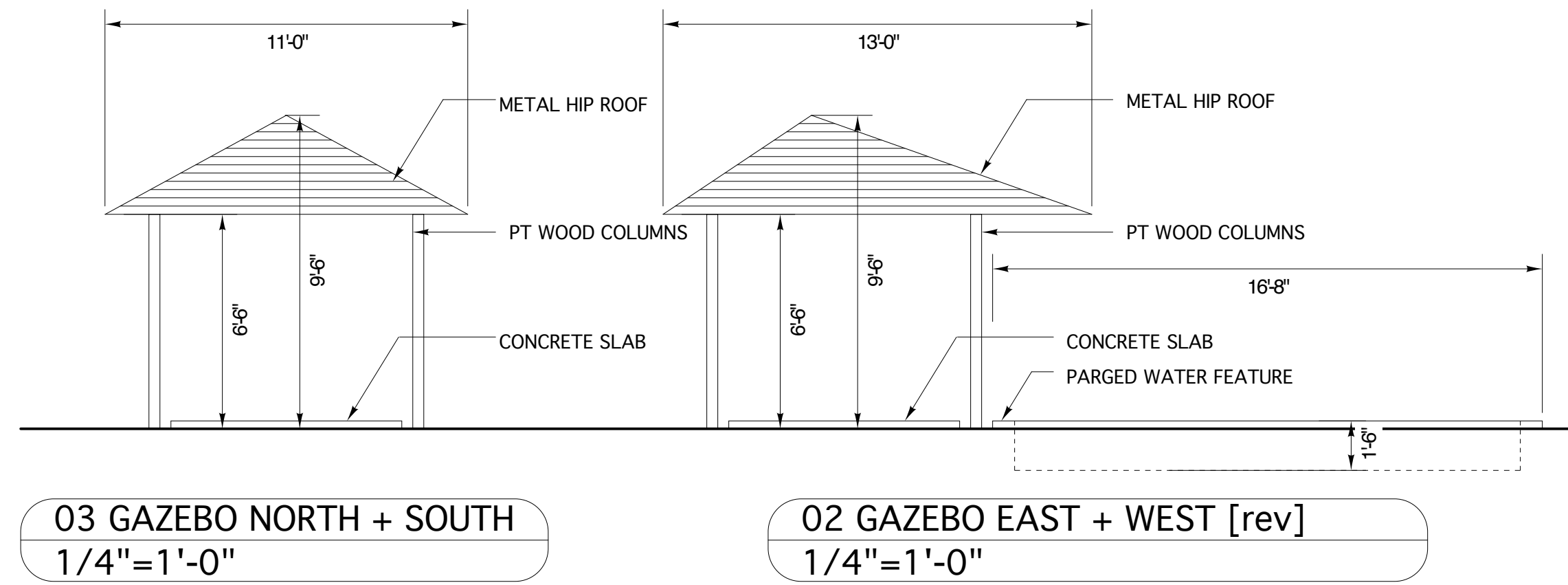
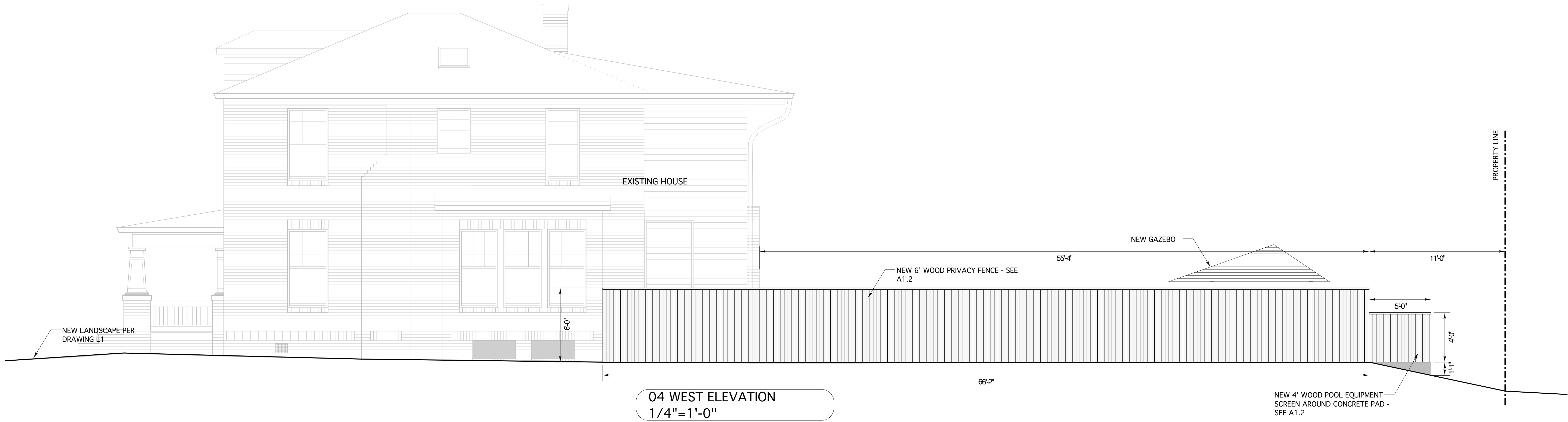
NARRATIVE

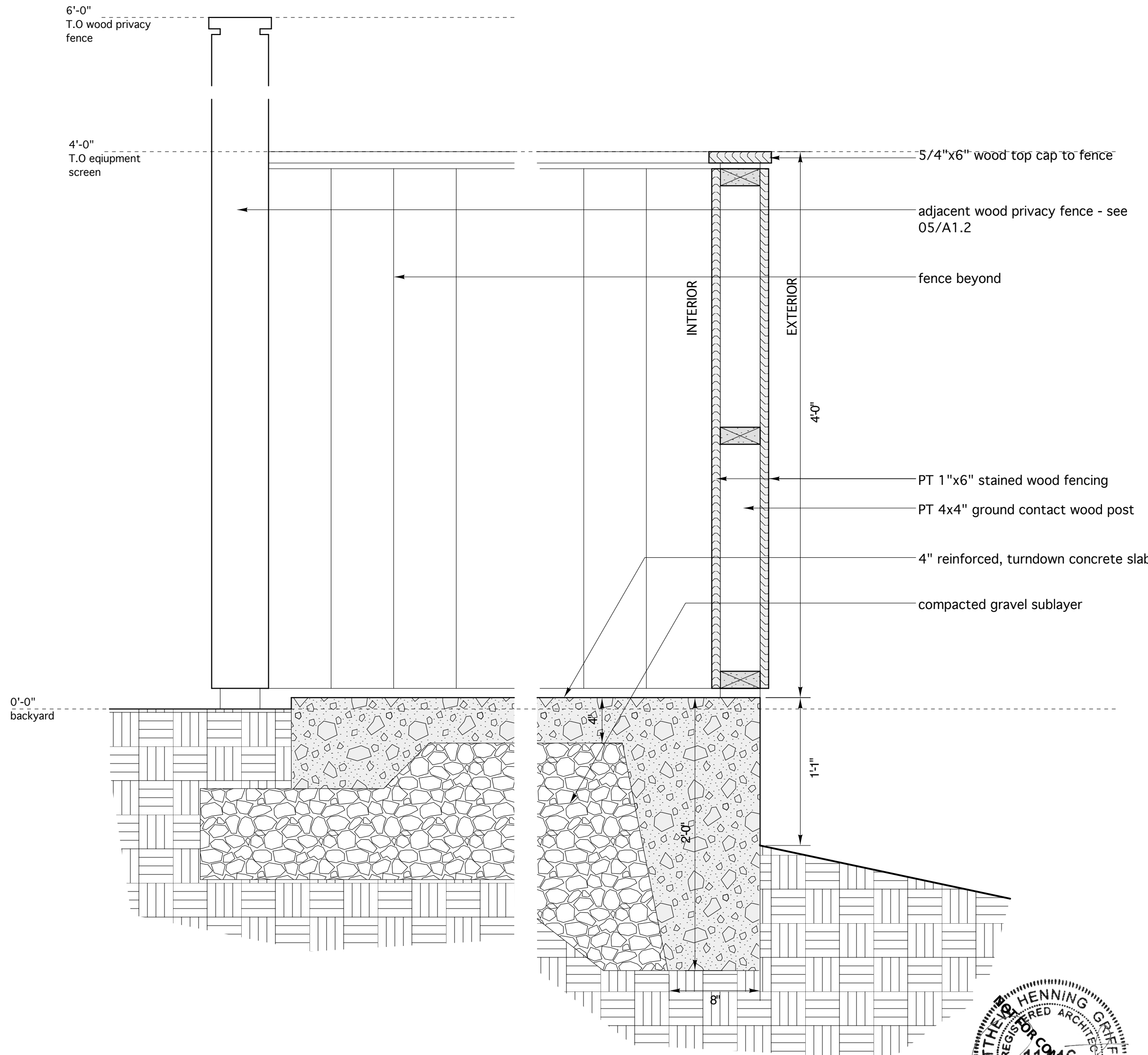
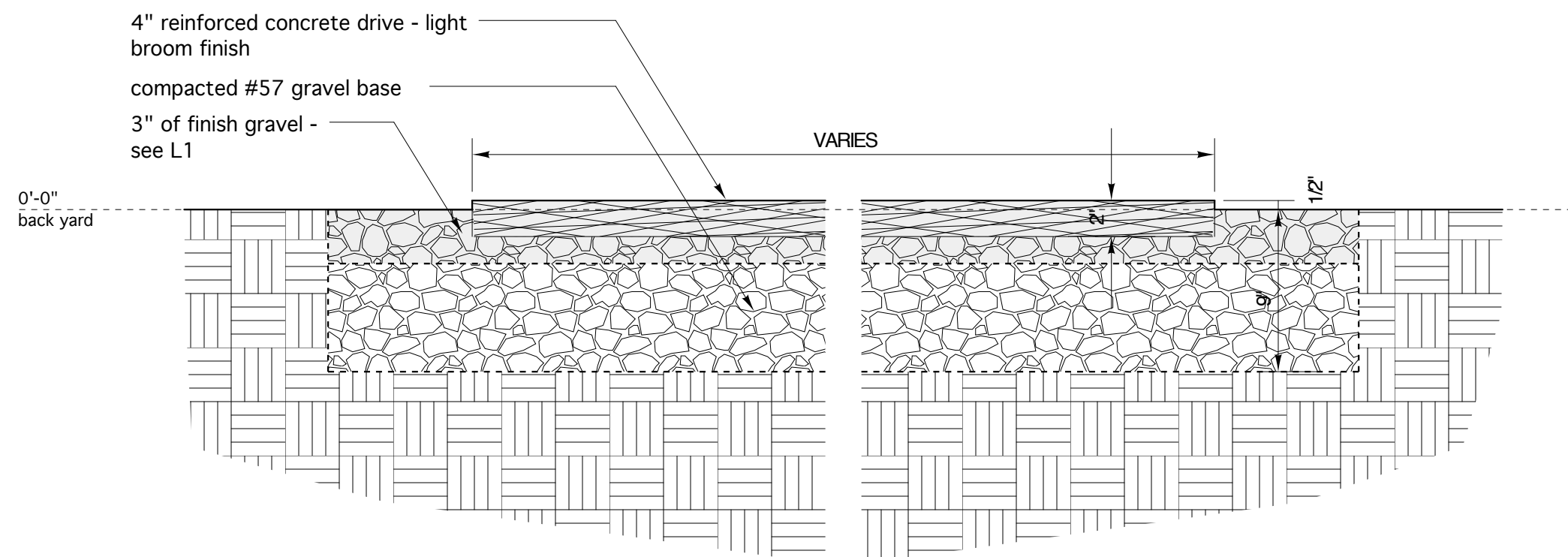
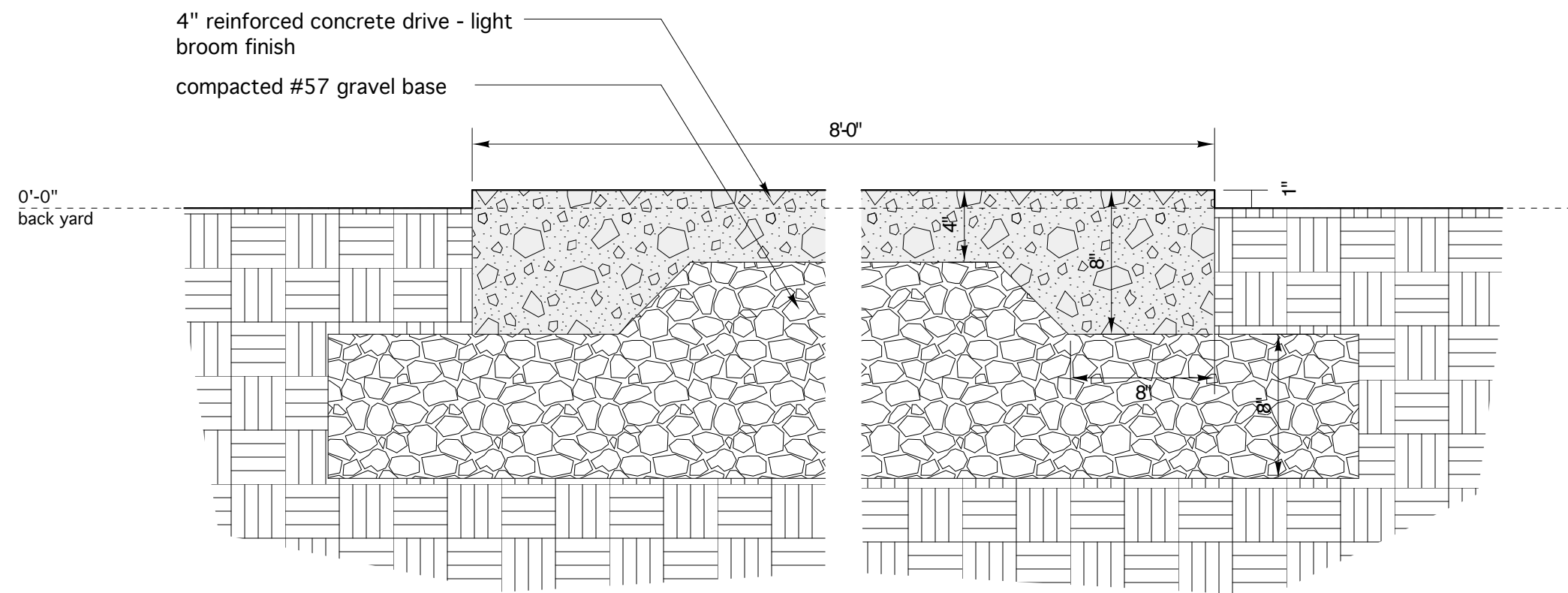
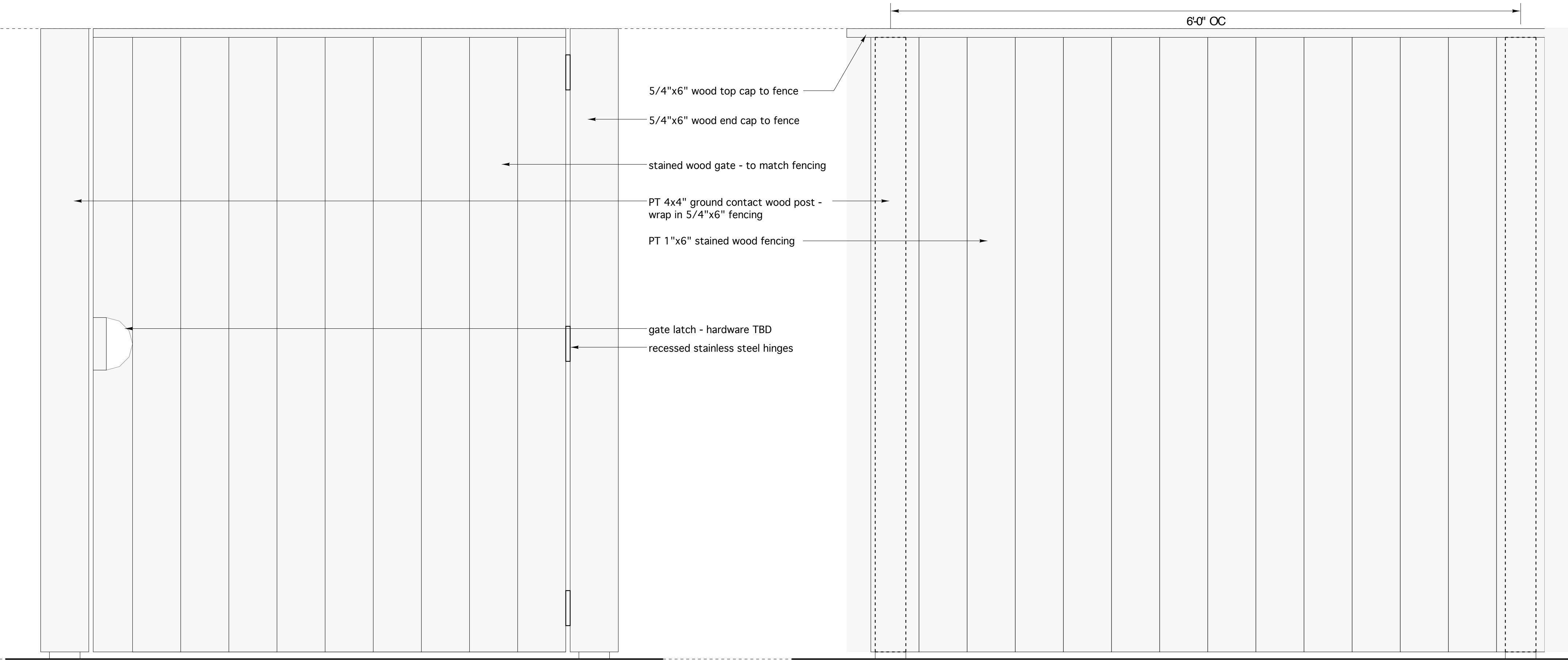
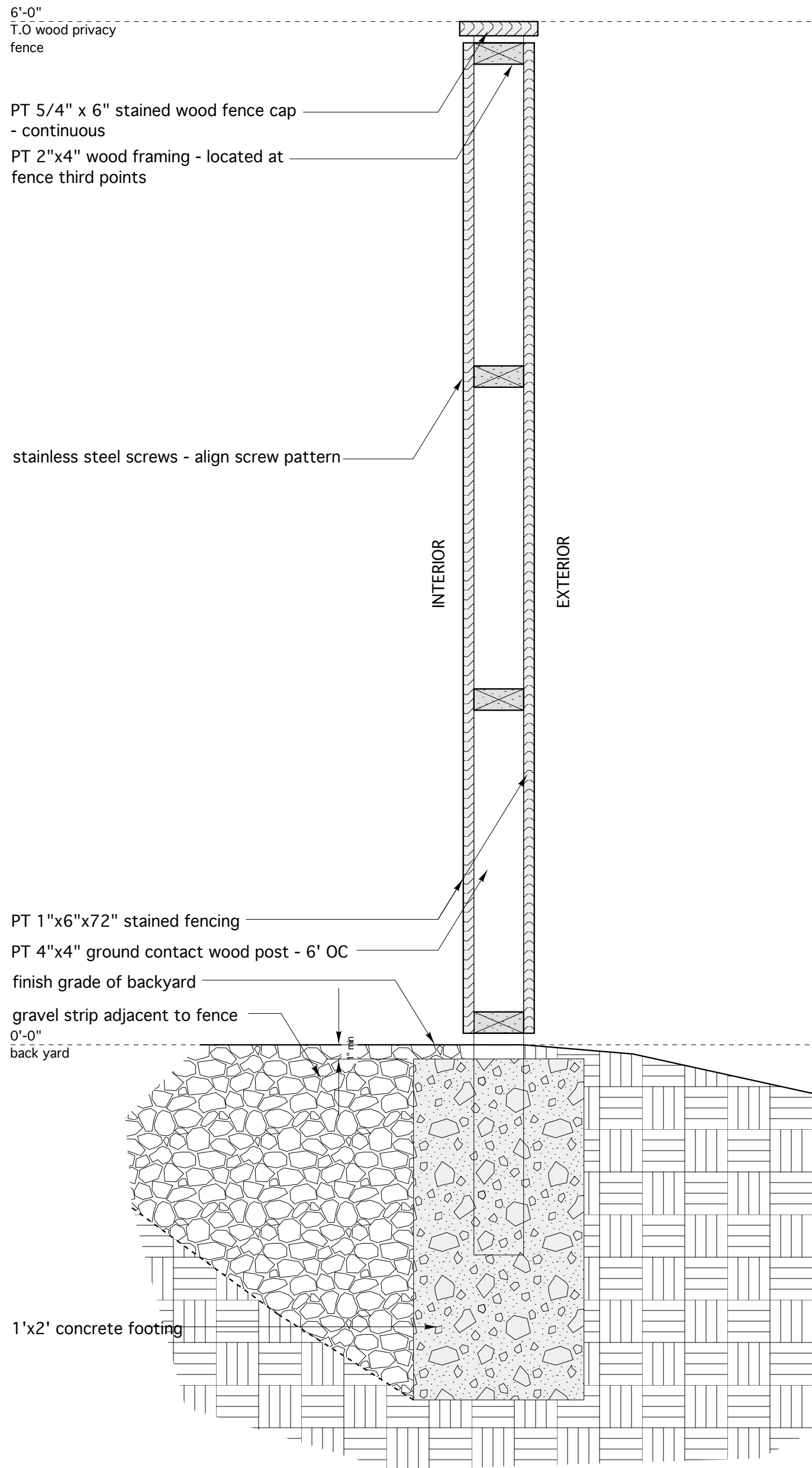
- Fence - Stained Wood, Stained Gate
- Gazebo - Wood Framing with Metal Roof
- Water Feature - Parged Gunnite (appears same as other parged walls)
- Plantings - Per Drawings

MATERIALS

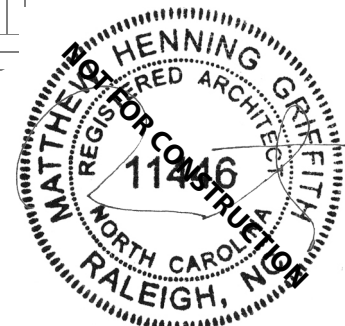


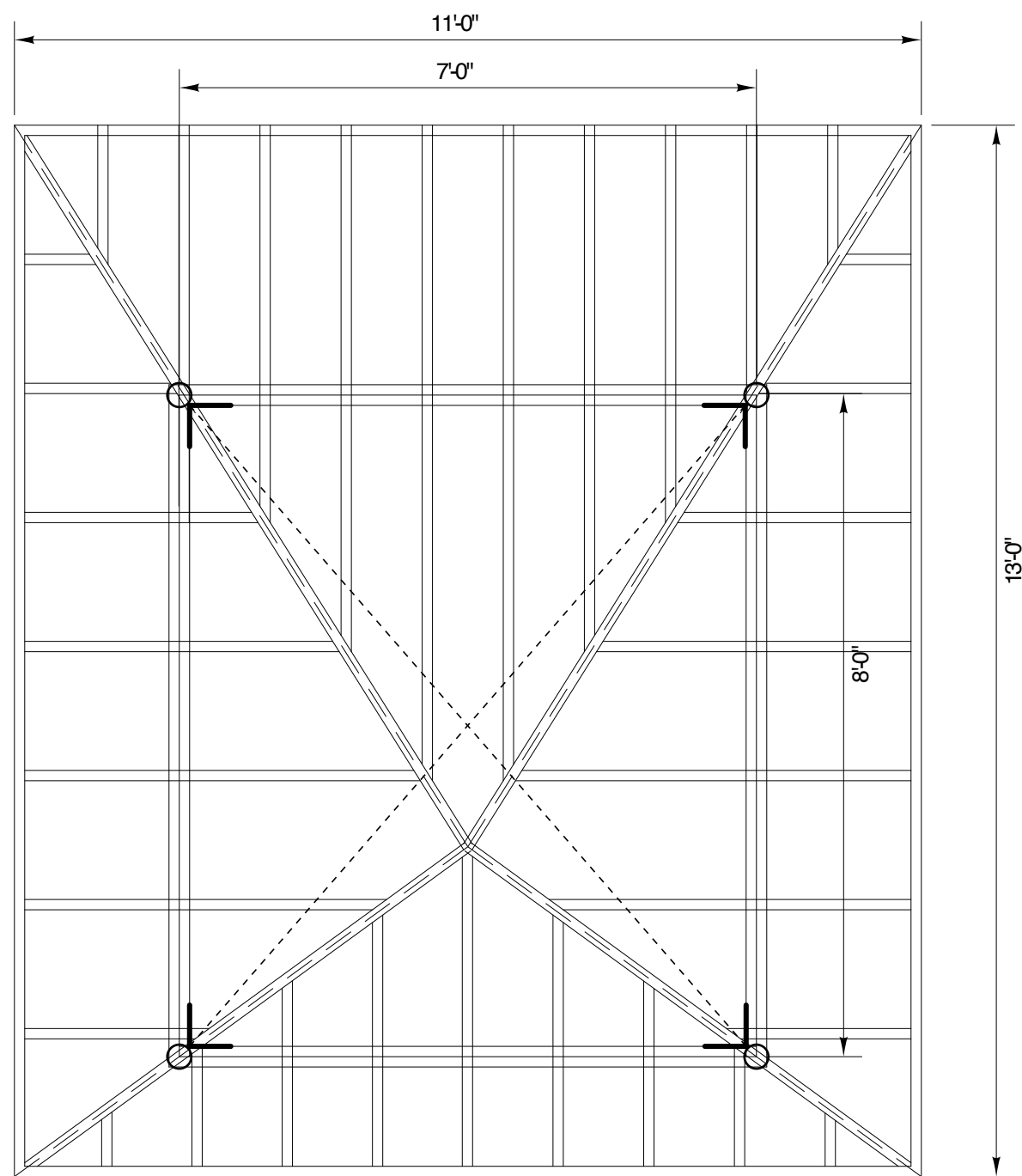




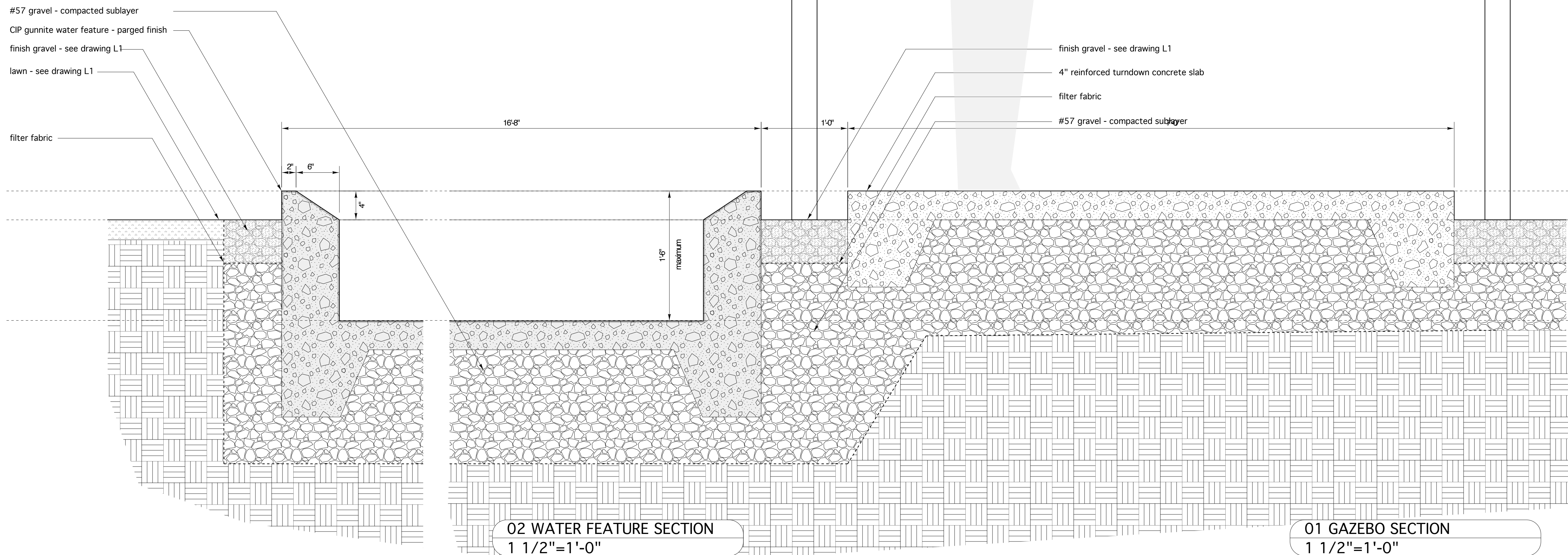
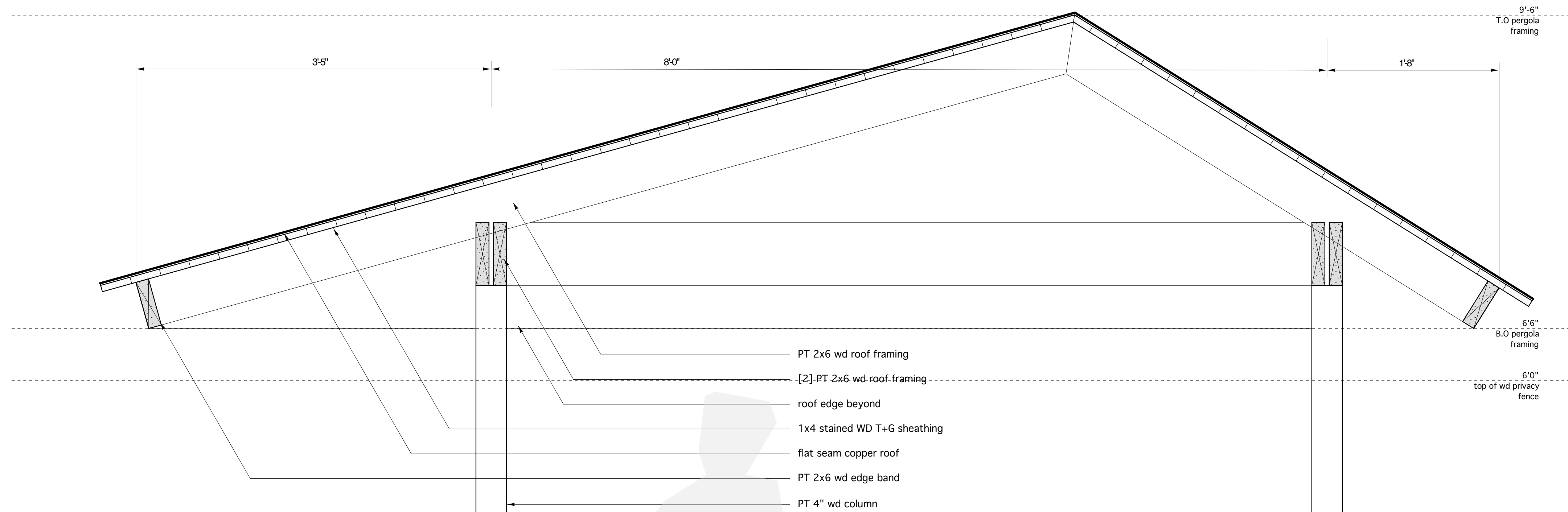


01 EQUIPMENT PAD SECTION
1 1/2"=1'-0"



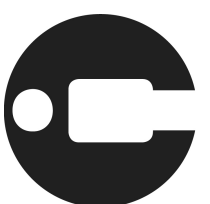
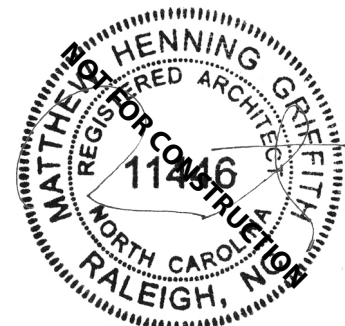


03 PERGOLA ROOF FRAMING
1/2"=1'-0"



02 WATER FEATURE SECTION
1 1/2"=1'-0"

01 GAZEBO SECTION
1 1/2"=1'-0"



in situ studio

704 N Person Street
Raleigh, NC 27604
www.institutostudio.com

CD

07/06/18
1/4" = 1'-0"
zsh

Nolimha Yard
314 E Cabarrus Street
Raleigh, North Carolina

A1.3 ELEVATIONS

CONSTRUCT DRIVEWAY

- demo existing 6' sidewalk
- install 4" x 8' wide reinforced concrete parking pad
- preserve existing city curb cut + sidewalk

district examples:



312 E CABARRUS STREET
[nextdoor neighbor]



321 E CABARRUS STREET



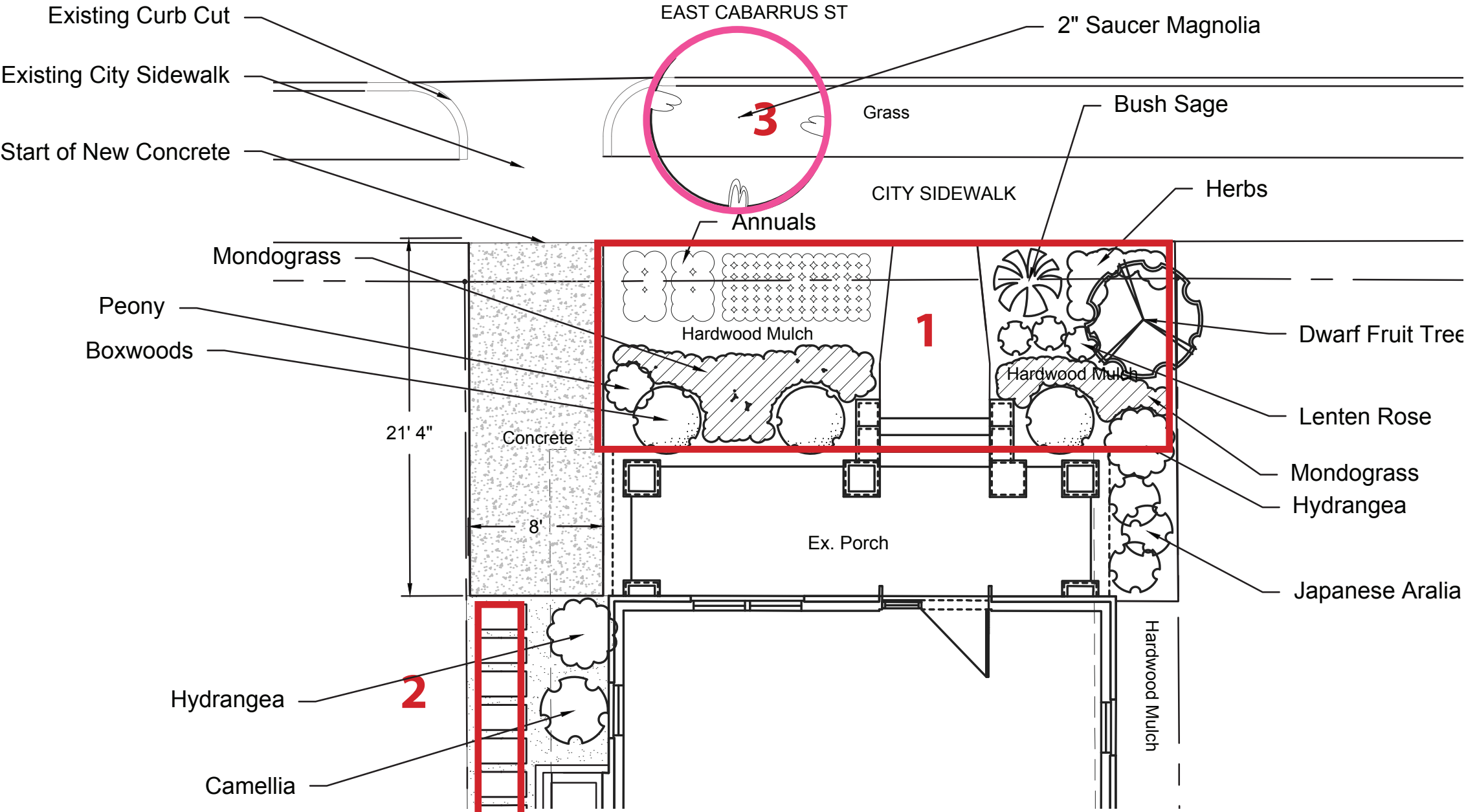
320 E CABARRUS STREET

*other district examples at:
213 E Cabarrus, 217 E Cabarrus,
525 S Person, 521 S Person



INSTALL LANDSCAPING - FRONT YARD

- [1] install planting per landscape plan
- [2] replace existing sidewalk with bluestone pavers - see 02/A1.2
- [3] install city of raleigh street tree [currently not existing]. previously approved Saucer Magnolia was never planted.

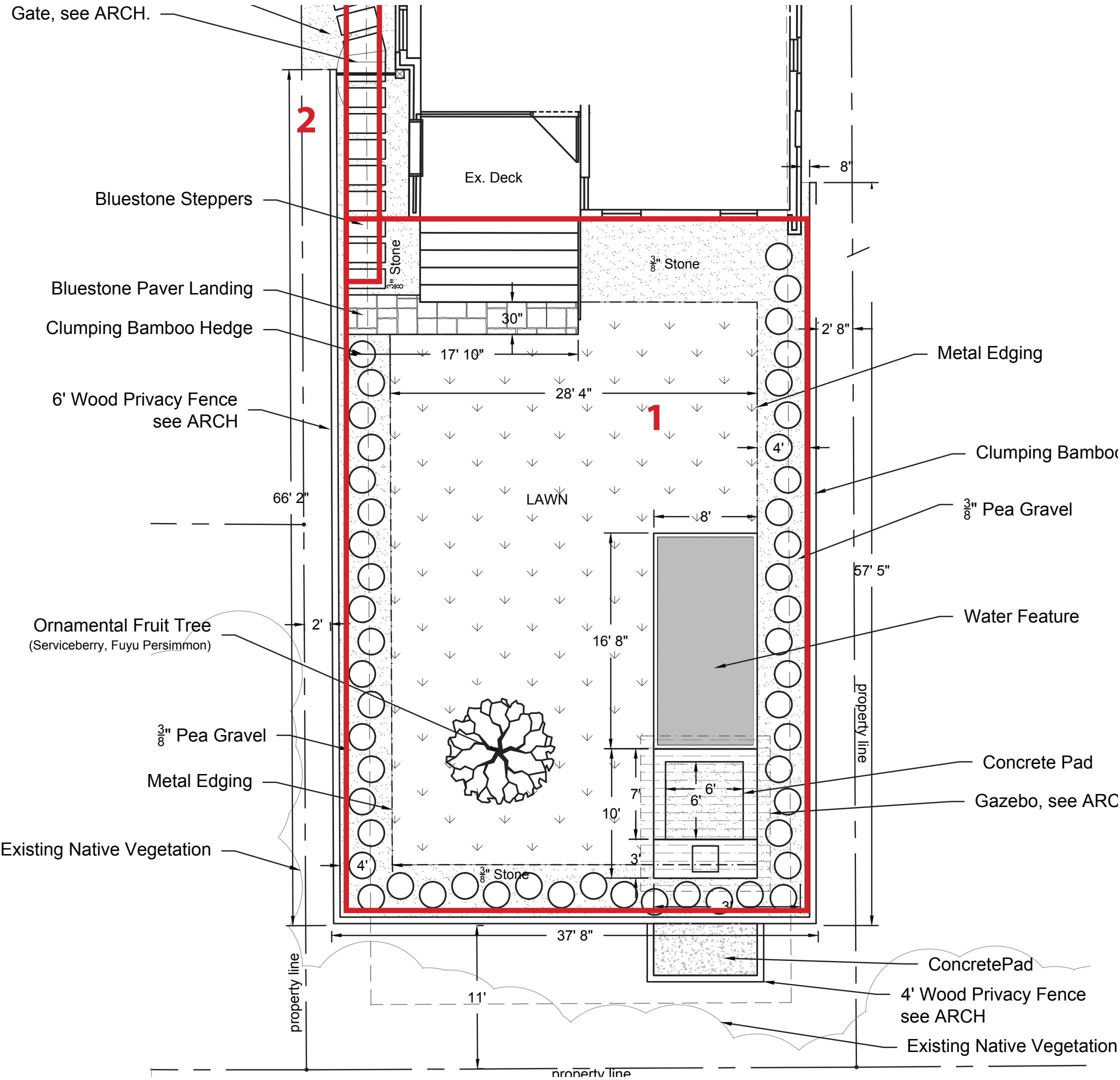




INSTALL LANDSCAPING - BACK YARD

[1] install planting per attached landscape plan

[2] replace existing sidewalk with bluestone pavers



CONSTRUCT FENCE

[1] install 6' wood privacy fence around west, south, + east property edge - see attached architectural drawings

[2] install stained wood entry gate. Gate is self-supported + detached from existing house. See 05/A1.2

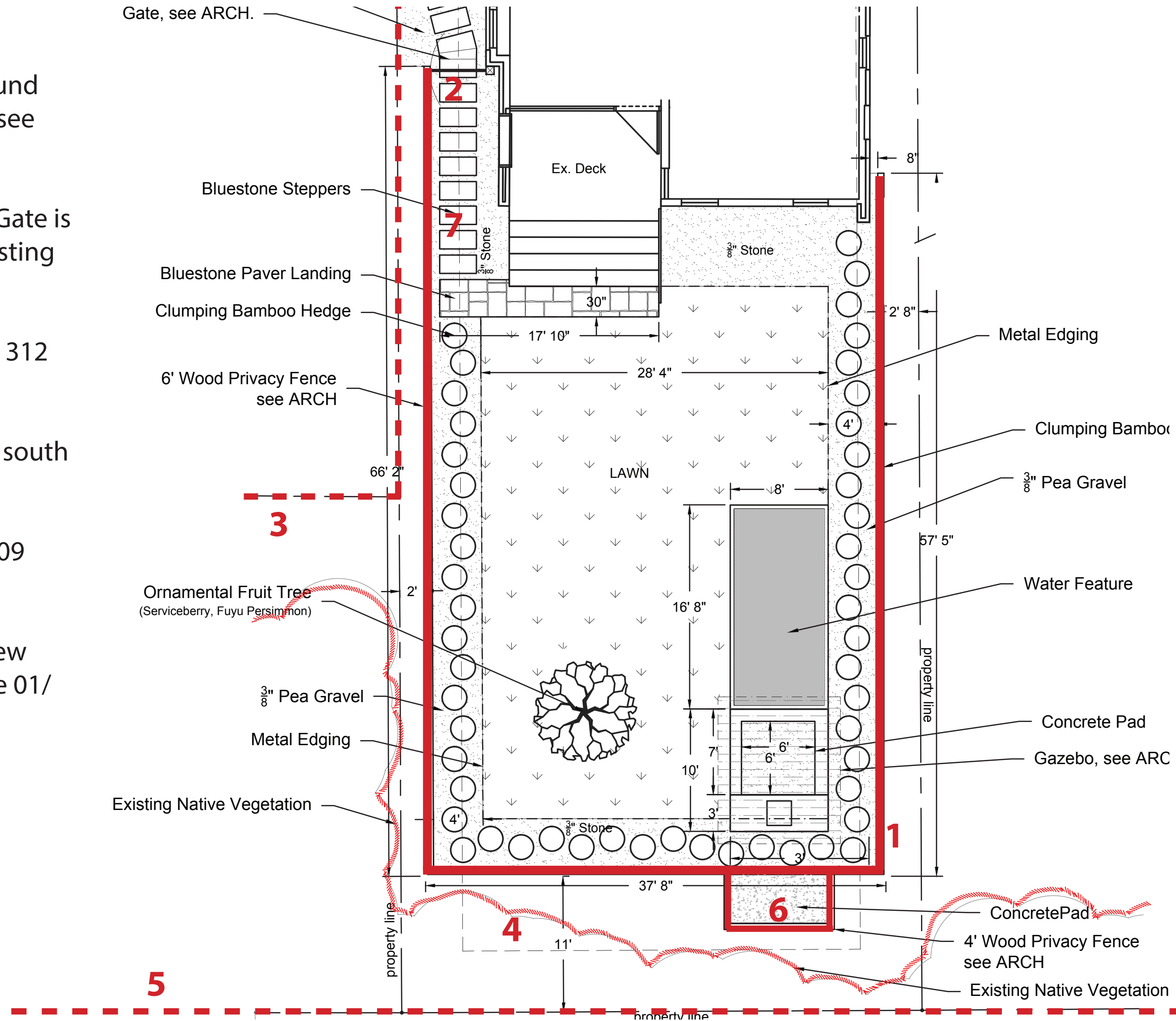
[3] existing 6' wood privacy fence at 312 cabarrus street

[4] *existing* native vegetation along south and west borders to be saved.

[5] existing wood privacy fence at 509 south person

[6] new 4' wood fence - matching new fence detail around equipment - see 01/A1.2

[7] bluestone steppers per 02/A1.2



CONSTRUCT FENCE - VIEW SHEDS

[1] front elevation will only show leading edge of fence on west side of front elevation + gate.

[2] west side of fence will be adjacent to existing wood privacy fence + existing native vegetation.

[3] east side of fence will screen dilapidated house + abandoned house.

[4] south wall of fence is set back to preserve natural grade + existing native vegetation behind child care center



from city sidewalk on cabarrus



from backyard of 316 cabarrus



314 E Cabarrus St,
Raleigh, NC 27601



Planning & Development

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION



Minor Work (staff review) – 1 copy

Major Work (COA Committee review) – 13 copies



Most Major Work Applications

☐ Additions Greater than 25% of Building Square Footage

☐ New Buildings

☐ Demo of Contributing Historic Resource

☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 562350

File # _____

Fee _____

Amt Paid \$152.00

Check # 3186

Rec'd Date 7-12-18

Rec'd By K Pruthi

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **314 E Cabarrus Street, Raleigh NC 27601**

Historic District **Prince Hall Historic Overlay District**

Historic Property/Landmark name (if applicable) -

Owner's Name **Vansana Nolintha; Vanvisa Nolintha**

Lot size **0.12 acres**

(width in feet) **42.50 feet**

(depth in feet) **126.13 feet**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address		Property Address
501 S. Person Street, Raleigh NC 27601	517 S. Person Street, Raleigh NC 27601	318 E Cabarrus Street, Raleigh NC 27601
503 S. Person Street, Raleigh NC 27601	307 E Cabarrus Street, Raleigh NC 27601	320 E Cabarrus Street, Raleigh NC 27601
507 S. Person Street, Raleigh NC 27601	309 E Cabarrus Street, Raleigh NC 27601	322 E Cabarrus Street, Raleigh NC 27601
509 S. Person Street, Raleigh NC 27601	311 E Cabarrus Street, Raleigh NC 27601	
513 S. Person Street, Raleigh NC 27601	312 E Cabarrus Street, Raleigh NC 27601	
509 S. Person Street, Raleigh NC 27601	313 E Cabarrus Street, Raleigh NC 27601	
513 S. Person Street, Raleigh NC 27601	316 E Cabarrus Street, Raleigh NC 27601	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:		
Applicant in situ studio c/o: Zach Hoffman		
Mailing Address 704 N. Person St		
City Raleigh	State NC	Zip Code 27604
Date 07 11 2018	Daytime Phone 704 301 4750	
Email Address zach@insitustudio.us		
Signature of Applicant <u><i>Zach Hoffman</i></u>		

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature _____

Date _____

Project Categories (check all that apply):

- ☒ Exterior Alteration
- ☐ Addition
- ☐ New Construction
- ☐ Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

- ☐ Yes
- ☒ No

(Office Use Only)

Type of Work _____

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
1.3	Site Features + Plantings	New Plantings, Water Feature in Rear Yard
1.4	Fences + Walls	New Privacy Fence
1.5	Walkways, Driveways, + Off-street Parking	New Parking Pad + New Paver Walkway
1.6	Accessory Structures	New Open Air Pergola

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
Minor Work (staff review) – 1 copy					
Major Work (COA Committee review) – 13 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

1. Written Description

The work on 314 E Cabarrus Street will include the addition of a rear yard 6'-0" privacy fence which will house new landscaping, a pergola, and a landscaping water feature. It also includes the removal of existing sidewalk and replacement with true driveway with space for 1 car. The landscape, untouched during the renovation 2 years ago, includes the privacy fence as a way to separate from the dilapidated house on the east side of the property which has remained untouched, and address grading, drainage, and washout issues of existing site grading.

2. Description of Materials

Fence – Parged CMU, Painted Steel Gate

Pergola – Wood Framing with Shingle Roof

Water Feature – Parged Gunnite (appears similar in nature to fence)

Plantings – Per Drawings

3. Photographs

See Next Page.

4. Paint Schedule

Not Applicable.



Image 01: Aerial View of House + Tentative Fence Location

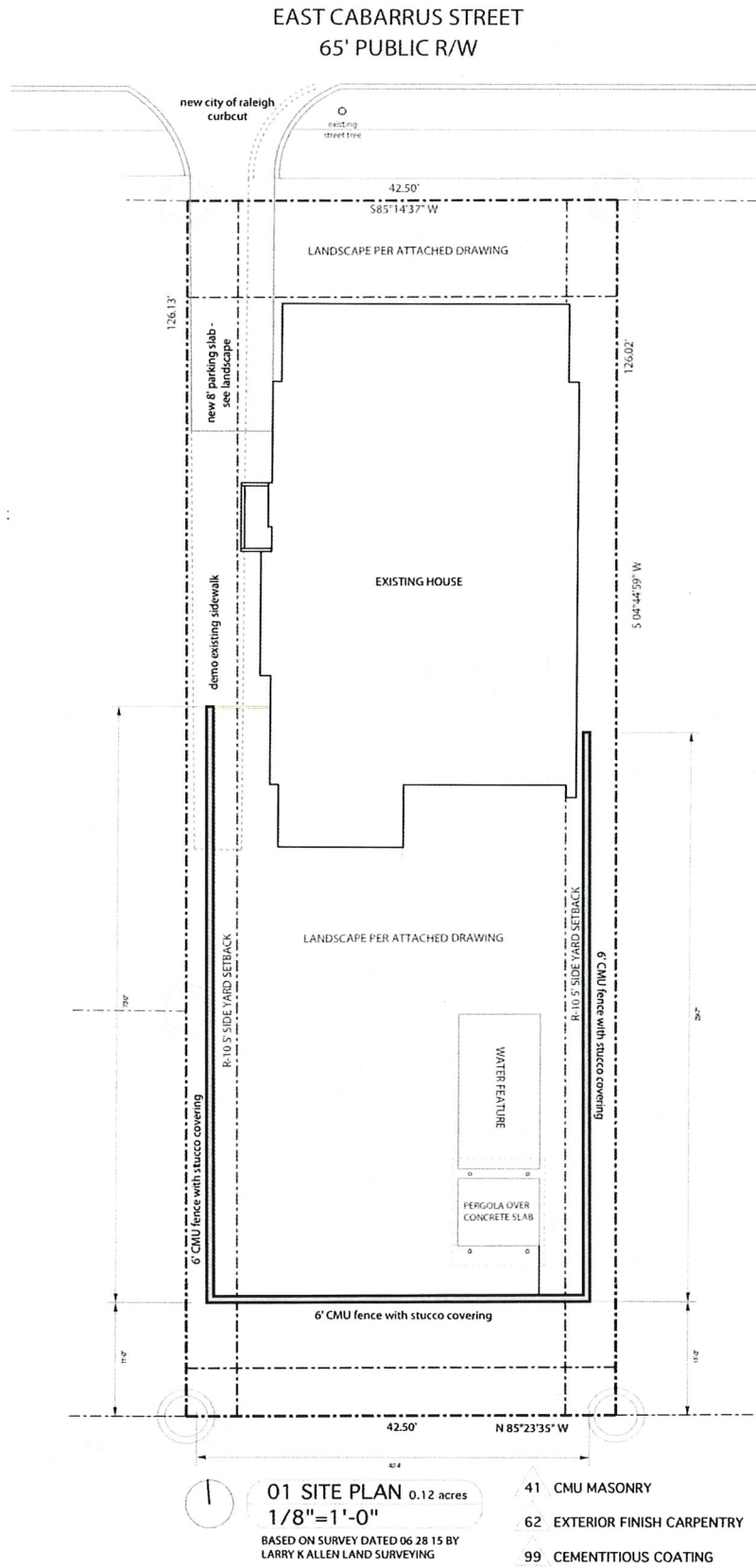


Image 02: View of Backyard from Neighboring Property

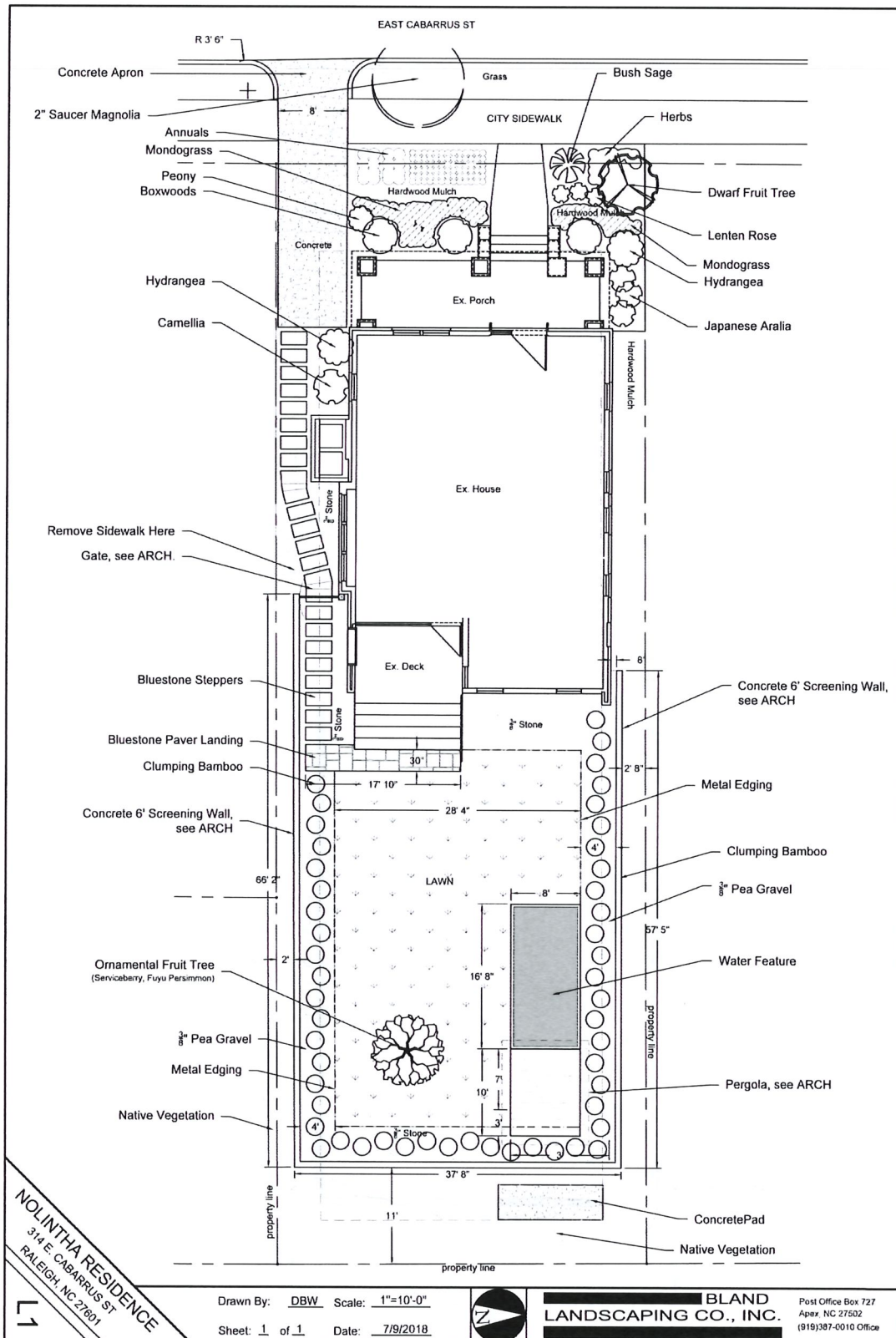


Image 03: View of East Side of House – Location of New Parking Pad + Only Visible section of Fence from Street

5. Plot Plan



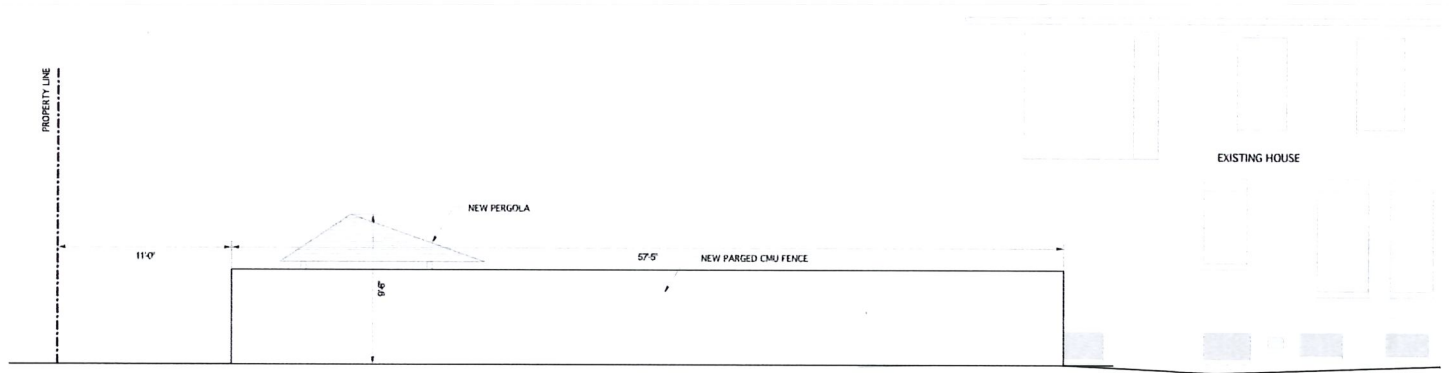
6. Landscape Drawing



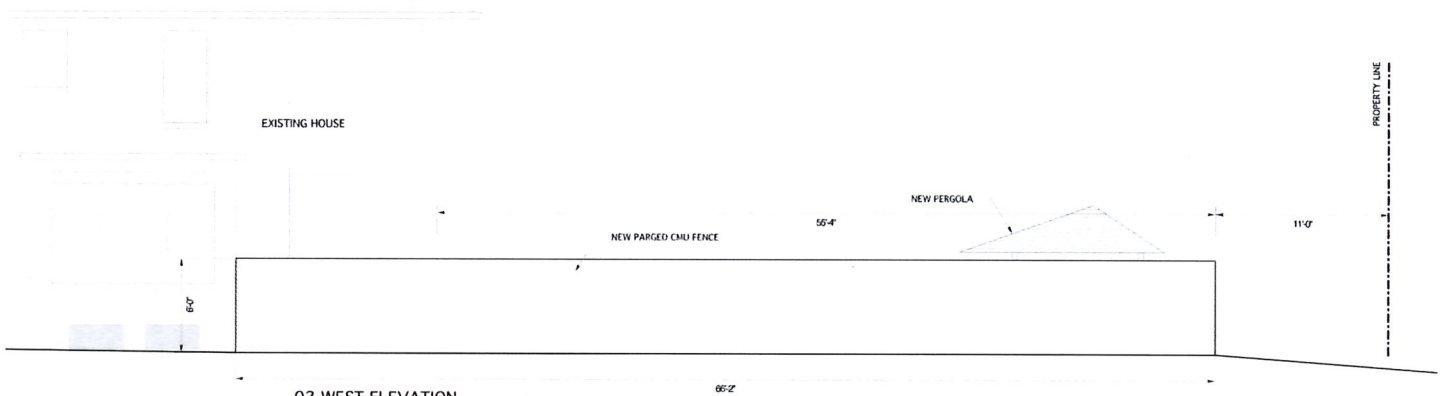
7. Architectural Drawings

See following pages.

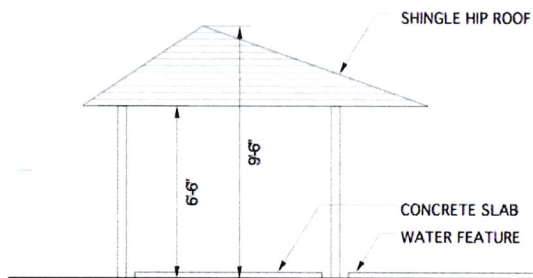




02 EAST ELEVATION



02 WEST ELEVATION



03 PERGOLA ELEVATION



02 GATE ELEVATION