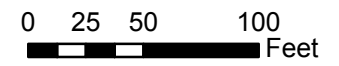




This document is a graphic representation only, created from the best available sources. The City of Raleigh assumes no responsibility for any errors, or misuse of this document.

163-16-CA

514 COLE STREET
GLENWOOD-BROOKLYN
HISTORIC DISTRICT (HOD-S)



Nature of Project:
Construct new 2-car garage.

APPLICANT:
GUPTON BUILT LLC

GLENWOOD AVE





[Unified Development Ordinance](#) - [Disclaimer](#)

Designed and developed by the City of Raleigh [Geographic Information Systems Division](#)

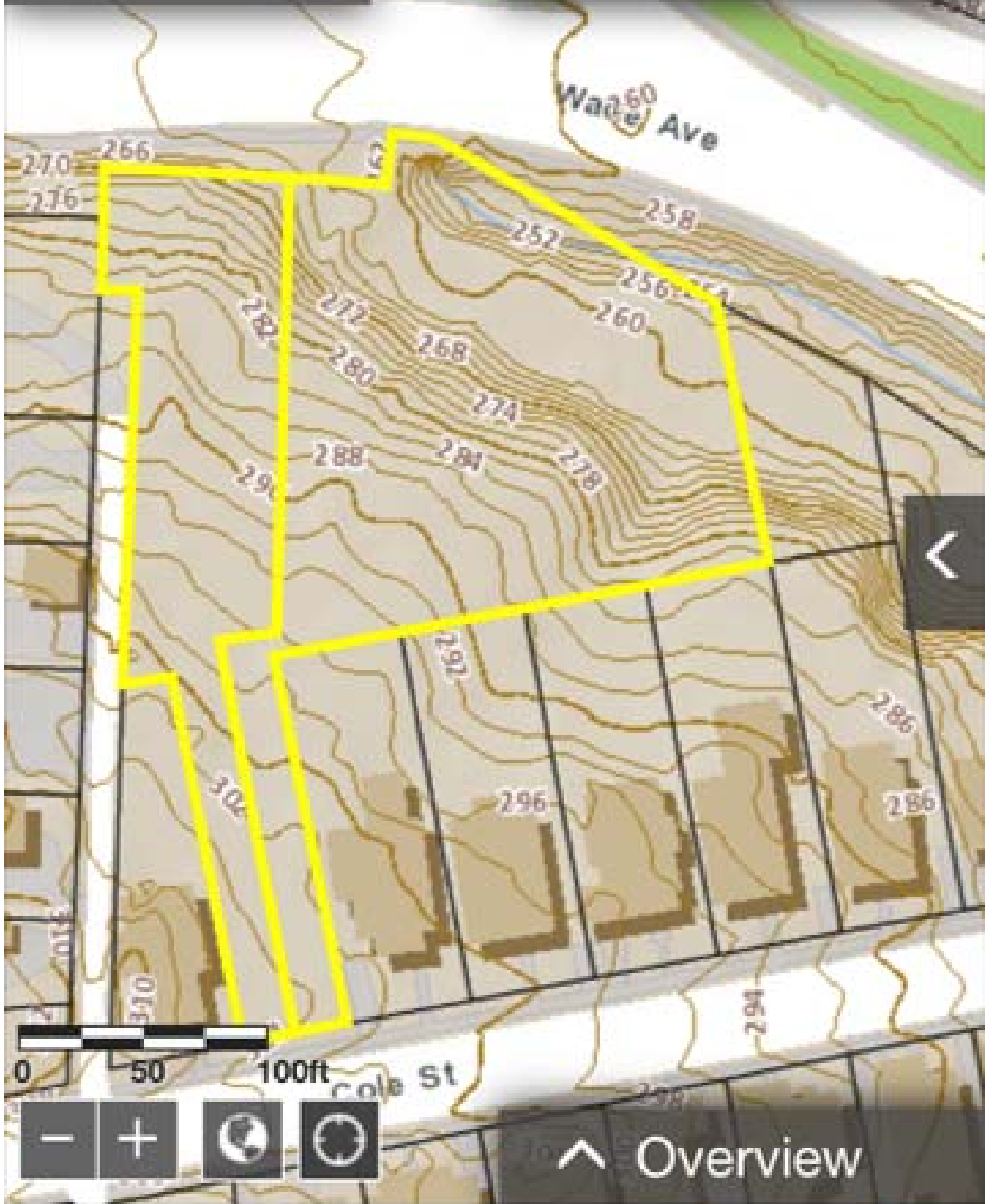


iMAPS



Tools

Maps



unique shaped lot compared to the other surrounding lots





SPECTRA ENGINEERING AND DESIGN, PLLC
 201 SHANNON OAKS CIRCLE, SUITE 200
 CARY, NORTH CAROLINA 27511
 TEL.: (919) 228-2841 FAX: X
 N.C. LICENSE NO. P-0946

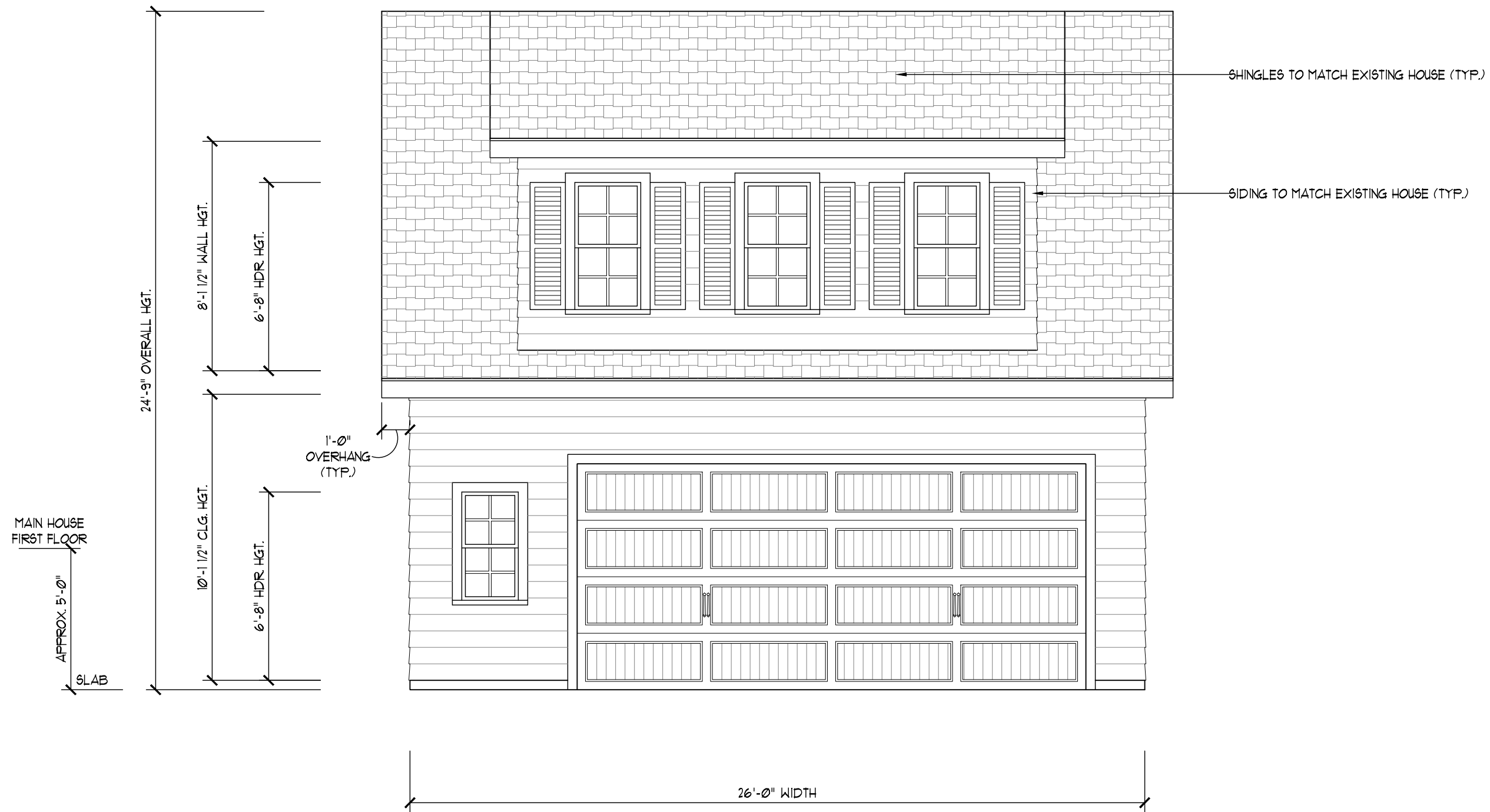
DATE: OCTOBER 20, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: T5Z
 ENGINEERED BY: T5Z
 REVIEWED BY: JBW

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

FRONT ELEVATION

A=1

SHEET 1 OF 8



MAIN HOUSE
FIRST FLOOR

APPROX. 5'-0"

SLAB



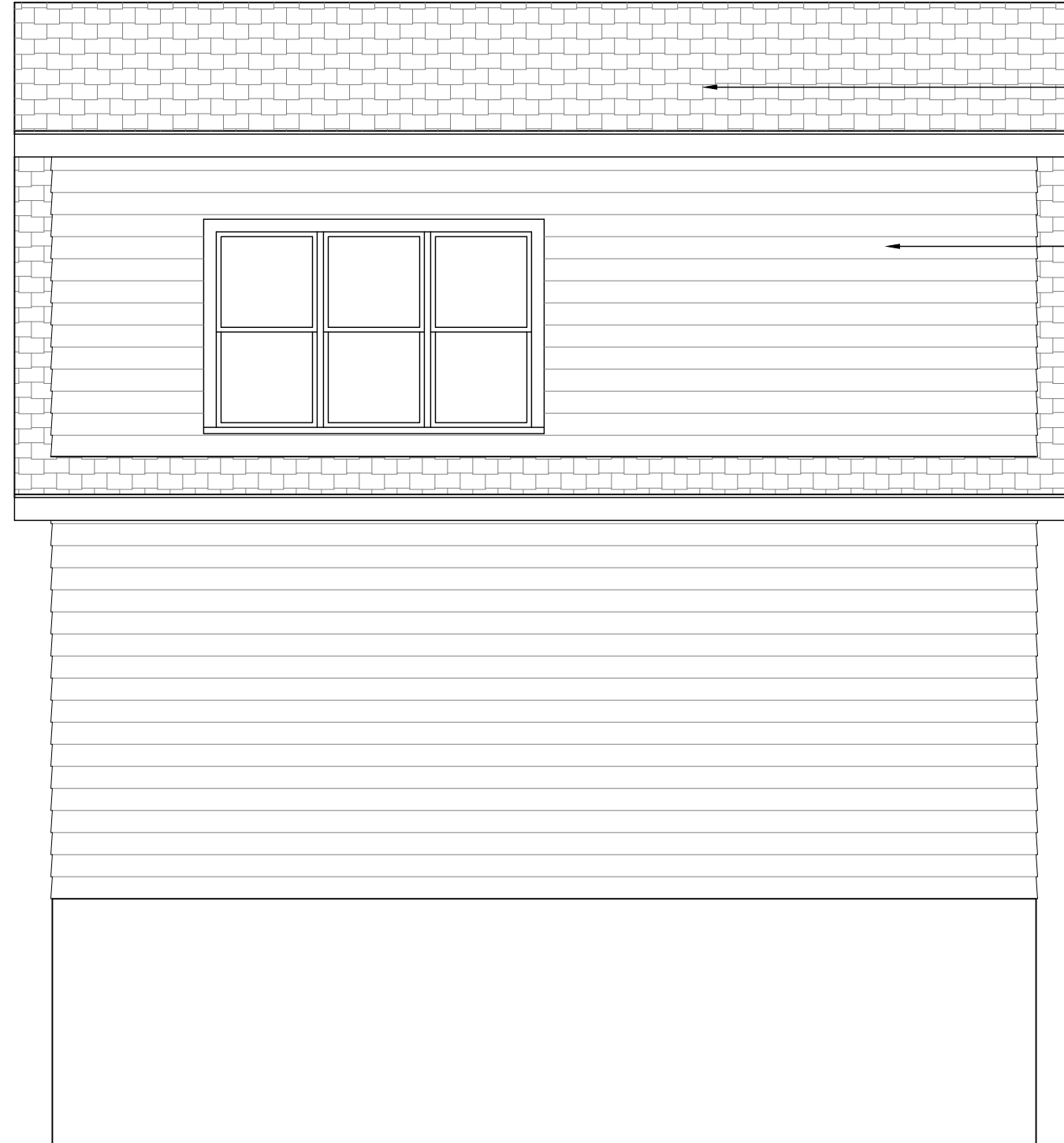
SPECTRA ENGINEERING AND DESIGN, PLLC
201 SHANNON OAKS CIRCLE, SUITE 200
CARY, NORTH CAROLINA 27511
TEL.: (919) 228-2841 FAX: X
N.C. LICENSE NO. P-0946

DATE: OCTOBER 20, 2016
SCALE: 1/4" = 1'-0"
DRAWN BY: T5Z
ENGINEERED BY: T5Z
REVIEWED BY: JBW

GUPTON DETACHED GARAGE
514 COLE STREET
RALEIGH, NORTH CAROLINA
GUPTON BUILT

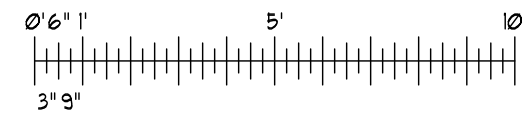
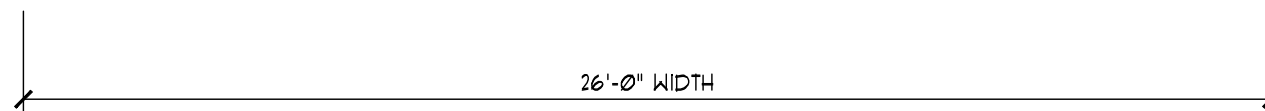
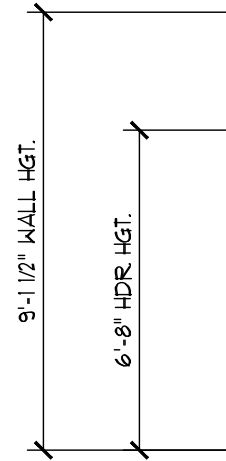
REAR ELEVATION

A-2
SHEET 2 OF 8



SHINGLES TO MATCH EXISTING HOUSE (TYP.)

SIDING TO MATCH EXISTING HOUSE (TYP.)

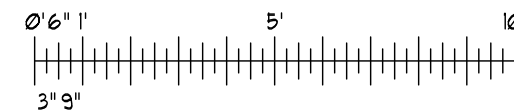




SIDING TO MATCH EXISTING HOUSE (TYP.)

SHINGLES TO MATCH EXISTING HOUSE (TYP.)

24'-0" WIDTH



SPECTRA ENGINEERING AND DESIGN, PLLC
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 CARY, NORTH CAROLINA 27511
 TEL.: (919) 228-2841 FAX: X
 N.C. LICENSE NO. P-0946

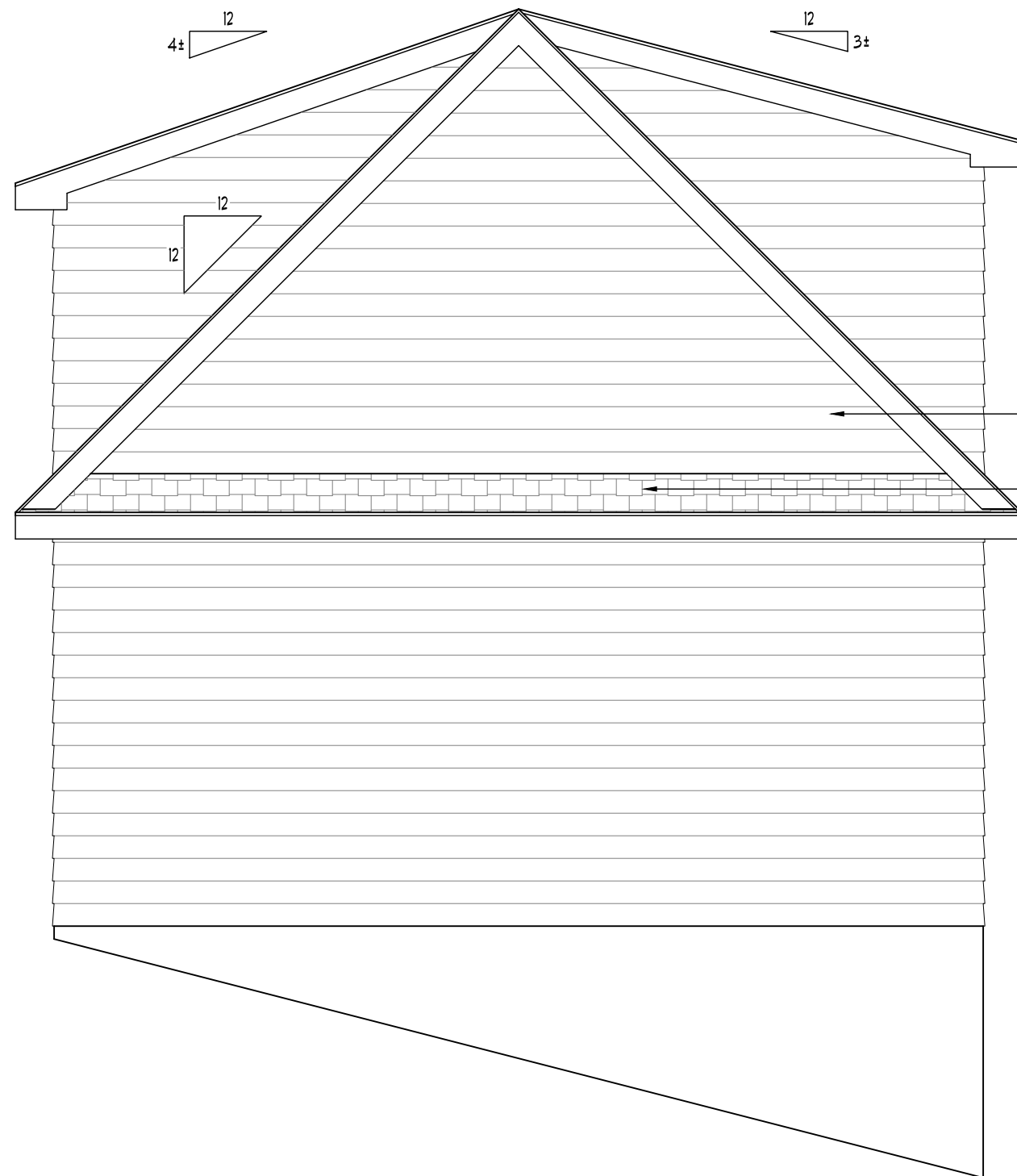
DATE: OCTOBER 20, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: T5Z
 ENGINEERED BY: T5Z
 REVIEWED BY: JBW

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

LEFT ELEVATION

A=3

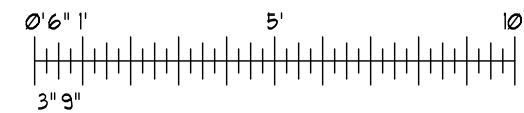
SHEET 3 OF 8



SIDING TO MATCH EXISTING HOUSE (TYP.)

SHINGLES TO MATCH EXISTING HOUSE (TYP.)

24'-0" WIDTH



SPECTRA ENGINEERING AND DESIGN, PLLC
 201 SHANNON OAKS CIRCLE, SUITE 200
 CARY, NORTH CAROLINA 27511
 TEL.: (919) 228-2841 FAX: X
 N.C. LICENSE NO. P-0946

DATE: OCTOBER 20, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: T5Z
 ENGINEERED BY: T5Z
 REVIEWED BY: JBW

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

RIGHT ELEVATION

A = 4

SHEET 4 OF 8

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input checked="" type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>490547</u> File # <u>163-16-CA</u> Fee <u>\$294</u> Amount Paid <u>294</u> Received Date <u>10-10-16</u> Received By <u>[Signature]</u>
---	---

Property Street Address <u>514 Cole St</u>		
Historic District <u>Glenwood - Brooklyn</u>		
Historic Property/Landmark name (if applicable) <u>N/A</u>		
Owner's Name <u>DSF Builders Inc.</u>		
Lot size <u>.7552 ac</u>	(width in feet)	(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
	22 env

Deadline 10/10 for 10/27 meeting

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant *Gupton Built LLC*

Mailing Address *PO Box 17325*

City *Raleigh*

State *NC*

Zip Code *27619*

Date *10-10-16*

Daytime Phone *919-291-5635*

Email Address *Corbett@guptonbuilt.com*

Applicant Signature *[Handwritten Signature]*

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only	
Type of Work	_____
	<i>11</i>

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
<i>2.6 18-19</i>	<i>Garages</i>	<i>See attached scope of work</i>
<i>2.3 12-13</i>	<i>Site Features . . .</i>	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <i>only one copy - de pl</i> <i>Tanja</i>			✓		
Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate) <i>Mft Specs - siding, shingles; windows; garage door</i>	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc.; must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or <u>graphic scale</u> (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		✓		

1704552334
DJF BUILDERS INC
3716 NATIONAL DR STE 122
RALEIGH NC 27612-4863

1704541913
WALKER, JEFFREY A WALKER, KRISTIN L
515 COLE ST
RALEIGH NC 27605-1207

1704541975
ALBERTSON, EDDIE A ALBERTSON,
KAREN B
513 COLE ST
RALEIGH NC 27605-1207

1704542935
MENNEAR, JOHN H II MENNEAR,
CATHERINE F
511 COLE ST
RALEIGH NC 27605-1207

1704550130
HORNING, BONNI L
1400 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550133
MCDONALD, MICHAEL MCDONALD,
JESSICA
1408 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550148
SMART, RANDOLPH SCOTTEN
1410 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550243
WILSON GLENWOOD LLC
828 GREENWICH ST
RALEIGH NC 27610-3639

1704550248
DAVIS, LUTHER J III DAVIS, JENNIFER C
1414 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550343
FREDETTE, JOHN W FREDETTE, W
DOUGLAS
1416 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550348
SMITH, MYRA JEAN CLAYTON, GREGORY
ALAN
1418 GLENWOOD AVE
RALEIGH NC 27605-1219

1704551115
MCCOY, THOMAS MARSHALL JR
516 COLE ST
RALEIGH NC 27605-1208

1704551199
SINES, LIESL ANN SINES, BRANDON LEE
512 COLE ST
RALEIGH NC 27605-1208

1704551341
MURPHY, GARY
514 1/2 COLE ST
RALEIGH NC 27605-1208

1704552073
MCDUFFIE, A CRAIG NOBLE, LINDA J
509 COLE ST
RALEIGH NC 27605-1207

1704552159
JOHNSON, ANTHONY H JOHNSON,
KATHALEEN M
510 COLE ST
RALEIGH NC 27605-1208

1704552290
KISSEE, ROBERT DALE II KISSEE, EMILY
JULIA
508 COLE ST
RALEIGH NC 27605-1208

1704553241
RIEDEMANN, MARK
506 COLE ST
RALEIGH NC 27605-1208

1704553292
PHIPPS, WILLIAM A PHIPPS, SARAH
PEARCE
502 COLE ST
RALEIGH NC 27605-1208

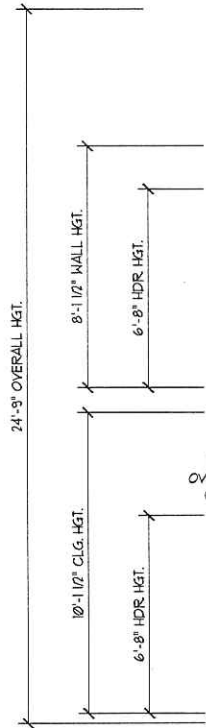
1704553374
HUTZLER, PATRICIA M
8908 EAGLEBROOK CT
RALEIGH NC 27617-7540

1704554245
COBB, CARSON L JR & DEBRA T TRUSTEE
THE COBB LIVIN...
4209 MARVIN PL
RALEIGH NC 27609-5951

1704554294
SHACAN INVESTMENTS LLC
8108 TYLERTON DR
RALEIGH NC 27613-1575

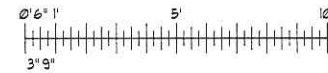
Description of work for 514 Cole St detached garage:

I am building a 26' wide x 24' deep detached garage. The siding will be 6" LP Smart smooth siding with a 5" reveal to match existing house. The shingles will be CertainTeed Landmark Moire Black lifetime shingle 50 yr to match existing house. The windows will be PlyGem Pro Series 200 Double Hung with 3-1/2" casing, SDL sashes on front elevation, clear glass sashes on sides and rear elevation to match existing house. The pedestrian door on the left elevation will be Jeldwren 2/8 x 6/8 24 gauge metal half glass door with 3-1/2" casing. The shutters will be wood louver shutters. The garage door will be 18' x 8' Door Link 440 24 gauge door.



SHINGLES TO MATCH EXISTING HOUSE (TYP.)

SIDING TO MATCH EXISTING HOUSE (TYP.)



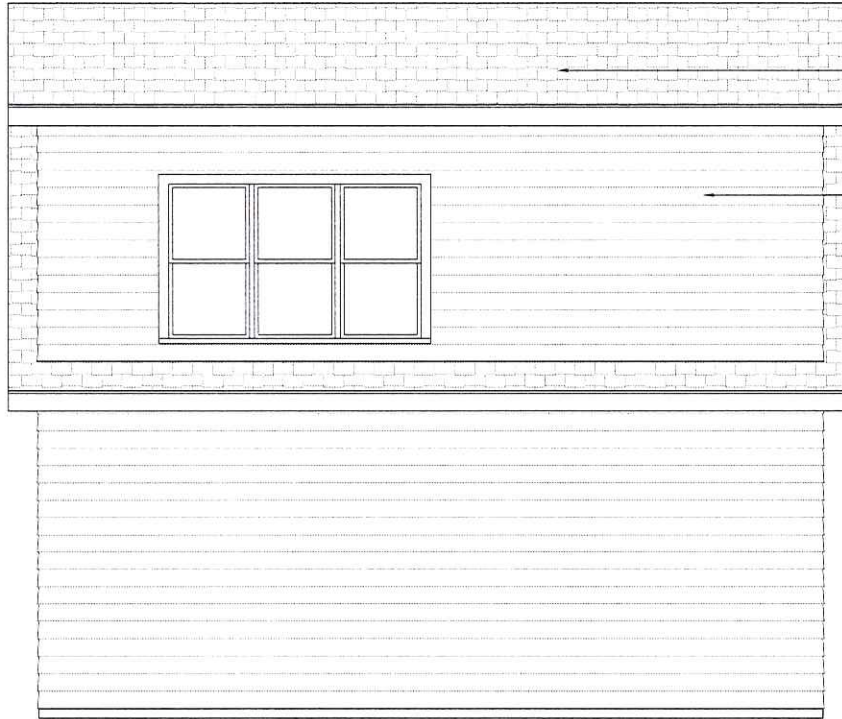
SPECTRA ENGINEERING AND DESIGN, PLLC
 201 SHANNON OAKS CIRCLE, SUITE 200
 CARY, NORTH CAROLINA 27511
 TEL: (919) 728-2841 FAX: X
 N.C. LICENSE NO. P-09346

DATE: OCTOBER 07, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: TST
 ENGINEERED BY: TST
 REVIEWED BY: JBA

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

FRONT ELEVATION
 A-1
 SHEET 1 OF 2

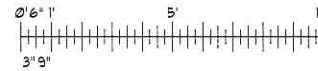
9'-1 1/2" WALL HGT.
6'-8" HDR HGT.



SHINGLES TO MATCH EXISTING HOUSE (TYP.)

SIDING TO MATCH EXISTING HOUSE (TYP.)

26'-0" WIDTH



SPECTRA ENGINEERING AND DESIGN, PLLC
201 SHANNON OAKS CIRCLE, SUITE 2000
CARY, NORTH CAROLINA 27511
TEL: (919) 728-2841 FAX: X
NC. LICENSE NO. P-09346

DATE: OCTOBER 01, 2016
SCALE: 1/4" = 1'-0"
DRAWN BY: TSZ
ENGINEERED BY: JSZ
REVIEWED BY: JBW

GUPTON DETACHED GARAGE
514 COLE STREET
RALEIGH, NORTH CAROLINA
GUPTON BUILT

REAR ELEVATION
A-2
SHEET 2 OF 8



SPECTRA ENGINEERING AND DESIGN, PLLC
 201 SHANNON OAKS CIRCLE, SUITE 200
 CARY, NORTH CAROLINA 27511
 TEL: (919) 728-7284 FAX: X
 N.C. LICENSE NO. F-09346

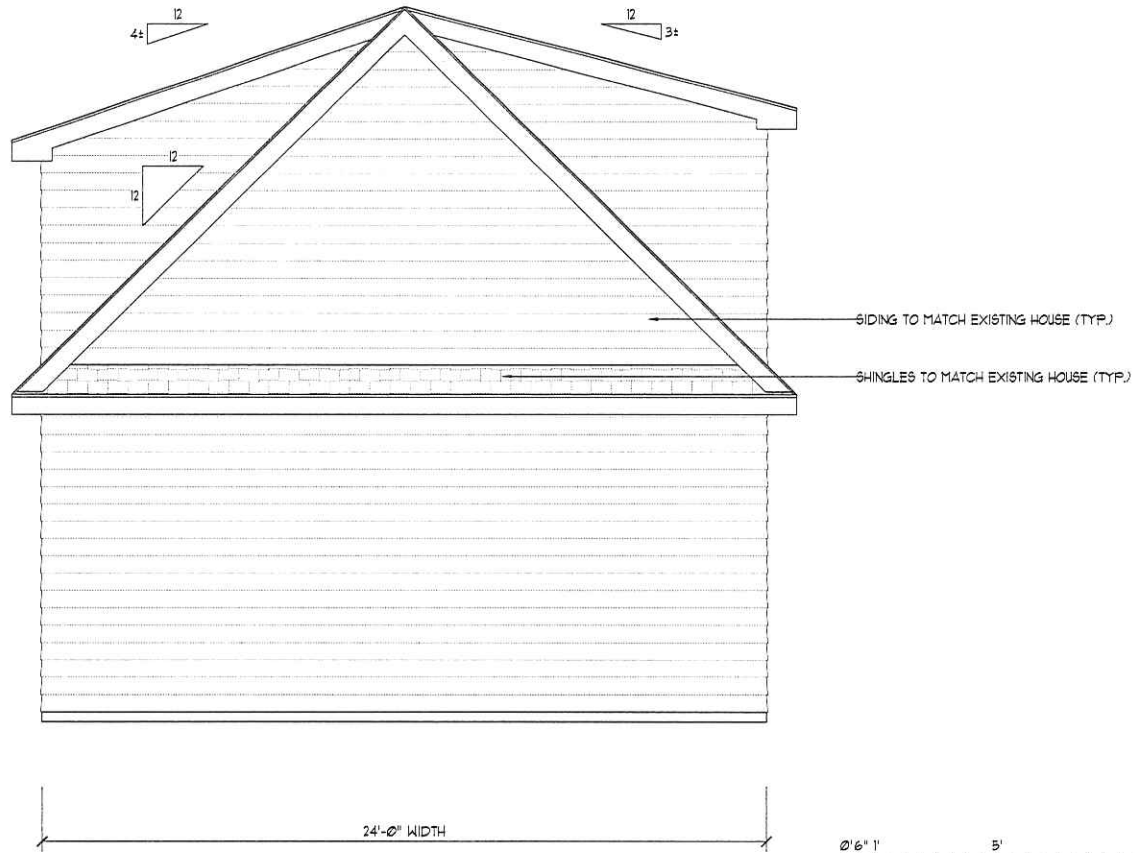
DATE: OCTOBER 07, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: TSZ
 ENGINEERED BY: TSZ
 REVIEWED BY: JBJK

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

LEFT ELEVATION

A-3

SHEET 3 OF 3

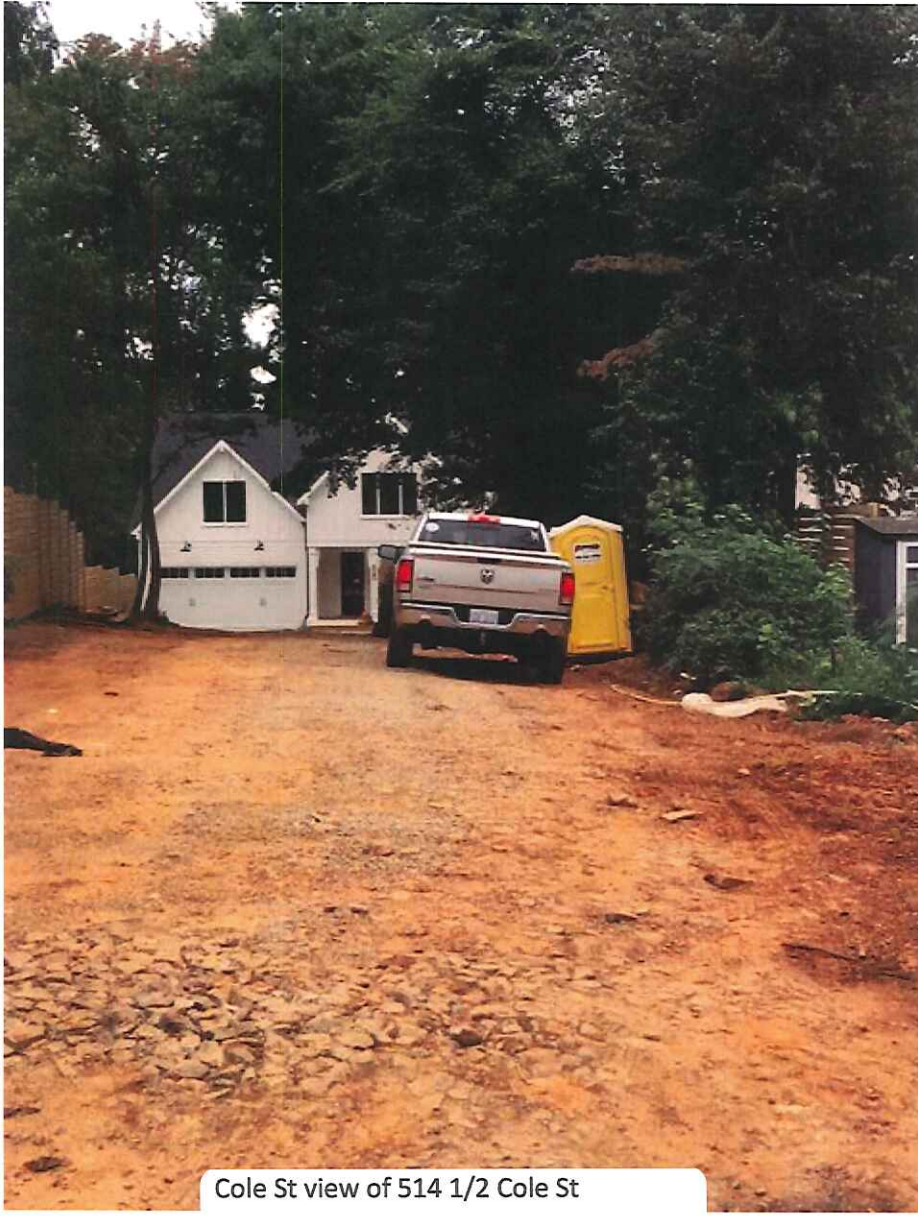


SPECTRA ENGINEERING AND DESIGN, PLLC
 201 SHANNON OAKS CIRCLE, SUITE 2000
 CARY, NORTH CAROLINA 27511
 TEL: (919) 728-2841 FAX: X
 NC LICENSE NO: P-09346

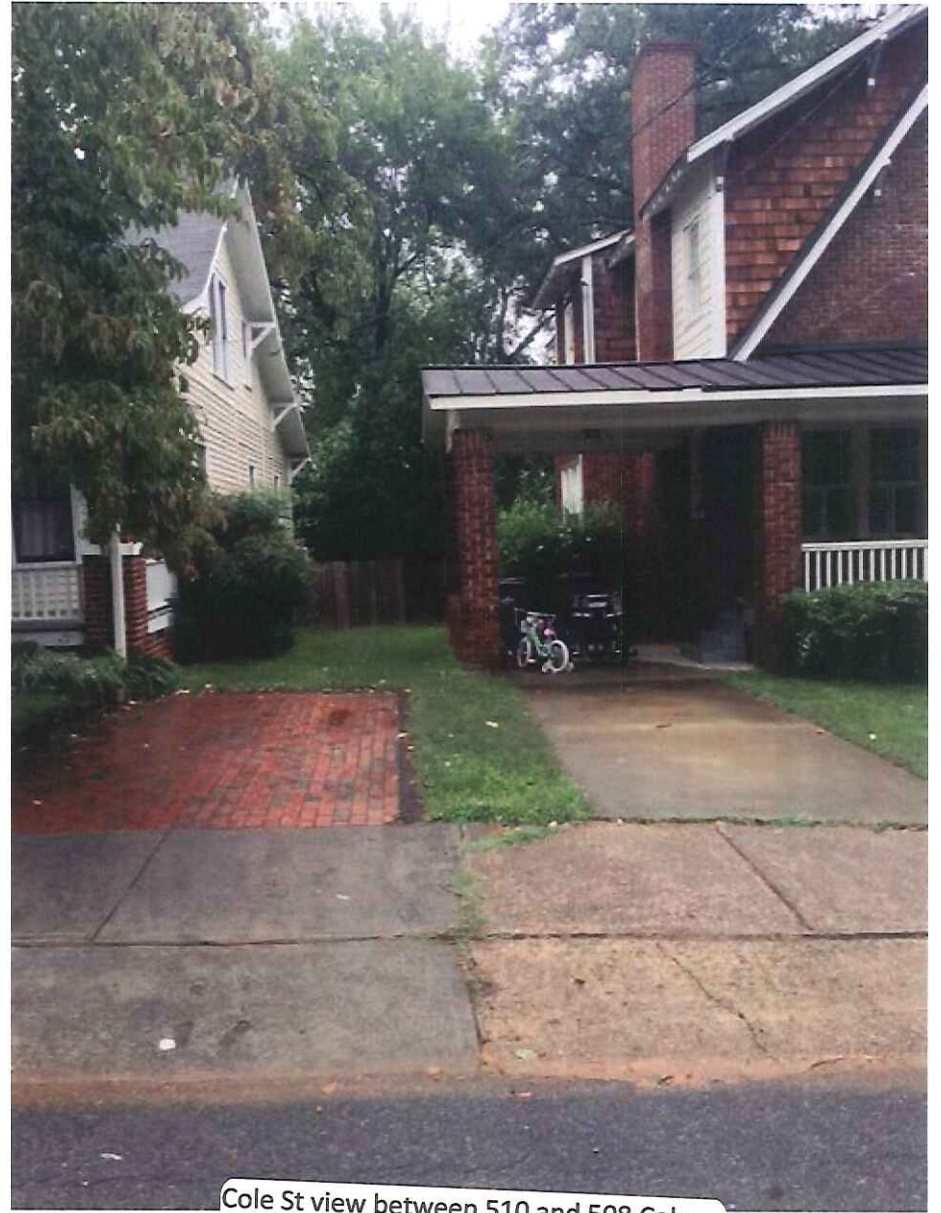
DATE: OCTOBER 07, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: TSZ
 ENGINEERED BY: TSZ
 REVIEWED BY: JBW

GUPTON DETACHED GARAGE
 514 COLE STREET
 RALEIGH, NORTH CAROLINA
 GUPTON BUILT

RIGHT ELEVATION
 A-4
 SHEET 4 OF 8



Cole St view of 514 1/2 Cole St



Cole St view between 510 and 508 Cole St



Cole St view of 516 Cole St



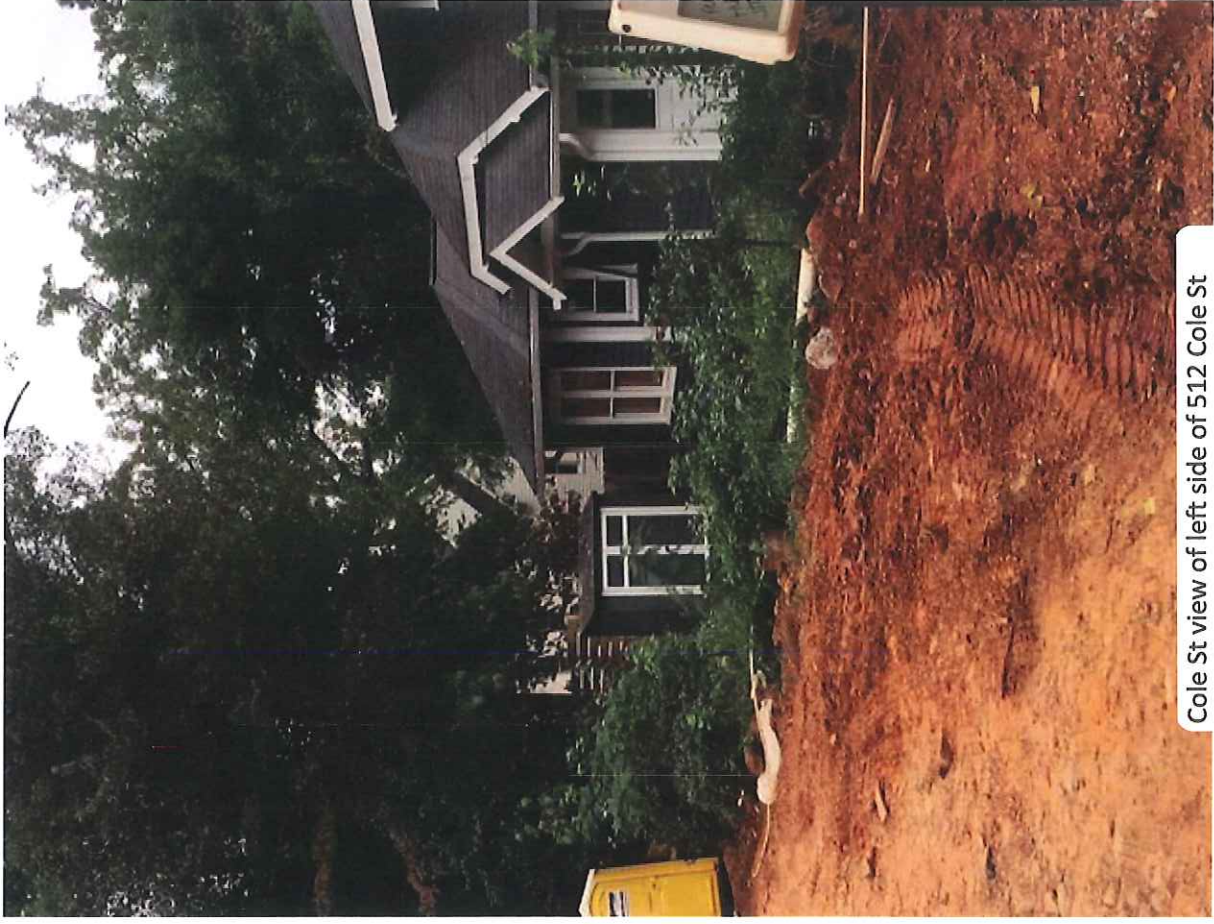
Cole St view of 510 Cole St



Front view of 514 Cole St



514 1/2 Cole St garage door



Cole St view of left side of 512 Cole St



Cole St view of 508 Cole St



Cole St view of 512 Cole St

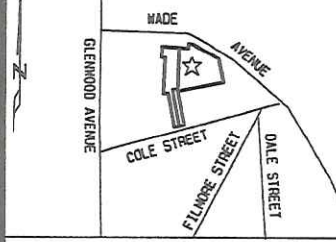


Driveway view of 514 1/2 Cole St (Left) and 514 Cole St (Right)

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	38.48	525.00	38.47	S 85° 06' 31" E

GENERAL NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES MEASURED IN U.S. SURVEY FEET.
2. AREAS COMPUTED BY COORDINATE METHOD.
3. THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE SEARCH.
4. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.
5. ANY DRAINAGEWAYS SHOWN HEREON AND/OR ADJACENT TO THIS SITE MAY CREATE ADDITIONAL BUFFERS CLAIMED BY THE STATE OF NORTH CAROLINA OR OTHER REGULATORY AGENCY.
6. INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF LOT 13

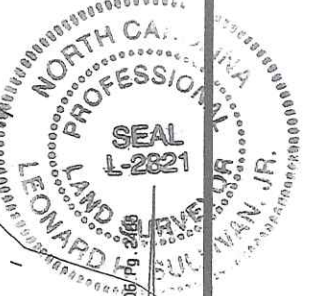


VICINITY MAP
NOT TO SCALE

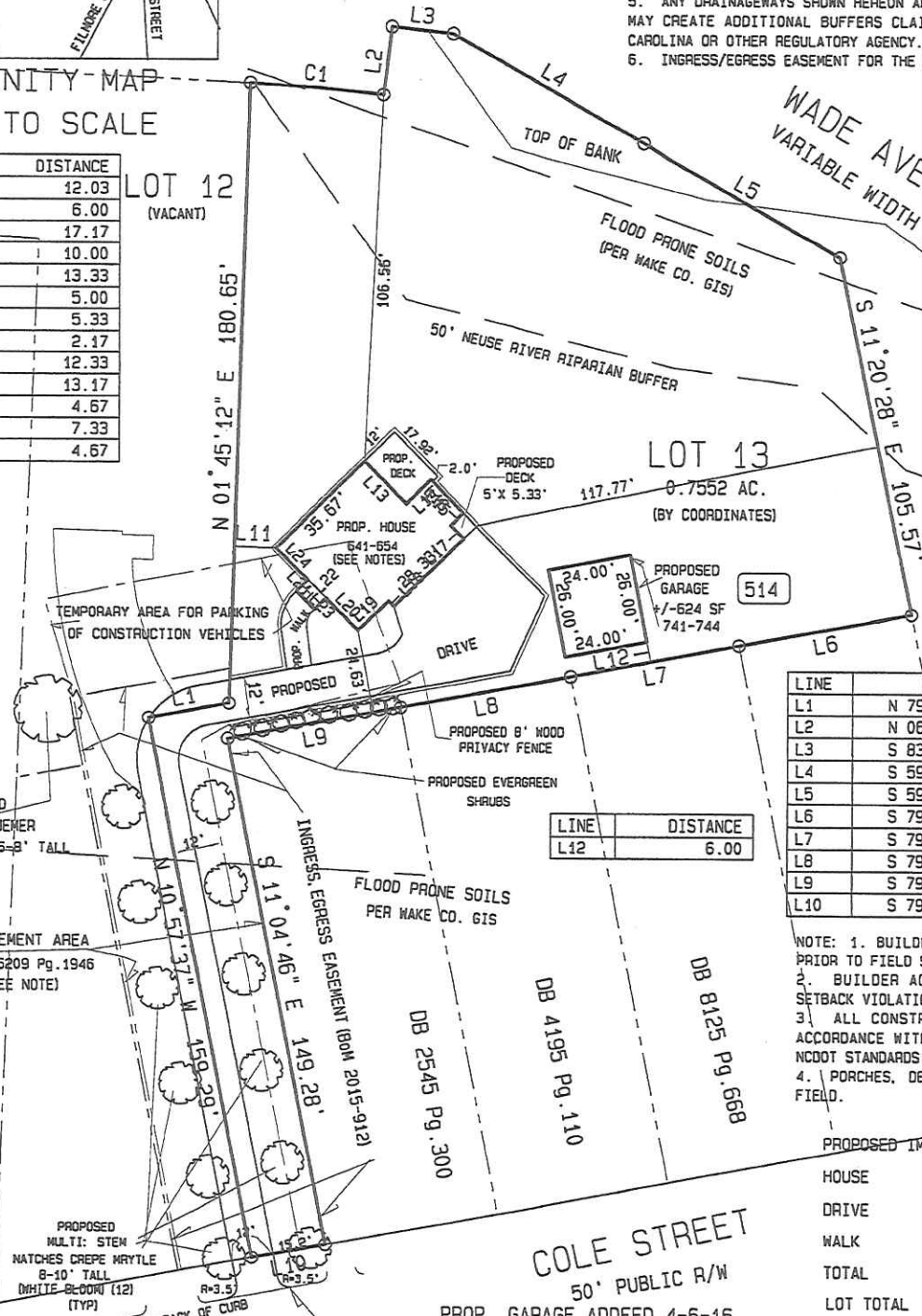
LINE	DISTANCE
L11	12.03
L12	6.00
L13	17.17
L14	10.00
L15	13.33
L16	5.00
L17	5.33
L18	2.17
L19	12.33
L20	13.17
L21	4.67
L22	7.33
L23	4.67

LOT 12
(VACANT)

WADE AVENUE
VARIABLE WIDTH R/W



REF: BOB 2006 Pg. 269



LINE	BEARING	DISTANCE
L1	N 79° 21' 48" E	23.48
L2	N 06° 59' 27" E	20.09
L3	S 83° 44' 27" E	17.88
L4	S 59° 53' 58" E	63.61
L5	S 59° 53' 58" E	65.36
L6	S 79° 18' 28" W	50.29
L7	S 79° 07' 46" W	49.33
L8	S 79° 16' 40" W	50.05
L9	S 79° 21' 48" W	50.57
L10	S 79° 20' 19" W	21.54

- NOTE: 1. BUILDER MUST VERIFY DIMENSIONS PRIOR TO FIELD STAKING.
2. BUILDER ACCEPTS ALL LIABILITY FOR SETBACK VIOLATIONS.
3. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
4. PORCHES, DECKS, PATIOS NOT STAKED IN FIELD.

PROPOSED IMPERVIOUS SURFACE TABLE

HOUSE	+/- 1446 SF
DRIVE	+/- 3962 SF
WALK	+/- 153 SF
TOTAL	+/- 5561 SF OR 16.91%
LOT TOTAL	32896.13 SF
PROPOSED AREA OF DISTURBANCE	= +/- 6631 SF OR 20.16%

PRELIMINARY
NOT FOR CONVEYANCE OR SALES
REVISED: 06 OCT. 2016
REVISED: 02 MARCH 2016
REVISED: 23 FEB. 2016

514 COLE STREET
REVISOR: MAS
DRAWN: TAH
CHK'D: LHS
JOB # 15
DATE: 25 MAY 2015
SCALE: 1" = 50'

BOOK OF MAPS 2016 PAGE 262 DEED BOOK 15912 PAGE 2471 * NOT FOR RECORDATION *

LOT 13 PROCTOR PROPERTY

I, LEONARD H. SULLIVAN JR., DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FOR ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION SHOWN HEREON; THAT THE RATION OF PRECISION AS CALCULATED IS 1:10000+; THAT THIS PLAT WAS PREPARED WITH N.C. G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER (L-2821) AND SEAL.

ALSO, I CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SULLIVAN SURVEYING
LAND SURVEYORS
1143-D EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
TELEPHONE: (919) 469-4738

SURVEY FOR:
DJF BUILDERS, INC
RALEIGH, WAKE COUNTY, NORTH CAROLINA