

City of Raleigh



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125-17-CA

1012 W CABARRUS STREET

BOYLAN HEIGHTS HISTORIC DISTRICT (R-10)

0 37.5 75 150
Feet



Nature of Project:
Construction of 1-story addition;
enclosure of rear porch; removal
of rear deck; construction of rear
and side decks; installation of fence;
installation of ribbon driveway

APPLICANT:
DAVID MAURER

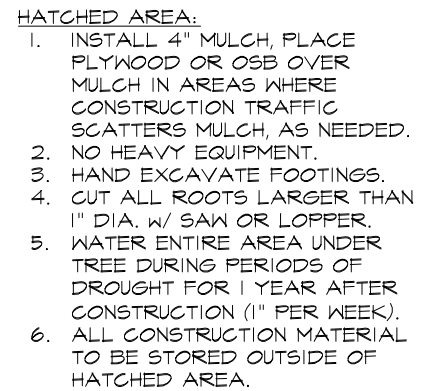


1012 W Cabarrus Street, Boylan Heights

Certificate of Appropriateness – Deferred Items

1. Crepe Myrtle – we are requesting approval to remove the existing crepe myrtle and install a mature 16' min tall crepe myrtle the right front yard, and that the 365 day delay be waived.
 - a. We explored relocating the existing tree, but the landscape contractor determined that the existing tree's roots extend under the existing front porch.
 - b. Eventually, these roots could cause foundation problems.
 - c. See Proposed Site Plan for new tree location.
2. Retaining wall – we are requesting removal of the rock wall.
 - a. Upon further examination, the wall consists of deteriorating granite and sandstone rocks, most likely found on site.
 - b. The construction appears to be done by a homeowner, as it does not appear to have the same rock quality and installation quality of typical retaining walls in the neighborhood.
 - c. The location is not consistent with other typical retaining walls, which are more likely found along property lines. For examples, the adjacent house to the east at 1010 W Cabarrus has a concrete block wall at the sidewalk and along the west side property line. The house two doors down at 1016 W Cabarrus has a stone wall, again along the sidewalk and along the west side property line.
 - d. Because of its location and construction, it appears to be more of a low garden wall. In fact, it is only retaining earth in the middle of its length back to the crepe myrtle. The grade falls off from the front yard to the side yard, where the grade elevation is approximately the same height as the neighbor's driveway. As such, the front yard can easily be graded without any requirement for a retaining wall.
 - e. See attached photos of the retaining wall.
3. Driveway – we are requesting approval of a new layout as indicated on the Proposed Site Plan. In lieu of ribbon strips, we're proposing gray gravel, similar to adjacent property.
 - a. It is prohibitively expensive to relocate the existing power pole, so we are requesting a curb cut just to the east. The drive would curve to the left and then extend past the front of the house (which is more typical of driveways in the neighborhood.)
 - b. Other examples of offset driveways exist in Boylan Heights. For examples (and see attached photos):
 - i. 709 S Boylan Avenue
 - ii. 104 Dupont Circle
 - iii. 106 Dupont Circle
 - iv. 723 S Boylan Ave (rear)
 - v. 727 S Boylan Ave (rear)
 - c. The new Built Area is 49%, up from the approved 43%, mainly due to the gravel drive in lieu of the previous ribbon strips. Other similar Built Areas:
 - i. 915 W South St: 48%
 - ii. 1030 W South St: 47%
 - iii. 602 S Boylan Ave: 47%

PROPOSED SITE & TREE PROTECTION PLAN
SCALE: 1/16" = 1'-0"
9/6/2017



 TREE
PROTECTION
FENCE:

PLASTIC ORANGE MESH
CONSTRUCTION FENCING
ATTACHED TO STEEL
POSTS MIN. 8" O.C.,
AVOID ROOTS w/ POSTS

NEW
CONSTRUCTION

192.10' TO A POINT WHERE
W CABARRUS ST
INTERSECTS W LENOIR ST
(DB 15510, PG 899)

- CORNER ON
BLOCK WALL

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Photos of garden wall



709 S Boylan Avenue

Examples of offset driveways in Boylan Heights



104 Dupont Circle



106 Dupont Circle



723 S Boylan Avenue



727 S Boylan Avenue

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

125-17-CA 1012 W CABARRUS STREET

Applicant: DAVID MAURER

Received: 7/13/2017

Meeting Date(s):

Submission date + 90 days: 10/11/2017

1) 8/24/2017 2) 9/28/17 3)

INTRODUCTION TO THE APPLICATION

Historic District: BOYLAN HEIGHTS HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: Installation of driveway; removal of tree; removal of site wall

Amendments: Additional documentation was received.... The application was amended to remove the site wall rather than relocate and the design of the proposed driveway was changed. The request to use fiber cement shingles on the addition was also removed from the application.

DRAC: An application was reviewed by the Design Review Advisory Committee at its August 7, 2017, meeting. Members in attendance were Dan Becker, Mary Ruffin Hanbury and Curtis Kasefang; the applicants, Meg and Gary Bullard, were represented by David Maurer; also present was Roberta Fox.

Staff Notes:

- Raleigh City Code Section 10.2.15.E.1. states that "An application for a certificate of appropriateness authorizing the demolition or destruction of a building, structure or site within any Historic Overlay District or Historic Landmark may not be denied...However, the authorization date of such a certificate may be delayed for a period of up to 365 days from the date of issuance...If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal."
- COAs mentioned are available for review.
- At the August 24, 2017 COA meeting, the committee approved the installation of a fence, the removal of a rear deck and construction of new rear and side decks, and the construction of a 1-story addition, with conditions. The fiber cement shingles and the site work were deferred pending the receipt of additional information.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Installation of driveway; removal of tree; removal of site wall
1.5	Walkways, Driveways and Off-street Parking	Installation of driveway

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. The installation of a driveway is not incongruous in concept according to *Guidelines* 1.5.5, 1.5.6, 1.5.8, 1.5.9; however the driveway configuration **is** incongruous according to *Guidelines* 1.5.5, 1.5.6, and the increased built area to open space **may be** incongruous according to *Guidelines* 1.3.8, and the following suggested facts:
- 1* The property does not currently include a driveway. The proposal is to install an approximately 48' long gravel driveway with a new curb cut to the right of an existing power pole. No detailed drawing was provided to illustrate the design of the curb cut.
 - 2* The driveway design has been revised to curve around the existing power pole in the utility strip. Although the driveway location on the south property line is a traditional location, the curved design around the power pole is atypical for the district.
 - 3* The applicant provided photographs of offset driveways in Boylan Heights;
 - a. 709 S Boylan Avenue: No COA issued for driveway design, however a COA was issued for laying down gravel on the existing driveway (029-06-MW).
 - b. 104 Dupont Circle: The form of this lot is not equivalent to the applicant's lot.
 - c. 106 Dupont Circle: The form of this lot is not equivalent to the applicant's lot.
 - d. 723 S Boylan Avenue: Rear property access, not at front of the house
 - e. 727 S Boylan Avenue: Rear property access, not at front of the house
 - 4* The gray gravel is to be similar to that found on adjacent properties. Gravel driveways are common and historical in the district.
 - 5* A new gravel walkway is proposed to connect the driveway with the side deck. No description of materials was provided.
 - 6* According to the application, the built area to open space will increase from the previously approved 43% to 49%. The current built area is 28%.
- B. The removal of a mature crape myrtle tree **is** incongruous in concept according to *Guidelines* 1.3.5, 1.3.6, 1.5.6, and the following suggested facts:
- 1* A mature crape myrtle tree west of the existing front porch is proposed to be removed to allow for the installation of the driveway. The applicant proposes planting a 16' tall crape myrtle in the southeast corner of the front yard to replace it.

- 2* The application states that tree roots have been found to be growing under the front porch and could eventually create foundation problems for the house. No evidence to support this assertion was provided.
- 3* A report on the health issues for this tree from an ISA-certified arborist or landscape architect has not been submitted.

C. The removal of a stone wall **may be** incongruous in concept according to *Guidelines* 1.3.13, 1.4.1, 1.4.2, and the following suggested facts:

- 1* The applicant states that the wall was most likely built by a previous homeowner, and is of a lower quality of materials and construction than other walls in the district.
- 2* The location is not typical of retaining walls in Boylan Heights.
- 3* The wall is not proposed to be replaced.
- 4* The applicant proposes grading the site to accommodate the grade change from the front to the side yard.

Staff suggests that the committee deny the driveway portion of the application.

Staff suggests that the committee defer the wall portion of the application.

If the committee chooses to approve the application, staff suggests the following conditions:

- 1. That the 365-day demolition delay be placed on the removal of the crape myrtle tree.
- 2. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard for the driveway:
 - a. Driveway and curb cut design;
 - b. Walkway design and materials.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☐ Major Work (COA Committee review) – **10 copies**
- ☒ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 521685

File # 125-17-CA

Fee 294

Amount Paid 294

Received Date 7-13-17

Received By Turn

Property Street Address 1012 W Cabarrus St, Raleigh, NC 27603

Historic District Boylan Heights

Historic Property/Landmark name (if applicable)

Owner's Name Meg & Gary Bullard

Lot size 0.17 acres

(width in feet) 50 ft

(depth in feet) 150 ft

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
1100 W Cabarrus St, Raleigh, NC 27603	1113 Phar Lap Dr, Indian Trail, NC 28079
4520 Old Village Roads, Raleigh NC 27612	1009 Shieffelin Rd, Apex, NC 27502
1004 W Cabarrus St, Raleigh, NC 27603	1105 W Lenoir St, Raleigh, NC 27603
1030 W South St, Raleigh NC 27603	7433 Bee Bee Dr, Durwood, MD 20855
1014 W Cabarrus St, Raleigh N 27603	1002 W Cabarrus St, Raleigh, NC 27603

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant David Maurer

Mailing Address 115.5 E Hargett St, Suite 300

City Raleigh

State NC

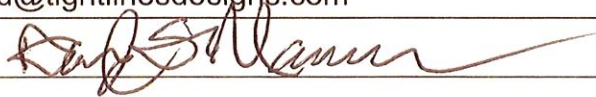
Zip Code 27601

Date 7/13/2017

Daytime Phone 919-834-3600

Email Address david@tightlinesdesigns.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☐ Yes ☒ No

Office Use Only

Type of Work

3, 58, 28, 26, 30, 33

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.3/12-13	Site Features and Plantings	See attached.
2.4/14-15	Fences	
2.5/16-17	Driveways	
3.8/42-43	Porches	
4.1/52-53	Decks	
4.2/54-55	Additions	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
Minor Work (staff review) – 1 copy					
Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				



1012 W Cabarrus Street, Boylan Heights

Scope of Project:

Project consists of the removal of a rear deck, enclosing a rear porch and the construction of a new one story addition, new rear and side decks, new rear yard fence, and new ribbon driveway.

Massing: The mass of the new addition contains a central gabled roof and a smaller gable roof over the master bedroom, both with a pitch matching the main roof. The new addition will be delineated from the existing house by a 4ft projecting bay on the left side and a 2ft bay on the right side, between the old and the new, and roofed with a perpendicular gabled roofs.

Exterior finishes: The existing cedar shake siding will remain on the original house. The addition will be mostly clad in Hardi Artisan smooth lap siding, with 5" exposure. Above the 1x8 trim both rear gables shall be Hardi shake siding. All trim on the addition shall be Miratec smooth finish, in sizing to match all existing jamb and head trim boards. New corner trim shall be Miratec 5/4x4 and 5/4x5 smooth finish. Overhangs to have exposed rafter tails to match existing. New brick foundation will match as closely as possible to the original.

Windows: The existing windows of the enclosed rear porch and the two Type A windows on the rear elevation will be removed. All other existing windows shall remain. One new twin casement window will be installed on the north elevation in the master bedroom addition, and one new twin casement in Bedroom-2 on the east elevation. Two new square casement windows will be installed on the west elevation and three new square casements on the east elevation. All new windows shall be wood casements by Lincoln with no grilles.

Doors: The three existing exterior doors in the rear enclosed porch will be removed. The existing front door shall remain. A pair of new full glass wood doors with continuous transom shall be installed in the new family room at the deck on the north elevation. A new half glass wood door shall be installed on the west elevation, centered in the gabled 4ft bump-out. All new doors shall be Lincoln.

Roofing: The roof of the main house is fairly new and shall remain. All new shingles on the addition shall match the existing shingles.

Deck and Railings: The new rear and side decks shall be constructed with treated wood, with treated wood railing. A new painted wood railing is to be installed on the front porch.

Landscaping features: The existing oak tree approximately 25ft north of the new rear addition shall remain. Care shall be taken when installing the new deck and addition, cutting cleanly any roots encountered. New mulch and continuous watering shall ensure the livability of the tree. The existing 12" dia. tree northwest of the existing deck shall be removed. The existing 8" dia. crepe myrtle west of the front porch shall be removed.

Driveway: A new concrete driveway apron shall be installed along with 20' concrete strips for the driveway. Refer to attached site plan. The existing power pole will need to be relocated; final location to be established with Duke Energy.



REAR



FRONT

1012 W CABARRUS STREET

PHOTOGRAPHS
7/13/2017

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LEFT



RIGHT

1012 W CABARRUS STREET

PHOTOGRAPHS
7/13/2017

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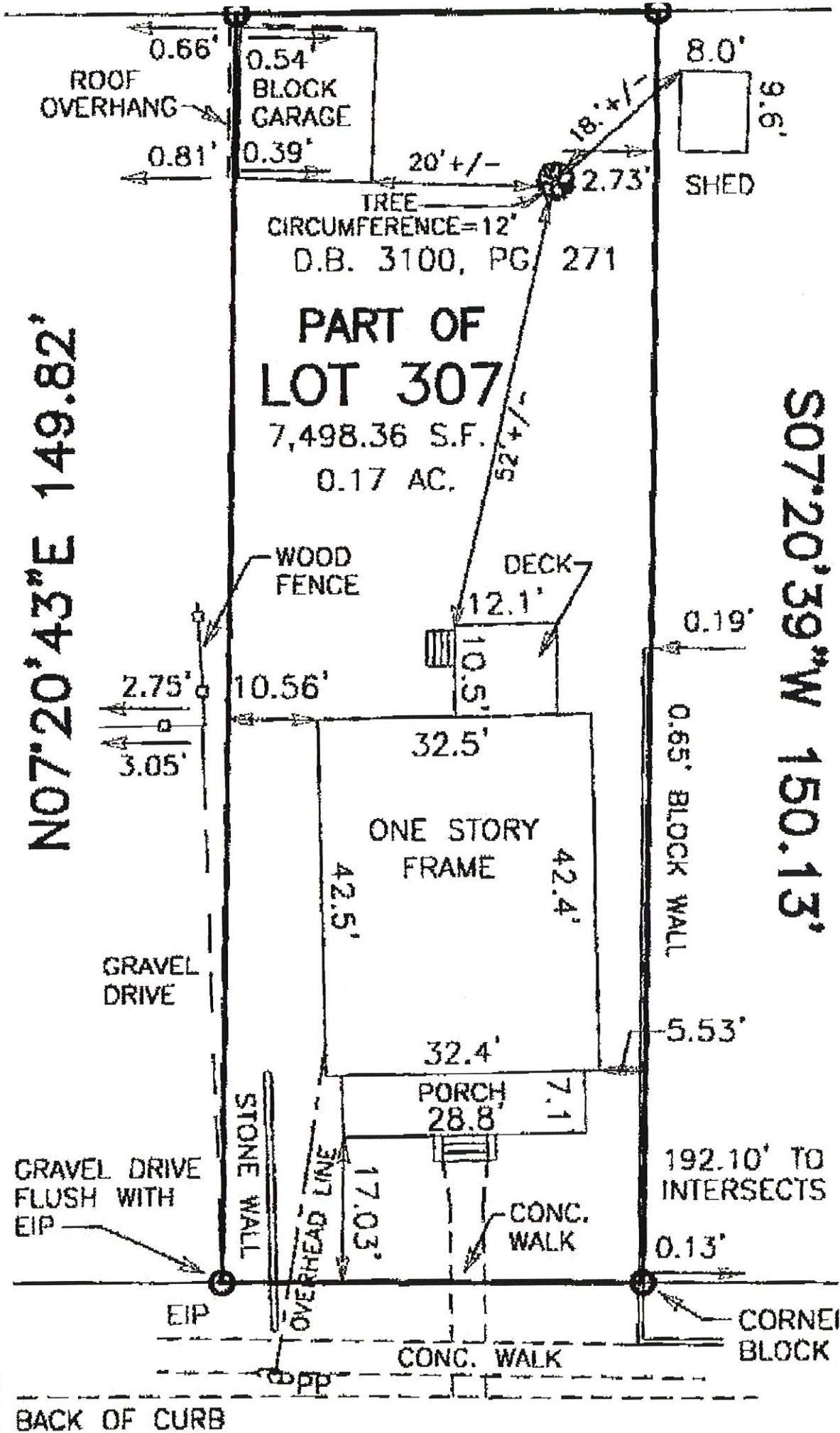
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1012 W CABARRUS STREET

EXISTING SITE PLAN

SCALE: 1" = 16'

7/13/2017



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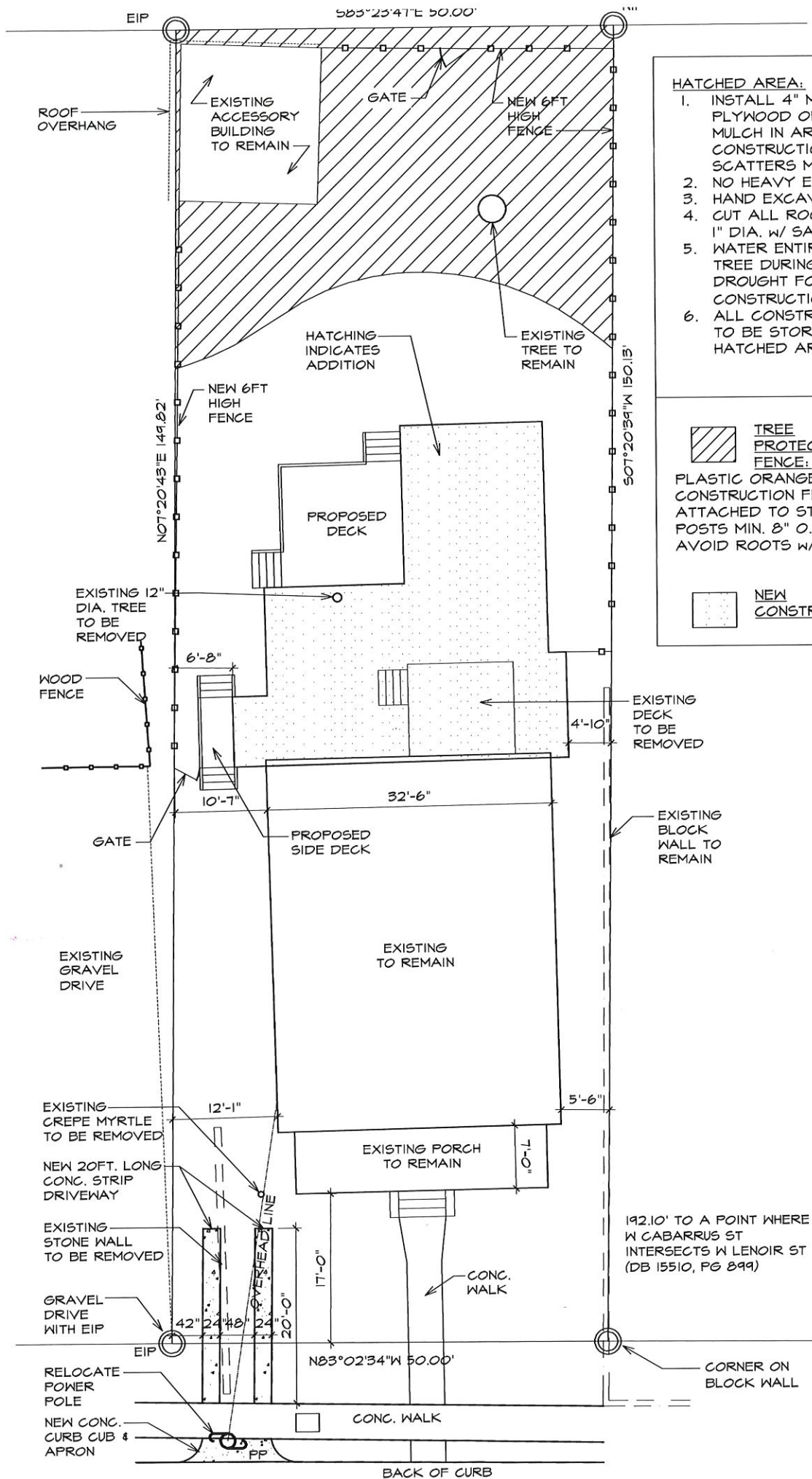
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1012 W CABARRUS STREET

PROPOSED SITE & TREE PROTECTION PLAN

SCALE: 1/16" = 1'-0"

7/13/2017



HATCHED AREA:

1. INSTALL 4" MULCH, PLACE PLYWOOD OR OSB OVER MULCH IN AREAS WHERE CONSTRUCTION TRAFFIC SCATTERS MULCH, AS NEEDED.
2. NO HEAVY EQUIPMENT.
3. HAND EXCAVATE FOOTINGS.
4. CUT ALL ROOTS LARGER THAN 1" DIA. w/ SAW OR LOPPER.
5. WATER ENTIRE AREA UNDER TREE DURING PERIODS OF DROUGHT FOR 1 YEAR AFTER CONSTRUCTION (1" PER WEEK).
6. ALL CONSTRUCTION MATERIAL TO BE STORED OUTSIDE OF HATCHED AREA.



TREE PROTECTION FENCE:

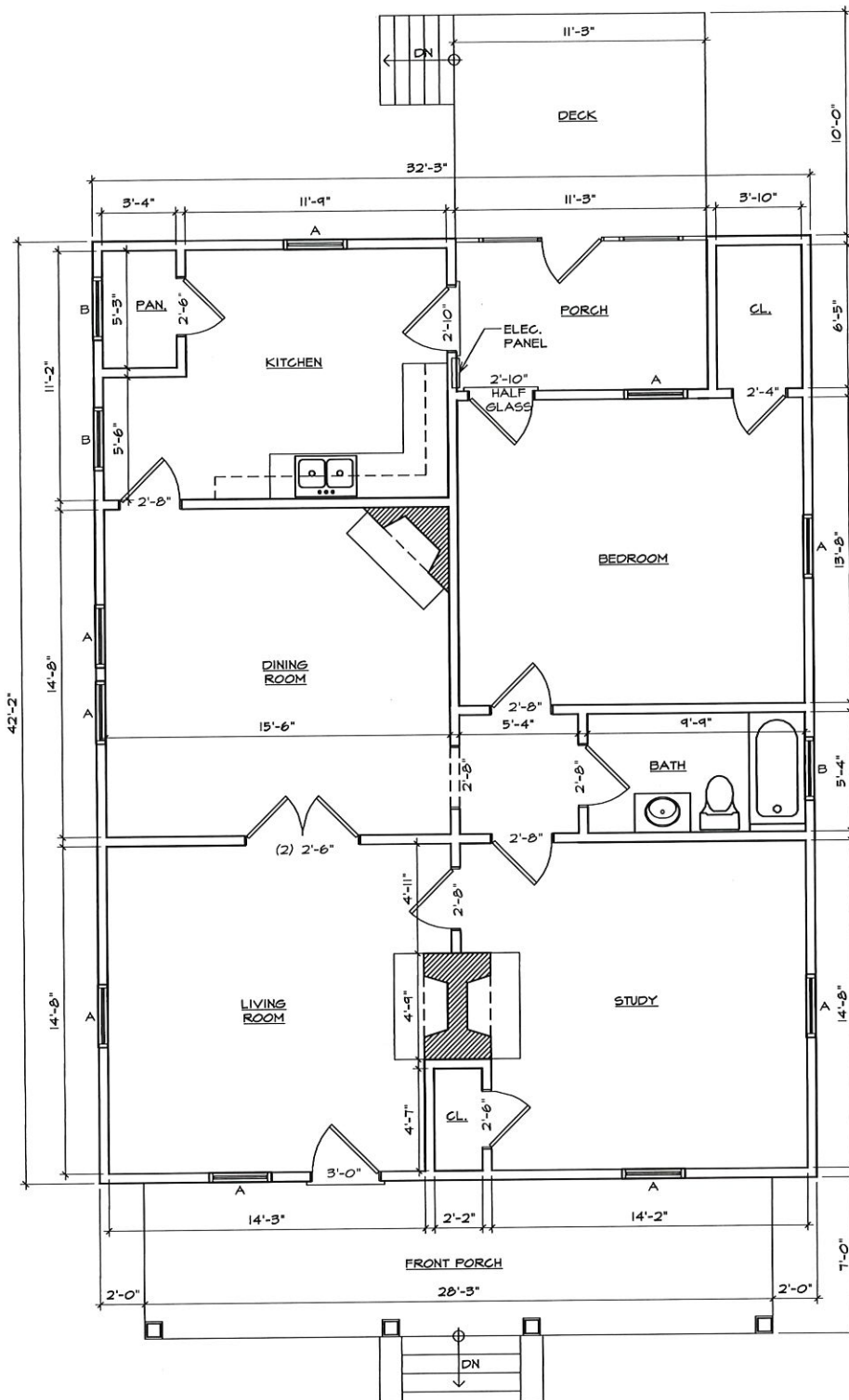
PLASTIC ORANGE MESH CONSTRUCTION FENCING ATTACHED TO STEEL POSTS MIN. 8" O.C., AVOID ROOTS w/ POSTS



NEW CONSTRUCTION

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1012 W CABARRUS STREET [1360 SF]

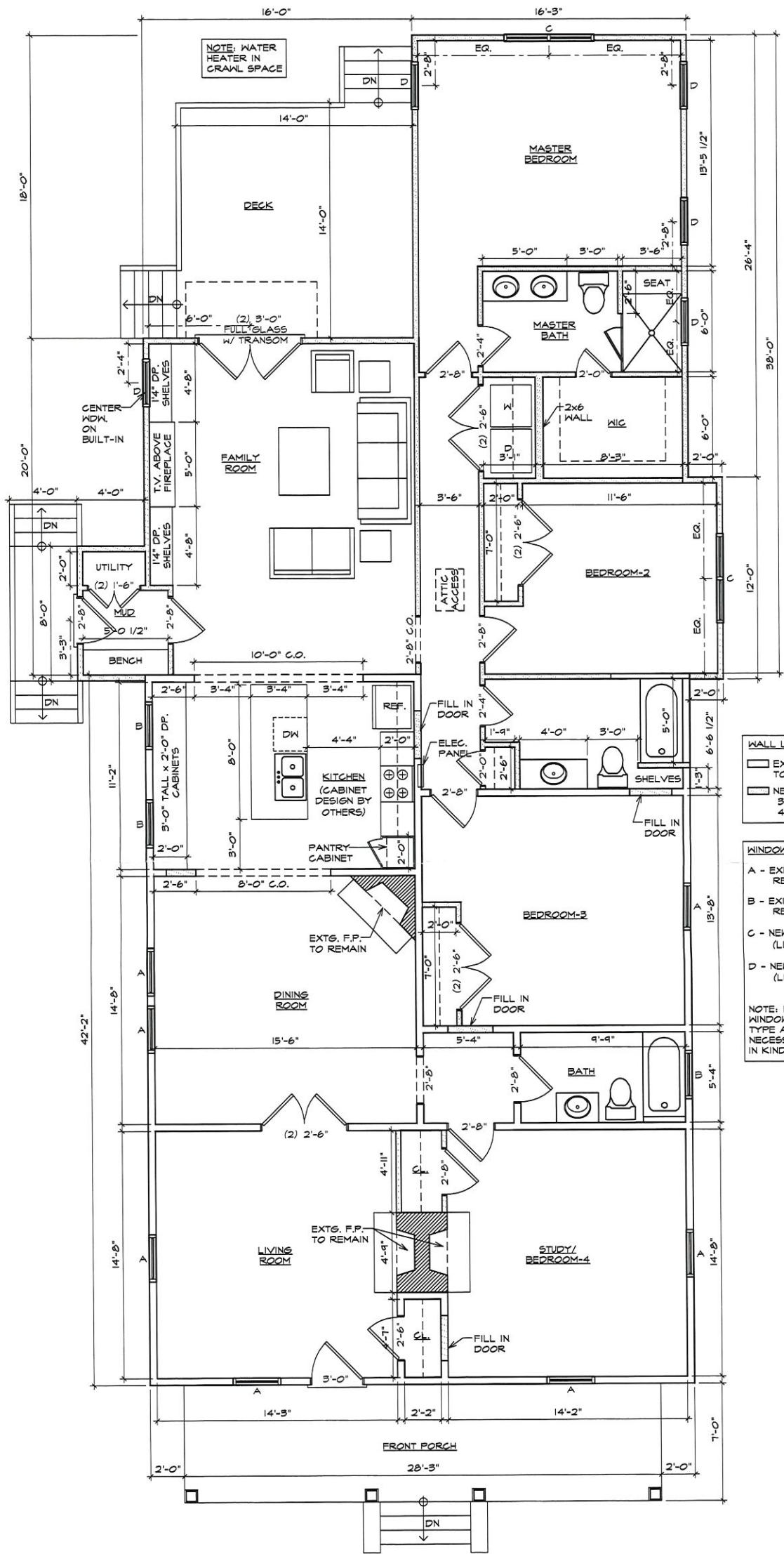
EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

7/13/2017

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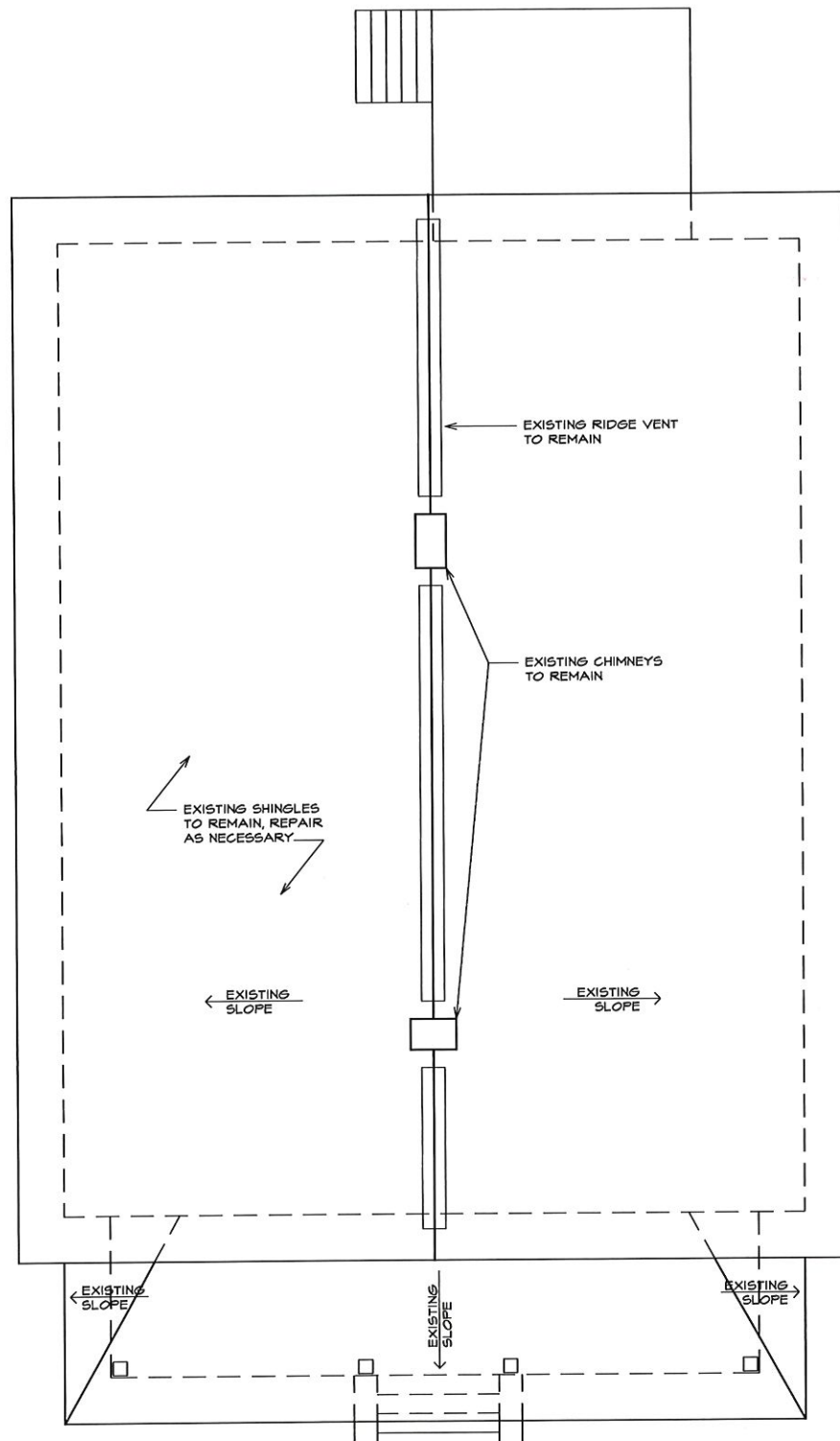
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1012 W CABARRUS STREET [2353 SF]
 PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"
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1012 W CABARRUS STREET

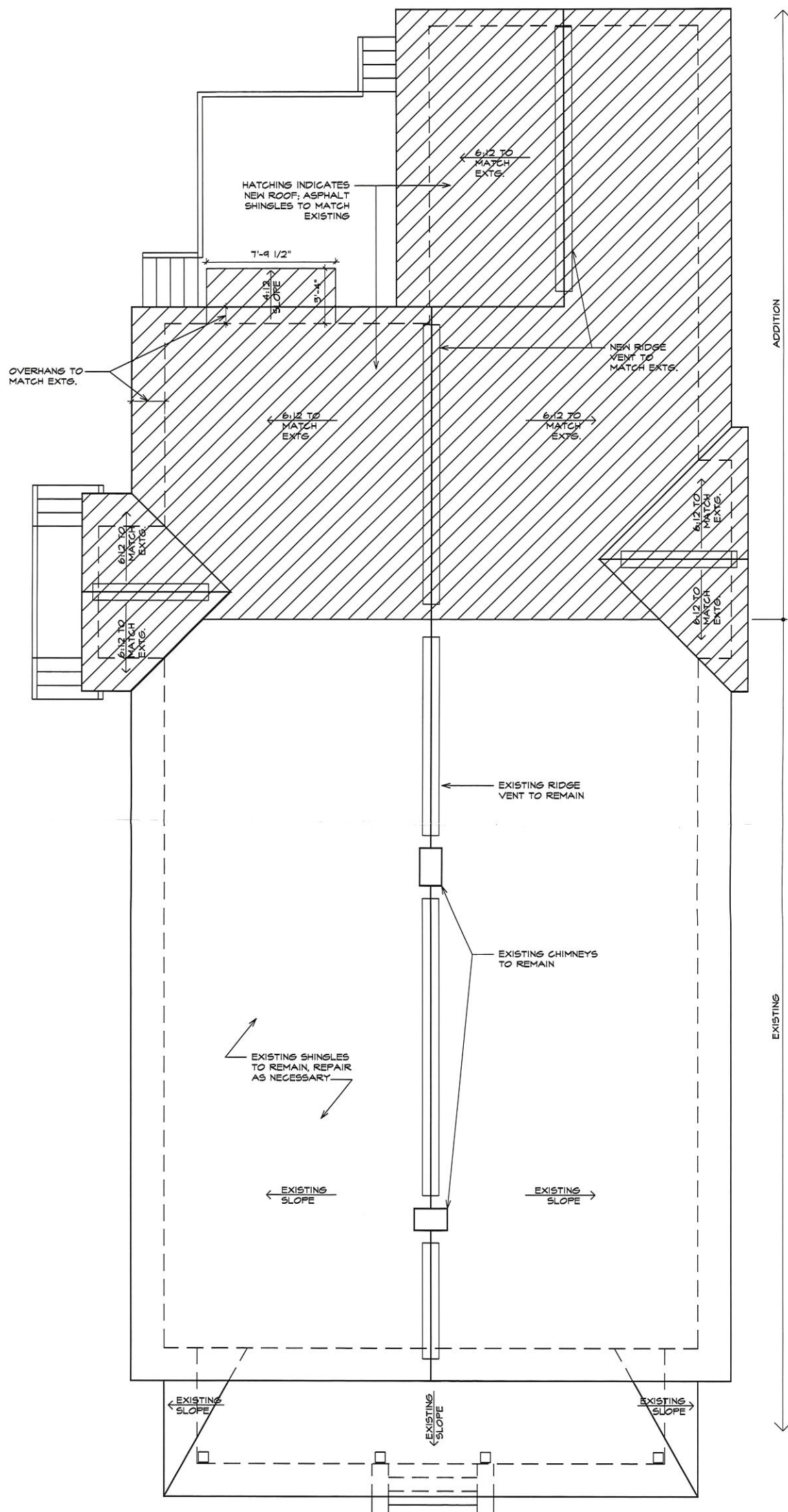
EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"

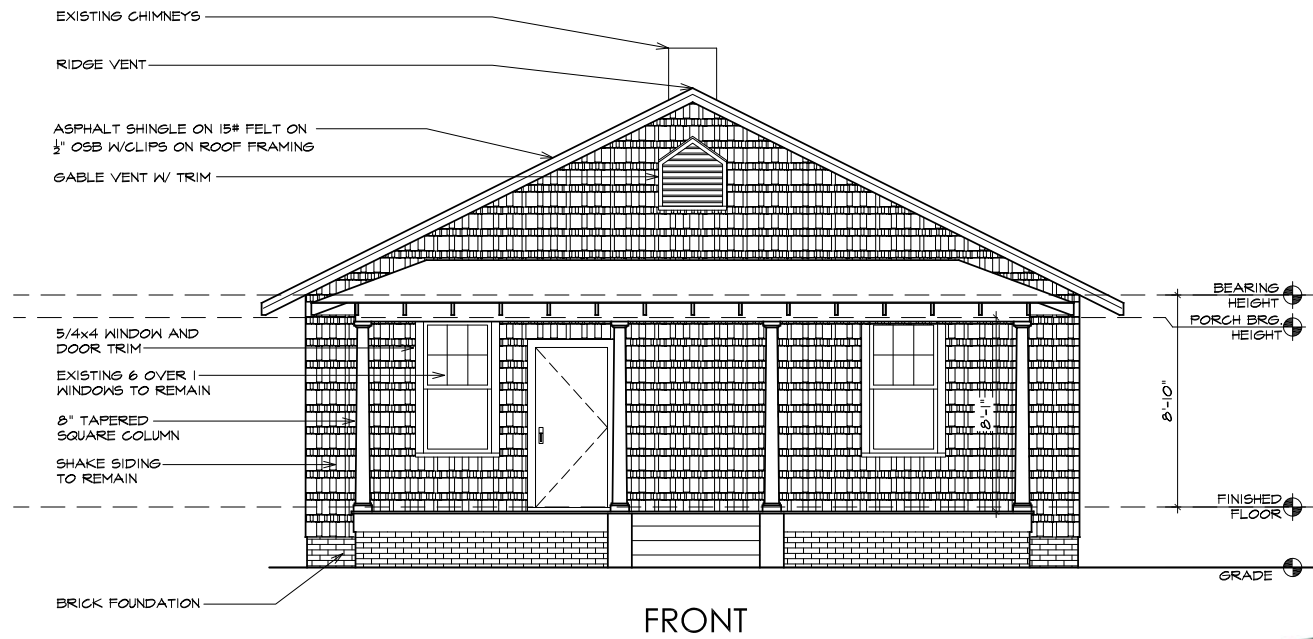
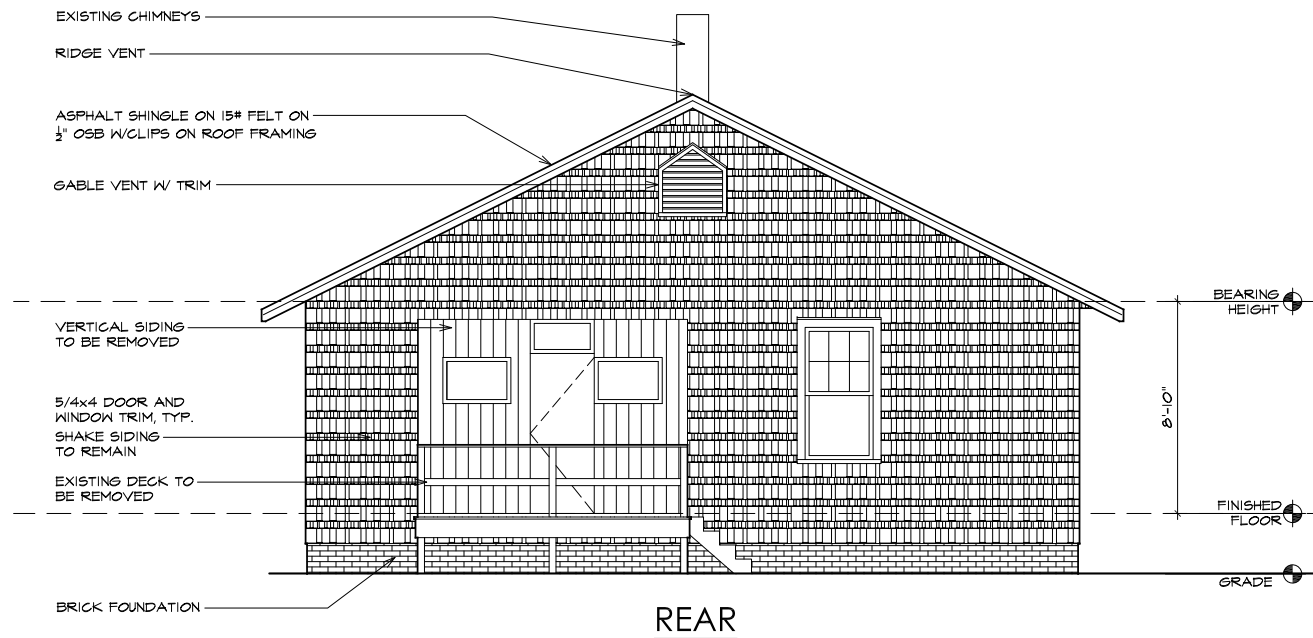
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1012 W CABARRUS STREET
 PROPOSED ROOF PLAN
 SCALE: 1/8" = 1'-0"
 7/13/2017



1012 W CABARRUS STREET

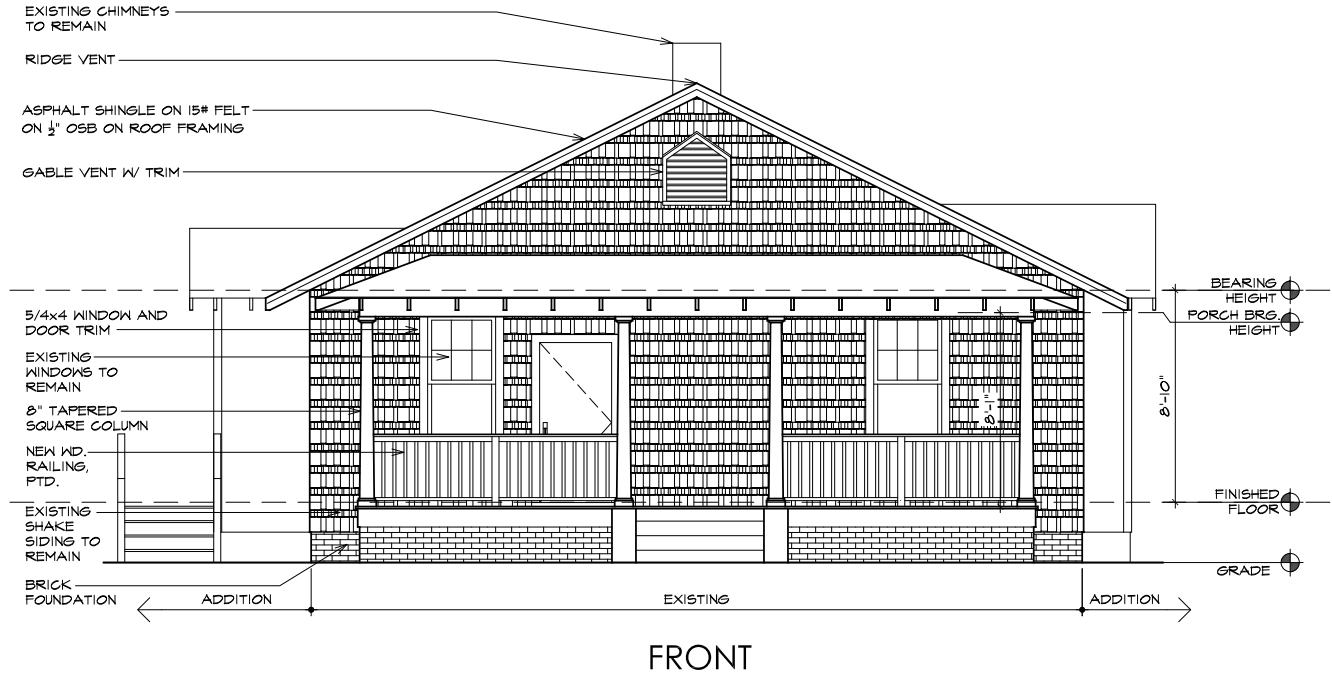
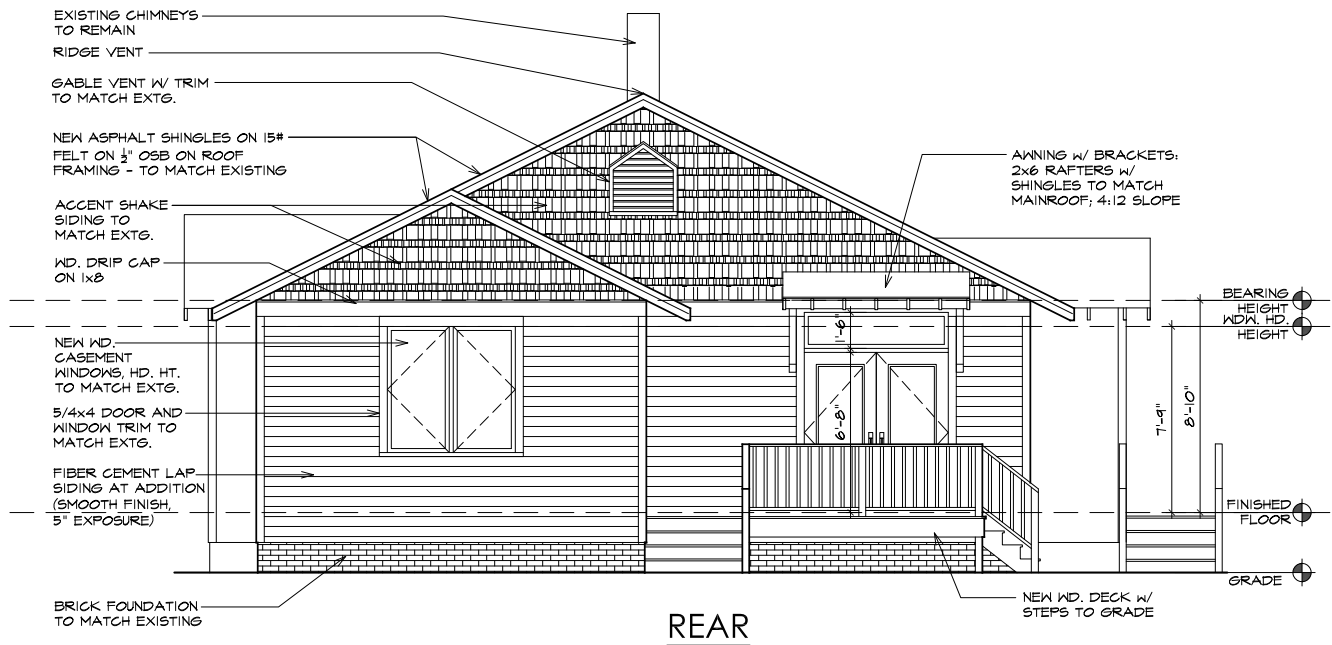
EXISTING ELEVATIONS

SCALE: 1/8" = 1'-0"

7/13/2017

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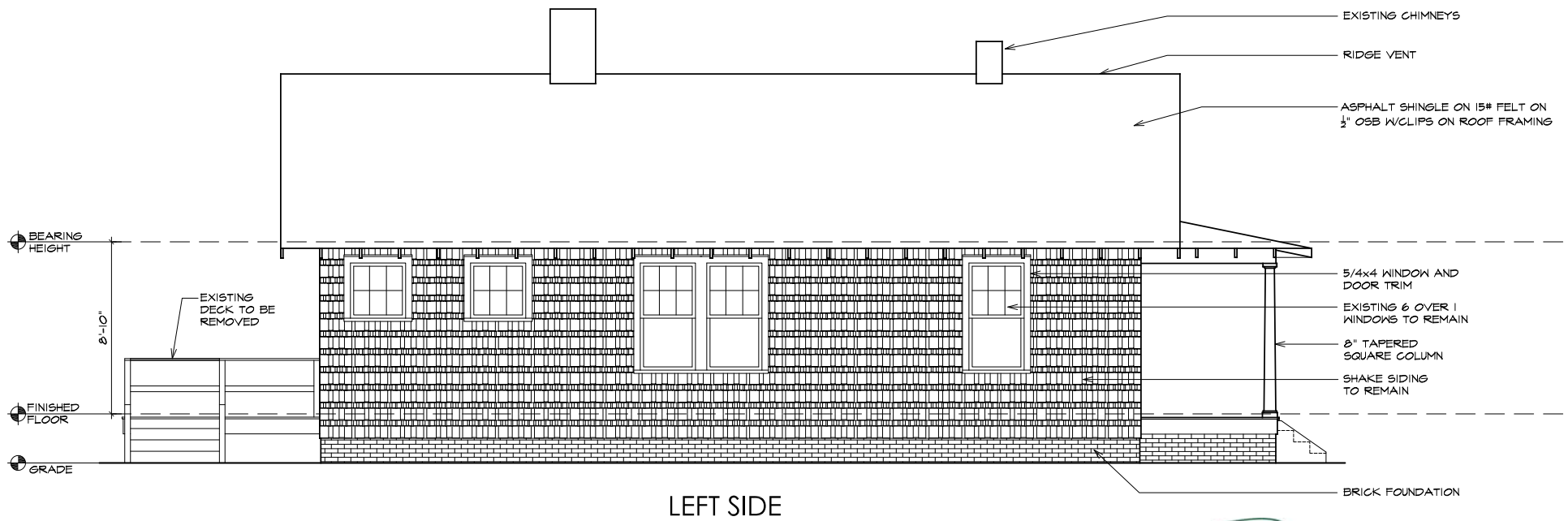
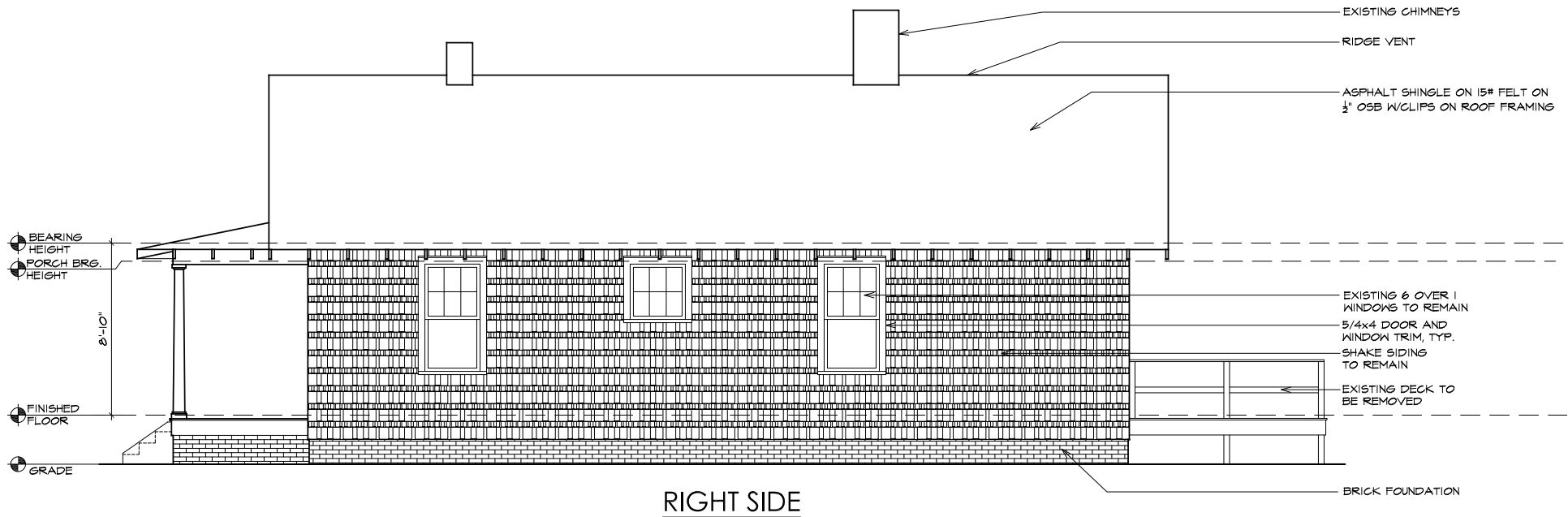
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1012 W CABARRUS STREET
 PROPOSED ELEVATIONS
 SCALE: 1/8" = 1'-0"
 7/13/2017

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1012 W CABARRUS STREET

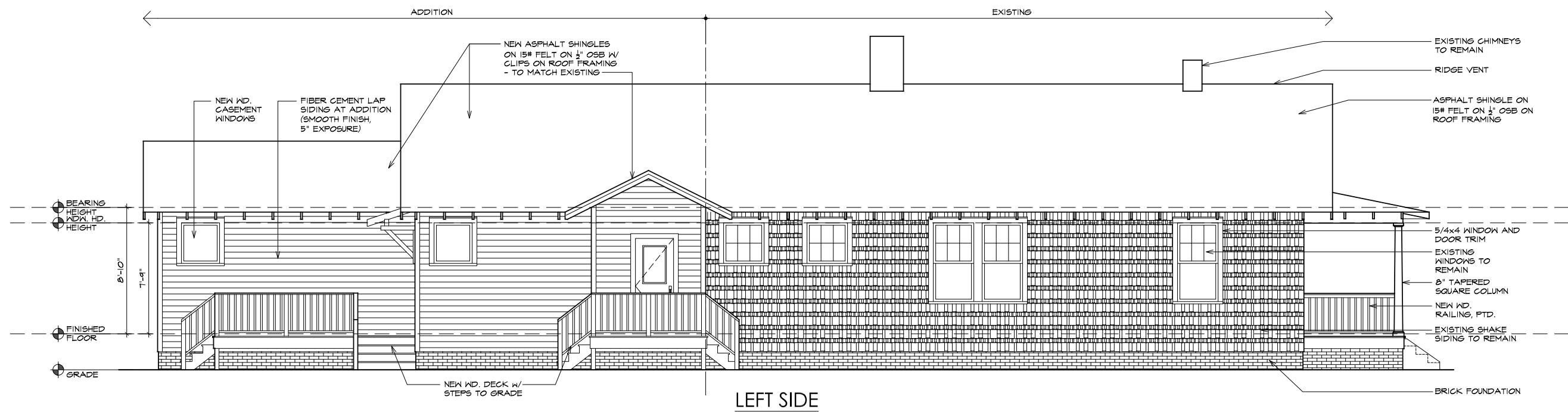
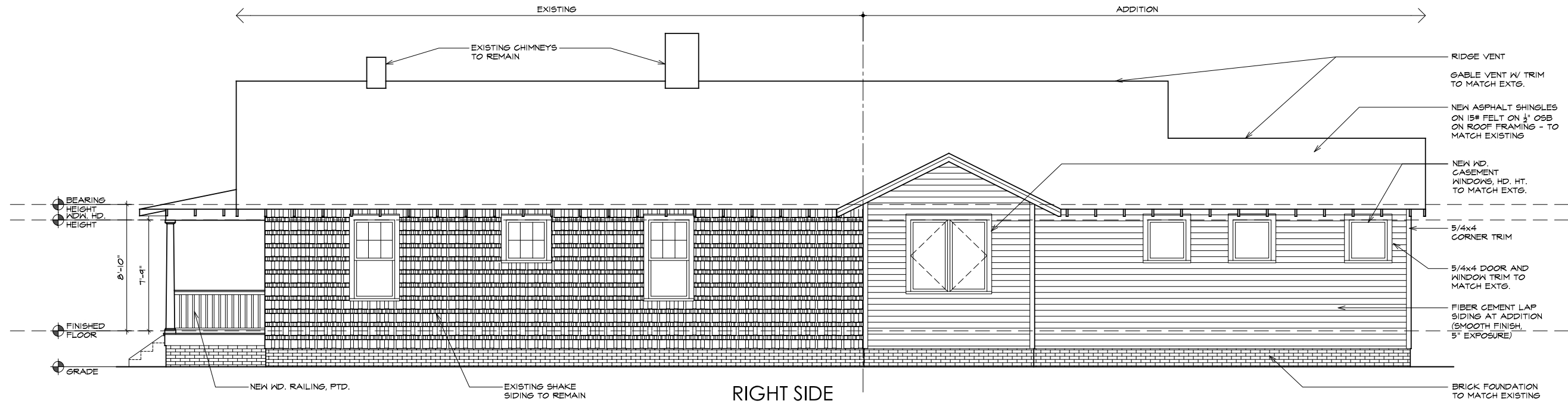
EXISTING ELEVATIONS

SCALE: 1/8" = 1'-0"

7/13/2017

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1012 W CABARRUS STREET
 PROPOSED ELEVATIONS
 SCALE: 1/8" = 1'-0"
 7/13/2017

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1012 W Cabarrus Street, Boylan Heights

Amendment to previously submitted Certificate of Appropriateness application:

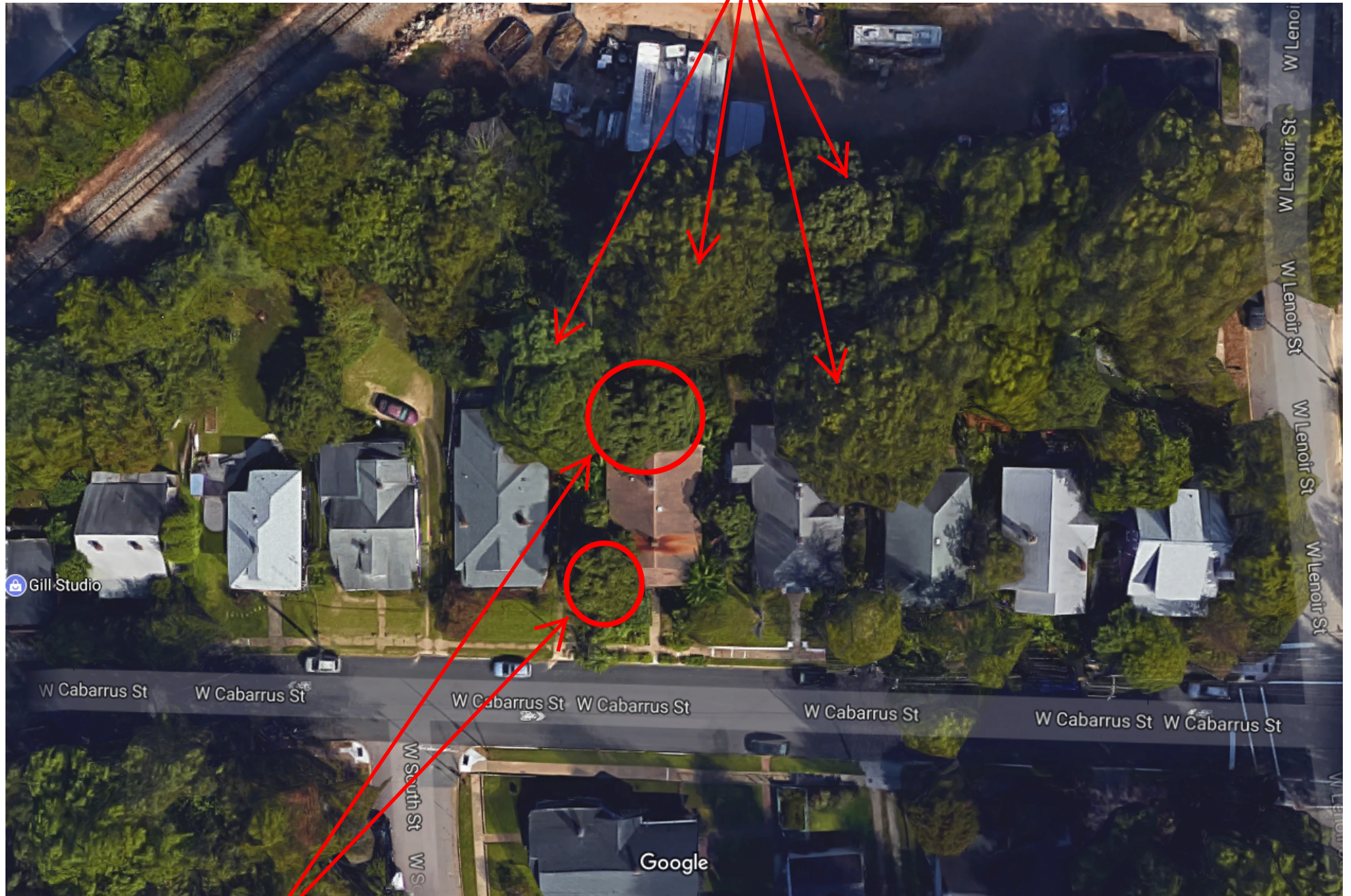
1. Lot coverage – existing built mass in relation to open space is 21%. With the proposed addition, the built mass in relation to open space is 34%, an increase of 13%. See attached comparison to other lots along the same block on W. Cabarrus. Other addresses along W Cabarrus range from 21% to 39% lot coverage.
2. The existing (and original) built mass including the front porch is 1558 square feet. The total built mass including the proposed addition is 2551 square feet, an increase of 64%.
3. See attached aerial depicting the existing tree canopy. The image indicates the two trees being requested to be removed, and the fact that they do not significantly change the overall tree canopy.
4. See attached photos of houses at 1010 W Cabarrus and 1016 W Cabarrus showing additions toward the rear of the houses that project outward from the main body of the houses, providing compatible context for the proposed addition at subject property.
5. A donation will be made to Neighborwoods for each of the two trees to be removed.
6. See attached drawing for clarification of the height and construction of the proposed fence.
7. Fence and deck will be stained; color to be submitted to staff for review and approval. All gate hardware to be black metal.
8. New roof shingles are now proposed for the entire existing roof, existing front porch roof, and addition roof. Manufacturer and color to be submitted to staff for review and approval.



Address	Lot Size	Footprint	Percentage	Compare to 1012 Cabarrus
1000 W Cabarrus	4504	1480	33%	1% lower
1002 W Cabarrus	4138	1622	39%	5% higher
1004 W Cabarrus	4109	1507	37%	3% higher
1010 W Cabarrus	7025	2042	29%	5% lower
1012 W Cabarrus	7500	2550	34%	
1014 W Cabarrus	7500	2175	29%	5% lower
1016 W Cabarrus	7400	1771	24%	10% lower
1100 W Cabarrus	6325	1315	21%	13% lower
1003 W Cabarrus	6720	1901	28%	6% lower
1030 W South	6331	2028	32%	2% lower
1033 W Cabarrus	4421	1511	34%	same
1103 W Cabarrus	3515	1247	35%	1% higher

LOT COVERAGE COMPARISONS

Summary: 1012 W Cabarrus including proposed addition has a 34% lot coverage. Other addresses along W Cabarrus range from 21% to 39% lot coverage.



Trees to be removed

1012 W. CABARRUS STREET



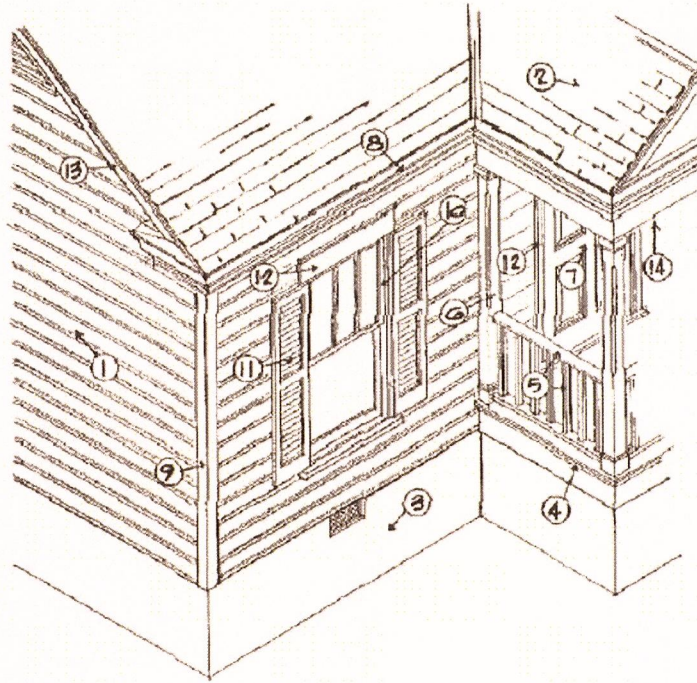
1010 W Cabarrus Street



1016 W Cabarrus Street

Compatible side additions that project from the main body of the houses

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



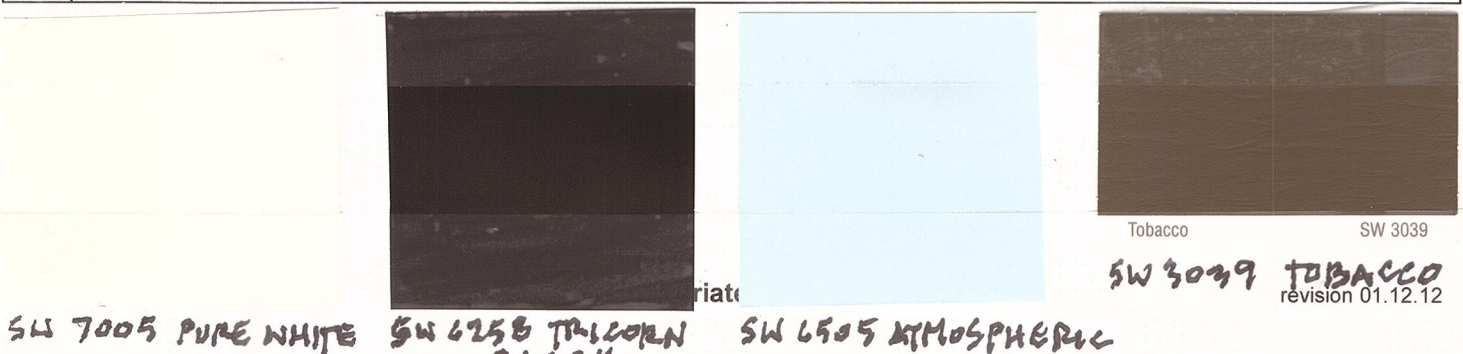
Applicant Meg and Gary Bullard

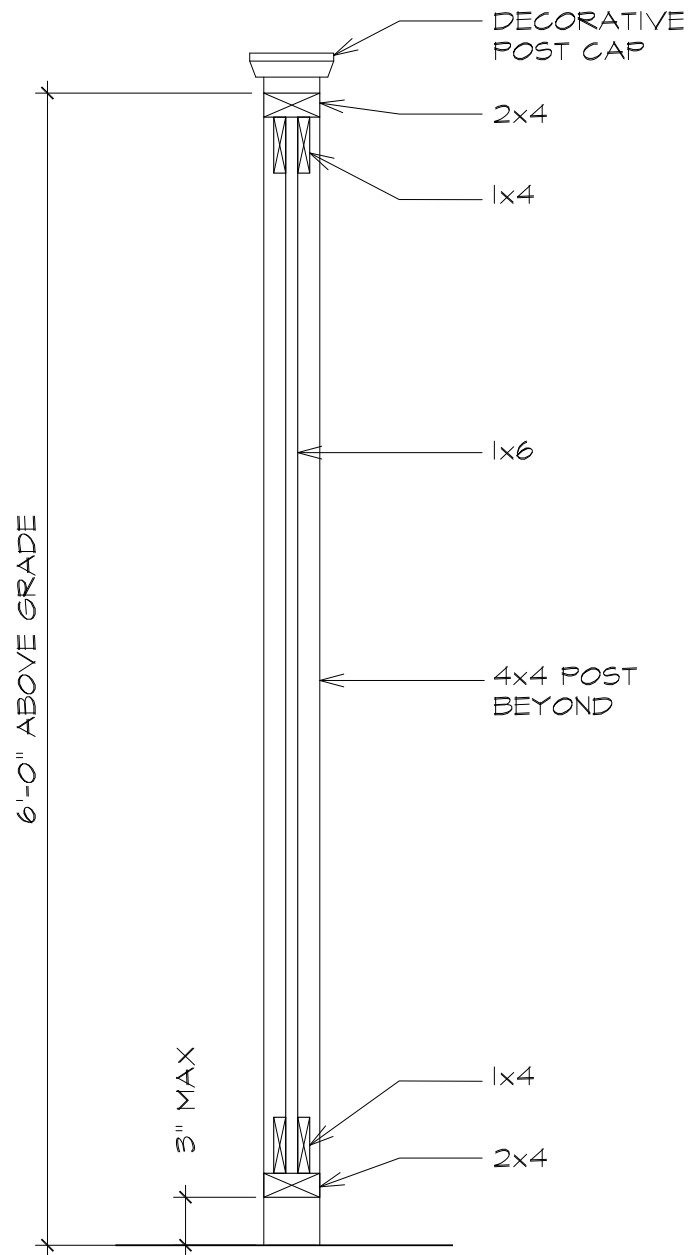
Address 1012 W. Cabarrus St, Raleigh, NC 27603

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

1	Body of House	SW 7005 Pure White
2	Roofing	Existing on existing house; new roofing on addition to match existing
3	Foundation	Existing unpainted brick on existing house; new brick on addition to match existing
4	Porch Floor	SW 3039 Tobacco
5	Railing	SW 7005 Pure White
6	Columns	SW 7005 Pure White
7	Entrance Door	SW 3039 Tobacco
8	Cornice	SW 7005 Pure White
9	Corner Boards	SW 7005 Pure White
10	Window Sash	SW 6258 Tricorn Black
11	Shutter	N/A
12	Door & Window Trim	SW 7005 Pure White
13	Rake	SW 7005 Pure White
14	Porch Ceiling	SW 6505 Atmospheric
15	Other	



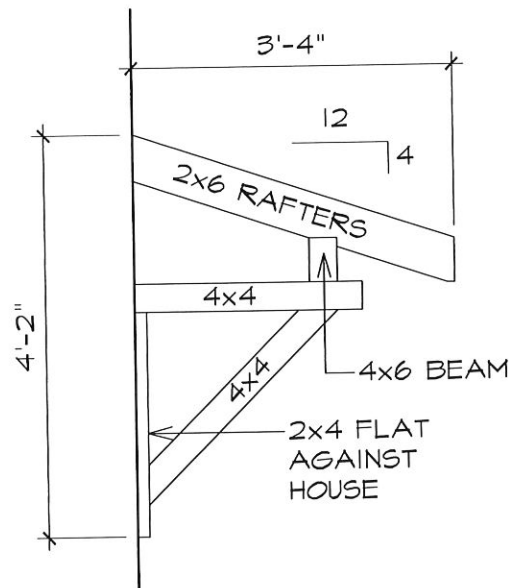


FENCE SECTION
1" = 1'-0"

1012 W CABARRUS STREET
PROPOSED DETAIL
8/8/2017

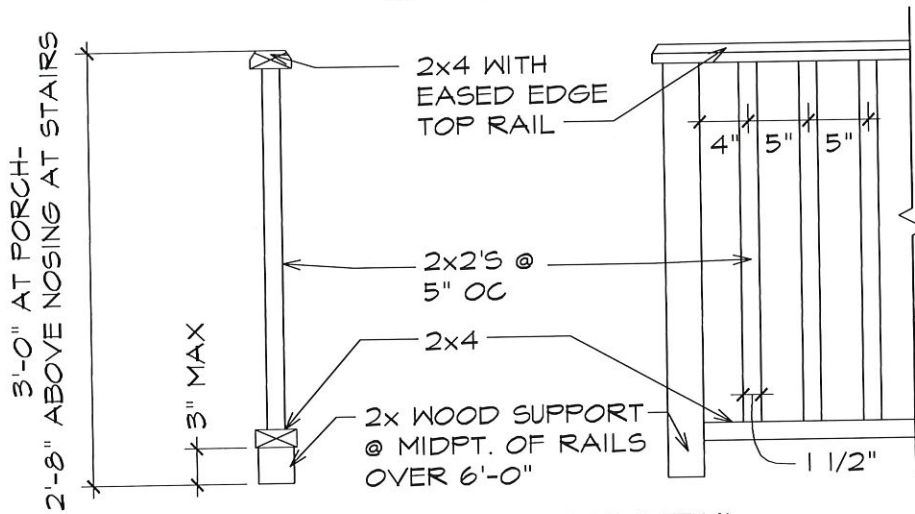
TightLines Designs
creating great places to live

115.5 E. Hargett St, Suite 300, Raleigh, NC 27601
919-834-3600 • www.tightlinesdesigns.com



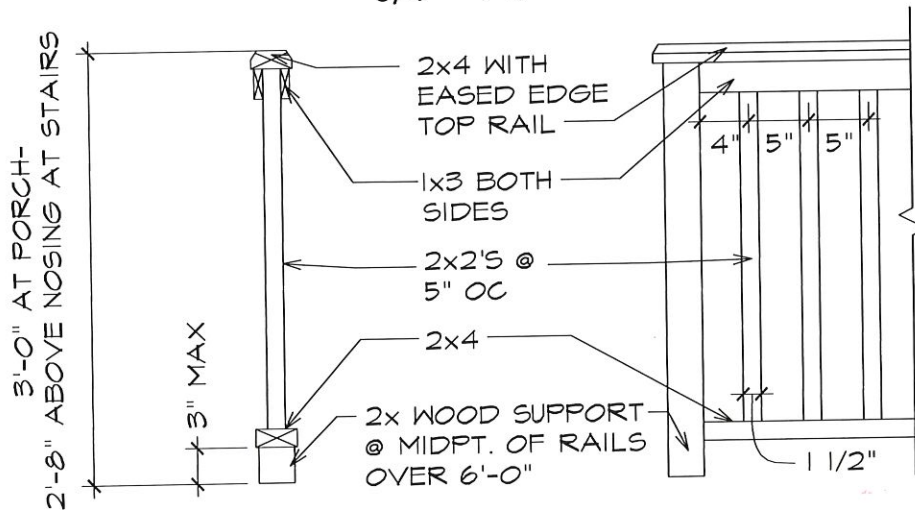
AWNING DETAIL

$1/2" = 1'-0"$



REAR & SIDE DECK: RAILING DETAIL

$3/4" = 1'-0"$



FRONT PORCH: RAILING DETAIL

$3/4" = 1'-0"$

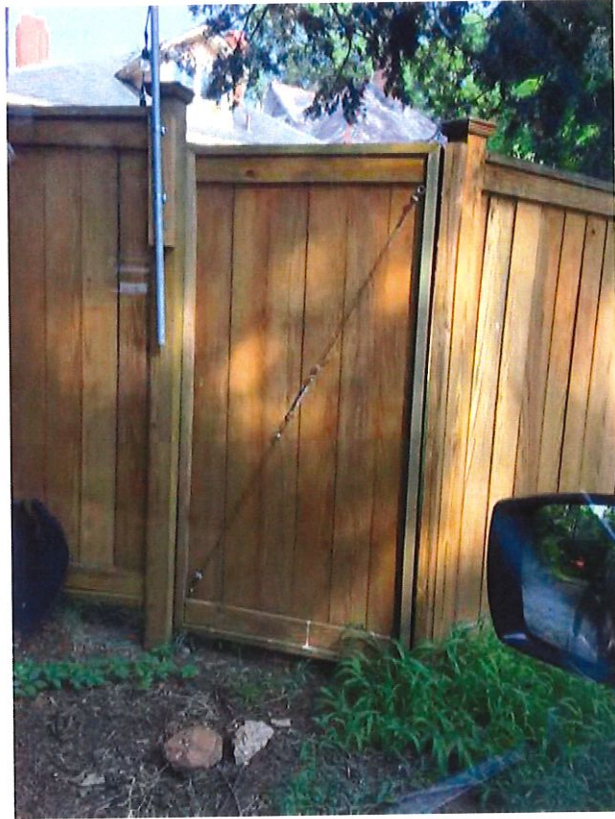
1012 W CABARRUS STREET

PROPOSED DETAILS

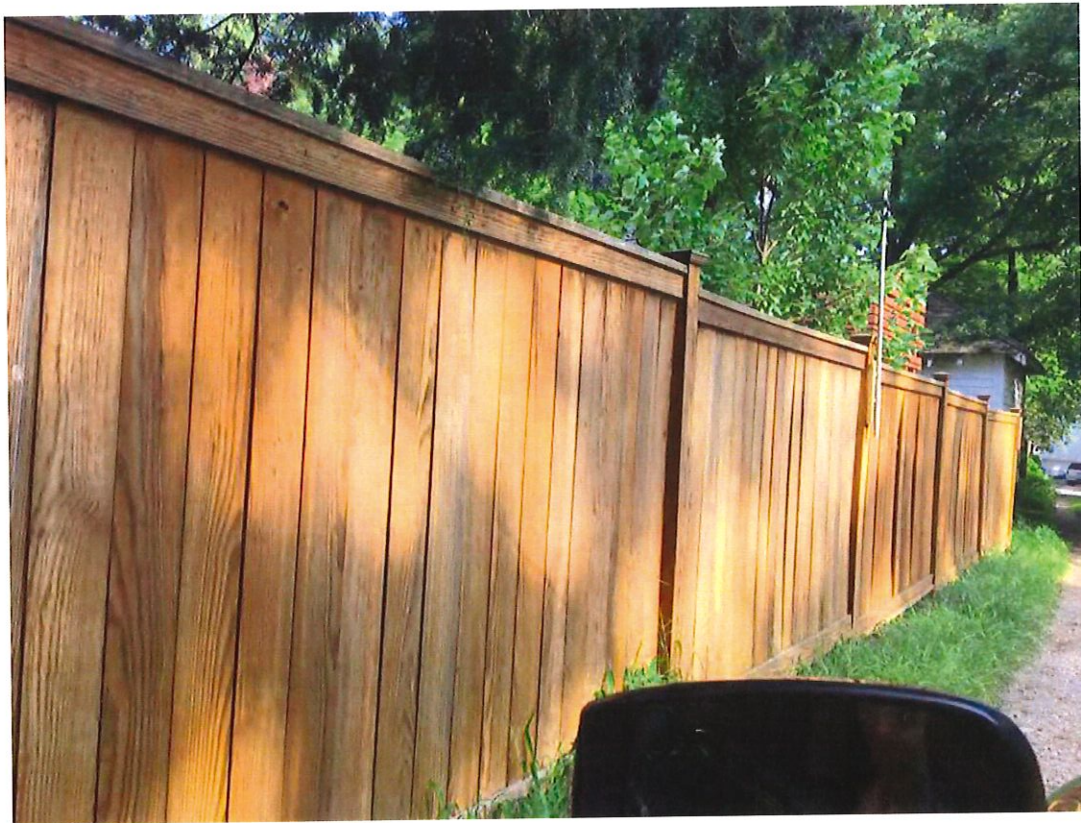
7/13/2017

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GATE




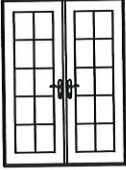
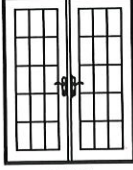
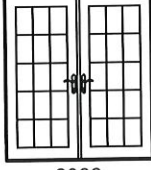
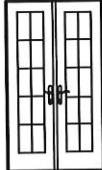
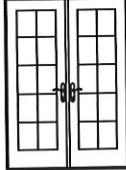
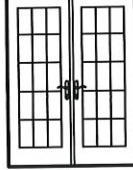
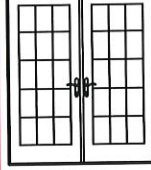
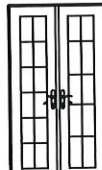
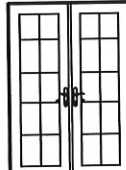
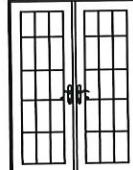
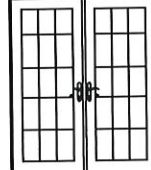
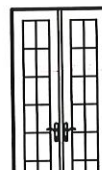
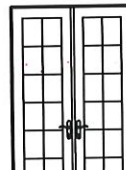
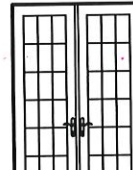
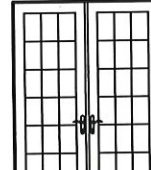
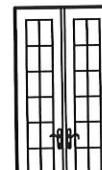
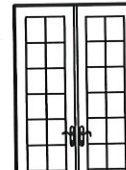
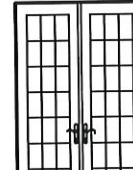
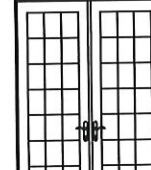
TYPICAL FENCE

1012 W. CABARRUS - PROPOSED FENCE DESIGN

(FROM 414 CUTLER STREET)

French Swing Patio Doors

NO GRILLES

Primed Unit Dimension					52 $\frac{7}{16}$ "	64 $\frac{7}{16}$ "	68 $\frac{7}{16}$ "	76 $\frac{7}{16}$ "
Rough Opening					50 $\frac{7}{16}$ "	62 $\frac{7}{16}$ "	66 $\frac{7}{16}$ "	74 $\frac{7}{16}$ "
Frame					49 $\frac{15}{16}$ "	61 $\frac{1}{16}$ "	65 $\frac{15}{16}$ "	73 $\frac{15}{16}$ "
Glass					14 $\frac{15}{16}$ "	20 $\frac{15}{16}$ "	22 $\frac{15}{16}$ "	26 $\frac{15}{16}$ "
LS Glass					17 $\frac{15}{16}$ "	23 $\frac{15}{16}$ "	25 $\frac{15}{16}$ "	29 $\frac{15}{16}$ "
80 $\frac{1}{16}$ "	83 $\frac{1}{16}$ "	87 $\frac{1}{16}$ "	98 $\frac{1}{16}$ "	111 $\frac{1}{16}$ "				
					4066	5066	5466	6066
79 $\frac{1}{16}$ "	82 $\frac{1}{16}$ "	86 $\frac{1}{16}$ "	98 $\frac{1}{16}$ "	110 $\frac{1}{16}$ "				
					4068	5068	5468	6068
68"	72 $\frac{1}{16}$ "	76 $\frac{1}{16}$ "	84 $\frac{1}{16}$ "	96 $\frac{1}{16}$ "				
					4070	5070	5470	6070
N/A	72 $\frac{1}{16}$ "	76 $\frac{1}{16}$ "	84 $\frac{1}{16}$ "	96 $\frac{1}{16}$ "				
					4080	5080	5480	6080
								
					4090	5090	5490	6090

Unit Dimension given for primed In-Swing units only. Out-Swing $\frac{3}{8}$ " larger in width and $\frac{3}{16}$ " larger in height.
Clad Unit Dimension is identical to Frame Size





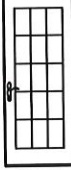
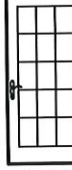

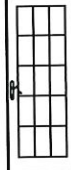

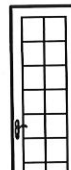
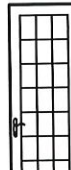
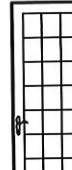
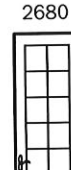
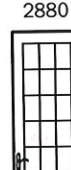
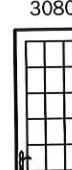
Masonry Opening: Recommended minimum of Unit or Frame Dimension plus $\frac{1}{4}$ "

Standard lite division depicted on single doors

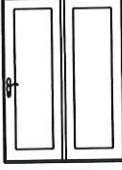


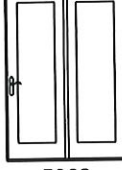

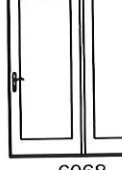
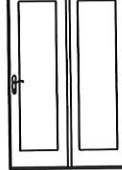

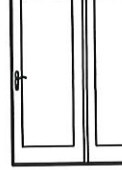
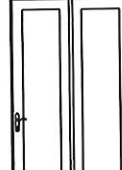
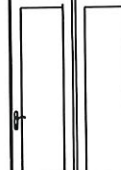
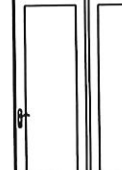
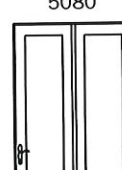
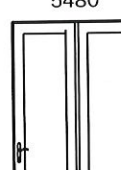
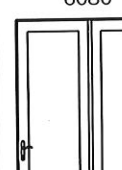
Swing doors are available as in-swing or out-swing.

Lifestyle Panels (LS) are built with larger glass in width and height. Elevations shown are not representative of correct stile & rail dimensions.

Single Swing Patio Doors

Primed Unit Dimension		34"	36"	40"
Rough Opening		31 7/8"	33 7/8"	37 7/8"
Frame		31 3/8"	33 3/8"	37 3/8"
Glass		20 15/16"	22 15/16"	26 15/16"
LS Glass		23 13/16"	25 13/16"	29 13/16"
HALF GLASS, NO GRILLES				
80 1/8"				
	2666	2866	3066	
83 1/8"				
	2668	2868	3068	
87 1/8"				
	2670	2870	3070	
99 1/8"				
	2680	2880	3080	
111 1/8"				
	2690	2890	3090	

2-Wide Swing Patio Doors

Primed Unit Dimension		64 7/8"	68 7/8"	76 7/8"
Rough Opening		62 7/8"	66 7/8"	74 7/8"
Frame		61 15/16"	65 15/16"	73 15/16"
Glass		20 15/16"	22 15/16"	26 15/16"
LS Glass		23 13/16"	25 13/16"	29 13/16"
80 1/8"				
	5066	5466	6066	
83 1/8"				
	5068	5468	6068	
87 1/8"				
	5070	5470	6070	
99 1/8"				
	5080	5480	6080	
111 1/8"				
	5090	5490	6090	

Unit Dimension given for wood In-Swing units only. Wood Out-Swing unit dimensions 3/8" larger in width and 3/16" larger in height.

Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus 1/4"



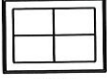
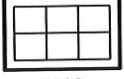
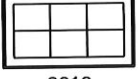
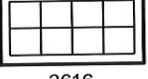
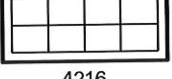


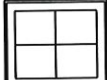
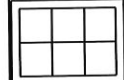
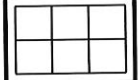
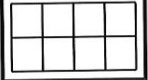



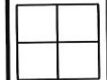
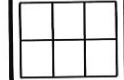
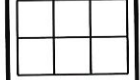
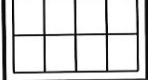
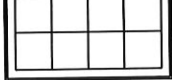

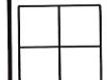
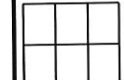



Standard lite division depicted on single panel

Lifestyle Panels (LS) are built with larger glass in width and height. Elevations shown are not representative of correct stile & rail dimensions.

TECHNICAL DATA: ELEVATIONS

1012 W CABARRUS ST.

Awning Single Unit Elevations

<div> <div>Primed Unit Dimension</div> <div>Rough Opening</div> <div>Frame</div> <div>Glass</div> </div>	23 $\frac{13}{16}$ "	27 $\frac{13}{16}$ "	31 $\frac{13}{16}$ "	35 $\frac{13}{16}$ "	39 $\frac{13}{16}$ "	43 $\frac{13}{16}$ "	49 $\frac{13}{16}$ "
	21 $\frac{1}{2}$ "	25 $\frac{1}{2}$ "	29"	33"	37"	41"	47"
	21"	25"	29"	33"	37"	41"	47"
	16"	20"	24"	28"	32"	36"	42"
22 $\frac{1}{8}$ "	 1616	 2016	 2416	 2816	 3216	 3616	 4216
26"	 1620	 2020	 2420	 2820	 3220	 3620	 4220
28 $\frac{1}{8}$ "	 1622	 2022	 2422	 2822	 3222	 3622	 4222
30 $\frac{1}{8}$ "	 1624	 2024	 2424	 2824	 3224	 3624	 4224

Unit Dimension given for primed units only.

Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus $\frac{1}{4}$ "

Custom size, installed over rear patio doors (see elevations), no grilles: 72" width, 18" height

Unit Dimension given for primed units only

Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus $\frac{1}{4}$ "

Awning Oversize

<div> <div>Primed Unit Dimension</div> <div>Rough Opening</div> <div>Frame</div> <div>Glass</div> </div>	39 $\frac{13}{16}$ "	43 $\frac{13}{16}$ "
	37 $\frac{1}{2}$ "	41 $\frac{1}{2}$ "
	37"	41"
	32"	36"
38 $\frac{1}{8}$ "	 3232	 3632
40 $\frac{1}{8}$ "	 3234	 3634
42 $\frac{1}{8}$ "	 3236	 3636



Minimum and Maximums

LINCOLN WOOD PRODUCTS, INC.

Casements - Operating

- Minimum Glass Size of 10 x 12
- Maximum Glass Size 32 x 79
- Push Out Casement Minimum Glass Size of 10 x 16
- Push Out Casement - Minimum Height = 21" Glass for Wood Screen Option
- 8:1 glass ratio must be tempered

Casement - Stationary

- Minimum Glass size of 8 x 8
- Maximum Glass Size of 96 x 72 - Cannot be larger in width or height

Custom:
72" width
18" height

Note: 48 square feet maximum for I.G., tempered and low-E double pane glass. Units that exceed 48 x 48 will be made with 1" glass

Note: 38 square feet maximum for single pane 1 lite units

- 38 square feet maximum for wood single pane TDL units
- 48 square feet maximum for wood double pane TDL units.
- 8:1 glass ratio must be tempered

Casement Bow / Bay Windows

- U.D. width not to exceed 144"

Casement Transoms

- Maximum glass width of 96" when used over a casement studio unit
- 28" 3 wide is the largest 1 lite transom (94" Glass) used over mulled units - Glass width larger than 96" will be a multiple unit
- 8:1 glass ratio must be tempered

Operating Awnings

- Minimum Glass Size of 12 x 12
- Maximum Glass Size of 48 x 48
- Push Out Awning - 16 x 12

Note: Units larger than 36 x 36 must be disclaimed - No Warranty for Operation or Performance

Double Hung/Single Hung/Lincoln Fit

- Minimum Glass Size of 12 x 12
- DH Maximum Glass Size of 40 x 42 - Wide Rail
- DH Maximum Glass Size of 40 x 43-1/16 - Narrow Rail

Replacement Kit

- Minimum Glass Size of 16 x 12
- Maximum Glass Size of 40 x 36

Double Hung Style Transom

- Minimum Glass Size of 8 x 12
- Maximum Glass Size of 40 x 22
- 8:1 glass ratio must be tempered

Casement Style Double Hung Transom

- Maximum Glass Size of 96-3/8" when used over a double hung studio unit
- 28" 3 wide is the largest 1 lite transom (95-1/4" Glass) used over mulled units - Glass width larger than 96" will be a multiple unit
- 8:1 glass ratio must be tempered

Double Hung Studio / Lincoln Fit DH Studio

- Minimum Glass Size of 9-3/8 x 26 - Lincoln Studio
- Minimum Glass Size of 10 x 25-1/8" - WV Studio
- Maximum Glass Size of 96-1/2 x 74 or 83 x 86
- Minimum Glass size of 8" x 8" - Lincoln Fit Studio
- Maximum Glass Size of 96 x 85-5/8 - Lincoln Fit Studio **Note:** 49 square feet maximum for I.G., Tempered and Low-E double pane glass **Note:** 38 square feet maximum for single pane 1 lite units
- 38 square feet maximum for wood single pane TDL units
- 48 square feet maximum for wood double pane TDL units
- 8:1 glass ratio must be tempered

Double Gliders

- Minimum Glass Size of 12 x 12
- Maximum Glass Size of 32-1/8 x 54

Note: Units larger than 32 x 48 must disclaimed - No Warranty for Operation or Performance

Triple Gliders

- Minimum Glass Size of 16/32/16 x 24
- Maximum Glass Size of 24/48/24 x 54

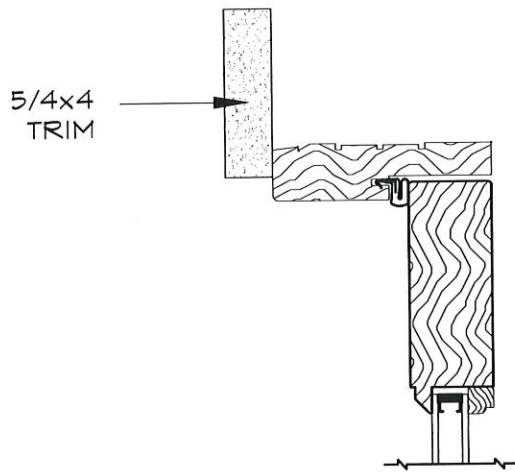
Slide Door

- Minimum Glass Size of 7-9/16" x 36" (Stationary)
- Minimum Glass Size of 25" x 36" (Narrow Stile - Operating)
- Minimum Glass Size of 21-5/8" x 36" (Wide Stile - Operating)
- Maximum Glass Size of 43" x 89-7/8" **Note:** All door glass is tempered

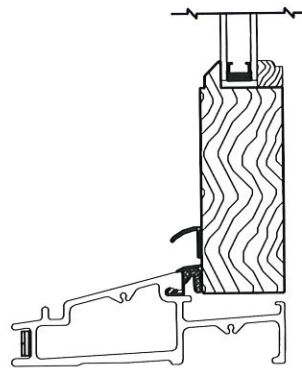
Slide Door Transoms

- 9/0 Full size (112-13/16" glass) is the largest 1 lite unit that will be made. Glass width larger than 112-13/16" will be a multiple unit.
- 8:1 glass ratio must be tempered

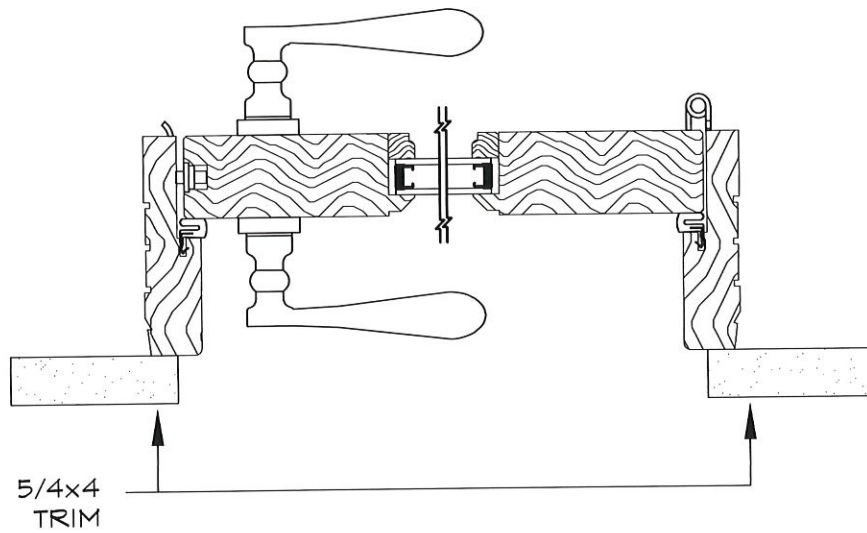
Note: Local code may require transom glass to be tempered



TYPICAL HEAD DETAIL - DOOR



TYPICAL SILL DETAIL - DOOR



TYPICAL JAMB DETAIL - DOOR

1012 W CABARRUS STREET

PROPOSED DOOR DETAILS

SCALE: 3" = 1'-0"

7/13/2017

TightLines Designs
creating great places to live

115.5 E. Hargett St. Suite 300, Raleigh, NC 27601
919-834-3600 • www.tightlinesdesigns.com

Casement Single Unit Elevations

Unit Dimension given for primed units only

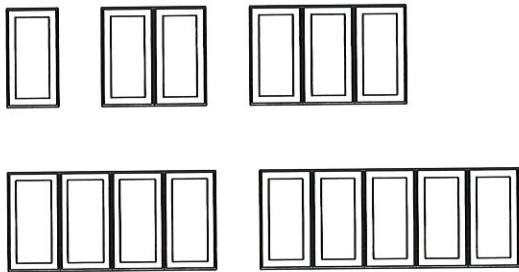
Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus $\frac{1}{4}$ "

Shaded units meet UBC egress codes (5.7 sq. ft., 20" width, 24" height minimum) in standard 6'10" header application

Note: 2" Sill Nosing Option adds $\frac{1}{2}$ " to Rough Opening Height.

Casement Multiple Unit Elevations



CASEMENT MULTIPLE UNIT FORMULA

Multiple unit Frame Dimension equals the sum of the individual Frame Dimension

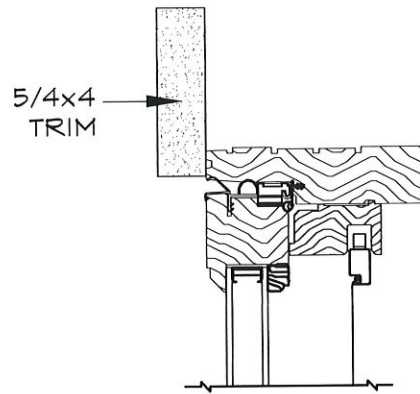
Multiple unit Rough Opening equals the sum of the individual Frame Dimension plus $\frac{1}{2}$ "

Clad Unit Dimension – Same as Multiple Unit Frame Dimension

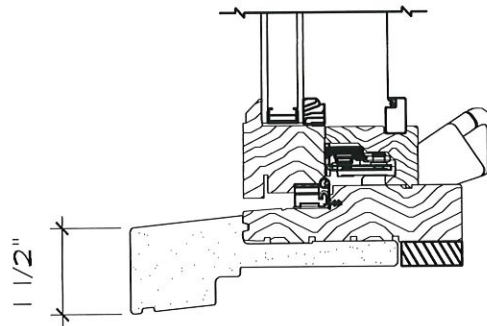
Primed multiple Unit Dimension equals the sum of the total rough opening plus $2\frac{1}{2}$ " in width and the total rough opening plus $1\frac{1}{2}$ " in height

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus $\frac{1}{4}$ "

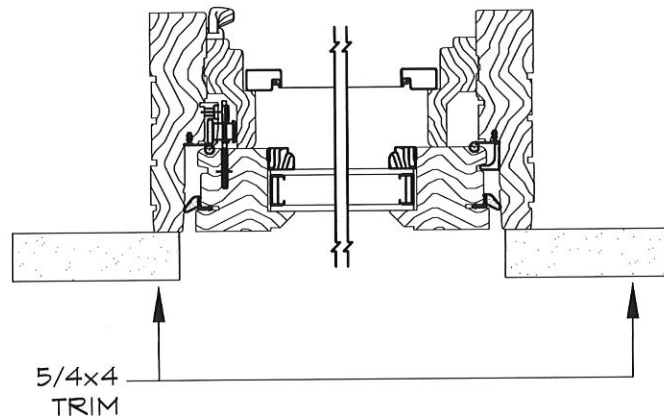
	Primed Unit Dimension					
	Rough Opening					
	Frame					
	Glass					
	19 $\frac{1}{16}$ "	23 $\frac{1}{16}$ "	27 $\frac{1}{16}$ "	31 $\frac{1}{16}$ "	35 $\frac{1}{16}$ "	39 $\frac{1}{16}$ "
	17 $\frac{1}{2}$ "	21 $\frac{1}{2}$ "	25 $\frac{1}{2}$ "	29 $\frac{1}{2}$ "	33 $\frac{1}{2}$ "	37 $\frac{1}{2}$ "
	17"	21"	25"	29"	33"	37"
	12"	16"	20"	24"	28"	32"
	NO GRILLES					
1228	1628	2028	2428	2828	3228	
1234	1634	2034	2434	2834	3234	
1236	1636	2036	2436	2836	3236	
1242	1642	2042	2442	2842	3242	
1248	1648	2048	2448	2848	3248	
1254	1654	2054	2454	2854	3254	
1260	1660	2060	2460	2860	3260	
1268	1668	2068	2468	2868	3268	
1272	1672	2072	2472	2872	3272	
1279	1679	2079	2479	2879	3279	



TYPICAL HEAD DETAIL - WINDOW



TYPICAL SILL DETAIL - WINDOW



TYPICAL JAMB DETAIL - WINDOW

1012 W CABARRUS STREET

PROPOSED WINDOW DETAILS

SCALE: 3" = 1'-0"

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