



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

501 S PERSON STREET

Address

LANDMARK

Historic District

GETHSEMANE

Historic Property

144-18-MW

Certificate Number

09-20-2018

Date of Issue

03-20-2018

Expiration Date

Project Description:

- Install ADA ramp;
- Install exterior lighting;
- Install gable vents

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, Collette R K
 Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <ul style="list-style-type: none"> <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>309816</u> File # <u>144-18-MW</u> Fee <u>\$3000</u> Amount Paid <u>3000</u> Received Date <u>9/18/18</u> Received By <u>Pam Bet</u>
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Property Street Address **501 S PERSON ST**

Historic District **PRINCE HALL**

Historic Property/Landmark name (if applicable)

Owner's Name **PHUC TRAN**

Lot size .012 ACRES	(width in feet) 84	(depth in feet) 63
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **NICOLE ALVAREZ, CLEARSCAPES**

Mailing Address **311-200 W MARTIN STREET**

City **RALEIGH**

State **NC**

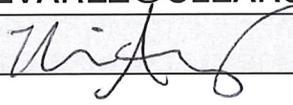
Zip Code **27601**

Date **9/18/2018**

Daytime Phone **919-821-2775**

Email Address **NALVAREZ@CLEARSCAPES.COM**

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work 59, 48,
81

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.5/26-27	WALKWAYS	MINOR RENOVATIONS TO PROVIDE ADA ACCESSIBILITY INCLUDING A SLOPING WALKWAY AND REVISED DOORWAY FOR MINIMUM CLEARANCE.
1.7/30-31	LIGHTING	
2.7/50-53	DOORS (AND VENT)	
2.11/60-61	ACCESSIBILITY AND SAFETY	ADD EXTERIOR EGRESS LIGHTING FOR LIFE SAFETY REQUIREMENTS.
		ALSO ADD (2) GABLE VENTS FOR HVAC SYSTEM - MATCHING EXISTING GABLE VENT.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 03/20/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 09/20/2018

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
<u>Minor Work (staff review)</u> – 1 copy			✓		
<u>Major Work (COA Committee review)</u> – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
8. Fee (See <u>Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		✓		

Minor Work Application

**St Gethsemane Church
501 S. Person St.**

September 18, 2018

Description:

This application is to request approval for accessibility and life safety improvements to St Gethsemane Church. The project site is located within the Prince Hall Historic Overlay District.

Work includes revising a side entry door to meet ADA width clearances and extending a sloping concrete walk to connect the door to the sidewalk. An existing chainlink fence will be revised to have an opening at the pathway intersection. Exterior egress lights will be added to the building.

Also, two gable vents will be added – one to each of the perpendicular gables. This is needed for the new HVAC system to operate. The wood vents will match the existing gable vent.

Please see attached drawings, photos, and specifications for more details.

Kinane, Collette

From: Nicole Alvarez <nalvarez@clearscapes.com>
Sent: Thursday, September 20, 2018 11:14 AM
To: Kinane, Collette
Subject: Re: Gethsemane - Minor COA DRAFT

Hi! Terrfic, thanks!

We'll paint the metal barrier black.

If you need a specific black color - there's a good basic black we've used at other historic district metals: SW Tricorn Black.

Let me know if you have any other questions.

Best,
Nicole

NICOLE ALVAREZ, AIA

CLEARSCAPES | 311-200 W. Martin Street | Raleigh, NC 27601 | 919.821.2775 | www.clearscapes.com

From: "Kinane, Collette" <Collette.Kinane@raleighnc.gov>
Date: Thursday, September 20, 2018 at 10:55 AM
To: Nicole Alvarez <nalvarez@clearscapes.com>
Subject: RE: Gethsemane - Minor COA DRAFT

Hi, Nicole –

I'm reviewing your minor work application. As always, it looks awesome. I did have one question, what color will the metal barrier be painted?

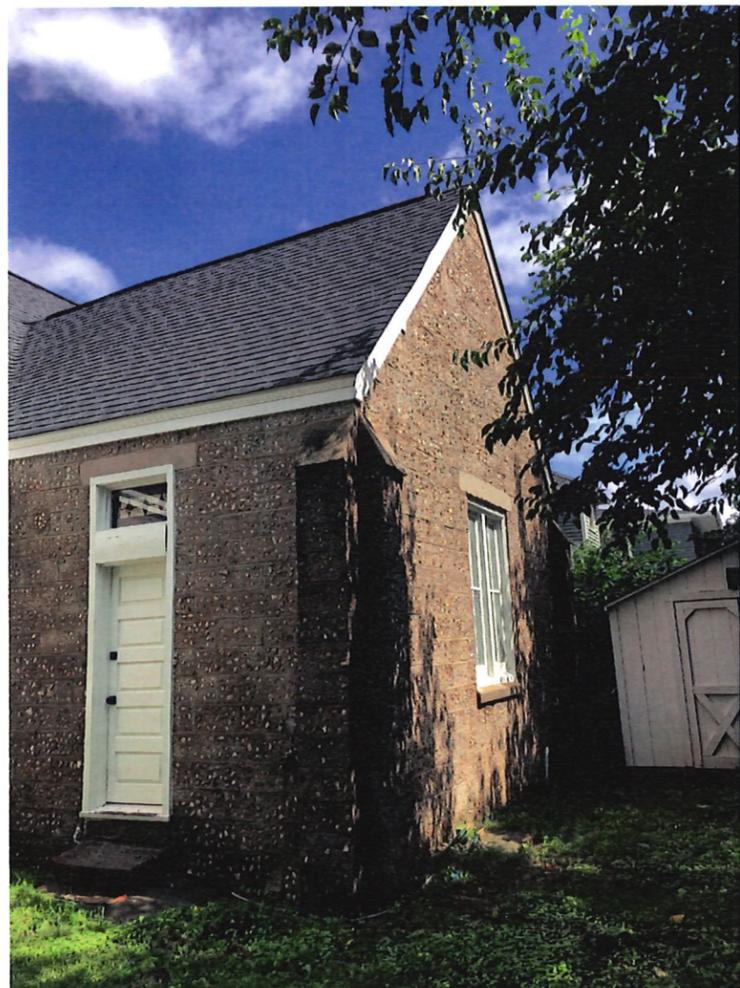
Thanks,
Collette

Collette R. Kinane
Preservation Planner II

■ **Raleigh Urban Design Center**
One Exchange Plaza, Suite 300 | Raleigh, NC 27601
919-996-2649 | raleighnc.gov

From: Tully, Tania
Sent: Tuesday, September 18, 2018 1:14 PM
To: Kinane, Collette <Collette.Kinane@raleighnc.gov>; Robb, Melissa <Melissa.Robb@raleighnc.gov>
Subject: FW: Gethsemane - Minor COA DRAFT

I spoke with Fred about this. Let me know if you have any questions.



EXISTING PHOTO: SOUTH FACADE
TO BE REVISED TO ADD GABLE VENT FOR HVAC SYSTEM



EXISTING PHOTO: FRONT FACADE
NO SCOPE



EXISTING PHOTO: NORTH FACADE
TO BE REVISED TO ADD GABLE VENT FOR HVAC SYSTEM

**ST GETHSEMANE
RENOVATION**

PROJECT NO:
DRAWN: NNA
CHECKED: FB
DATE: 09/18/2018

EXISTING PHOTOS



EXISTING PHOTO: SIDE DOOR TO BE REVISED FOR ADA ACCESS

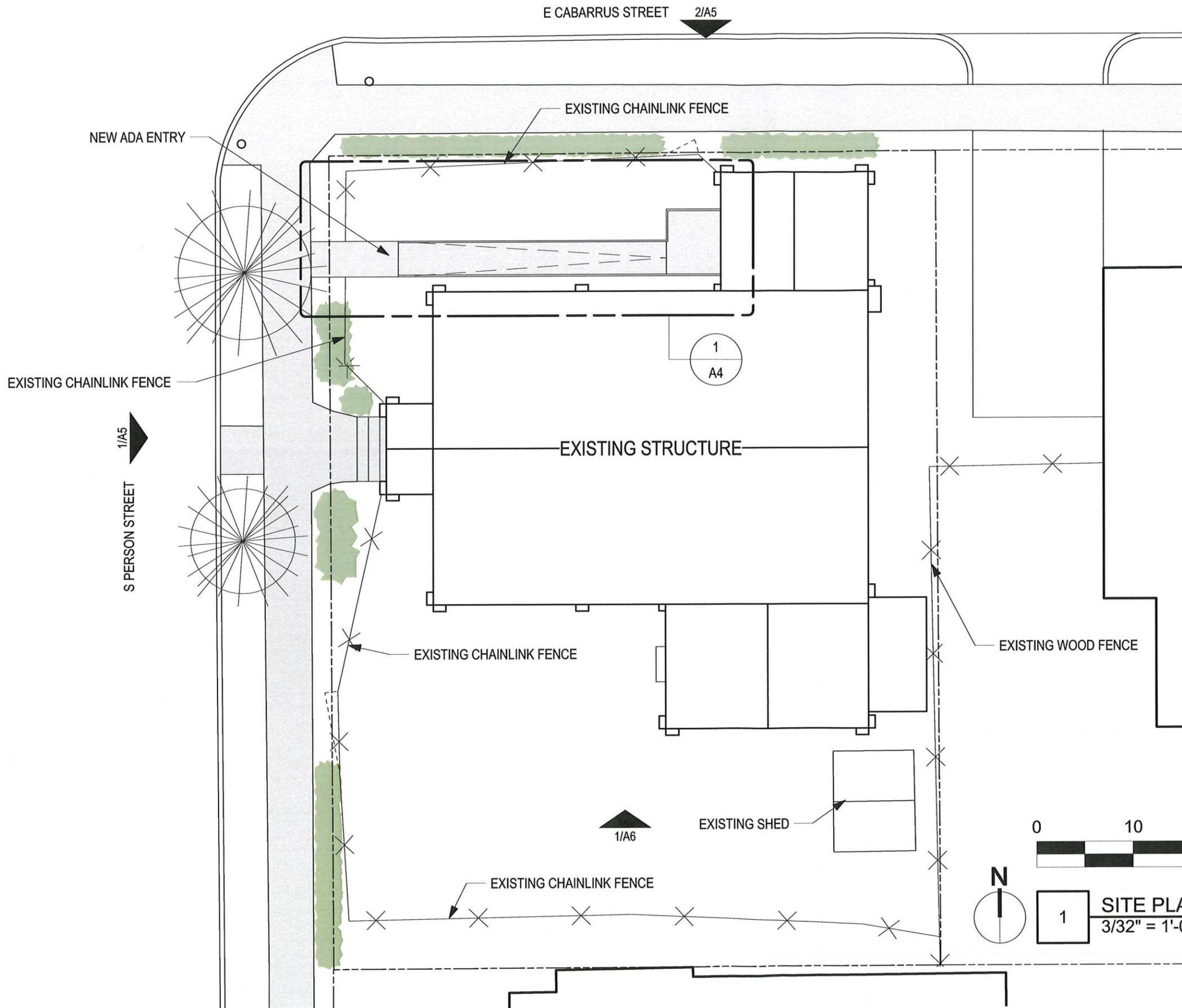


EXISTING PHOTO: SIDE DOOR AND EXISTING FENCING TO BE REVISED FOR ADA ACCESS

**ST GETHSEMANE
RENOVATION**

PROJECT NO: NNA
DRAWN: FB
CHECKED: FB
DATE: 09/18/2018

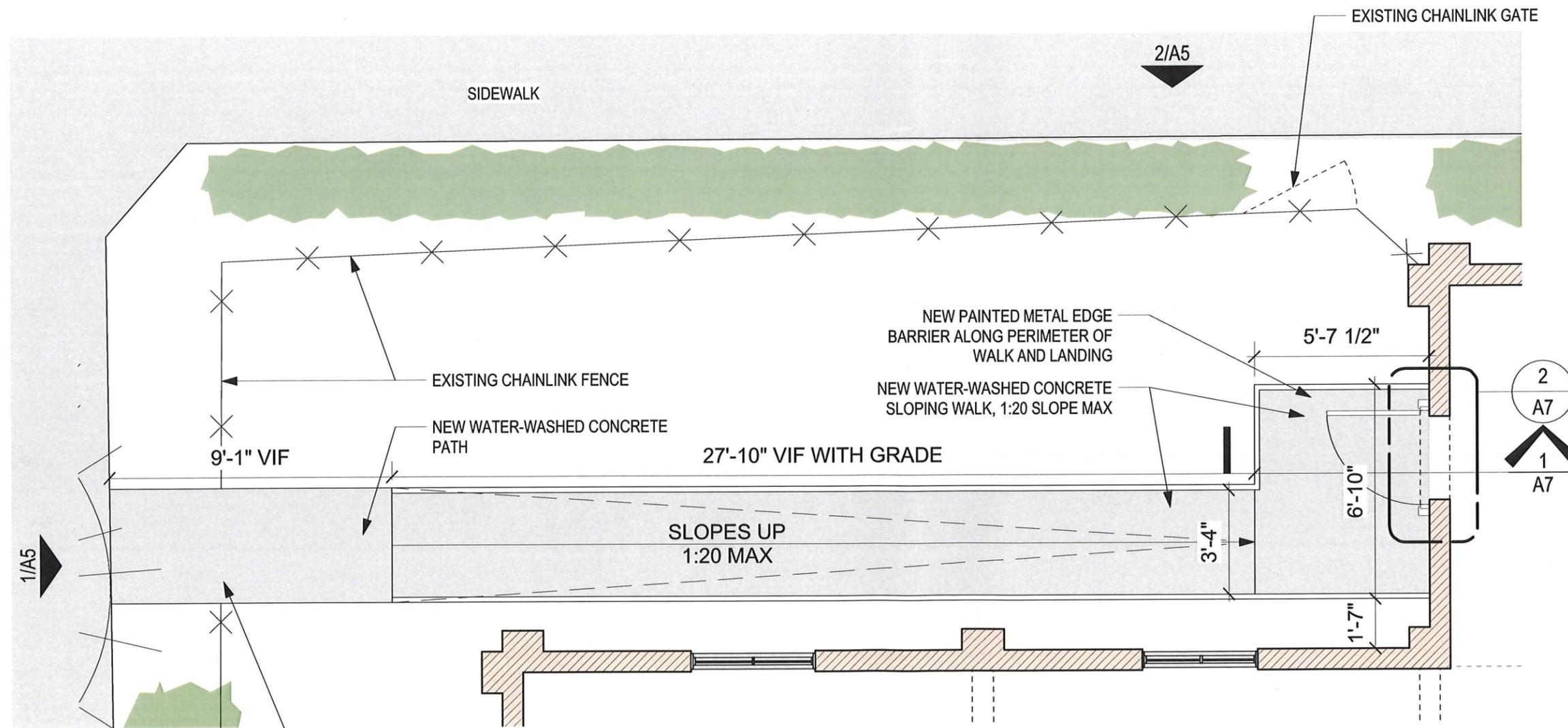
EXISTING PHOTOS



**ST GETHSEMANE
 RENOVATION**

PROJECT NO:
 DRAWN: NNA
 CHECKED: FB
 DATE: 09/18/2018

SITE PLAN



1 ENLARGED PLAN
 1/4" = 1'-0"

**ST GETHSEMANE
 RENOVATION**

PROJECT NO:
 DRAWN: NNA
 CHECKED: FB
 DATE: 09/18/2018

FLOOR PLAN

A3

NEW WOOD VENT FOR HVAC.
 DETAILS TO MATCH EXISTING VENT.

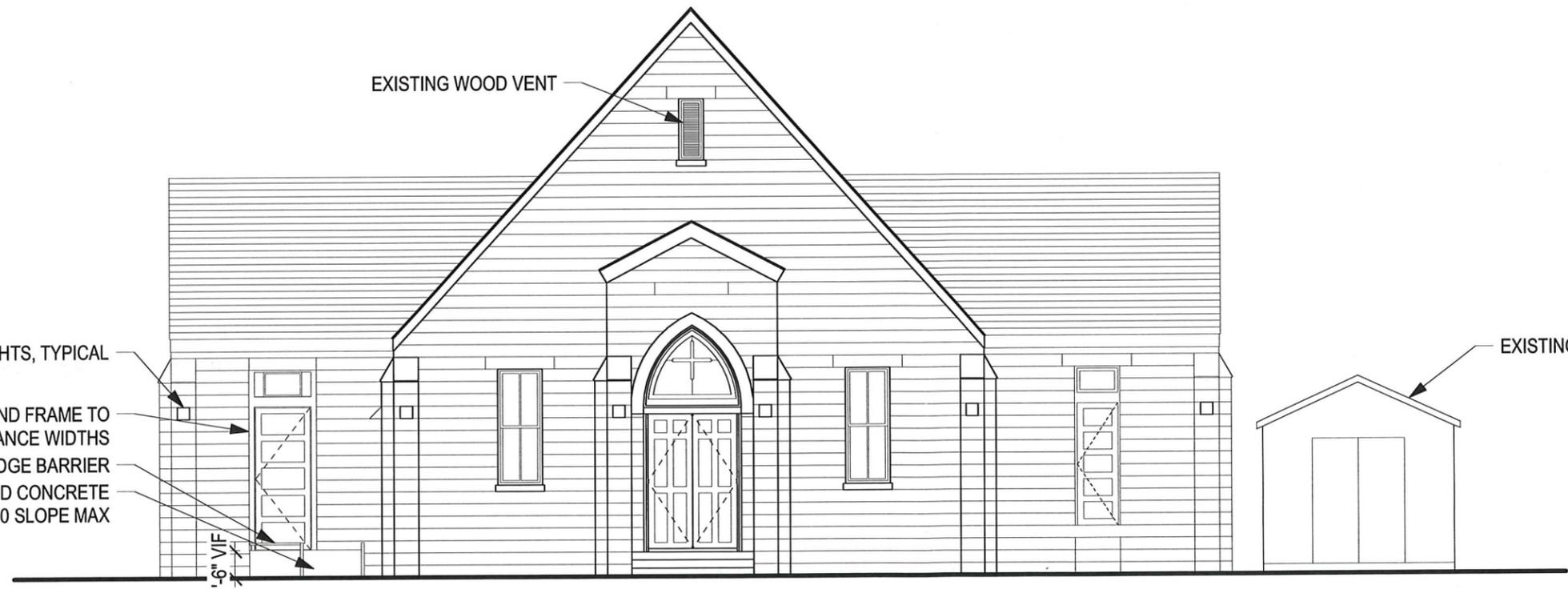


NEW EGRESS LIGHTS, TYPICAL

NEW WATER-WASHED CONCRETE
 SLOPING WALK, 1:20 MAX
 PAINTED STEEL EDGE BARRIER

2 NORTH (SIDE STREET) ELEVATION
 1/8" = 1'-0"

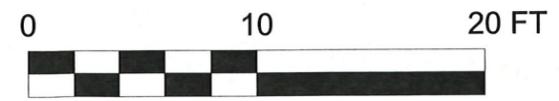
EXISTING WOOD VENT



NEW EGRESS LIGHTS, TYPICAL
 REVISED DOOR AND FRAME TO
 MEET ADA CLEARANCE WIDTHS
 PAINTED STEEL EDGE BARRIER
 NEW WATER-WASHED CONCRETE
 SLOPING WALK, 1:20 SLOPE MAX

EXISTING SHED, NO SCOPE

1'-6" VIF

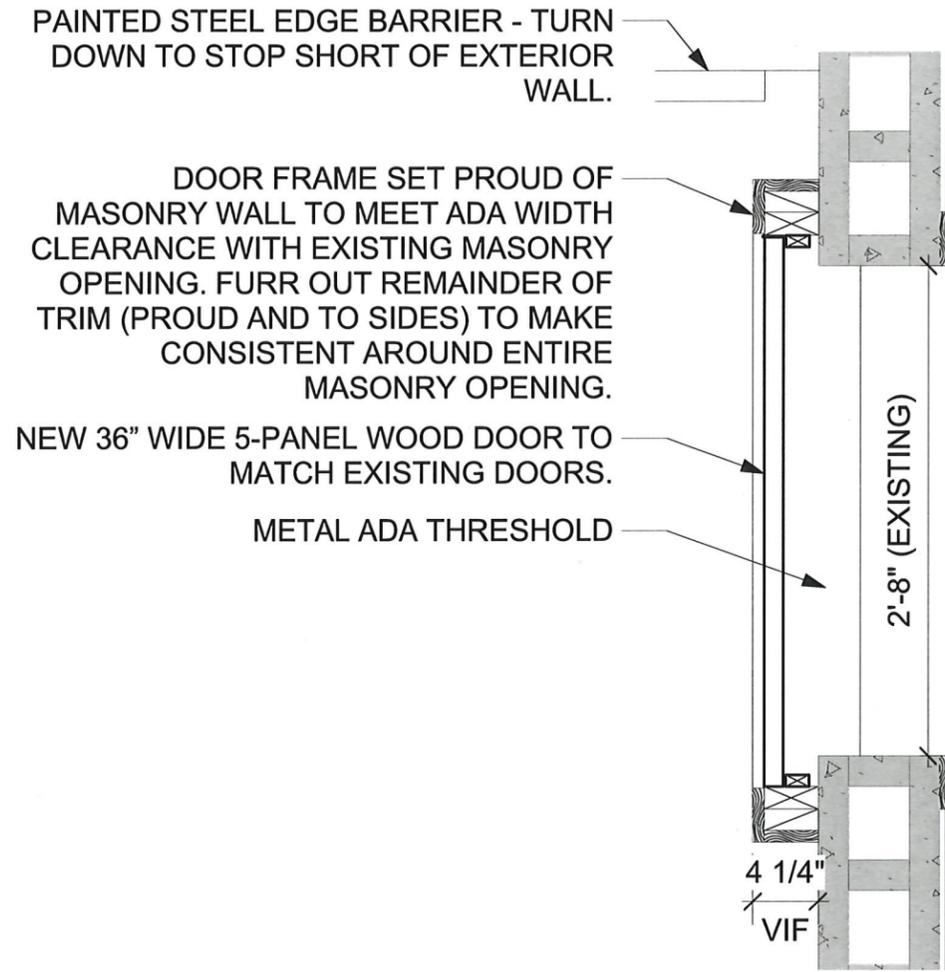


1 WEST (FRONT) ELEVATION
 1/8" = 1'-0"

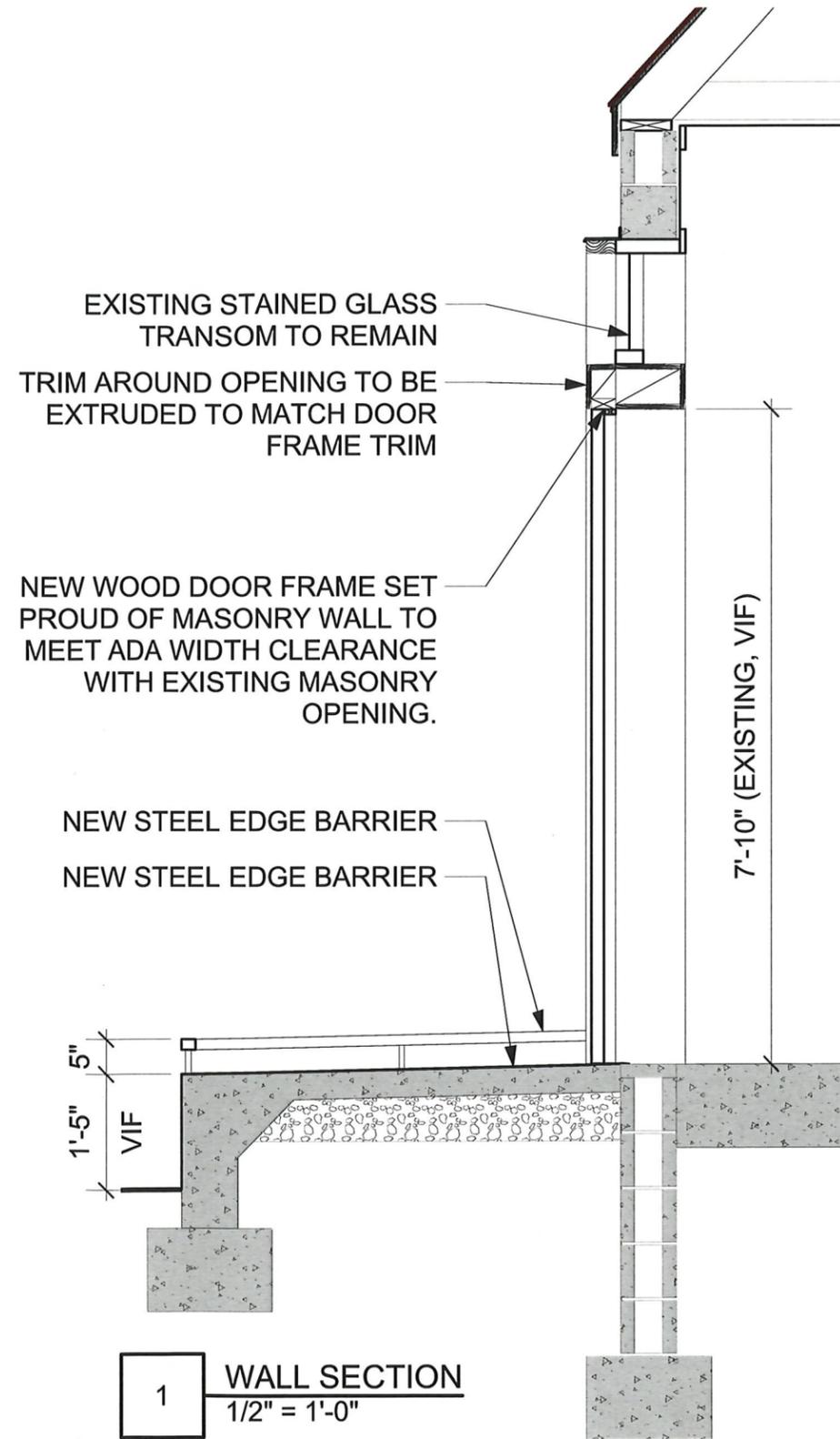
**ST GETHSEMANE
 RENOVATION**

PROJECT NO:
 DRAWN: NNA
 CHECKED: FB
 DATE: 09/18/2018

ELEVATIONS



2 PLAN DETAIL
 1" = 1'-0"



1 WALL SECTION
 1/2" = 1'-0"



**ST GETHSEMANE
 RENOVATION**

PROJECT NO:
 DRAWN: NNA
 CHECKED: FB
 DATE: 09/18/2018

DETAILS

TRITON M LED

Architectural Outdoor



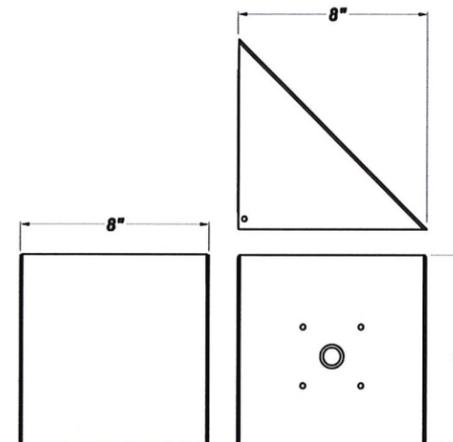
PROJECT: _____
 TYPE: _____
 PO#: _____ QTY: _____
 COMMENTS: _____

FEATURES

- Aluminum Housing w/ Textured Bronze Polyester Powder Coat Finish
- Semi-Opaque Polycarbonate Diffuser
- Aluminum Mount Pan & Reflector w/ Hi-Reflectance White Powder Coat Finish
- Mounts Directly to Junction Box (Mounting Hardware Included)
- Dark Sky Compliant
- CSA Approved Wet Location For Wall Mounting
- LED Light Fixture
- Mounting Hardware Included

LINE DRAWING

LINE DRAWING NOT TO SCALE



FINISHES



TERONLIGHTING.COM
 33 DONALD DR, FAIRFIELD, OH 45014
 P: 513.858.6004 F: 513.858.6038
 E: SALES@TERONLIGHT.COM



We reserve the right to revise the design components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice. 1

ST GETHSEMANE RENOVATION

PROJECT NO: _____
 DRAWN: NNA
 CHECKED: FB
 DATE: 09/18/2018

EXTERIOR EGRESS LIGHT

A8