

City of Raleigh



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162-16-CA

105 S BLOODWORTH STREET

OAKWOOD HISTORIC DISTRICT (HOD-G)

0 25 50 100
Feet



Nature of Project:
Remove rear deck and ramp;
construct new rear deck and ramp;
construct rear upper balcony;
install wheelchair lift; repair or patch
parking area as needed.

APPLICANT:
KEVIN WILD,
DRAWBRIDGE MEDIA, INC



Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 486516

File # 162-16-CA

Fee CK# 4150

Amount Paid 147.00

Received Date 8/7/16

Received By L/HK

Amended 10/10/16

Property Street Address 105 South Bloodworth Street, Raleigh, NC 27601

Historic District Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name Kevin Wild-Drawbridge Media, Inc.

Lot size .5 acre

(width in feet)

(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
109 S. Bloodworth Street	
101 S. Bloodworth Street	
410 Morson Street	
412 Morson Street	
416 Morson Street	
110 South East Street	
(additional via labelmaker/website)	

Hen

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Kevin Wild, Drawbridge Media, Inc.

Mailing Address 105 S. Bloodworth Street

city Raleigh

State NC

Zip Code 27601

Date 10/07/16

Daytime Phone 919-621-4594

Email Address kevin@drawbridge.tv

Applicant Signature	
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6. Wild.

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work _____

25, 59, 53

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

[illegible]

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
<u>Minor Work (staff review)</u> – 1 copy					
<u>Major Work (COA Committee review)</u> – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See <u>Development Fee Schedule</u>)	<input checked="" type="checkbox"/>				

PROPOSED WORK DESCRIPTION
for 105 South Bloodworth Street

I am requesting permission for the construction of a new deck to replace the old one that is in terrible shape on the back of the house. I am also adding an upper level wood patio/balcony to gain access to the door that is currently on the 2nd floor and is currently un-usable. The upper patio/balcony will not have stairs.

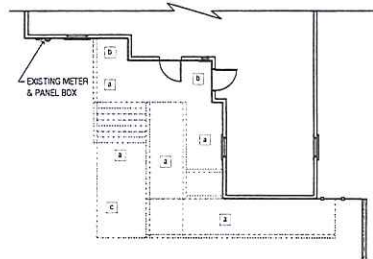
When finished, depending on the condition of the parking lot after construction, I may re-concrete or tar the lot.

All work will be done behind the house and none of these changes will be visible from the street or front yard. Construction should take less than 2 weeks total and no neighboring homes or business will be inconvenienced in any way.

WORK LIST

1. Removal of old, unstable deck and non-ADA Compliant ramp
2. Addition of similar sized wood deck and ramp for business use
3. Addition of ADA Compliant wheelchair lift (TBD) to deck near house
4. Addition of upper level wood patio
5. Possible re-concrete or patching of parking lot after deck is finished including access to wheelchair lift.

Owner:
Kevin Wild
Drawbridge Media, Inc.
105 South Bloodworth Street
Raleigh, NC 27601
919-621-4594
kevinwild@mac.com

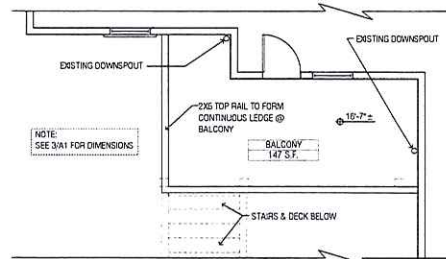


1. DEMOLITION PLAN

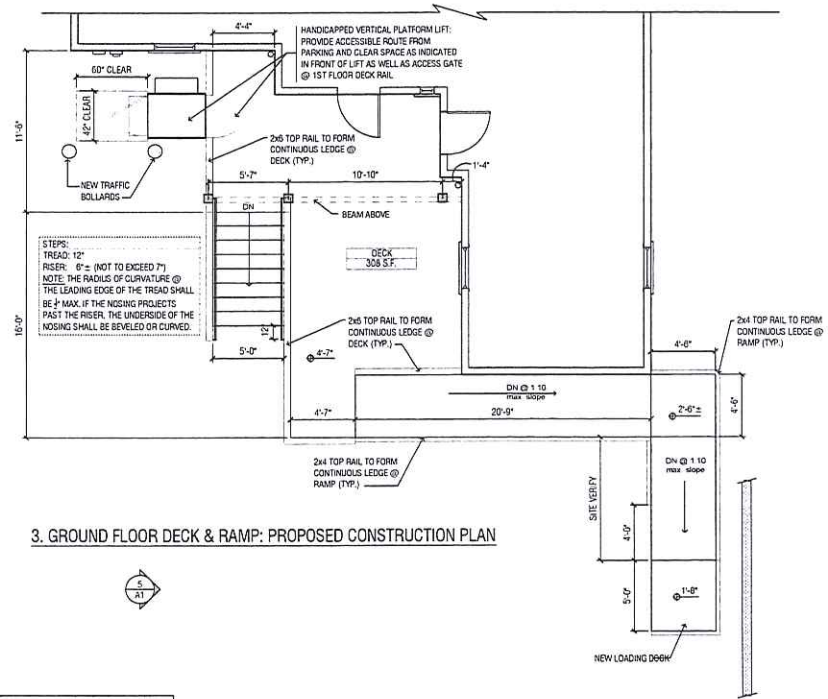
scale: 1/8" = 1'-0"

DEMOLITION KEY

- A REMOVE DECK, STAIRS & RAMP
- B MASONRY STUOP BENEATH DECK TO REMAIN IF POSSIBLE
- C REMOVE CONCRETE WALK



2. 2nd FLOOR BALCONY: PROPOSED CONSTRUCTION PLAN



3. GROUND FLOOR DECK & RAMP: PROPOSED CONSTRUCTION PLAN

GENERAL NOTES:
SEE STRUCTURAL ENGINEER'S DRAWINGS (N.I.C.) FOR BEAM & COLUMN DESIGN, FRAMING, FOUNDATION, FOOTINGS, FASTENERS, ATTACHMENTS, ETC.
SEE SURVEY FOR PROPERTY INFORMATION AND LAYOUT.
ALL HANDRAILS, RAMPS & STAIRS SHALL COMPLY WITH NCSCC. WHERE DRAWINGS AND/OR NOTES CONFLICT W/ NCSCC, NCSCC SHALL SUPERCEDE.
ALL GUARDS TO BE IN ACCORDANCE W/ NCSCC.

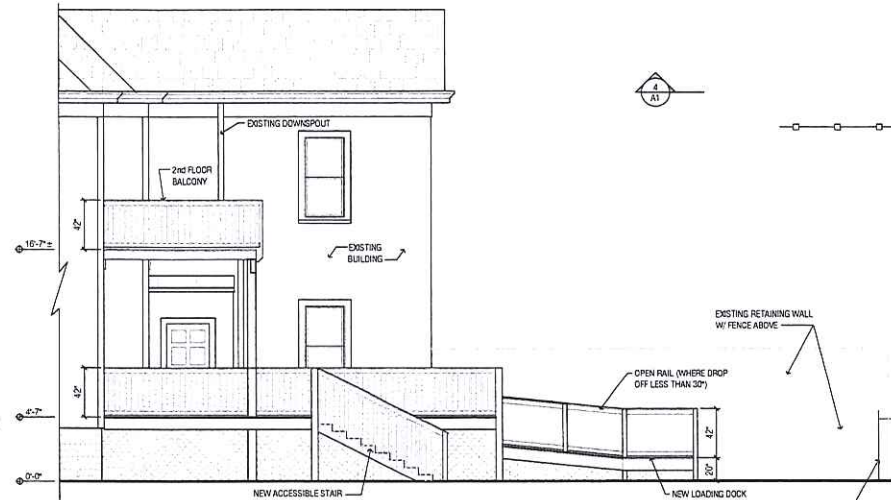
PLAN LEGEND

- EXISTING BUILDING
- EXISTING RETAINING WALL
- EXISTING FENCE
- ITEMS MARKED FOR DEMOLITION
- NEW POST/COLUMN
- NEW HANDRAIL (SEE 6/A1)

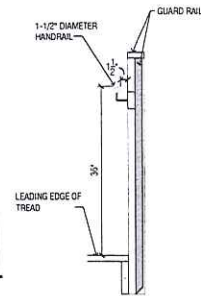
DIMENSION NOTES (unless noted otherwise):
DIMENSIONS FOR NEW CONSTRUCTION ARE FROM CENTERLINE OF COLUMNS AND/OR FACE OF DECK
DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE OF FINISHED SIDING
CLEAR DIMENSIONS (REQUIRED BY CODE OR NOTED) SUPERCEDE ALL OTHER DIMENSIONS
NOTE: GUARDRAILS TO BE ATTACHED TO OUTSIDE FACE OF DECK AND ARE NOT INCLUDED IN DIMENSION STRINGS



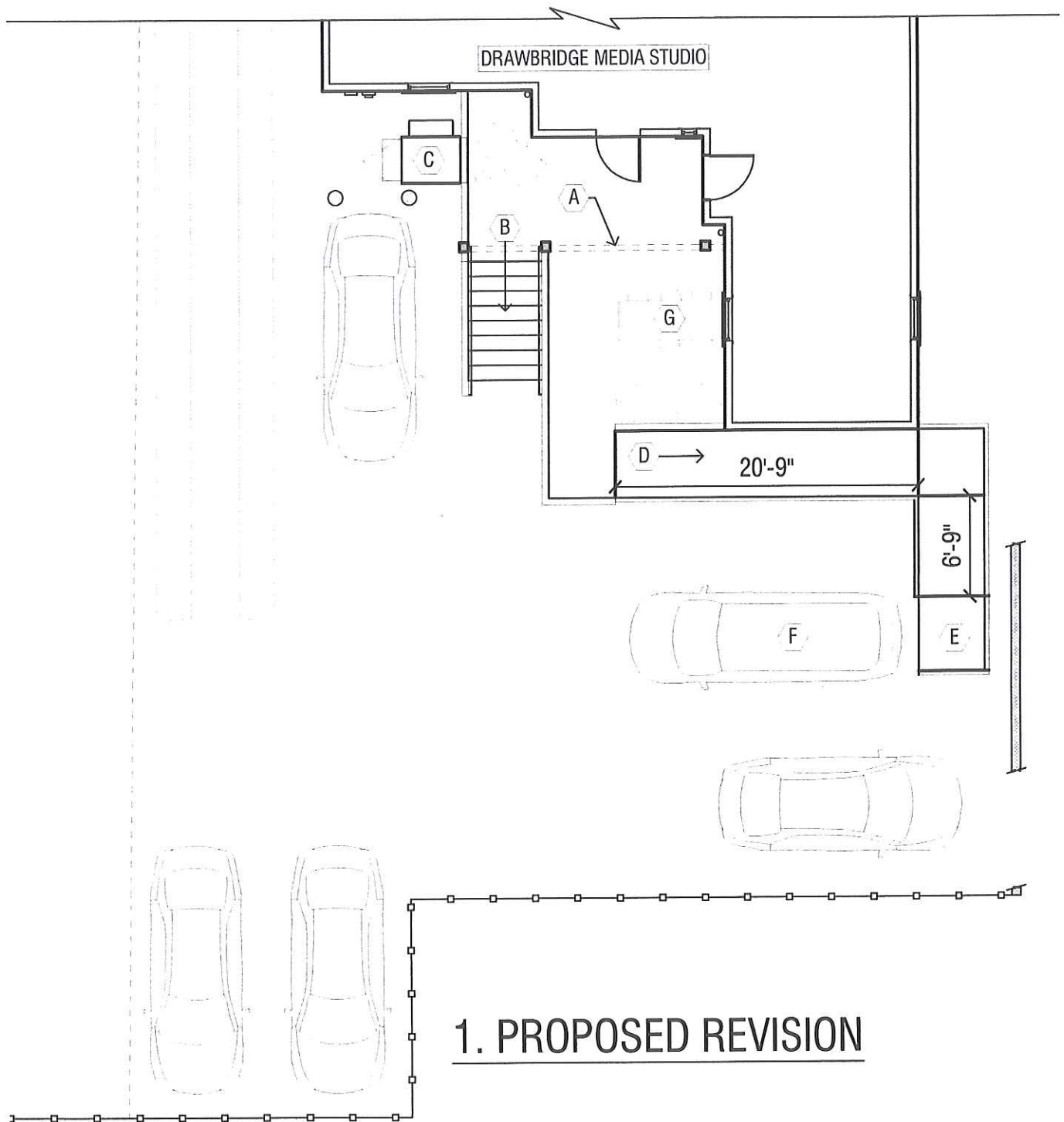
4. REAR (EAST) ELEVATION



5. SIDE (SOUTH) ELEVATION



6. DETAIL
scale: 1" = 1'-0"



- A DECK ABOVE
- B STAIRS TO PARKING
- C WHEELCHAIR LIFT
- D RAMP (MAX. SLOPE OF 6°)
- E LOADING PLATFORM
- F CARGO VAN
- G BAR HEIGHT TABLE w/ (6) STOOLS



DRAWBRIDGE MEDIA REVISIONS

Sept. 14, 2016

SCALE: 1"=10'

SHEET: Rev

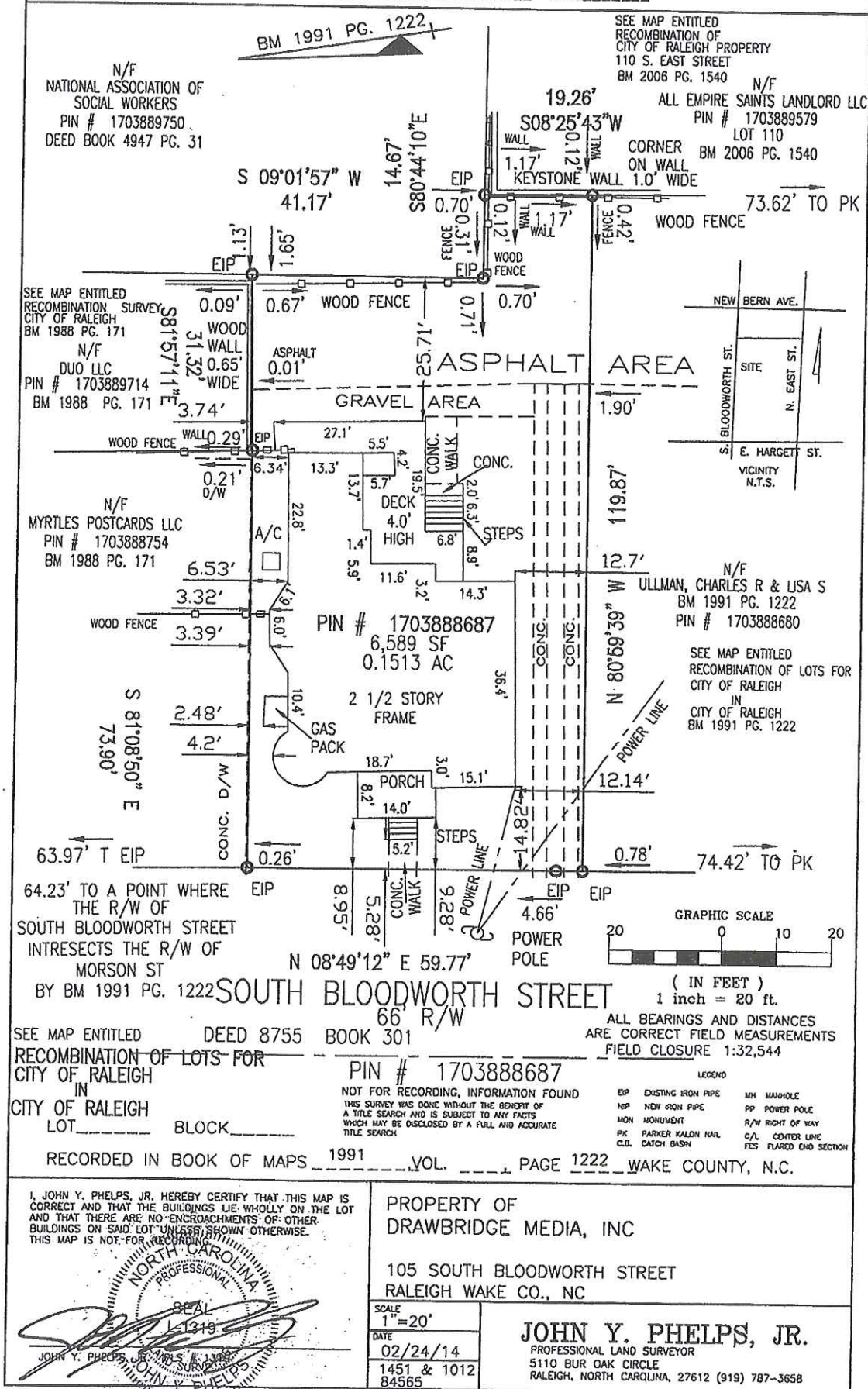
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jhb
architect

jennifer heron brock
architect ■ NCARB

www.jhbarchitect.com

Harrison



105 S. Bloodworth Street



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