



This document is a graphic representation only, created from the best available sources. The City of Raleigh assumes no responsibility for any errors, or misuse of this document.

144-16-CA

233 S WILMINGTON STREET

MOORE SQUARE HISTORIC DISTRICT (GENERAL)

0 25 50 100 Feet



Nature of Project: Install metal fence and gate at parking deck entrance.

APPLICANT: CITY OF RALEIGH,
JOHN M. WYNN



Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - All Other
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 485847

File # 144-16-CA

Fee N/A

Amount Paid N/A (COR)

Received Date 9/2/16

Received By ACH

Property Street Address 233 S. Wilmington St.

Historic District Moore Square

Historic Property/Landmark name (if applicable) N/A

Owner's Name City of Raleigh

Lot size 305' X 422' Irr. (width in feet) 422 (depth in feet) 305

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant John M. Wynn

Mailing Address 421 S. Fayetteville St. #210

City Raleigh

State N.C.

Zip Code 27601

Date August 22, 2016

Daytime Phone 919-996-3999

Email Address john.wynn@raleighnc.gov

Applicant Signature

Digitally signed by John Wynn

Date: 2016.08.22 17:59:20 -04'00'

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes No

Office Use Only

Type of Work _____

36

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.4.8	New Fences	The P1 sub-grade level of the Moore Square Parking Deck is accessed from Wilmington Street by stairs located between the vehicle exit drive from P1, and the Busy Bee Cafe. A commercial-grade fence and door/gate constructed of T5 alloy, finished in black with an advanced powder coating process is proposed for the front and south perimeter of the stairs. The gate will be equipped with a mechanical lock which can be opened with a 4-digit code to be provided only to those who park in the P1 level. The 96" height is required as a safety measure to prevent injuries to trespassers attempting to climb over a fence of less height.
2.4.11	Fences taller than 42"	
		The purpose of the fence is to deny access to stairs except to customers which park in the P1 level. The entrance area at street level has been used to stage garbage/trash bins belonging to the Busy Bee Cafe, and the stairwell base and surrounding area is often used as a bathroom and for other unwanted activity by bar customers.

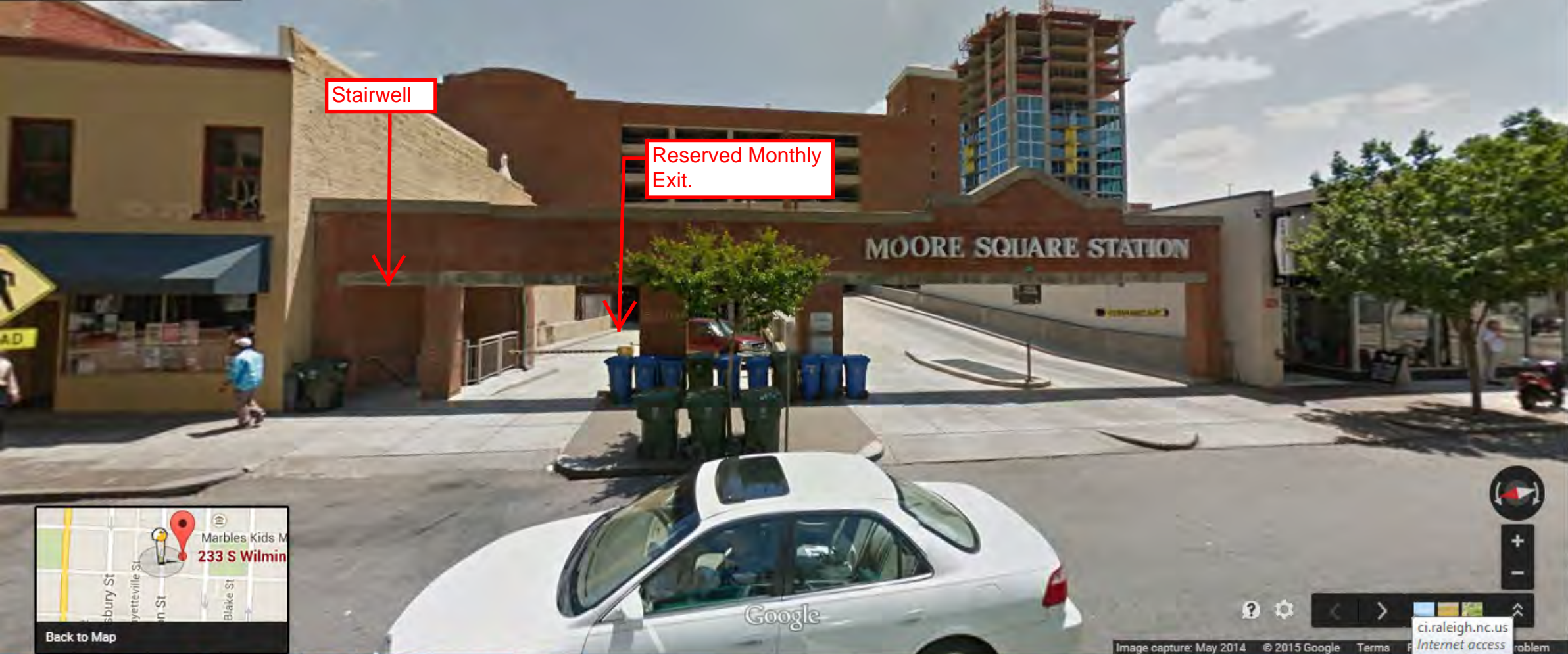
Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ **Date** _____

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 13 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input type="checkbox"/>				
3. Photographs of existing conditions are required.	<input type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

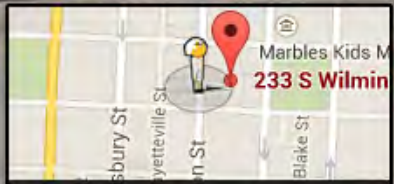
S Wilmington St
Raleigh, North Carolina
Street View - May 2014



Stairwell

Reserved Monthly Exit.

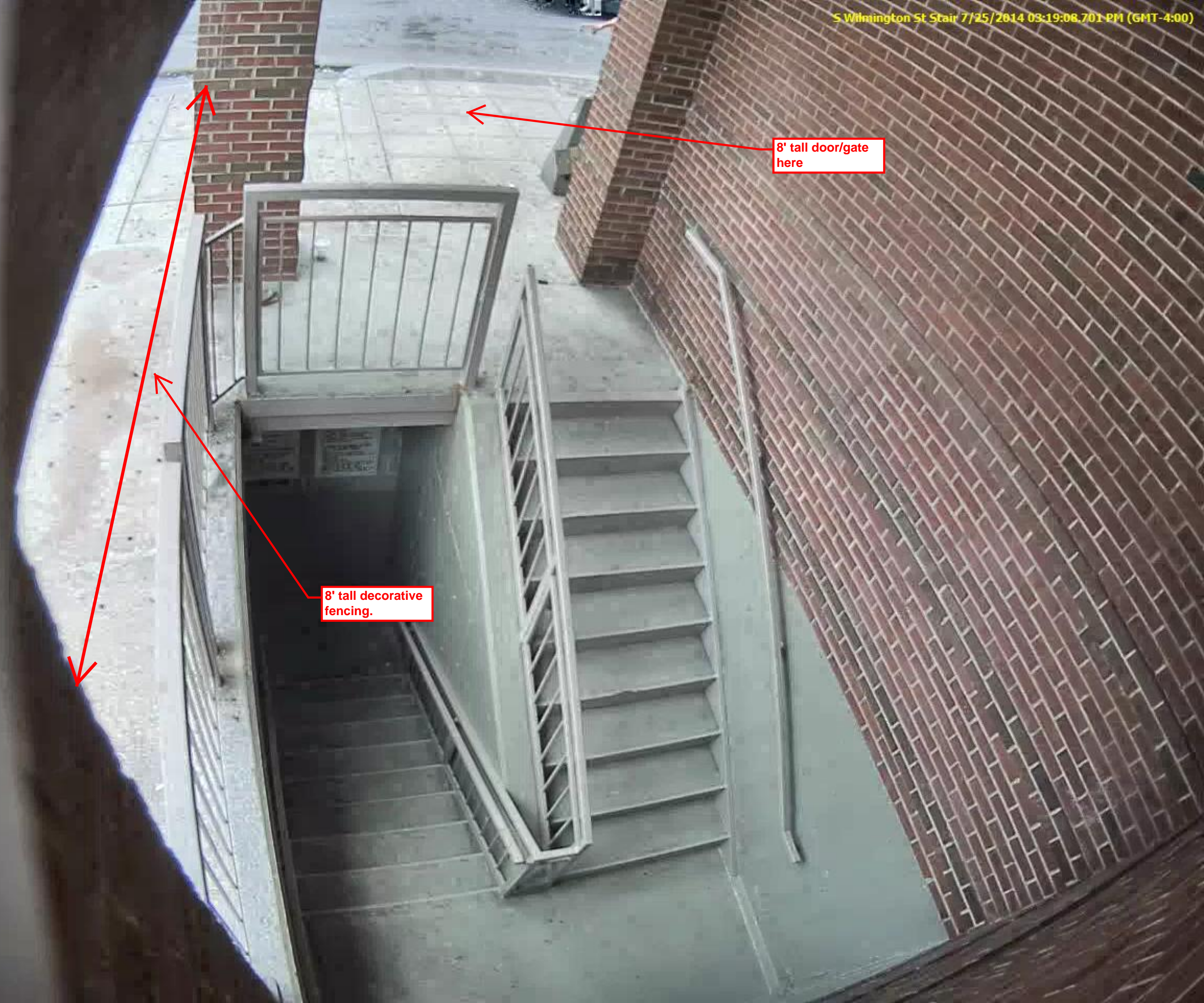
MOORE SQUARE STATION



Back to Map

8' tall door/gate here

8' tall decorative fencing.





NO
TRESPASSING
LOITERING







Information & Specifications

COMPONENTS	RESIDENTIAL	ULTRA	COMMERCIAL	INDUSTRIAL
Pickets	5/8" sq. x .050" thick	1" x 5/8" x .062" thick	3/4" sq. x .055" thick	1" sq. x .062" thick
Rails: Top Walls Side Walls	1 1/8" x .062" thick 1" x .080" thick	1 1/8" x .062" thick 1" x .080" thick	1 3/8" x .065" thick 1 1/4" x .088" thick	1 5/8" x .070" thick 1 5/8" x .100" thick
Standard Posts	2" sq. x .060" thick 2" sq. x .080" thick 2" sq. x .125" thick 2 1/2" sq. x .100" thick	2" sq. x .060" thick 2" sq. x .080" thick 2" sq. x .125" thick 2 1/2" sq. x .100" thick	2" sq. x .080" thick 2" sq. x .125" thick 2 1/2" sq. x .100" thick 3" sq. x .125" thick	2 1/2" sq. x .100" thick 3" sq. x .125" thick
Gate Posts	2" sq. x .125" thick 2 1/2" sq. x .100" thick	2" sq. x .125" thick 2 1/2" sq. x .100" thick	3" sq. x .125" thick 4" sq. x .125" thick	3" sq. x .125" thick 4" sq. x .125" thick
Spacing Between Pickets	3 13/16" (1 5/8" Available)	3 7/16"	3 5/8" (1 1/2" Available)	4" (1 1/2" Available)
Post Spacing	72 1/2" on center	72 1/2" on center	72 1/2" on center (8' wide available)	72 3/8" on center (8' wide available)
Heights Available*	36", 42", 48", 54", 60", 72"	36", 42", 48", 54", 60", 72"	36", 42", 48", 54", 60", 72"	36", 48", 60", 72", 84", 96", 108", 120", 132", 144"
Standard Colors	Pearl Black, White Bronze, Forest Green, Designer Beige	Pearl Black, White Bronze, Forest Green, Designer Beige	Pearl Black, White Bronze, Forest Green, Designer Beige	Pearl Black, White Bronze, Forest Green, Designer Beige

FINISH: Polyester TGIC technology advanced powder coating system allows us to produce a high quality, long-lasting finish which is also environmentally friendly. When applied to an Ultra fence, Polyester TGIC is twice the thickness and hardness of a typical acrylic, baked enamel, or "wet paint" finish, making it far more durable, fade-resistant and scratch-resistant than other coatings.

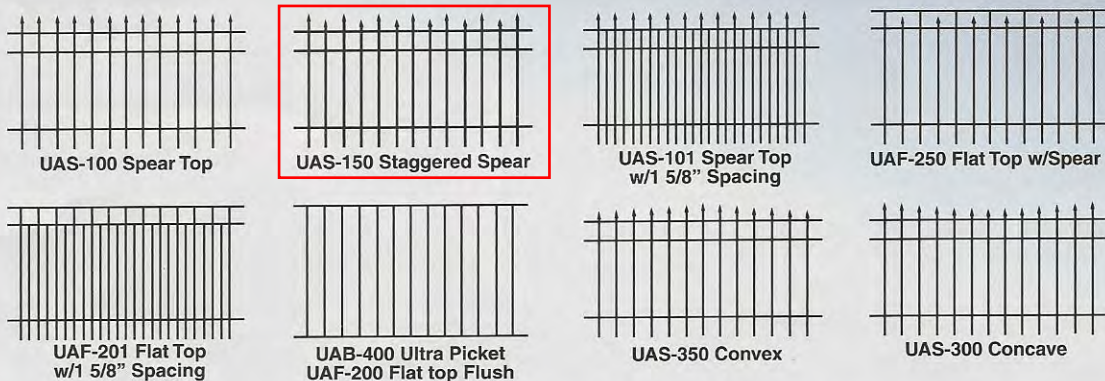
MATERIALS: All Ultra Fence components are extruded from 6005-T5 alloy, with a minimum ultimate strength of 35,000 psi. Every fence system is assembled with stainless steel, corrosion resistant screws, with heads painted to match the finish of the fence. Ultra carries posts in a variety of thicknesses, punched to accept the channel on the fence. Accessories are of zinc die cast or cast aluminum. All accessories are fully powder coated.

GUARANTEE: Every Ultra fence is guaranteed by our Lifetime Warranty. This guarantee covers our products against defects in workmanship and materials, as well as chipping, peeling, or cracking of the Polyester TGIC finish for as long as you own your fence.

STANDARD COLORS:



Colors shown represent an approximate comparison and may vary slightly to actual fence color



Visit our Website at www.ultrafence.com



Distributed By:



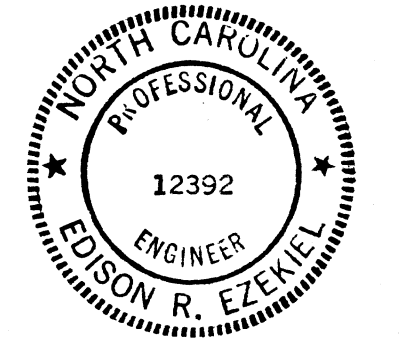
ENGINEER
Wilbur Smith and Associates, Inc.
 Suite 1010, Raleigh Building
 5 West Hargett Street
 Raleigh, North Carolina 27602
 (919) 755-0583

ARCHITECT
Planning & Design Associates, P.A.
 3515 Glenwood Avenue
 Raleigh, North Carolina 27612
 (919) 781-9004
 Terry Allford, AIA

LANDSCAPE ARCHITECT
Bell Design Group
 8408-A, U.S. Highway 70 West
 Water Garden, Route 8, Box 169
 Raleigh, North Carolina 27612
 (919) 787-3515
 Richard Bell, FASLA

MOORE SOVARE WEST PARKING FACILITY

CLIENT
City of Raleigh, North Carolina
 P.O. Box 590
 Raleigh, North Carolina 27602
 (919) 755-6194



no.	date	description
10-29-88		REVISED CONST. FENCE/ADMIT

Revisions

Scale 1"=20'

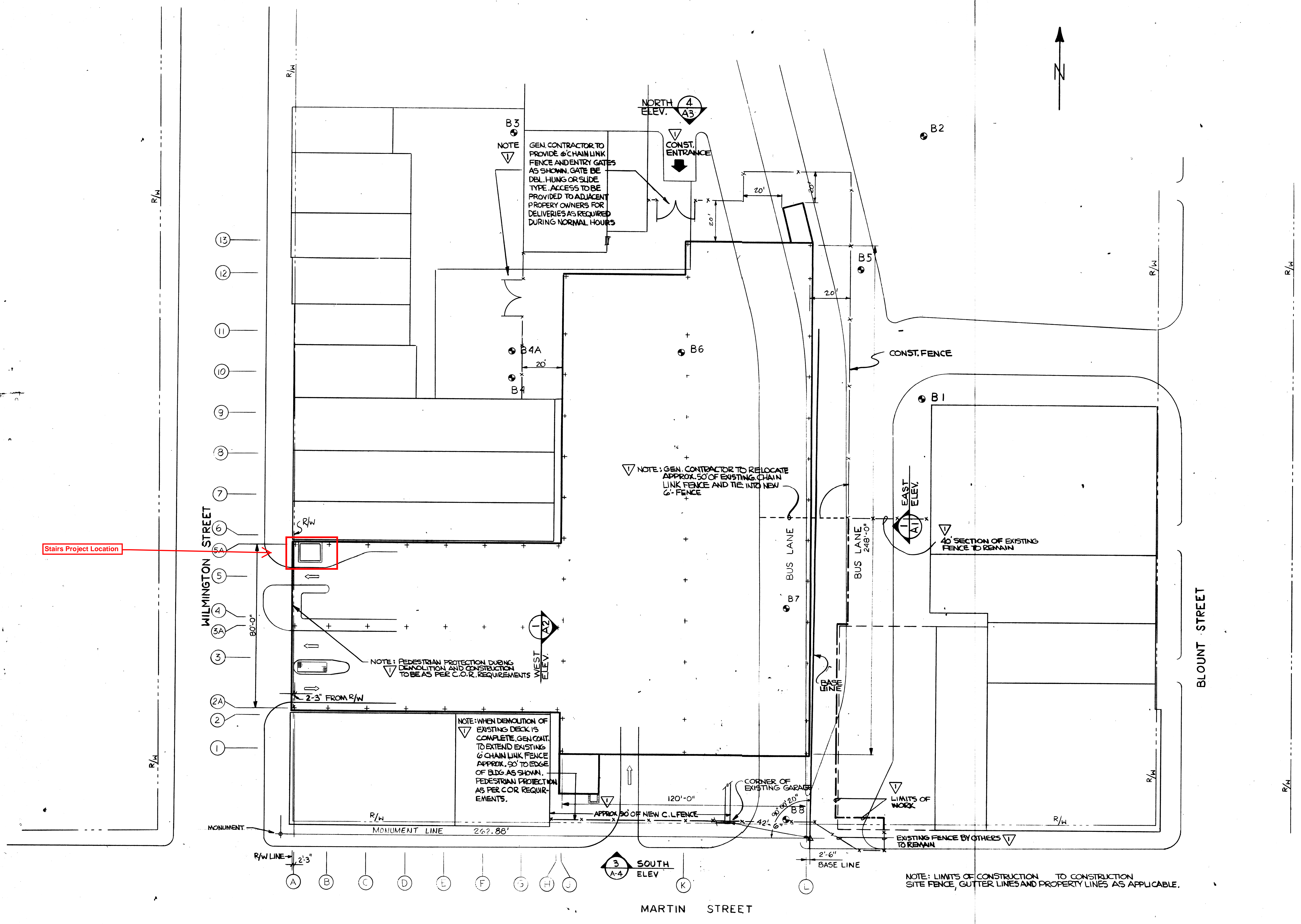
Drawn By HG

Approved By NH

Date 10/11/85

Sheet Title
SITE LOCATION PLAN

Sheet No. of



Stairs Project Location

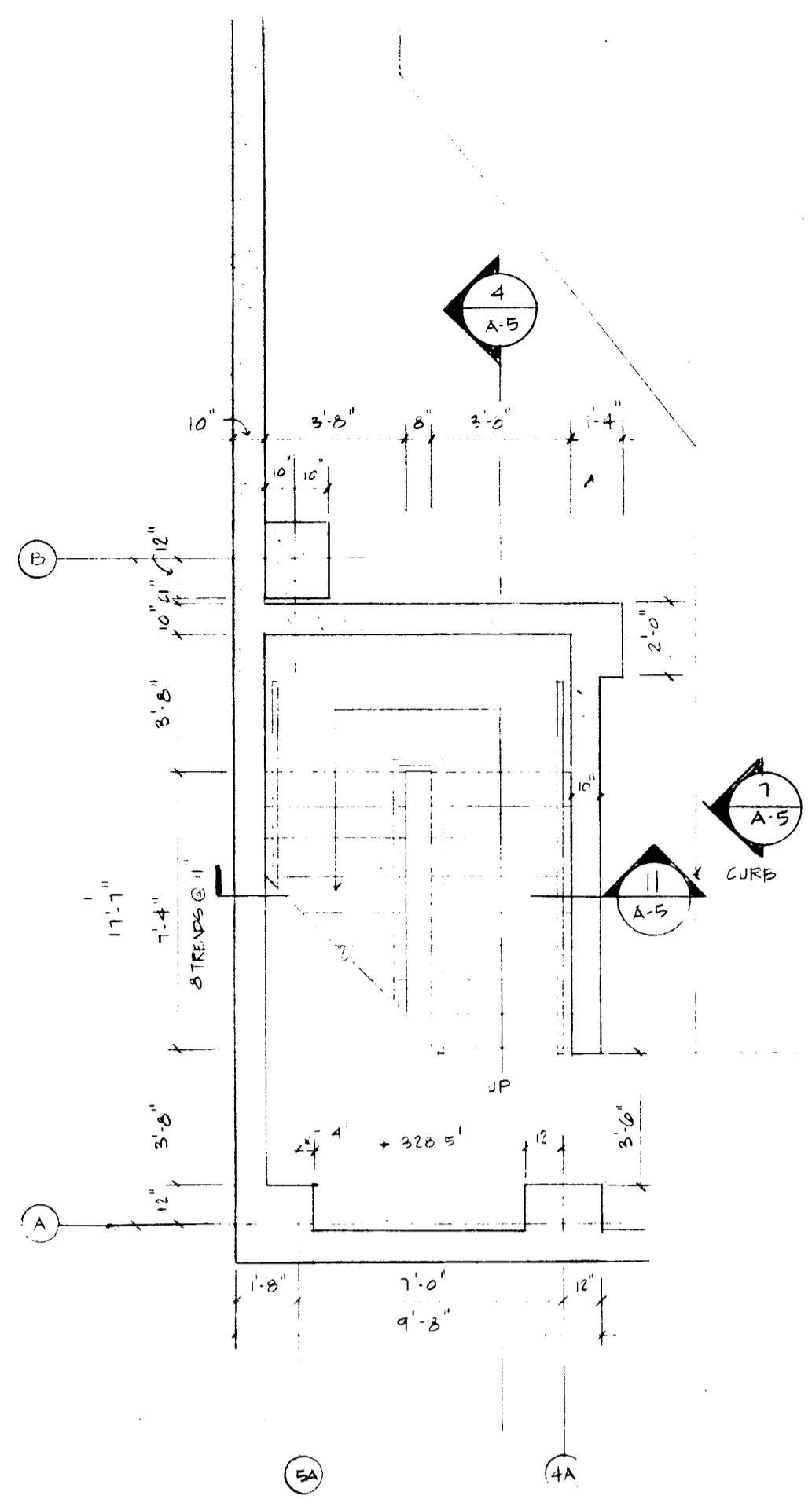
ENGINEER
Wilbur Smith and Associates, Inc.
Suite 1010, Raleigh Building
5 West Hargett Street
Raleigh, North Carolina 27602
(919) 755-0583

ARCHITECT
Planning & Design Associates, P.A.
3515 Glenwood Avenue
Raleigh, North Carolina 27612
(919) 781-9004
Terry Allford, AIA

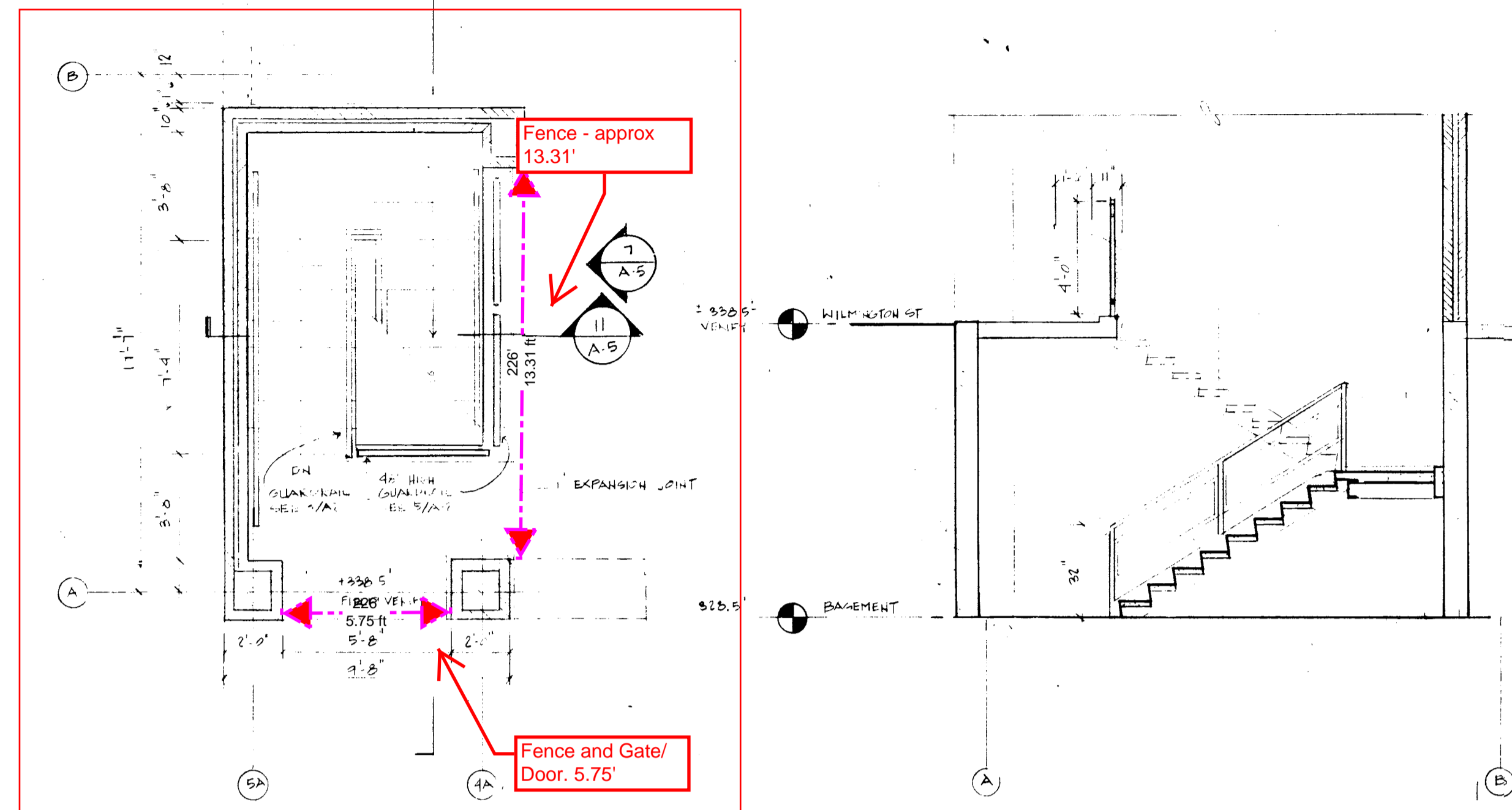
LANDSCAPE ARCHITECT
Bell Design Group
3408-A, U.S. Highway 70 West
Water Garden, Route 8, Box 169
Raleigh, North Carolina 27612
(919) 787-3515
Richard B., FASLA

MOORE SOVARE WEST PARKING FACILITY

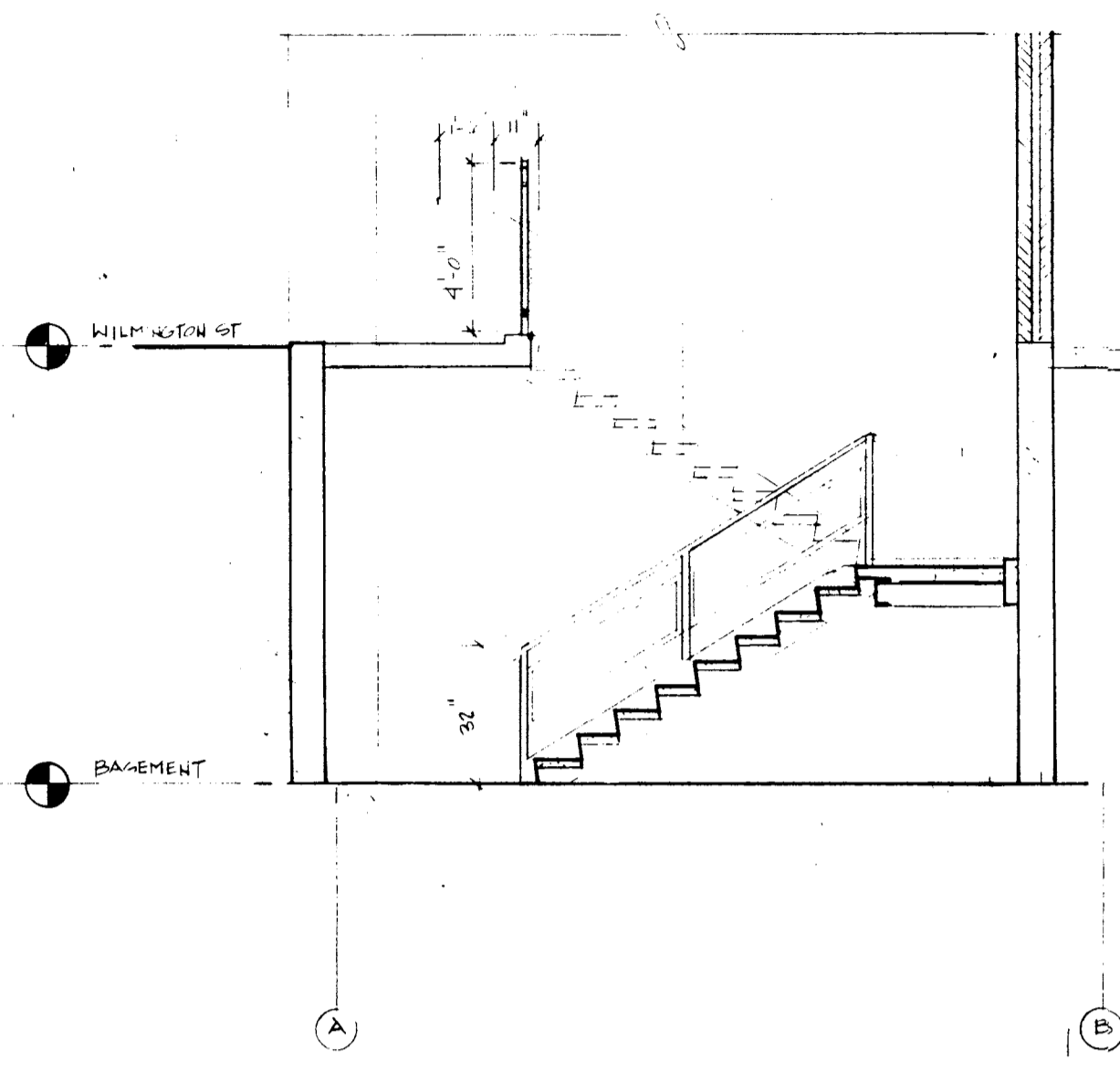
CLIENT
City of Raleigh, North Carolina
P.O. Box 599
Raleigh, North Carolina 27602
(919) 755-6194



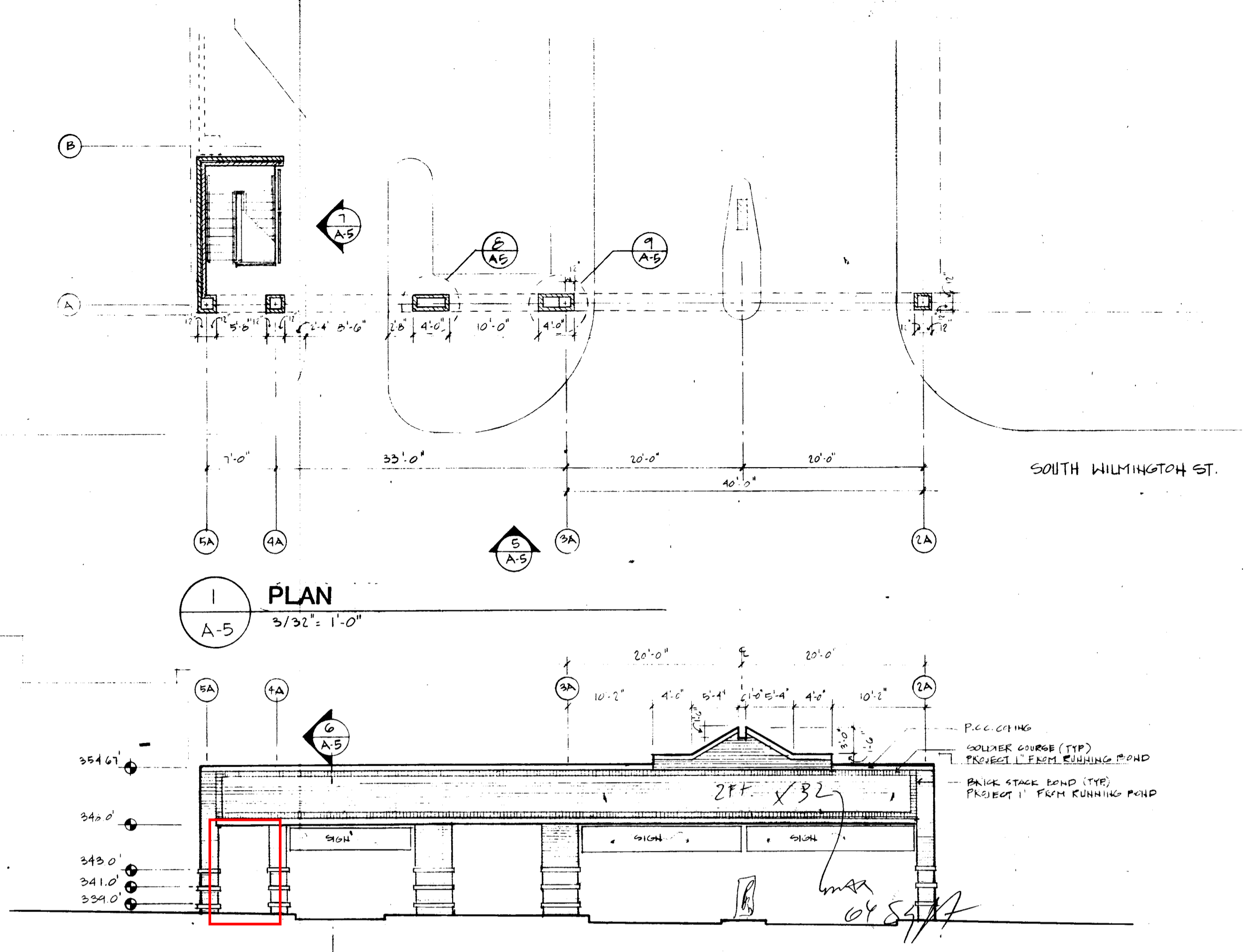
2 **BASEMENT STAIR PLAN**
A-5
1/4" = 1'-0"



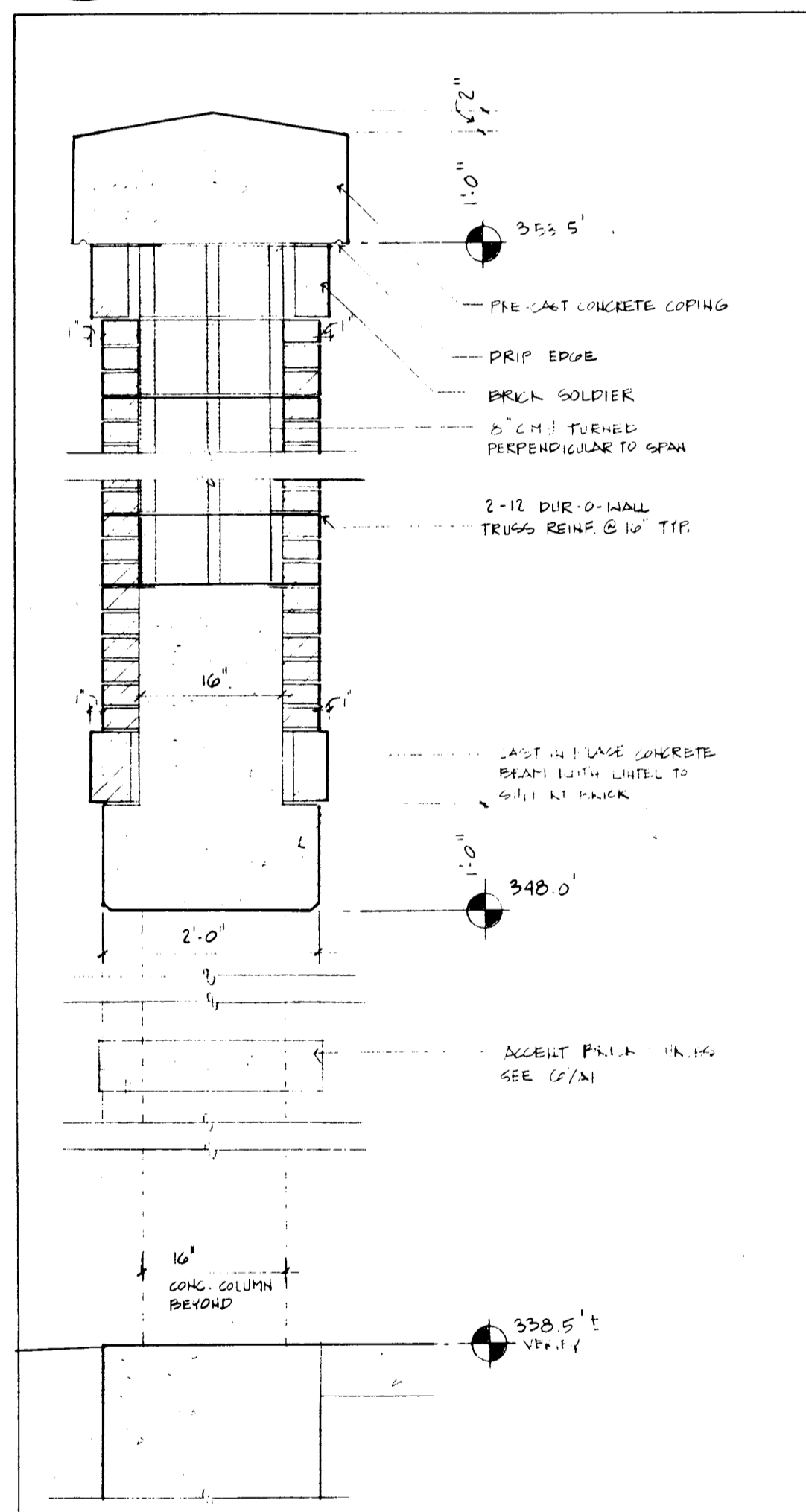
3 **STREET LEVEL STAIR PLAN**
A-5
1/4" = 1'-0"



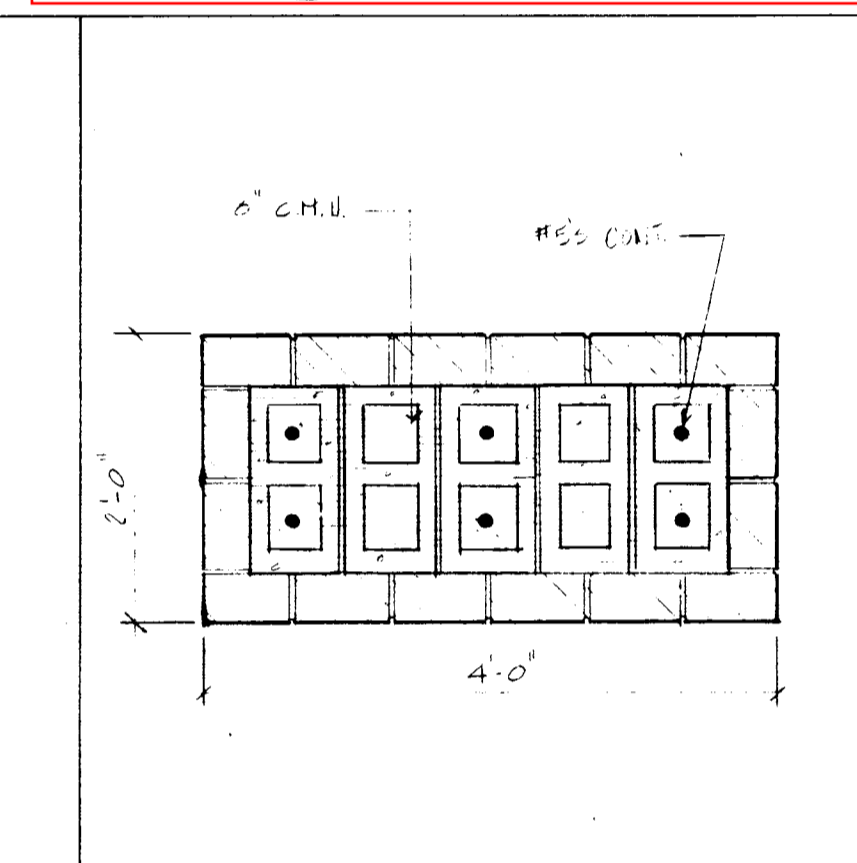
4 **STAIR SECTION**
A-5
1/4" = 1'-0"



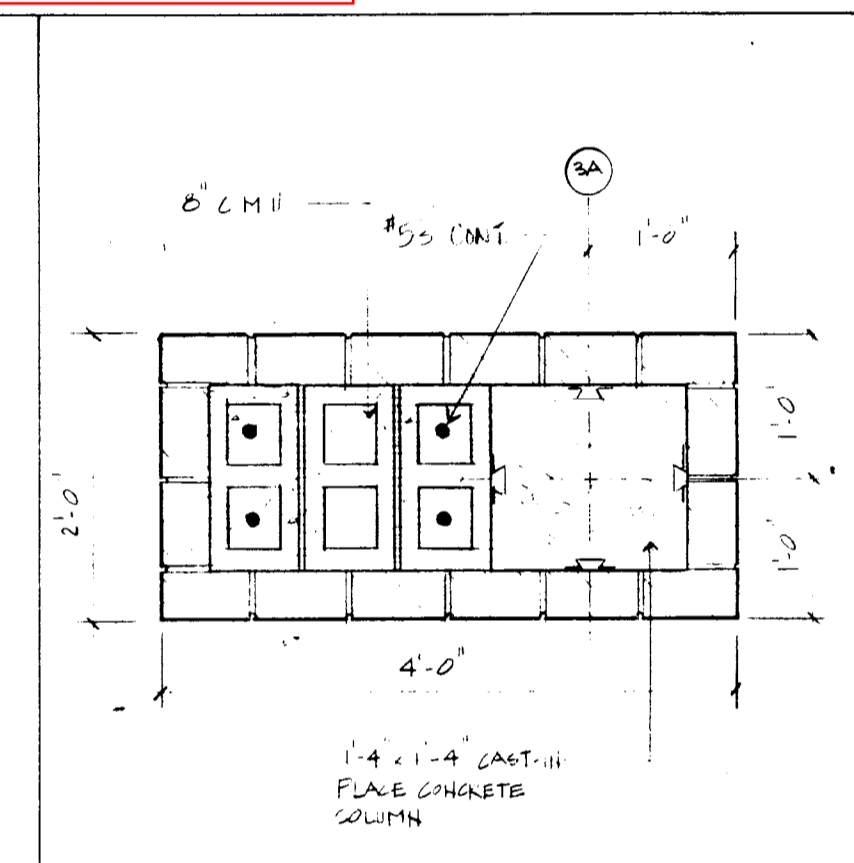
5 **WILMINGTON ST. ELEVATION**
A-5
3/32" = 1'-0"



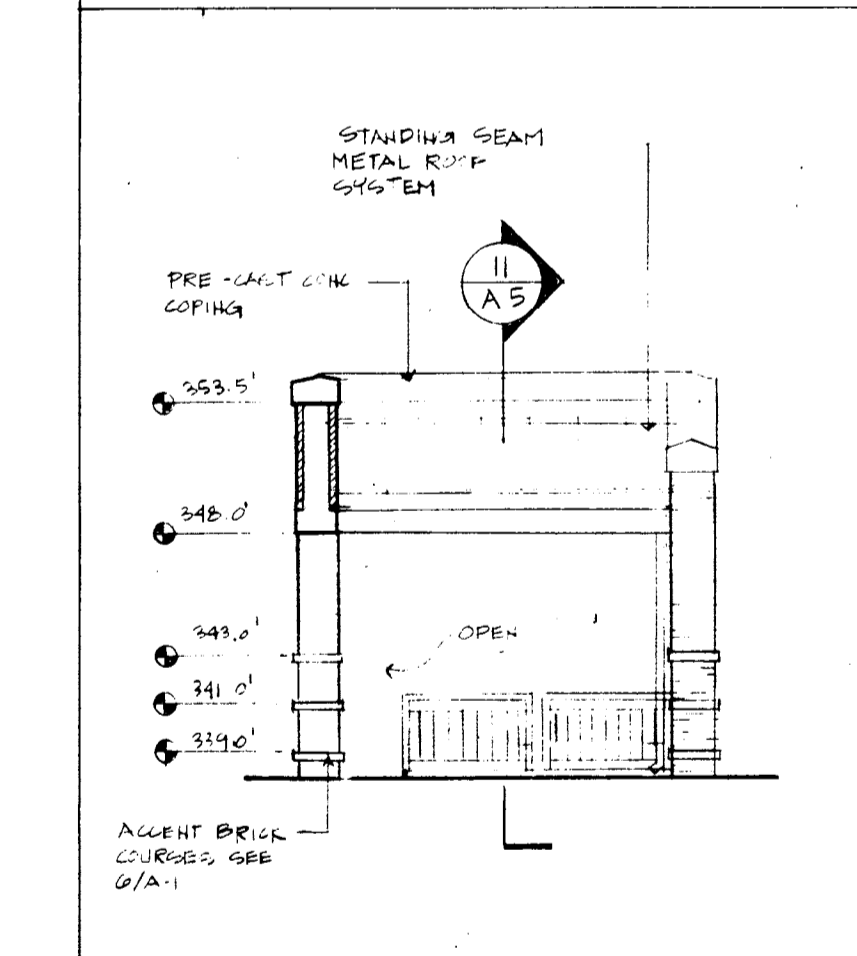
6 **SECTION**
A-5
3/4" = 1'-0"



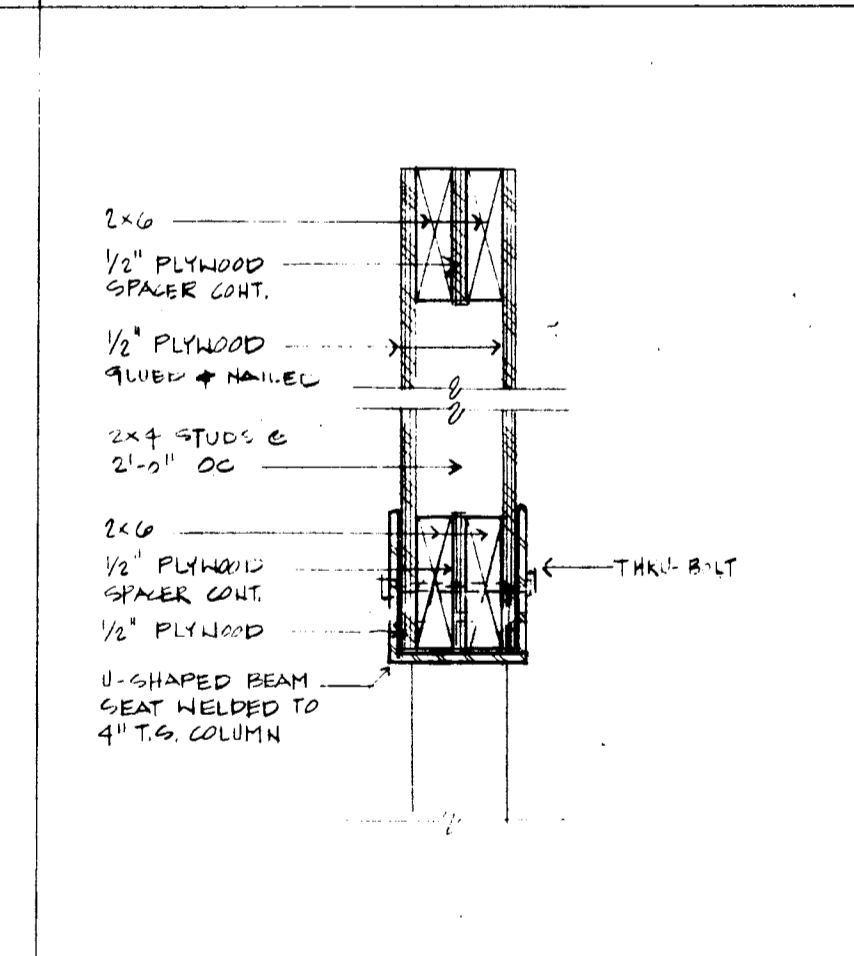
8 **COLUMN DETAIL**
A-5
3/4" = 1'-0"



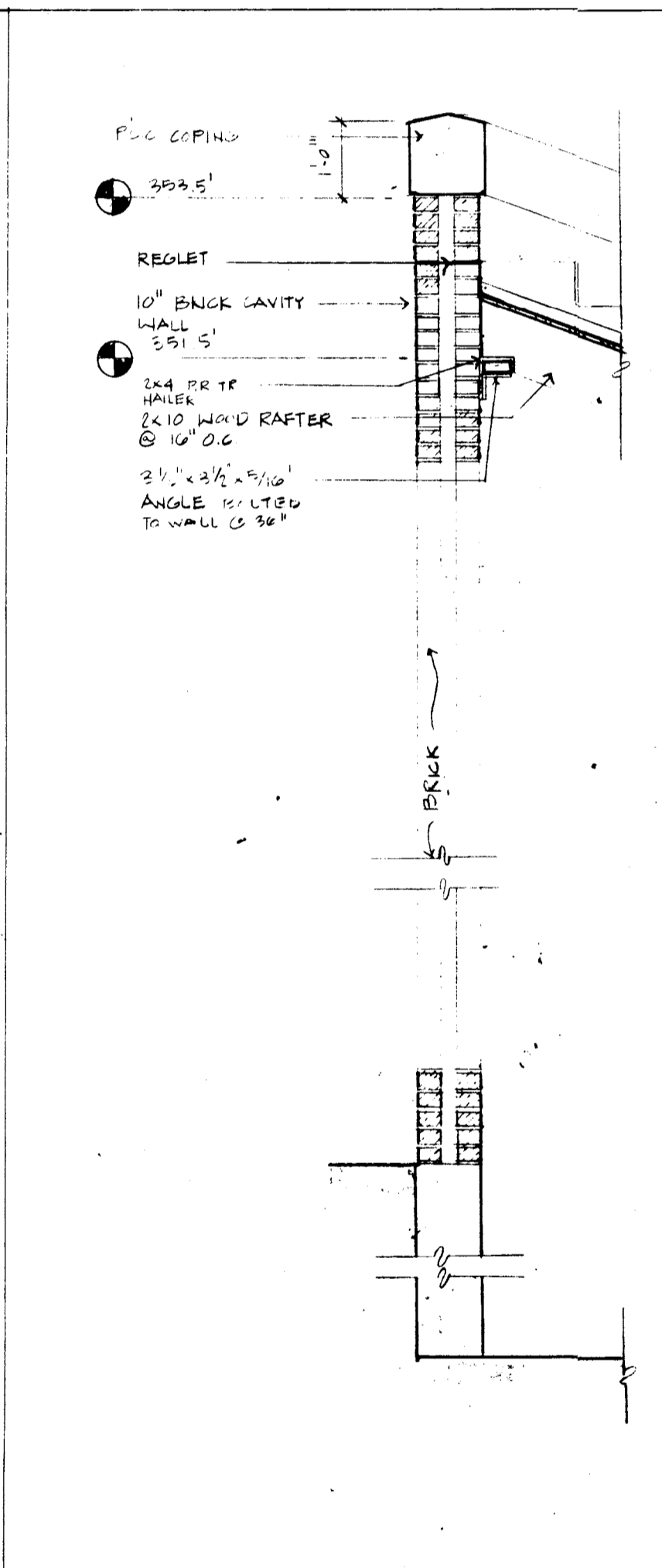
9 **COLUMN DETAIL**
A-5
3/4" = 1'-0"



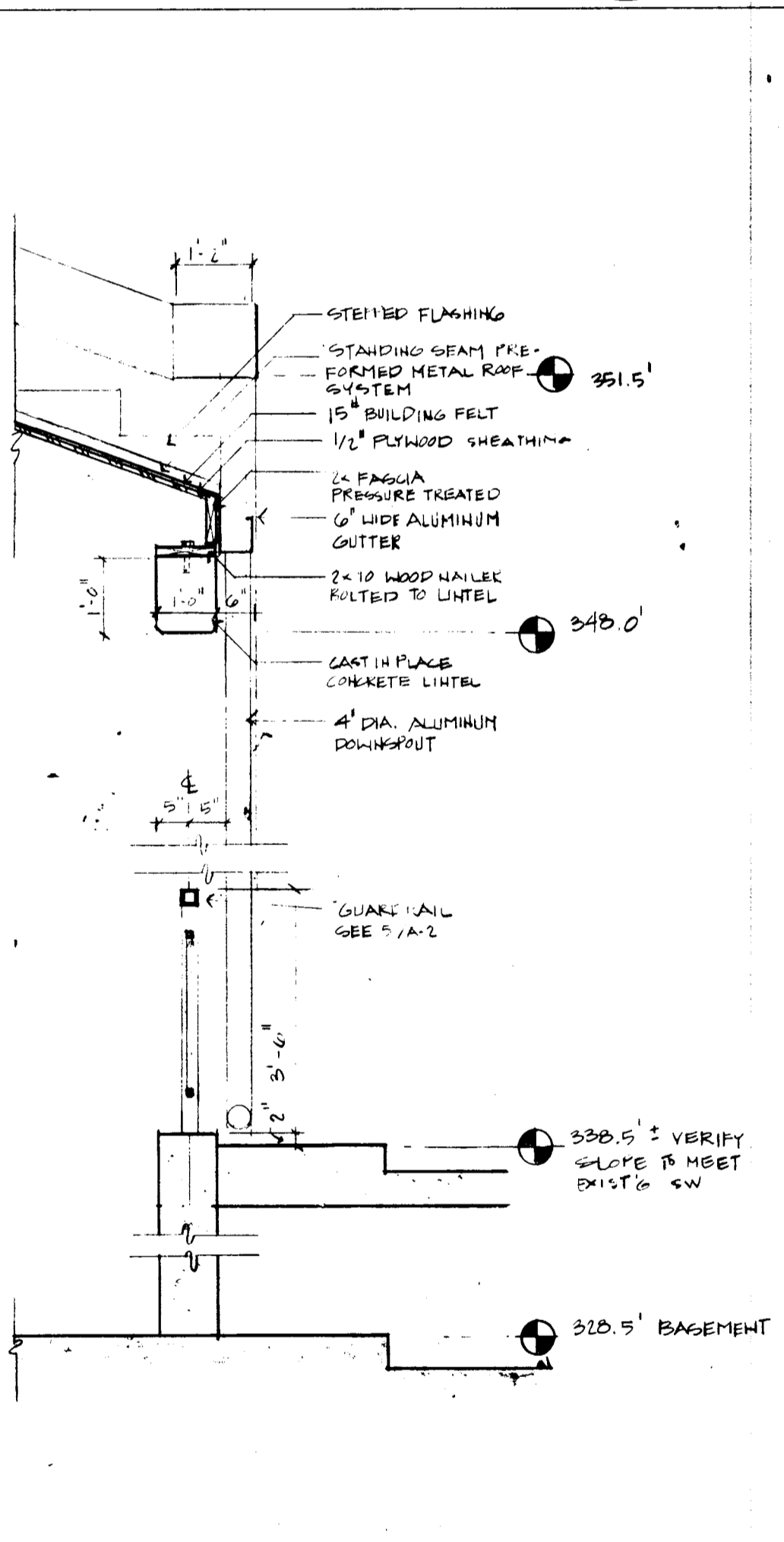
7 **ELEVATION**
A-5
1/2" = 1'-0"



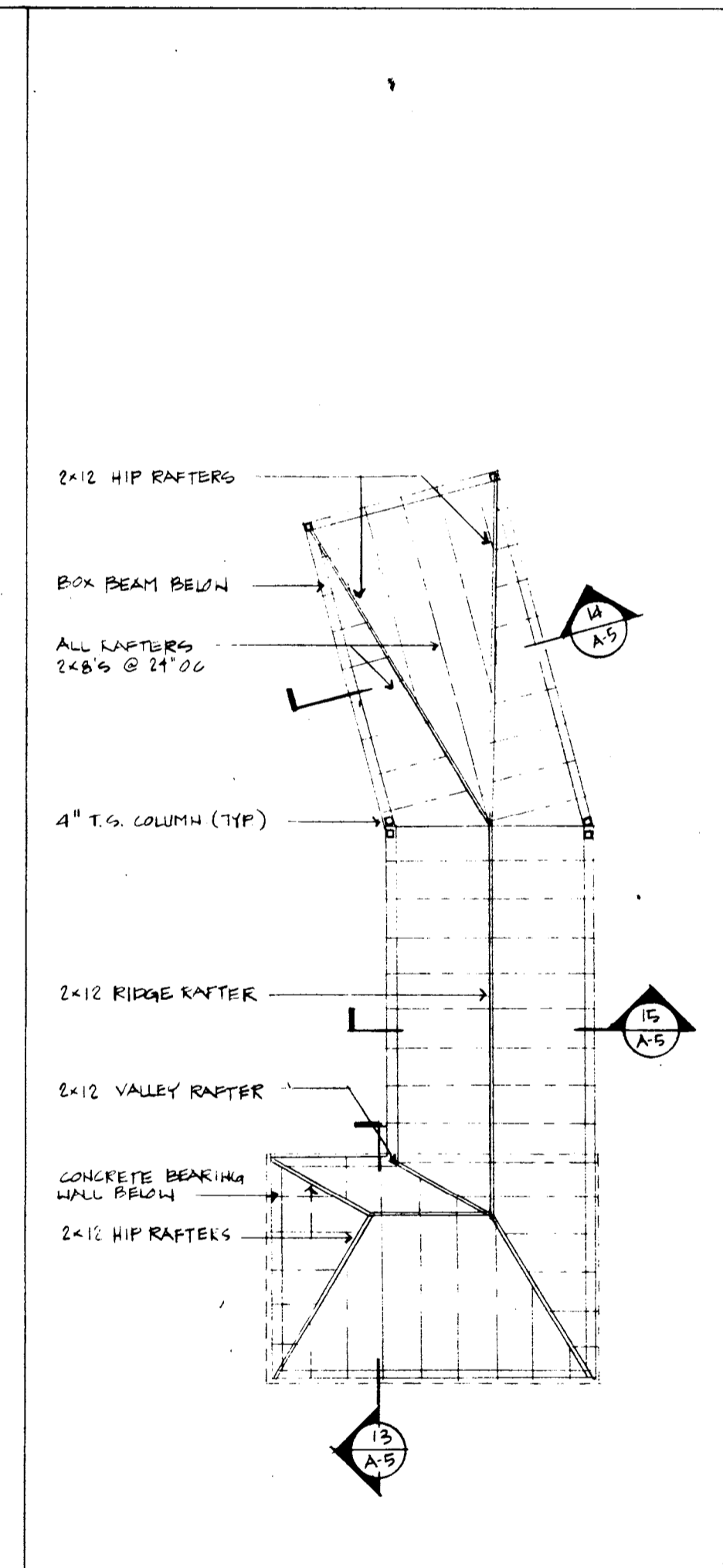
10 **ROOF STRUCTURE DETAIL**
A-5
1/2" = 1'-0"



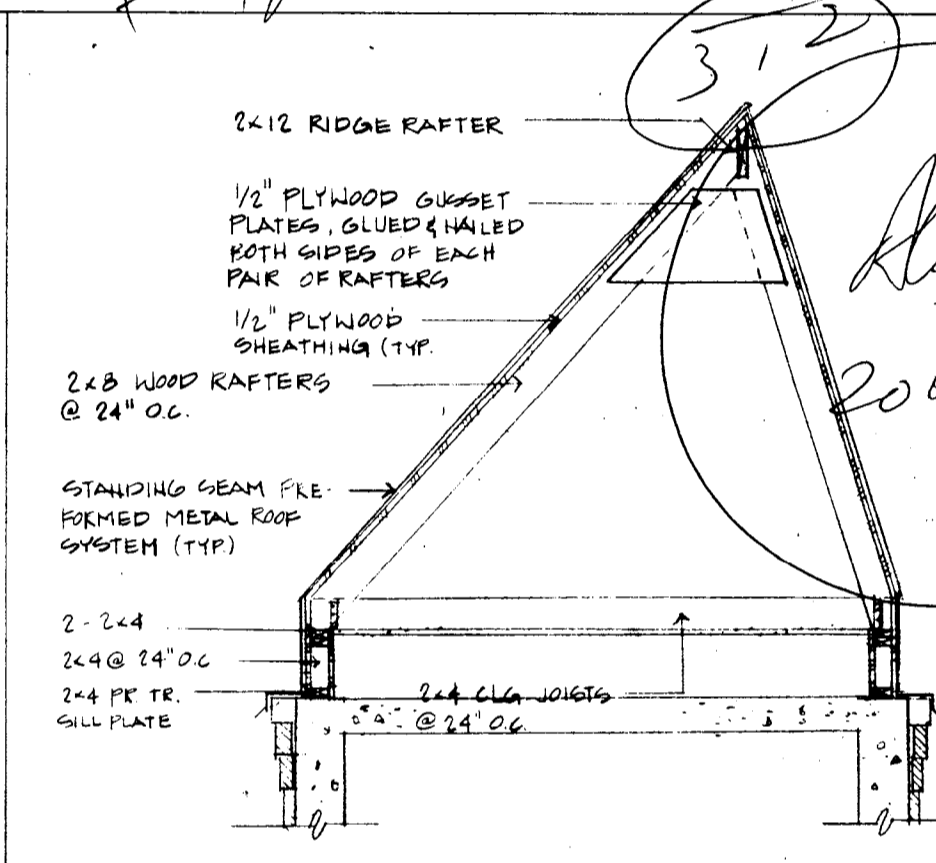
11 **SECTION**
A-5
1/2" = 1'-0"



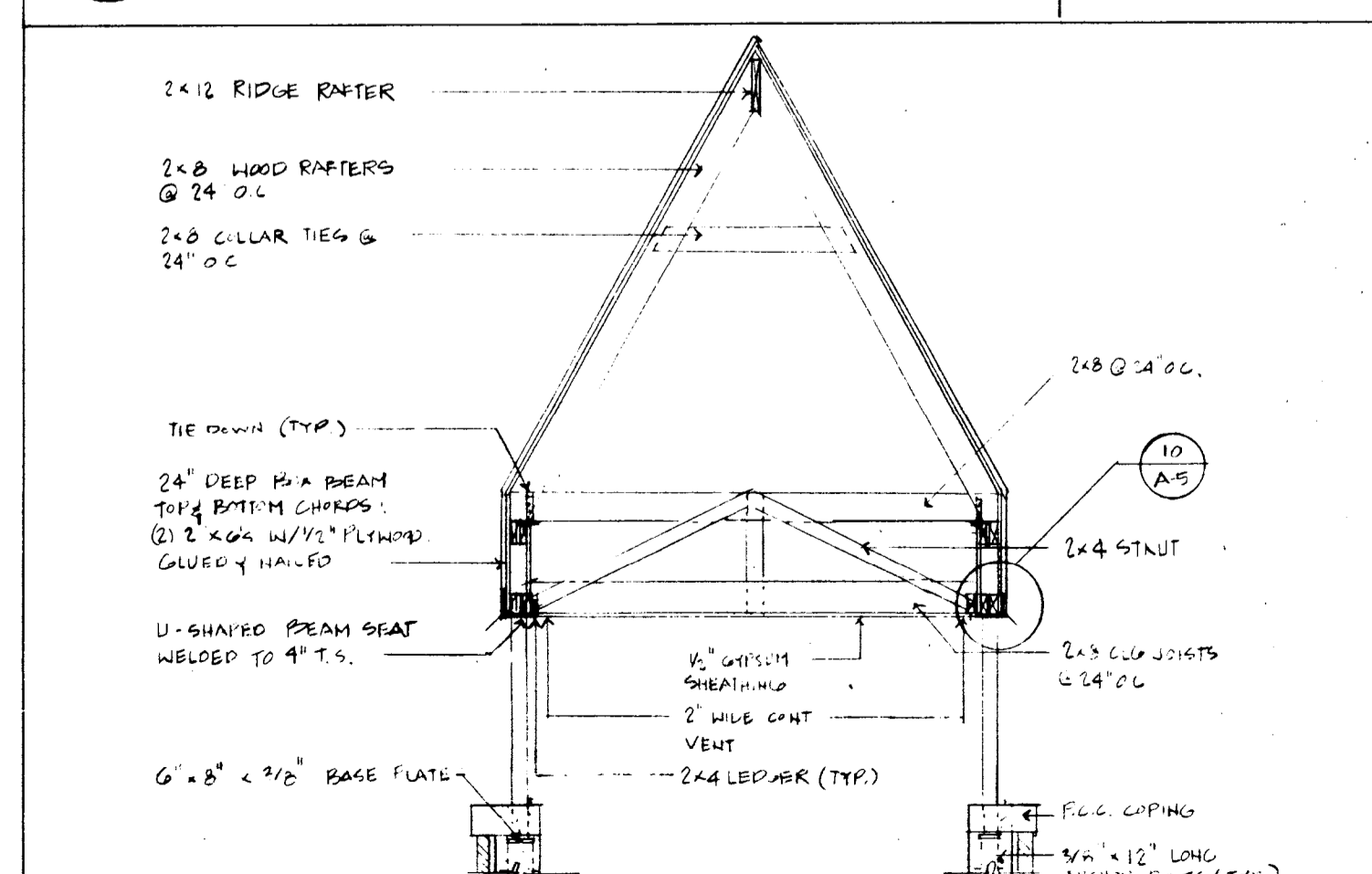
12 **ROOF FRAMING PLAN**
A-5
1/4" = 1'-0"



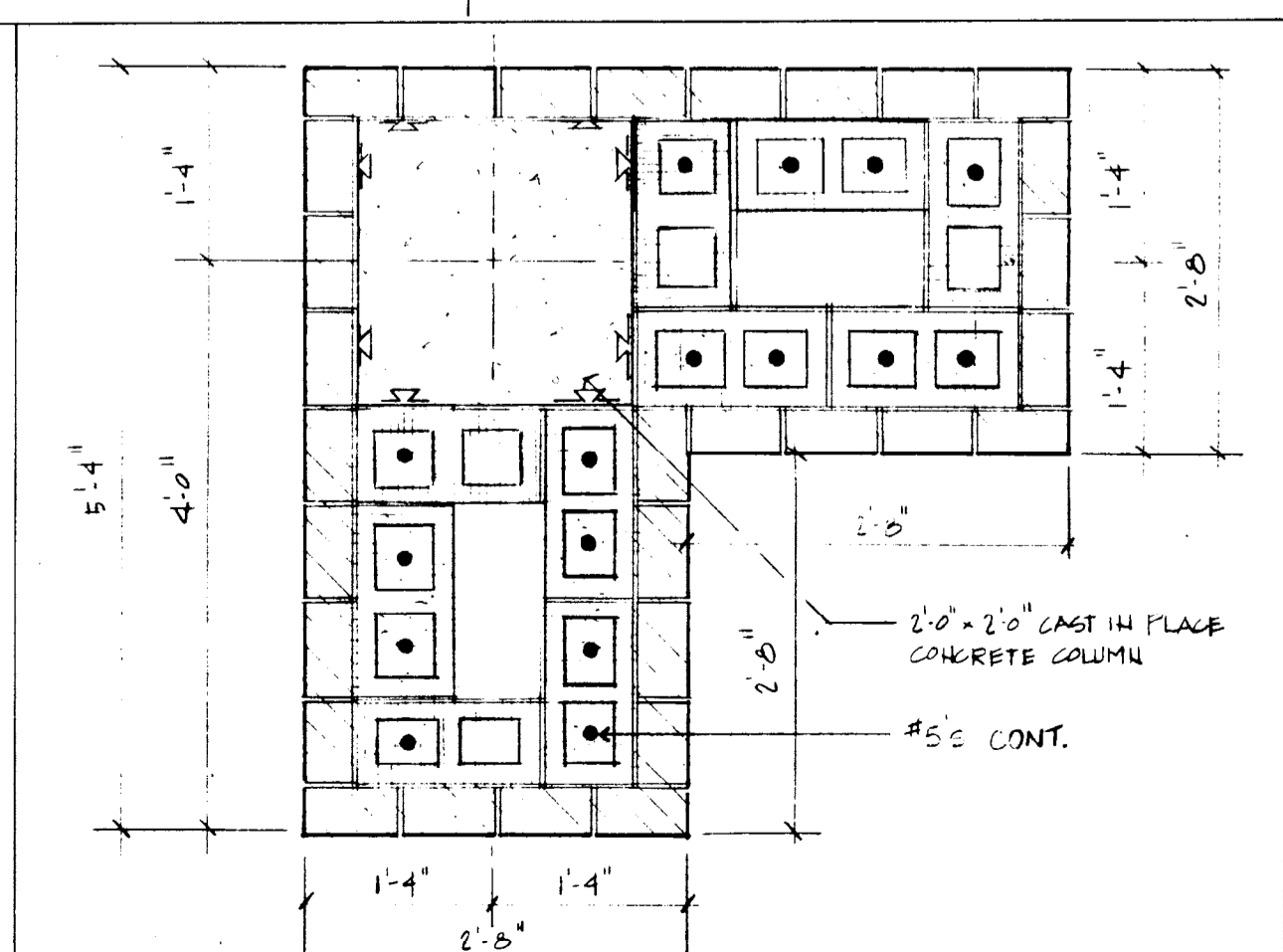
13 **ROOF SECTION**
A-5
1/4" = 1'-0"



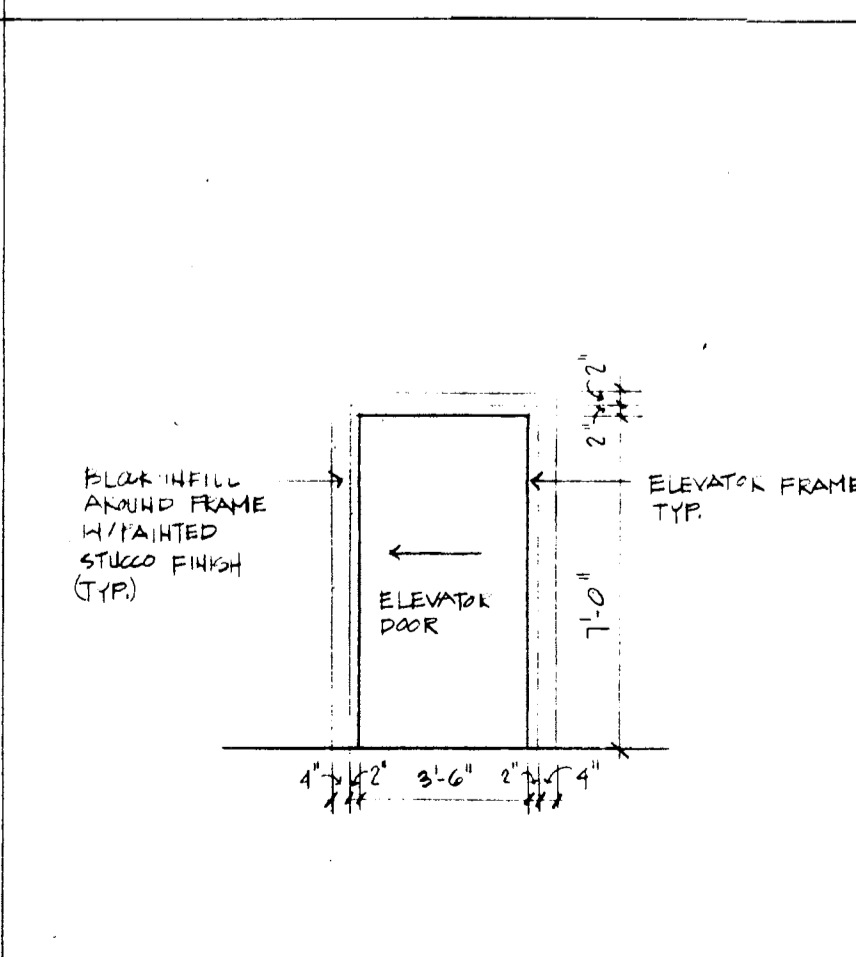
14 **ROOF SECTION**
A-5
1/4" = 1'-0"



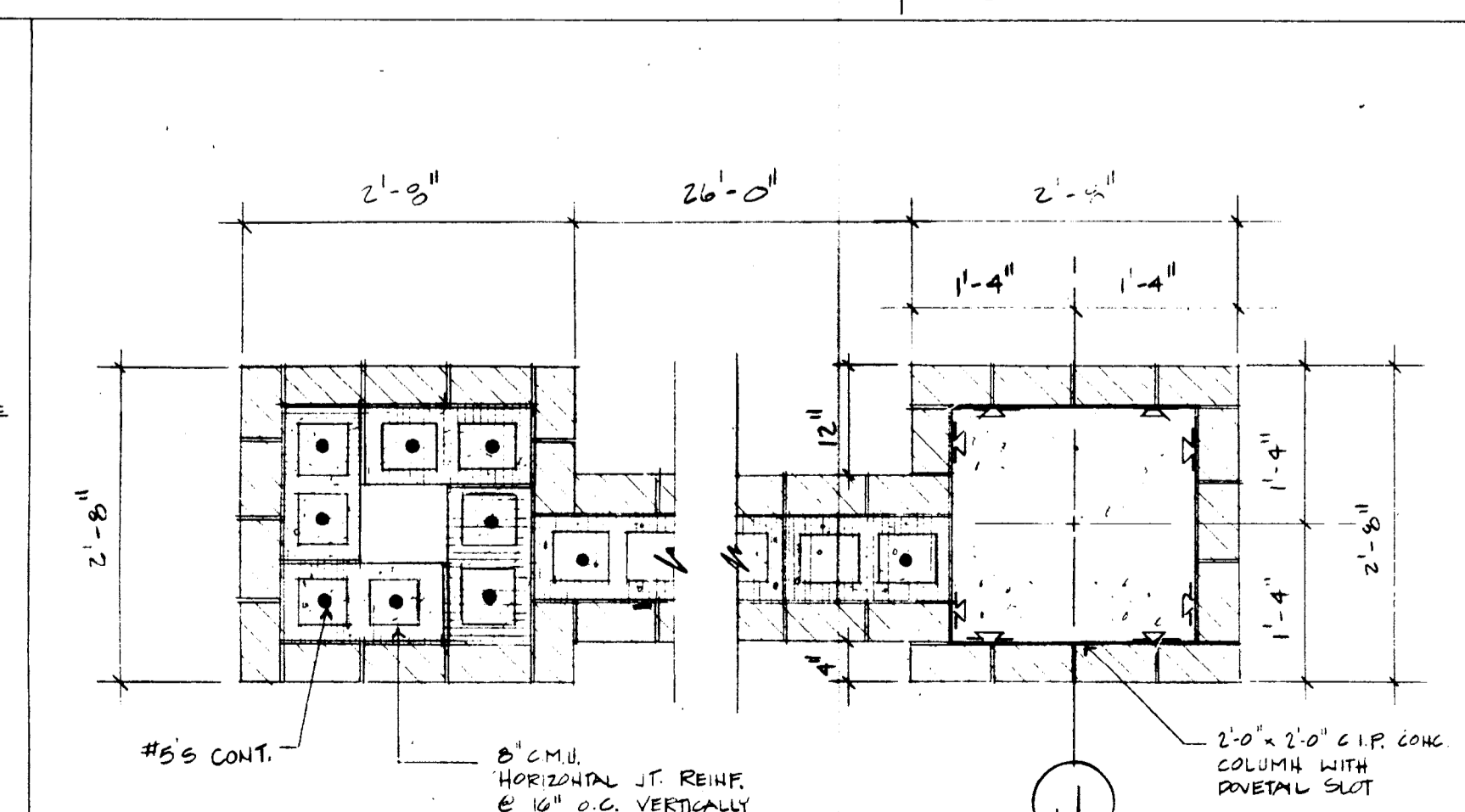
15 **ROOF SECTION**
A-5
1/4" = 1'-0"



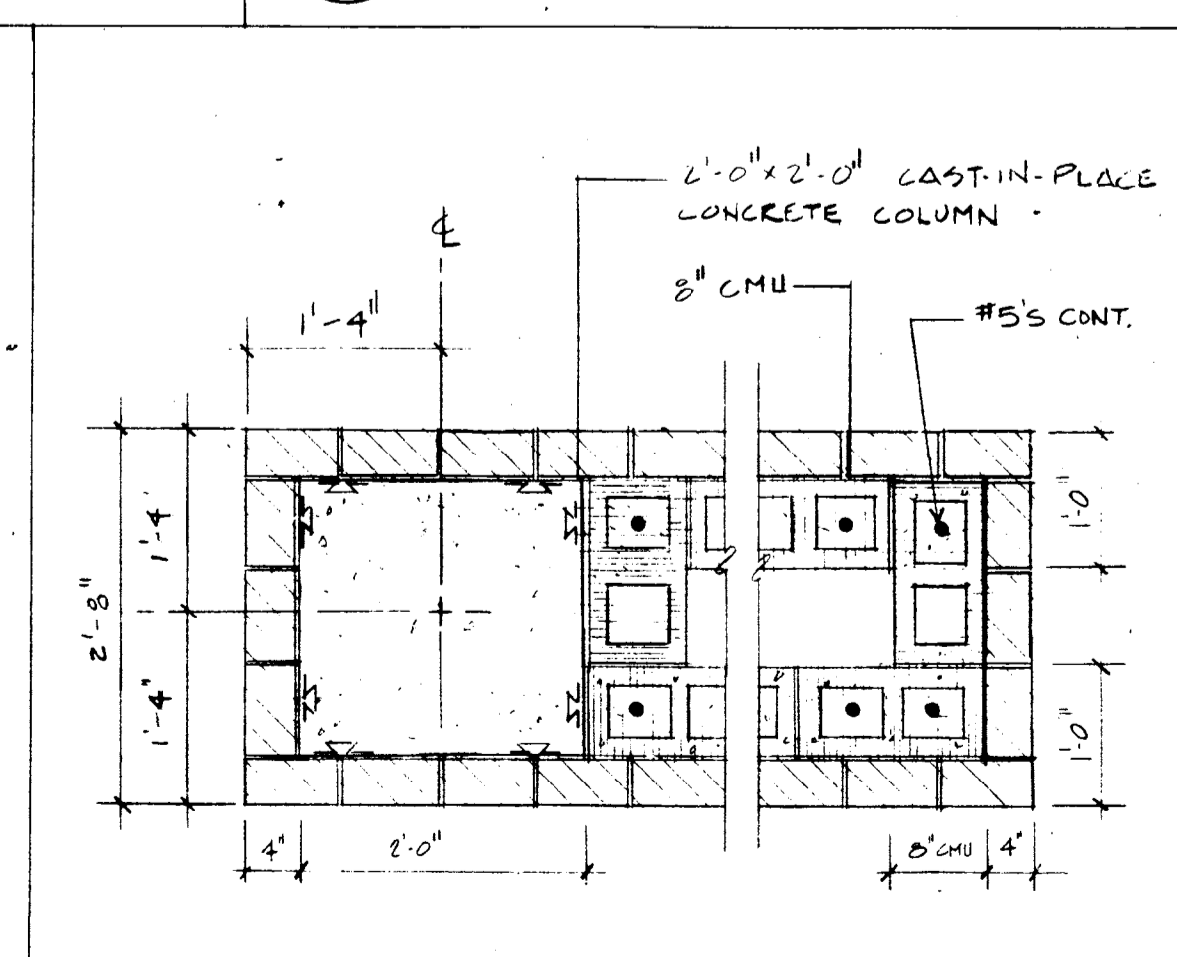
16 **COLUMN DETAIL**
A-5
3/4" = 1'-0"



17 **ELEVATOR ELEVATION**
A-5
1/4" = 1'-0"



18 **COLUMN DETAIL**
A-5
3/4" = 1'-0"



19 **COLUMN DETAIL**
A-5
3/4" = 1'-0"



Revisions

Scale: AS NOTED

Drawn By: JL, RS

Approved By: TA, HB

Date: 10/11/85

Sheet Title: **WILMINGTON STREET FACADE ELEVATIONS & DETAILS**

Sheet No. [] Of []