

*Review of this transaction*



# Planning & Development

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831

## Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

**For Office Use Only**

Transaction # 468375

File # 189-16-CA

Fee \_\_\_\_\_

Amt Paid 88.00

Check # \_\_\_\_\_

Rec'd Date 12-5-16

Rec'd By Kim Brown

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 1100 Filmore St., Raleigh, NC 27605

Historic District Glenwood-Brooklyn

Historic Property/Landmark name (if applicable) Joel C. Thompson House

Owner's Name Jonathan and Brandy Thompson

Lot size .16 Acres

(width in feet) 48.13'

(depth in feet) 149.75'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
PARKER, WILLARD M, 519 WASHINGTON ST RALEIGH NC 27605-1525	CLEMMONS, CHRISTOPHER A, CLEMMONS, ANNE C 517 WASHINGTON S, RALEIGH NC 27605-1525
TREXLER, RODNEY LEE, 515 WASHINGTON ST RALEIGH NC 27605-1525	OVERTON, WILLIAM S, 1104 FILMORE ST RALEIGH NC 27605-1506
VOGLER ENTERPRISES LLC, 1912 STONE ST RALEIGH NC 27608-2251	HES & CS LLC, 3319 RIDGECREST CT RALEIGH NC 27607-6763

*10 env*

<p>TURNER, RACHEL S, 504 WASHINGTON ST RALEIGH NC 27605-1526</p>	<p>JURIC, EILEEN E, 511 ADAMS ST RALEIGH NC 27605-1201</p>
<p>REDAN ASSOCIATES LLC, P.O. BOX 10181 RALEIGH, NC 27605</p>	<p>BLACK BEAR REAL ESTATE LLC, 627 W LANE ST RALEIGH, NC 27603</p>
<p><b>I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.</b></p>	

**Type or print the following:**

**Applicant** Brandy Thompson

**Mailing Address** 1100 Filmore St

**City** Raleigh **State** NC **Zip Code** 27605

**Date** 12/5/16 **Daytime Phone** 919.820.2384

**Email Address** bthompson@clearscapes.com

**Signature of Applicant** Brandy Thompson

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

**Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

**Project Categories (check all that apply):**

- Exterior Alteration
- Addition
- New Construction
- Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

- Yes
- No

**(Office Use Only)**

Type of Work \_\_\_\_\_

90

\_\_\_\_\_

\_\_\_\_\_

**Design Guidelines** Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
2.4	Fences and Walls	Modify an existing 5' privacy fence to accommodate addition.
2.5	Walkways, Driveways, and Offstreet Parking	<del>An existing gravel driveway will be paved and an garage is proposed at street level (partially sunken into site).</del>
4.1	Decks	<del>Relocate existing low-profile wood deck.</del>
4.2	Additions to Historic Buildings	Remove existing additions and add a new rear addition.
		See Written description

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p><b>Minor Work (staff review) – 1 copy</b></p> <p><b>Major Work (COA Committee review) – 13 copies</b></p>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required.	<input checked="" type="checkbox"/>				
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing proposed work <ul style="list-style-type: none"> <li><input type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the new façade(s).</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale.</li> <li><input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. <b>Fee</b> (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

### **Written Description**

The Joel C. Thompson house at 1100 Fillmore St. is located in the Glenwood-Brooklyn Historic District. The house is one-story Craftsman bungalow with a front facing main gable and 2 smaller side gables. The rear of the house has 2 small additions with hip roof forms. The house is clad in painted weatherboard siding, asphalt shingles, and has a painted brick foundation. The wood double-hung windows are 8 over 1. The existing structure is 59'-4" x 34'-2".

The proposed rear addition is 787 square feet of heated area and will house a master bedroom suite, a second living space, and a small open porch. With the addition, the structure will be 75'-0" x 34'-2", an increase of 15'-8" in overall length along the Washington Street (south) elevation. The construction of the addition will require the demolition of the existing 2 small rear additions, and the relocation of the existing deck. The height of the proposed addition is a foot lower than the existing house, and the main gable roof form of the addition will tuck under the eaves of the existing gable roof of the home. At the intersection of the existing structure and the addition, the wall steps in 6" to help differentiate between the old and new. The proposed addition has 2 side gable "bump-outs" to mimic the existing architectural language of the home. The addition will be clad in painted fiber cement lap siding (smooth), architectural asphalt shingles, and a painted brick foundation to match the existing structure. The windows of the addition will be painted wood casement windows with single glass lites. The size of the casement windows match the size of the existing double-hung windows, but the simplified form will help to differentiate the addition from the historic house. The trim around the windows will match the simple wood trim profile of the existing windows.

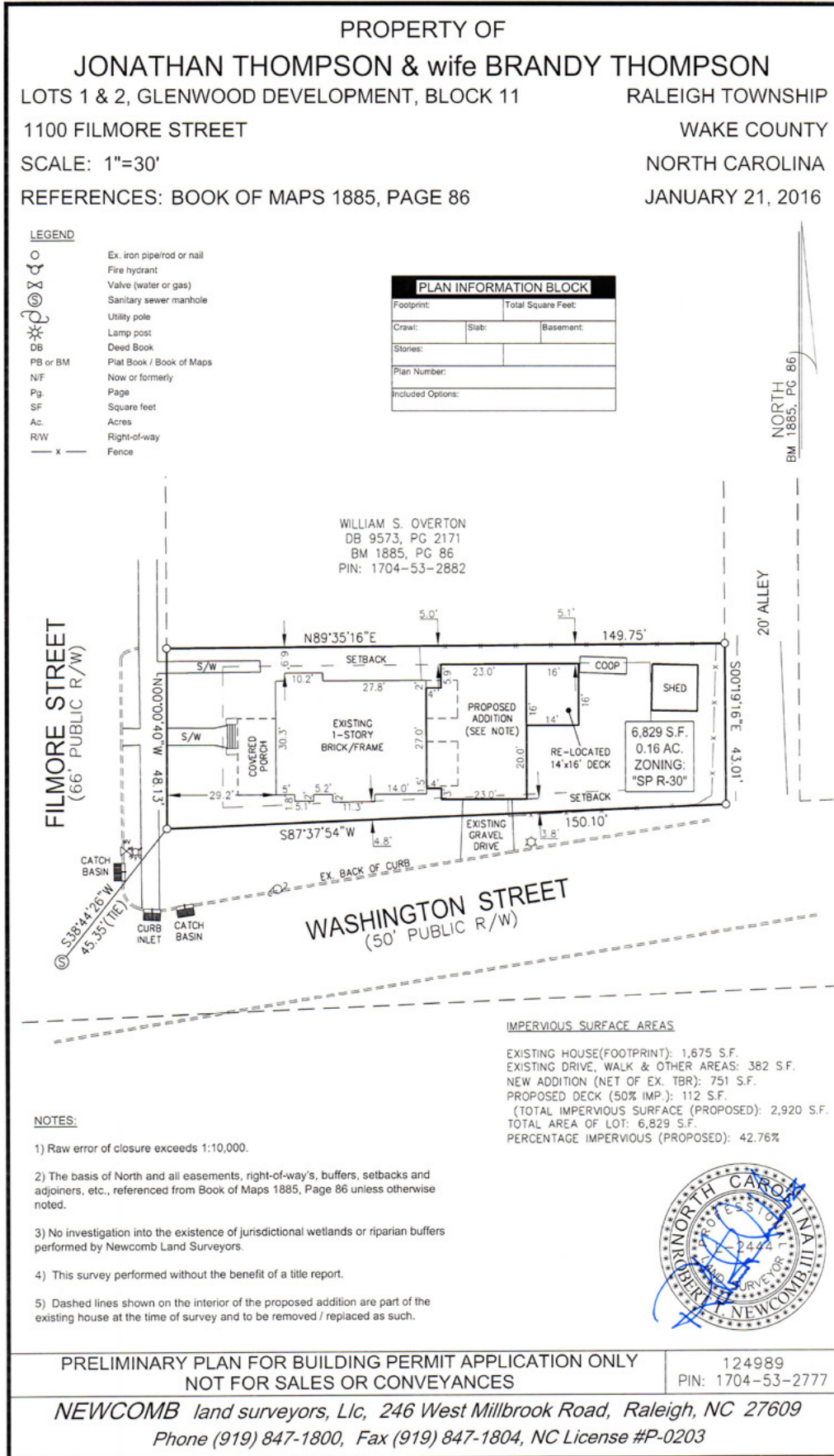




# Glenwood-Brooklyn Historic District



Location Map - NPS Certified Glenwood-Brooklyn Historic District Boundaries (Raleigh, NC)







**Existing Structure**





**Existing Structure**



**BRANDY THOMPSON  
ARCHITECT**

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Raleigh, NC 27605  
919.820.2384  
bthompson6279@gmail.com

**Structural Consultants:**  
Ross Linden Engineers PC  
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brian@rosslinden.com

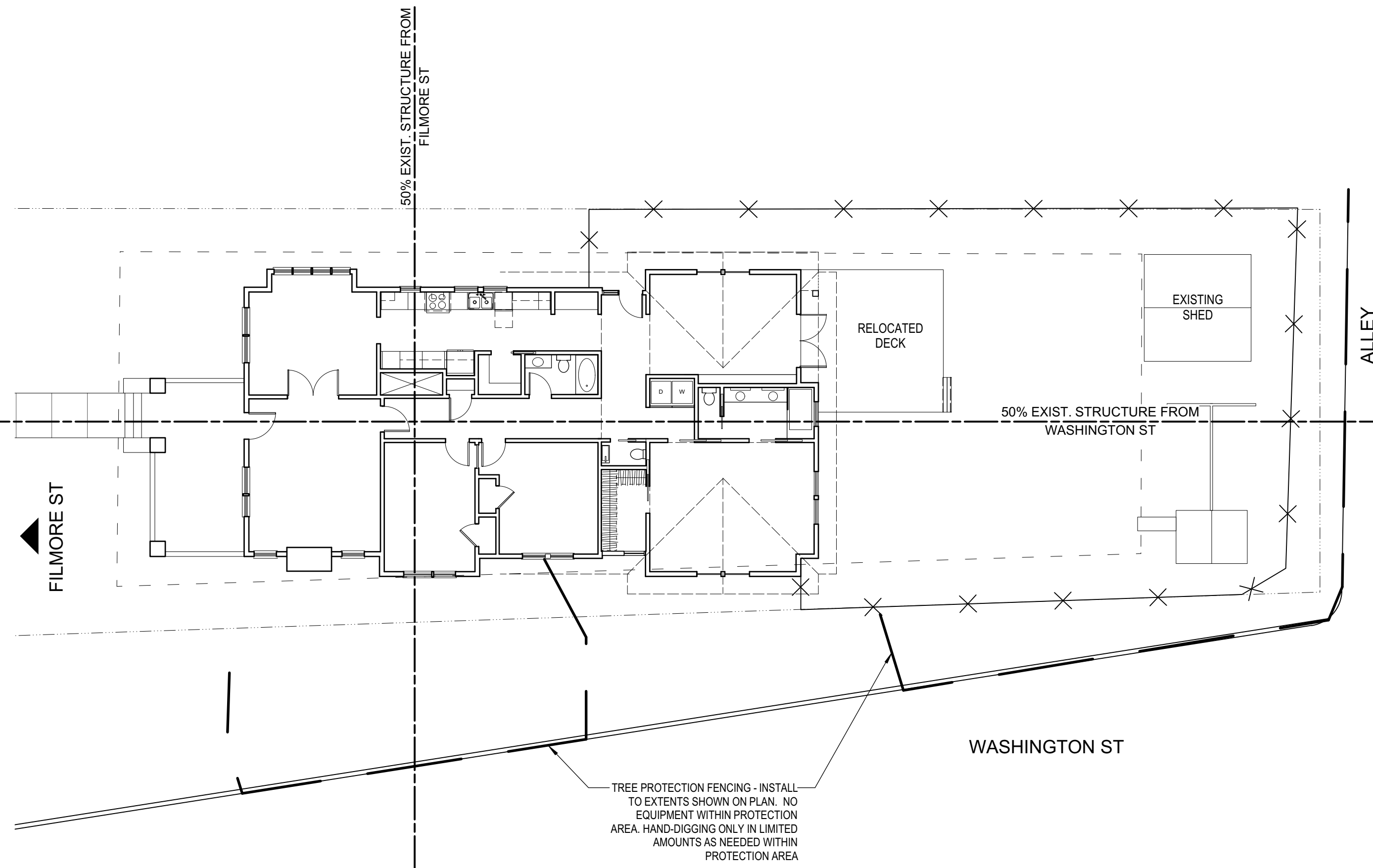
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FOR ANY OTHER USE WITHOUT FIRST  
OBTAINING THE WRITTEN PERMISSION  
OF BRANDY BRITT THOMPSON,  
ARCHITECT.

**THOMPSON  
RESIDENCE**

1100 Filmore Street  
Raleigh, NC

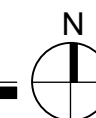
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**TREE PROTECTION  
TP100**



01 | Tree Protection Plan

Scale: 3/32" = 1'-0"



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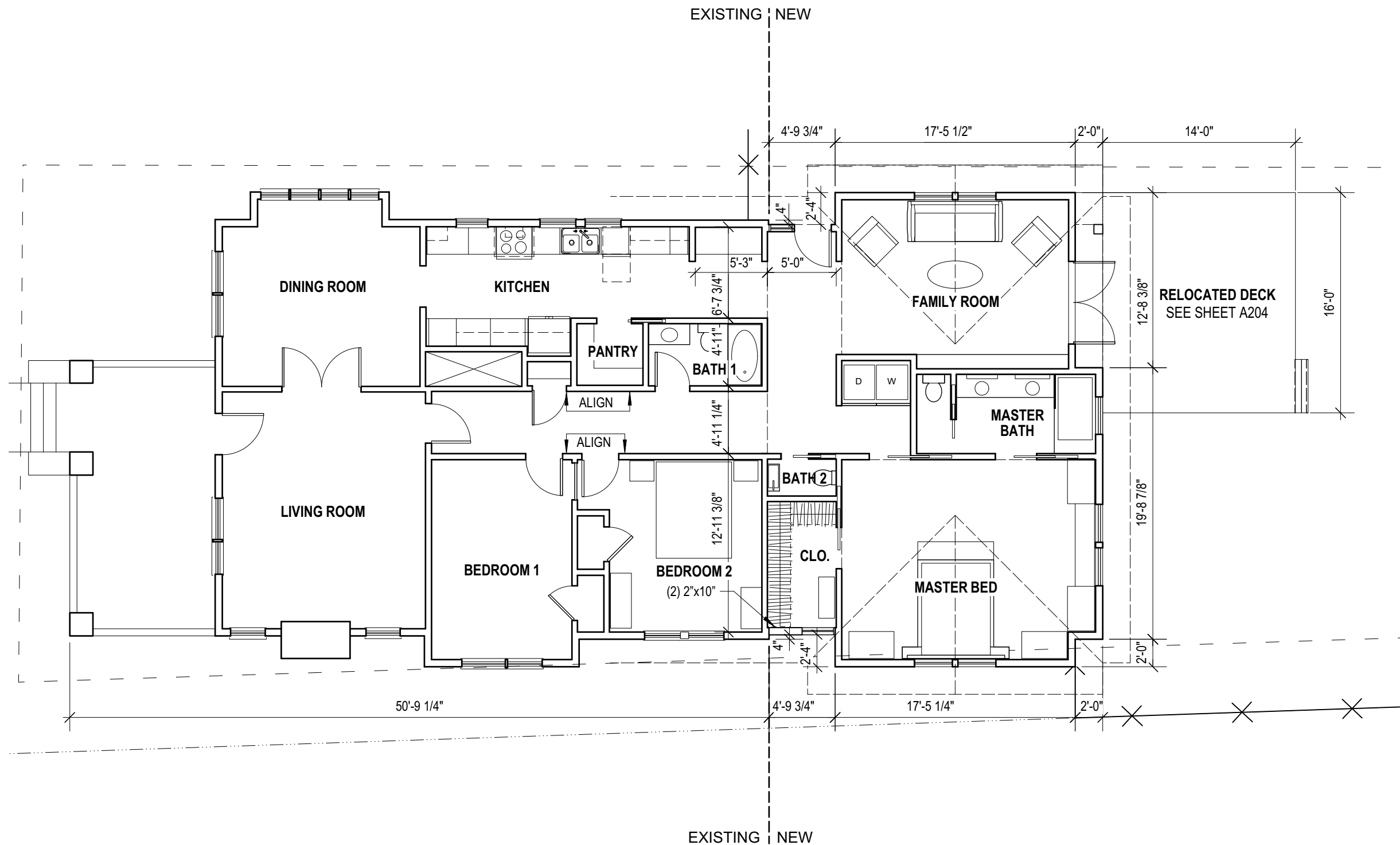
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RESIDENCE**

1100 Filmore Street  
Raleigh, NC

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**MAIN LEVEL PLAN  
A202**



01 | Main Level Plan

Scale: 1/8" = 1'-0"



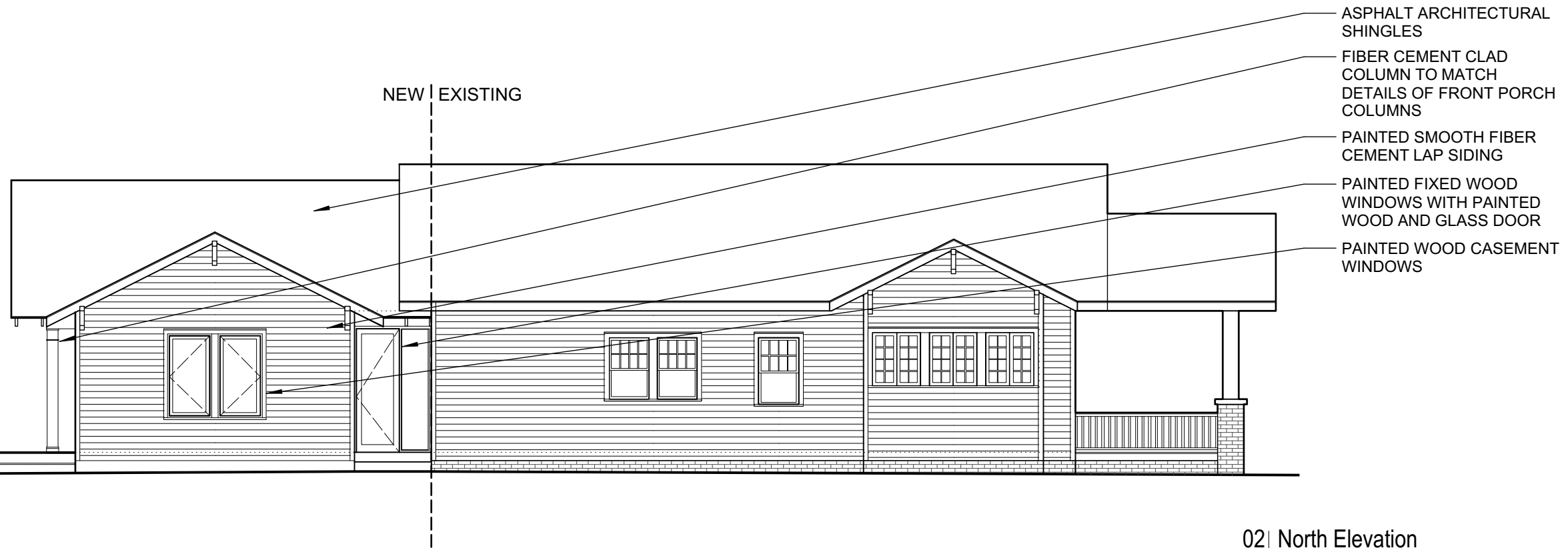
0 2 4 6 8 FT



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ARCHITECT**

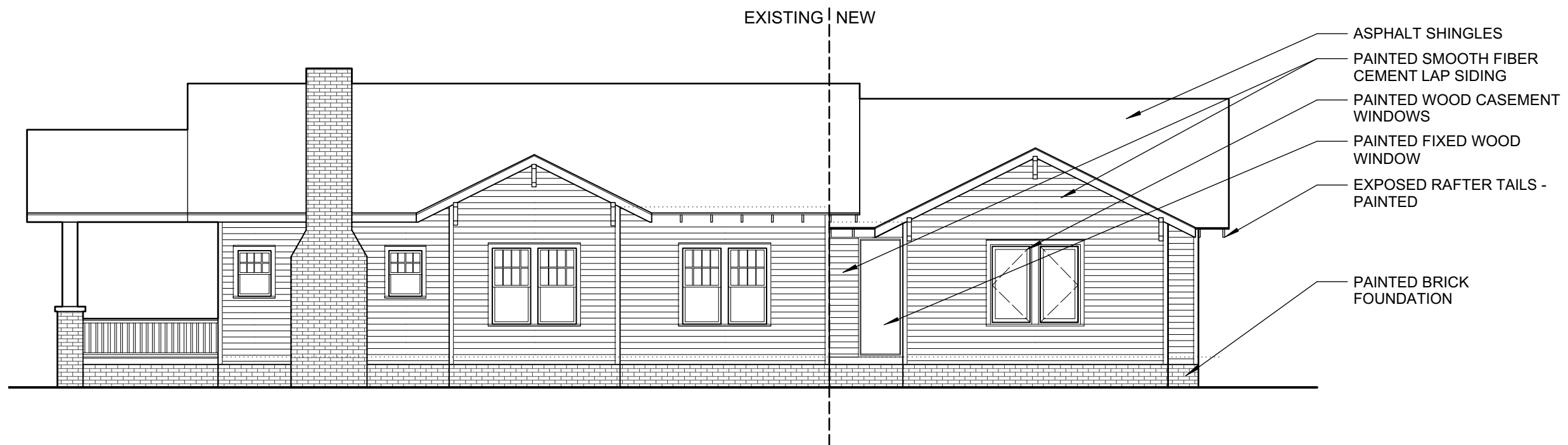
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**02 | North Elevation**  
Scale: 1/8" = 1'-0" 0 2 4 6 8 FT

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**01 | South Elevation**  
Scale: 1/8" = 1'-0" 0 2 4 6 8 FT

**THOMPSON  
RESIDENCE**

1100 Filmore Street  
Raleigh, NC

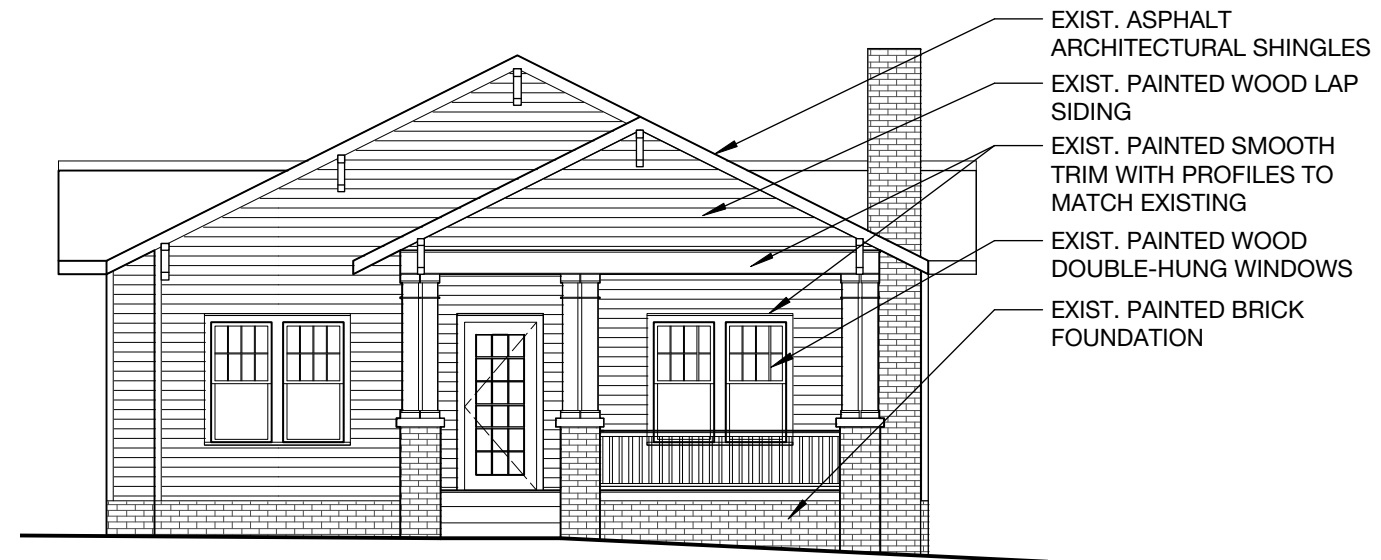
DATE: 2016.06.12  
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**ELEVATIONS  
A301**

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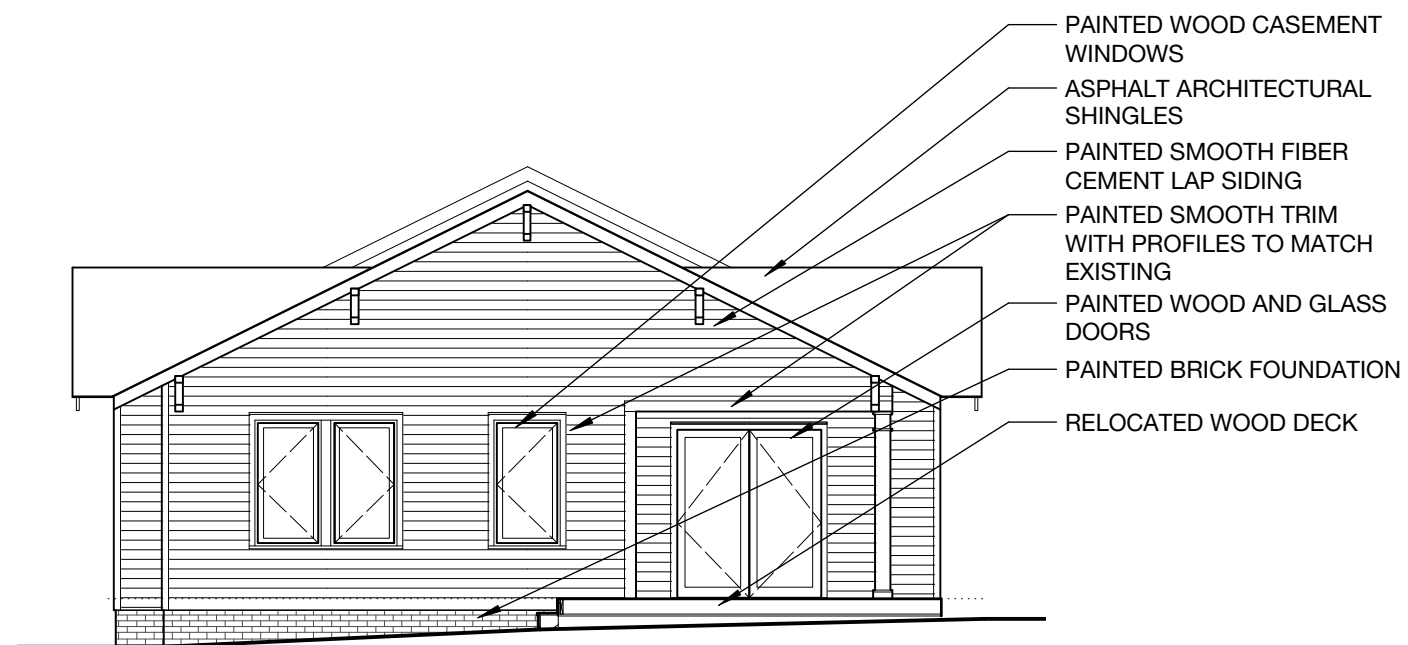
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**02 | West Elevation**

Scale: 1/8" = 1'-0" 0 2 4 6 8 FT

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**01 | East Elevation**

Scale: 1/8" = 1'-0" 0 2 4 6 8 FT

**THOMPSON  
RESIDENCE**

1100 Filmore Street  
Raleigh, NC

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REVISIONS:

**ELEVATIONS**

**A302**

**BRANDY THOMPSON  
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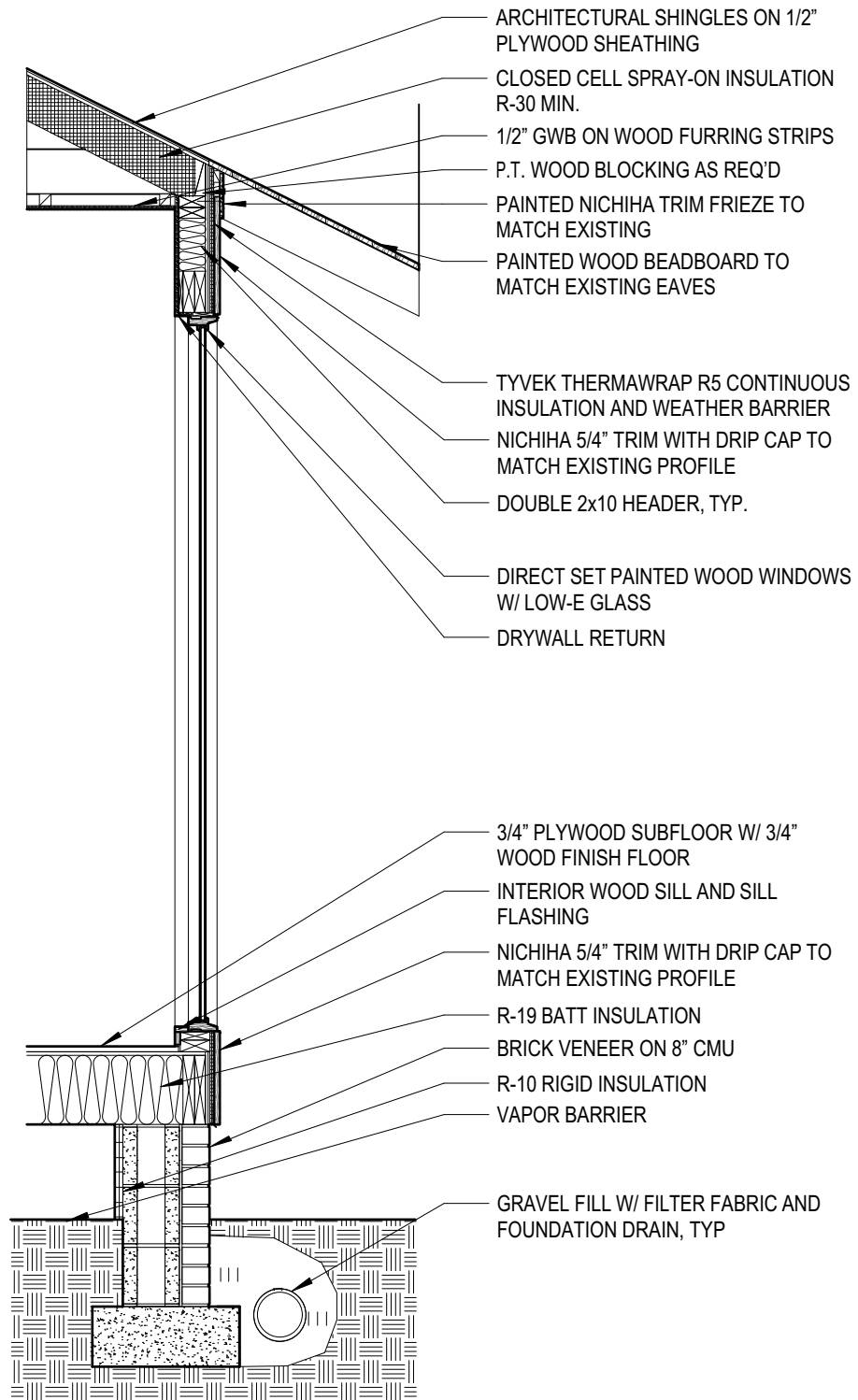
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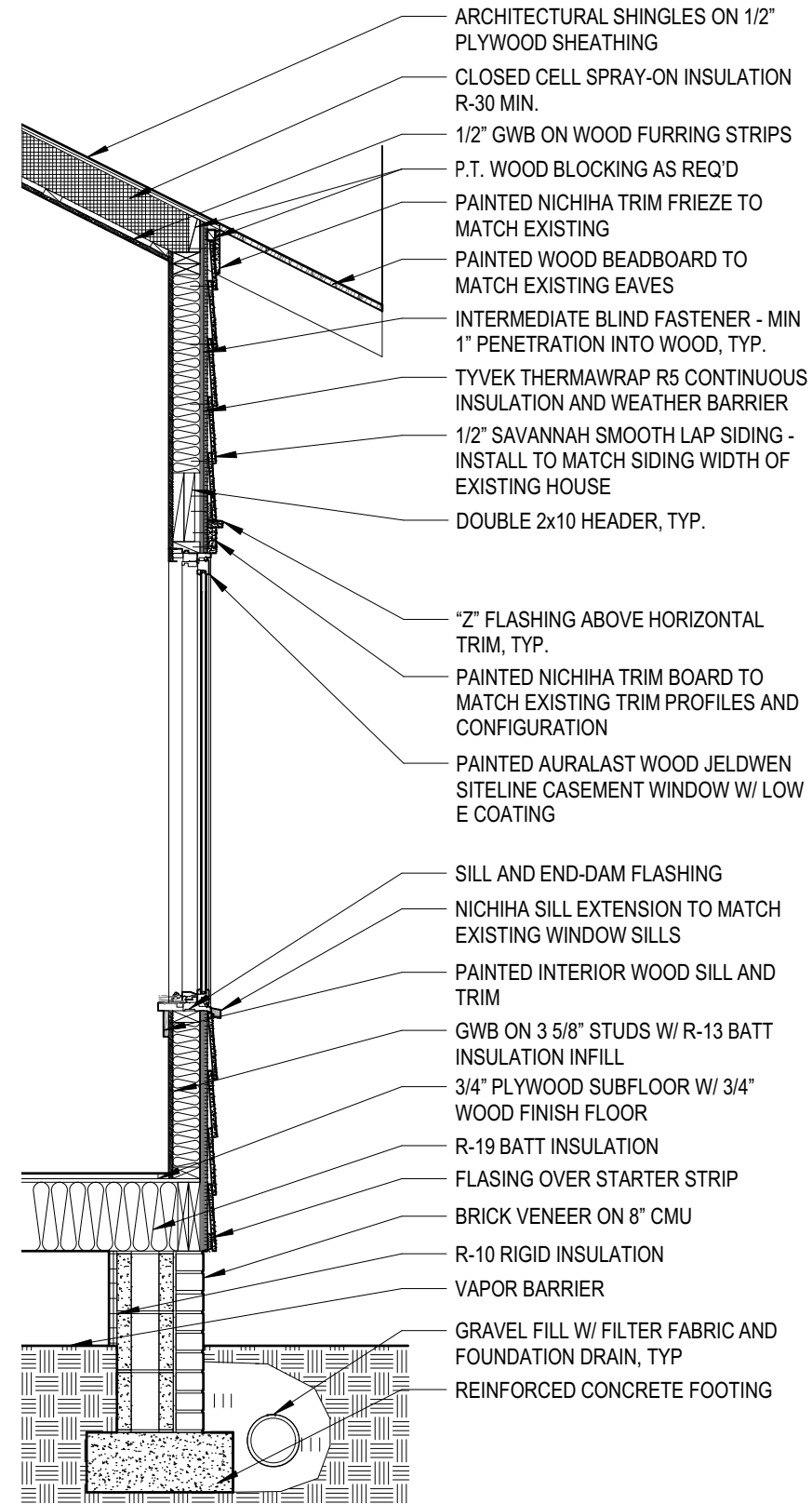
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REVISIONS:

**WALL SECTIONS/  
DETAILS**

**A303**



**02 | Wall Section**  
Scale: 1/2" = 1'-0" 0 1 2 FT



**01 | Wall Section**  
Scale: 1/2" = 1'-0" 0 1 2 FT



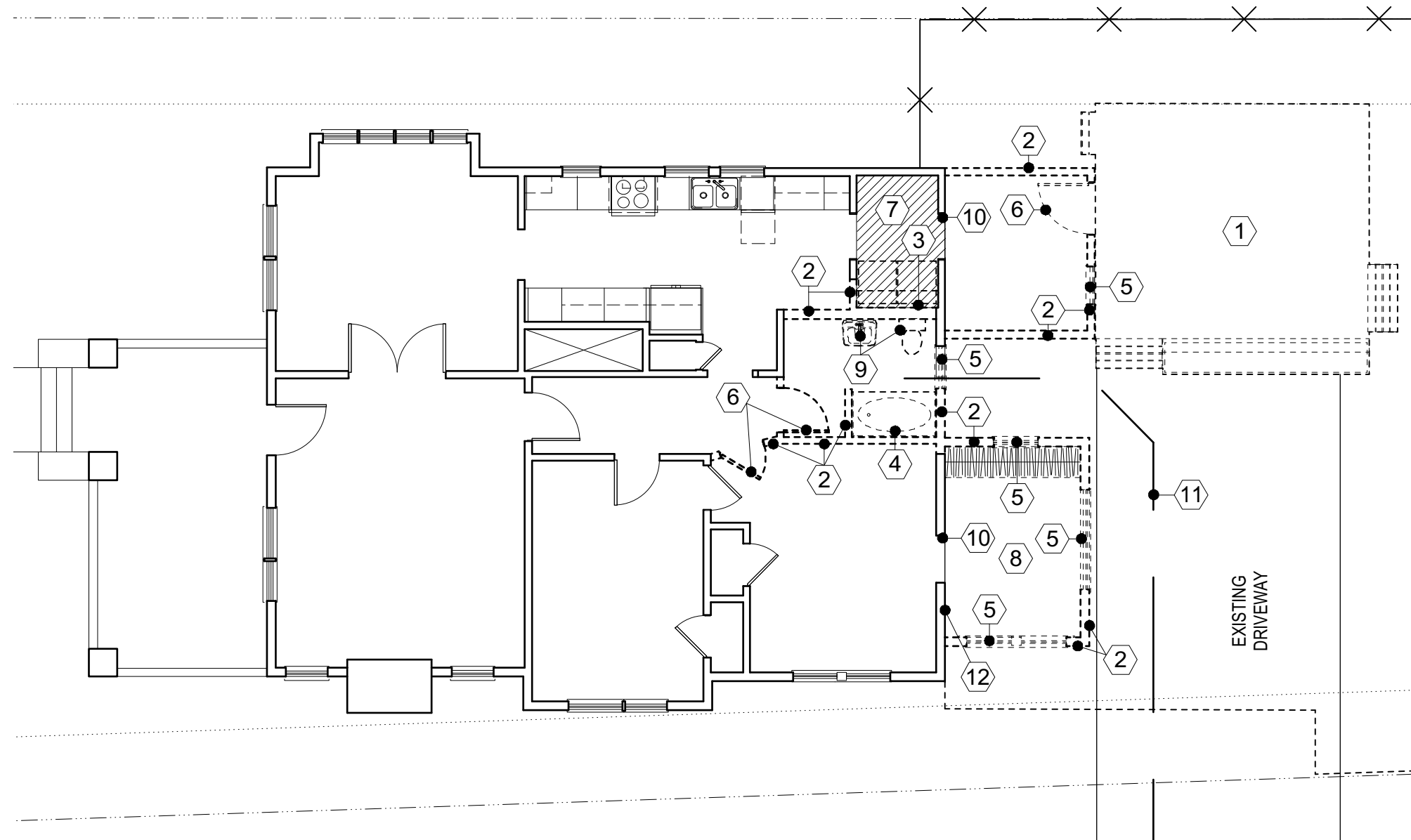
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**DEMO NOTES:**

1. CAREFULLY DISASSEMBLE DECK AND STORE PIECES ON SITE FOR RECONSTRUCTION
2. REMOVE WALL - SHORE STRUCTURE AS NECESSARY
3. RELOCATE WASER AND DRYER CONNECTIONS PER PLANS
4. CARFULLY REMOVE TUB, FIBERGLASS SURROUND, AND ALL FAUCETS/CONTROLS AND STORE FOR REINSTALLATION
5. CAREFULLY REMOVE WINDOW AND STORE FOR DONATION
6. CAREFULLY REMOVE DOOR AND STORE FOR REINSTALLATION
7. REMOVE FLOORING AND PREP SUB FLOOR AND FRAMING FOR NEW FLOORING
8. SALVAGE FLOORING AND STORE FOR REINSTALLATION
9. REMOVE PLUBMING FIXTURE AND STORE FOR DONATION. REWORK PLUMBING TO ACCOMMODATE NEW FIXTURES PER PLANS
10. COVER OPENING AND INSULATE DURING CONSTRUCTION
11. APPROXIMATE LOCATION OF WASTE LINE DEMO AND RELOCATE PRIOR TO EXCAVATION
12. REMOVE EXISTING SIDING WHERE NEW STRUCTURE CONNECTS. PATCH/REPAIR AS NECESSARY



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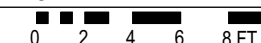
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01 | Demolition Plan

Scale: 1/8" = 1'-0"



**DEMO PLAN  
D100**