

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☐ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☒ All Other \$147 - change to COA
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 496800

File # 191-16-CA

Fee 147

Amount Paid 147

Received Date 12-5-16

Received By YWM

Property Street Address **507 Oakwood Avenue**

Historic District **Oakwood**

Historic Property/Landmark name (if applicable)

Owner's Name **Justin Griffin and Rebecca Tyler Dempre**

Lot size

(width in feet) **43**

(depth in feet) **73.4**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
501 Oakwood Avenue	515 Oakwood Avenue
504 Oakwood Avenue	405 North East Street
505 Oakwood Avenue	408 North East Street
508 Oakwood Avenue	410 North East Street
510 Oakwood Avenue	411 North East Street
511 Oakwood Avenue	412 North East Street
512 Oakwood Avenue	
514 Oakwood Avenue	<u>14 env</u>

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Justin Griffin**

Mailing Address **507 Oakwood Avenue**

City **Raleigh**

State **NC**

Zip Code **27601**

Date **December 5, 2016**

Daytime Phone **850 855 5489**

Email Address **JustinT.Griffin@gmail.com**

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work

90

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.4	additions	New work compatible and maintains front porch and other details. Differentiated from old by simplifying windows and stepping back mass off existing.
2.2	archeology	Trying not to disturb site, building over old footprint. A recent sub-surface investigation found no artifacts in back area to be regraded for drainage.
2.3	site features	Retaining historic fence and front gardens. Maintaining much of back brick patio.
4.2	additions to historic buildings	Stepped back addition on back elevation over existing. Footprint least possible loss of historic fabric.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies			✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		✓		

Note: This is a change to a previously approved COA #156-02-CA. Original written description text was either left as-is, or struck-through (in light gray) if removed and / or replaced with changes in bold.

The addition to 507 Oakwood is a two-story addition on the rear of the house, replacing the existing one story kitchen and enclosed porch. The footprint of the new addition will be slightly larger than the existing one-story appendages. The addition will house a new ~~kitchen, breakfast area~~ **sitting room** and back entrance and back covered porch on the first floor. The second floor will house a third bedroom with attached bath.

The massing of the structure will be similar to the hipped roof of the existing two-story house, ~~with gable ends stepping forward from the main mass. The proportion of the gable end to hipped mass will be similar to the relationship of gable ends to hipped massing in the existing house.~~ The roof will be located so that the eaves of both the new and the existing align. The pitch of the hipped roof ~~and the gable ends~~ will match the pitch on the existing house.

The new covered porch will be a ~~shed roof~~ **space recessed from the mass of the two-story addition, similar to other porches in the neighborhood.** It will have a pitch of 3 in 12, ~~similar to the front porch.~~ It will be detailed to match the columns, eave and soffit details **corner boards and ceiling** of the front porch. **The new porch ceiling will be 9 inches taller than the front porch ceiling to allow the 4 1/2" head trim board above the window and doors and a 4 1/2" siding board above the window and door head.** The floor of the porch will be ~~tongue and groove board~~ **brick pavers** to match the existing ~~front porch~~ **historic patio of the side yard.** **The color and tight spacing of the brick will closely match the existing patio.**

The brick foundation shall use new bricks and be constructed to closely match the existing. The color of the brick as well as the color and detail of the grout will closely match the existing.

The siding for the addition will be lapped wood siding with 4 1/2" exposure and 4 1/2" corner boards. An 8" wood band board shall run at the base of the addition and shall align with the existing band board. All exterior window trim and sills will be wood and will match the existing conditions. ~~New shutters on the sides of the house will match the existing shutters. Shutter hardware will closely match the existing. New shutters are not proposed on the rear of the house as they are not on the rear of the existing house.~~ **Existing shutters will be maintained.** The new eave and soffit detail shall match the existing.

The windows of the new addition will match the old in both width and height. The header height for the windows will also align with the existing windows. The windows shall be double hung single panes with custom frames to match dimensions of the existing windows. The new ~~kitchen door in rear of existing hallway will be a 3' x 7' wood door with a 4 1/2" trim board between transom and door~~ **9' wood door to match the front door's height and panel proportions.** ~~There will be a 1'-4" single light transom above the kitchen door with a 4 1/2" trim board between the transom and door.~~ Door hinges and hardware shall closely match existing hardware on the front door.

The roof shall be a standing seam metal roof with color and finish to match the existing. The seams shall be spaced to closely match the spacing on the existing hipped roof structure. All valleys and flashing shall be metal. All gutters and downspouts shall match the color and shape of gutters on the existing structure. Downspouts shall be placed on the back of the addition and at one end of the back covered porch.

All wood surfaces will have a painted finish. Paint colors will match the existing or a new color scheme for the entire house will be submitted to the commission for approval. **The approved color scheme on file includes Cathedral Glass (#455-5 by Olympic) for body of house, Blackwatch Green (808-2 by Valspar) for the foundation and front porch, Early American Shutter Green (808-3 by Valspar) for the entrance door and shutters, and White (# t.b.d.) for porch ceiling, columns, door & window trim, window sash, corner boards, soffit and eaves.**

All site features not disturbed by the new foundation will be maintained. The air conditioning unit shall be upgraded to service the new addition and shall remain in the same location. A new retaining wall will be constructed similar to the existing retaining wall in the back yard, to allow for drainage away from the foundation of the new addition. **Three existing gates and adjacent sections of wood fencing will be relocated with new 42" high wood fences and gates that match the existing, where shown on plot plan. Remove deciduous tree in the north west corner.**

Note: This is a change to a previously approved COA #156-02-CA. Original description of material's text was either left as-is, or struck-through (in light gray) if removed and / or replaced with changes in bold.

Siding: 1/2" lapped wood siding with a 4 1/2" exposure.

Window Trim: 4 1/2" wood board, with wood drip cap at the header and 2" sloped wood sill. Detailed to match the existing.

Door Trim: 4 1/2" wood board detailed to match the existing.

Corner Boards: 4 1/2" wood board (~~to have a 90 degree corner rather than radius on existing~~).

Band Board: +/-8" wood board detailed to match the existing.

Eave and Soffit: Overhang and wood trim to match existing at all rakes and eaves.

Windows: Custom window by ~~Kolbe and Kolbe~~ **Jeld-Wen** with size and wood profiles to match existing. Window to be wood single light double-hung window.

Back Door: A 3' x ~~7'~~ 9' wood door with 4 1/2" stiles and 4 1/2" rail at top and ~~6"~~ 10" rail in the middle and 10" rail at the base with a single light and 20 x 27 wood panel at the bottom - **to match front door**. ~~Above the door will be a single light transom with header to match existing windows.~~ **Hardware finish to closely match existing.**

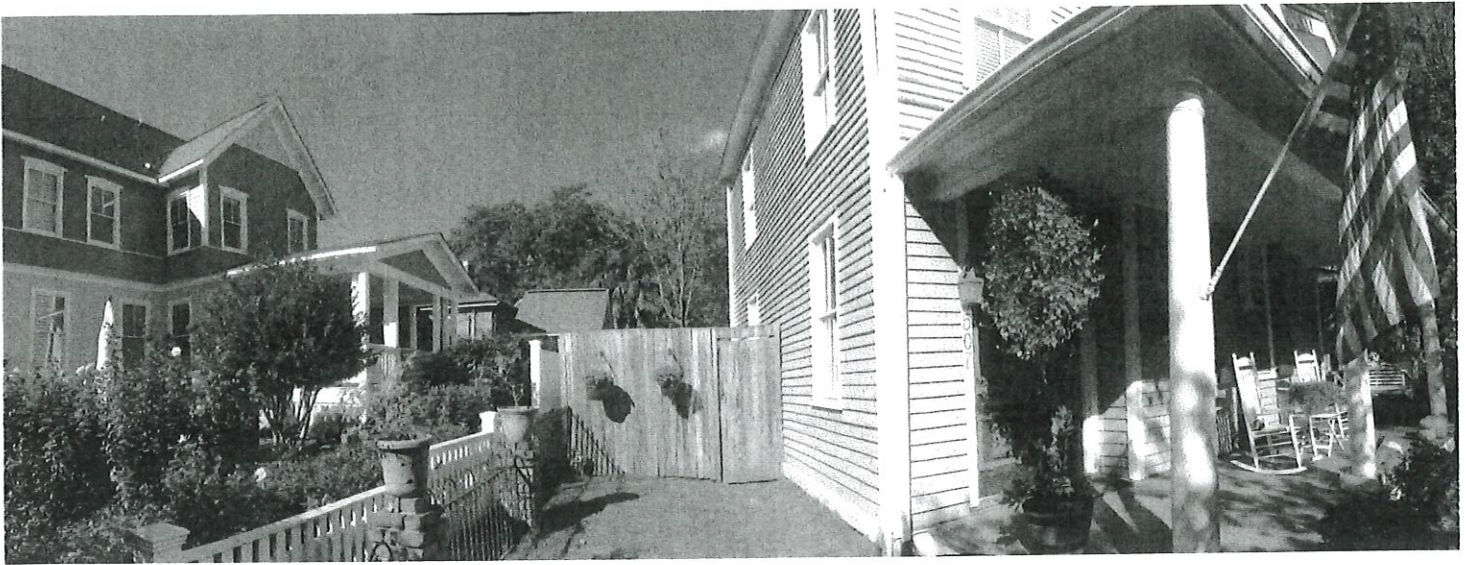
Back Sliding Door: An 8' x 9' wood door with 4 1/2" stiles and 4 1/2" rail at top and bottom. Hardware finish to closely match existing.

Roof: A ~~5-V aluminum~~ **terne metal, 1" standing seam** roof with ~~46"~~ 18" spacing. Finish to closely match existing.

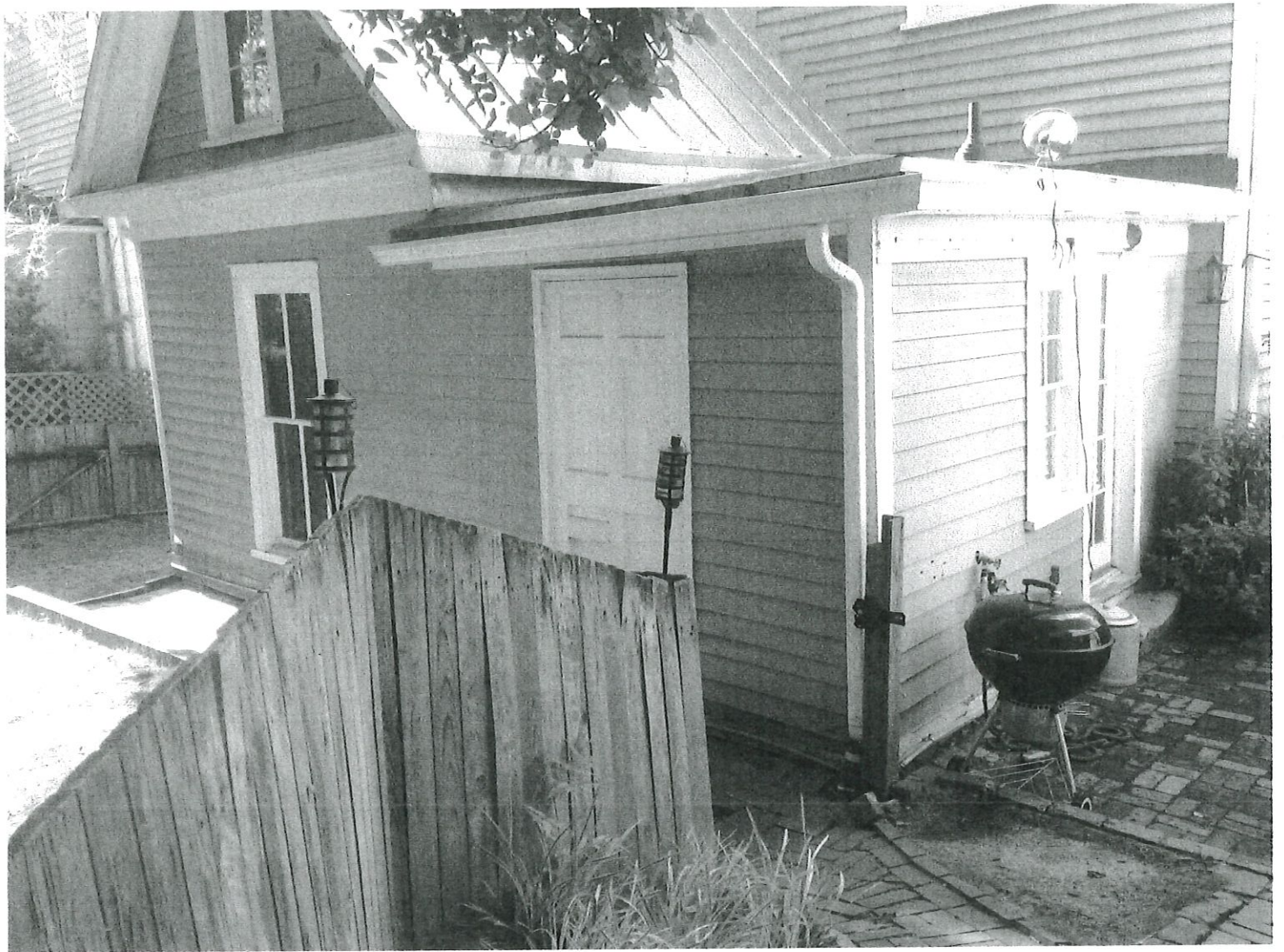
Gutters: Aluminum gutters with profile to match existing. Downspout to match existing.

EXISTING PHOTOS 507 OAKWOOD AVENUE Griffin Tyler Dempre Residence Dec. 5, 2016





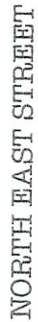








GRIFFIN TYLER DEMPRESS RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



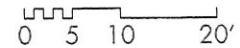
PLOT PLAN NOTES:

1. REFERENCE FLOOR PLANS FOR EXISTING AND PROPOSED WORK.
2. REPLACE EXISTING WOOD GATE AND FENCE WITH 42 INCH TALL WOOD GATE AND FENCE AT 3 LOCATIONS SHOWN.

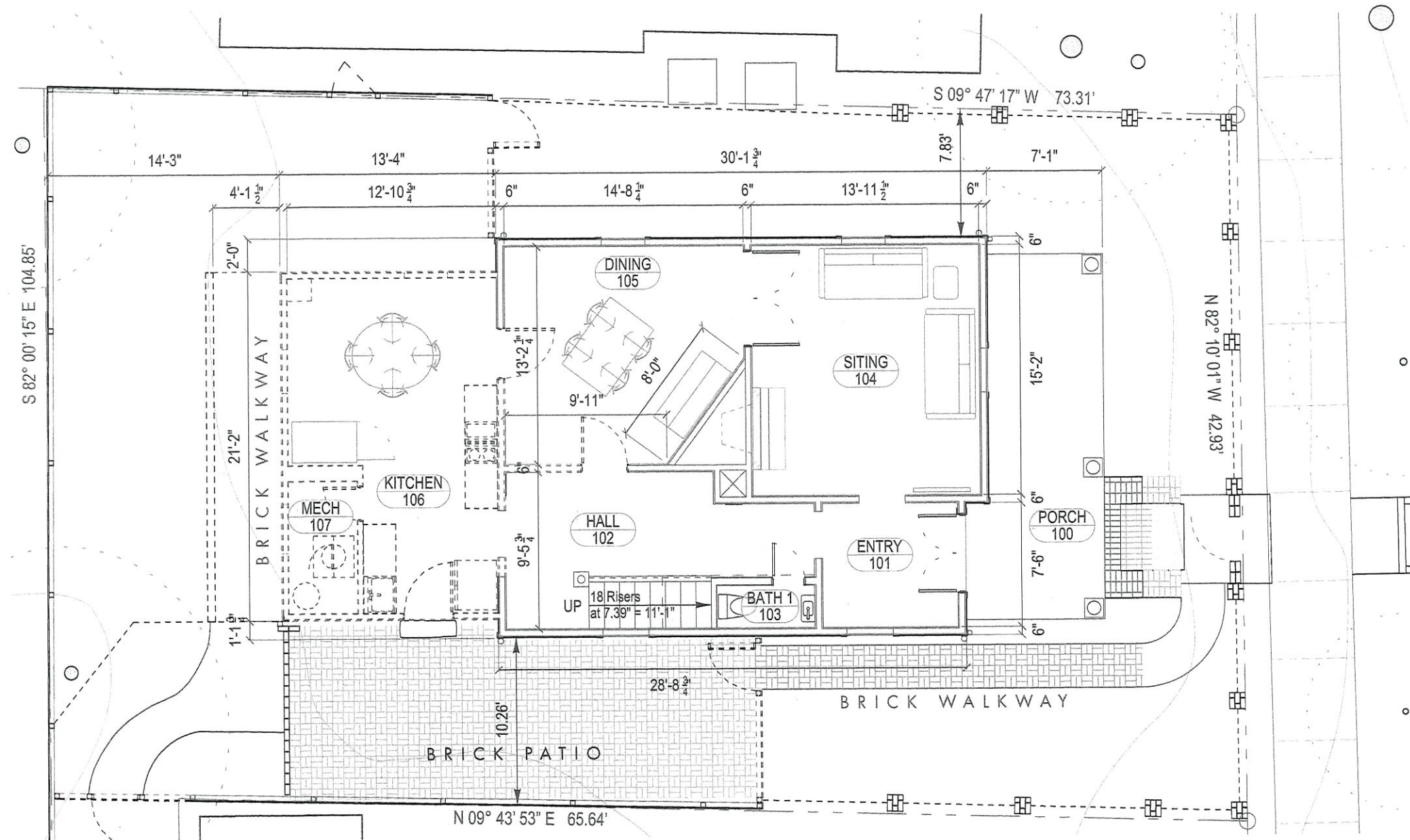
PLOT PLAN

1"=20' DEC. 5, 2016

OAKWOOD AVENUE



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

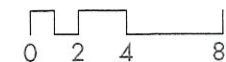


EXISTING PLAN GENERAL NOTES:

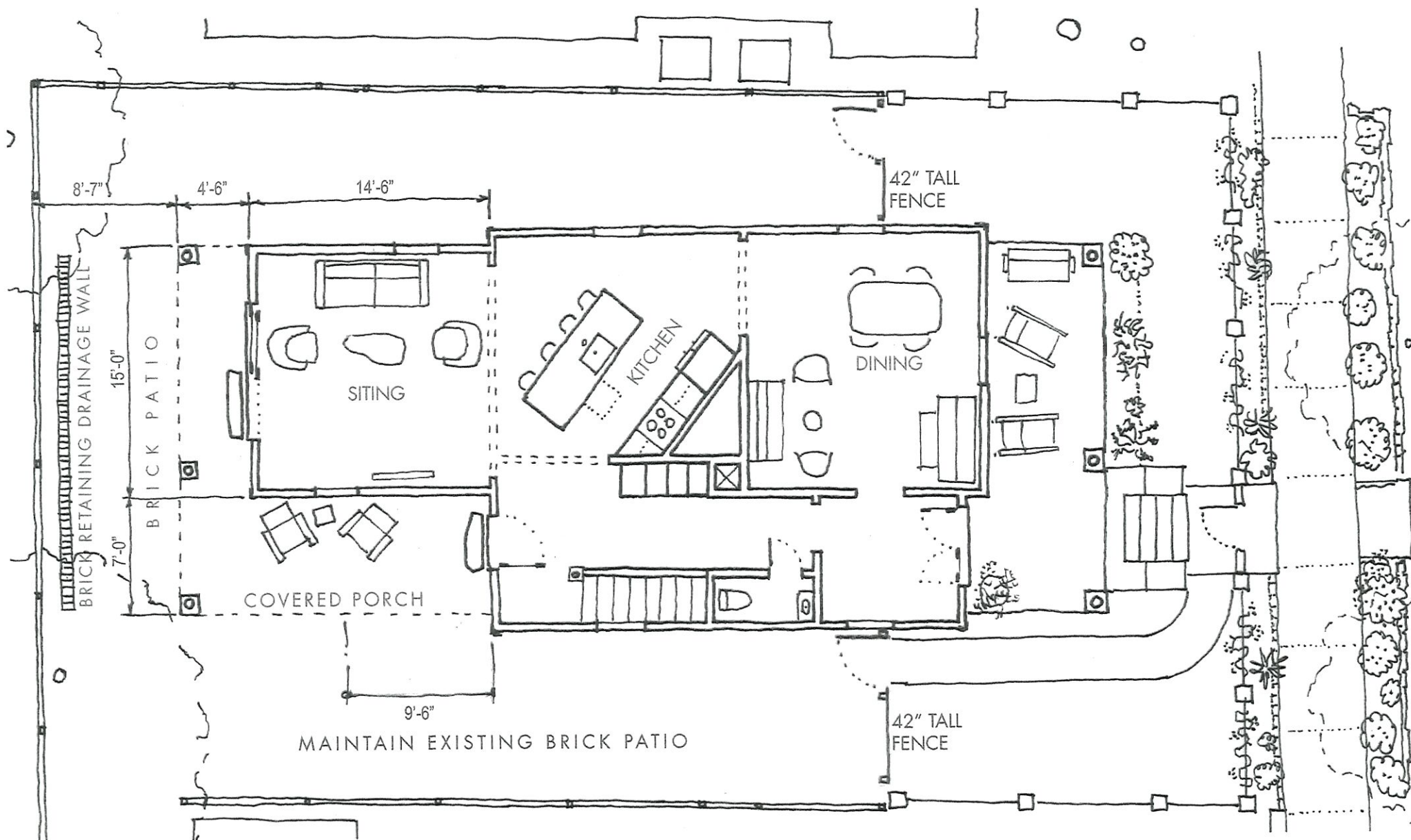
- 1. WALLS, FLOORS AND ROOF TO LANDFILL.
- 2. WINDOWS & DOORS, ETC. TO HABITAT REUSE.
- 3. MAINTAIN ALL PATIO AND WALKWAY BRICKS.

EXISTING FIRST FLOOR PLAN

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

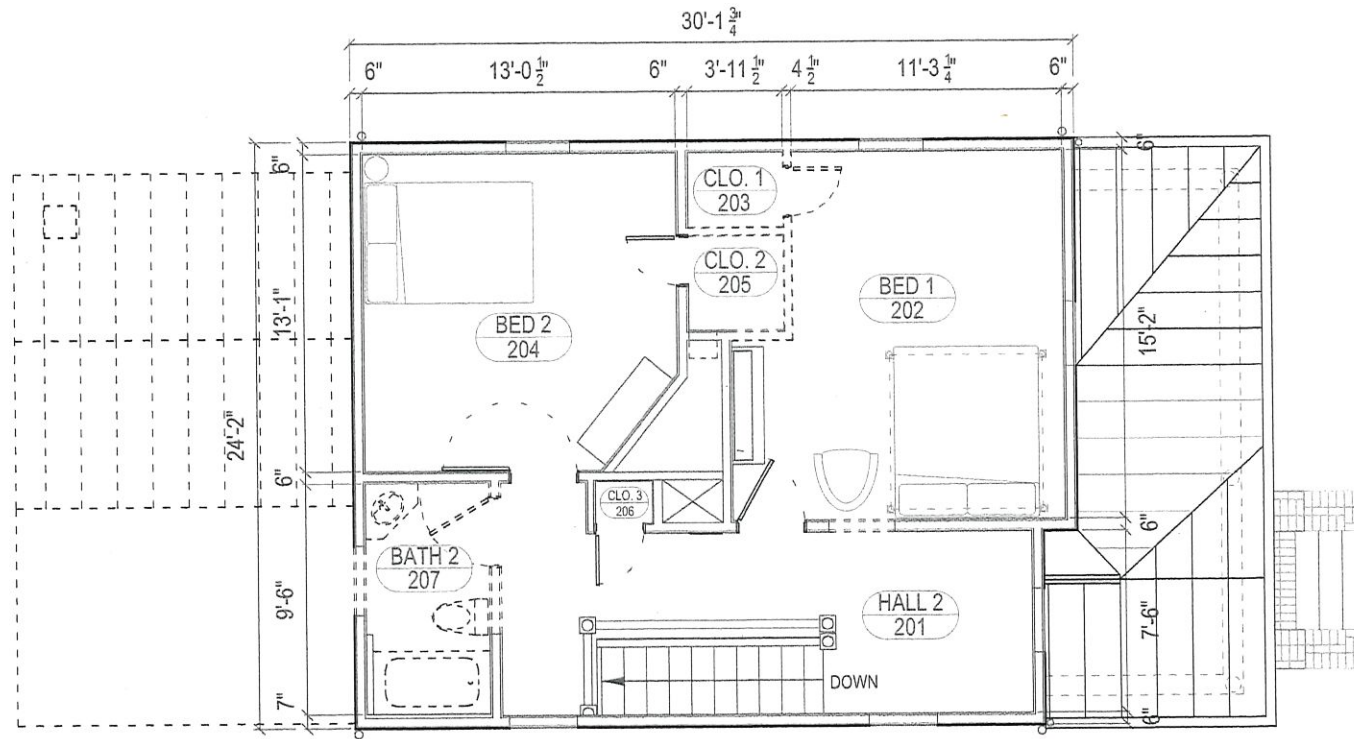


PROPOSED FIRST FLOOR PLAN

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



EXISTING PLAN GENERAL NOTES:

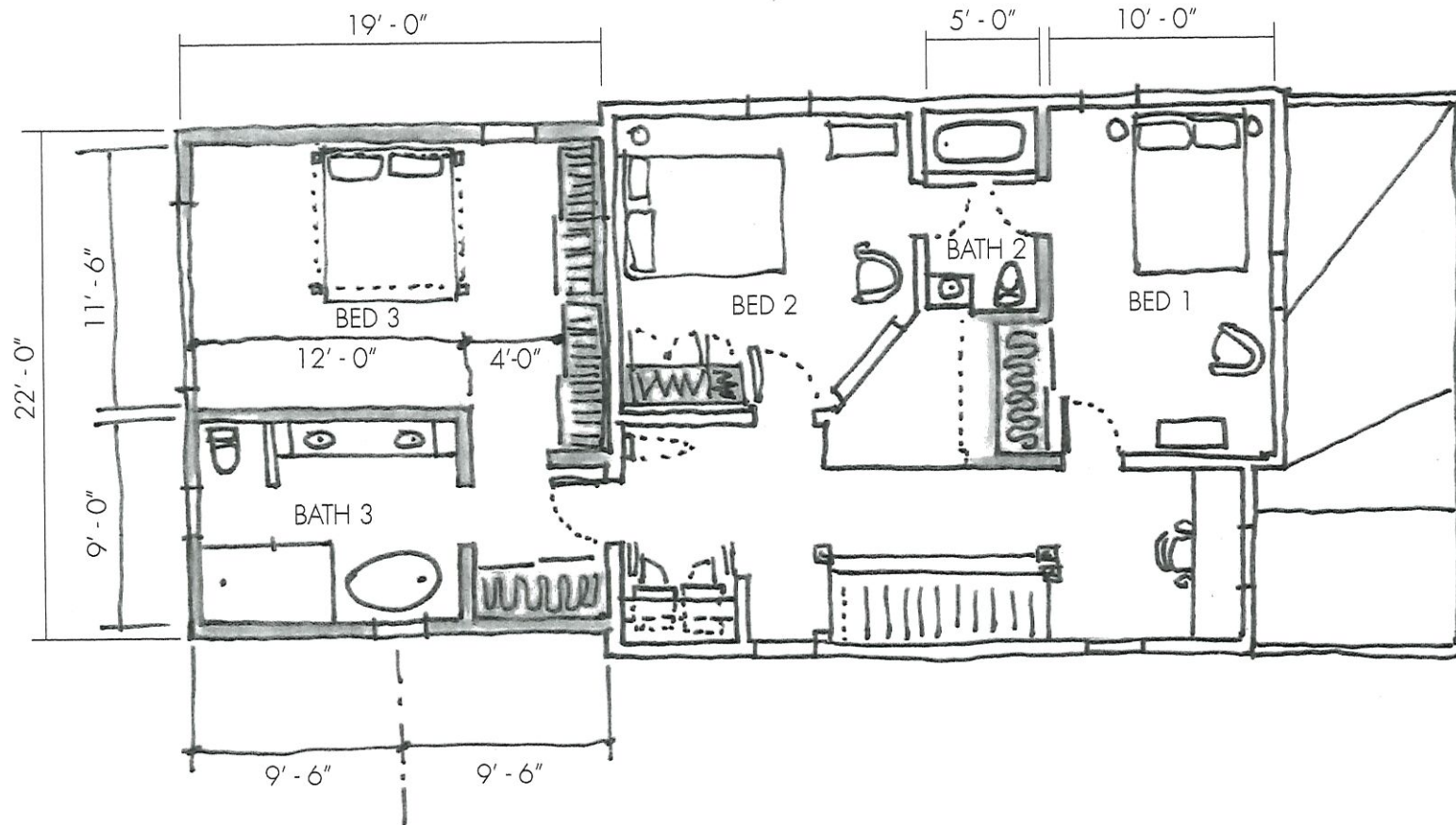
- 1. REMOVE WALLS
- 2. WINDOW, DOOR & FIXTURES TO HABITAT REUSE.

EXISTING SECOND FLOOR PLAN

1"=8' DEC. 5, 2016

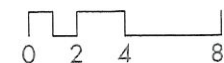


GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

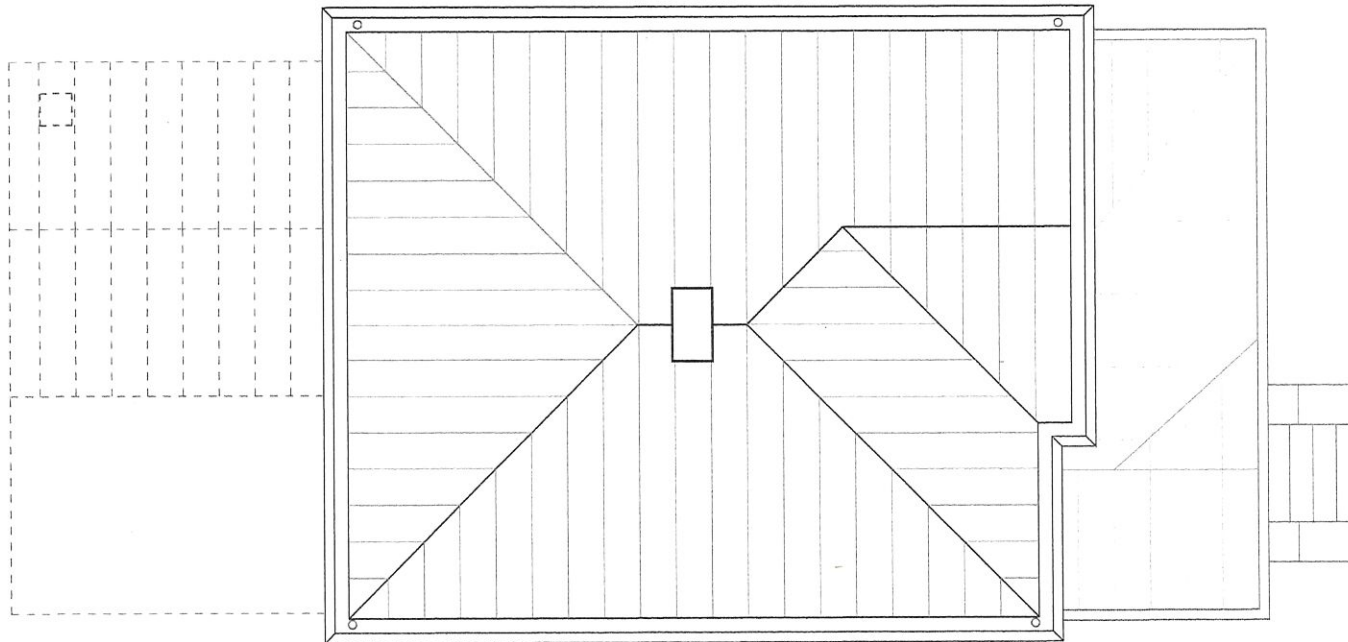


PROPOSED SECOND FLOOR PLAN

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

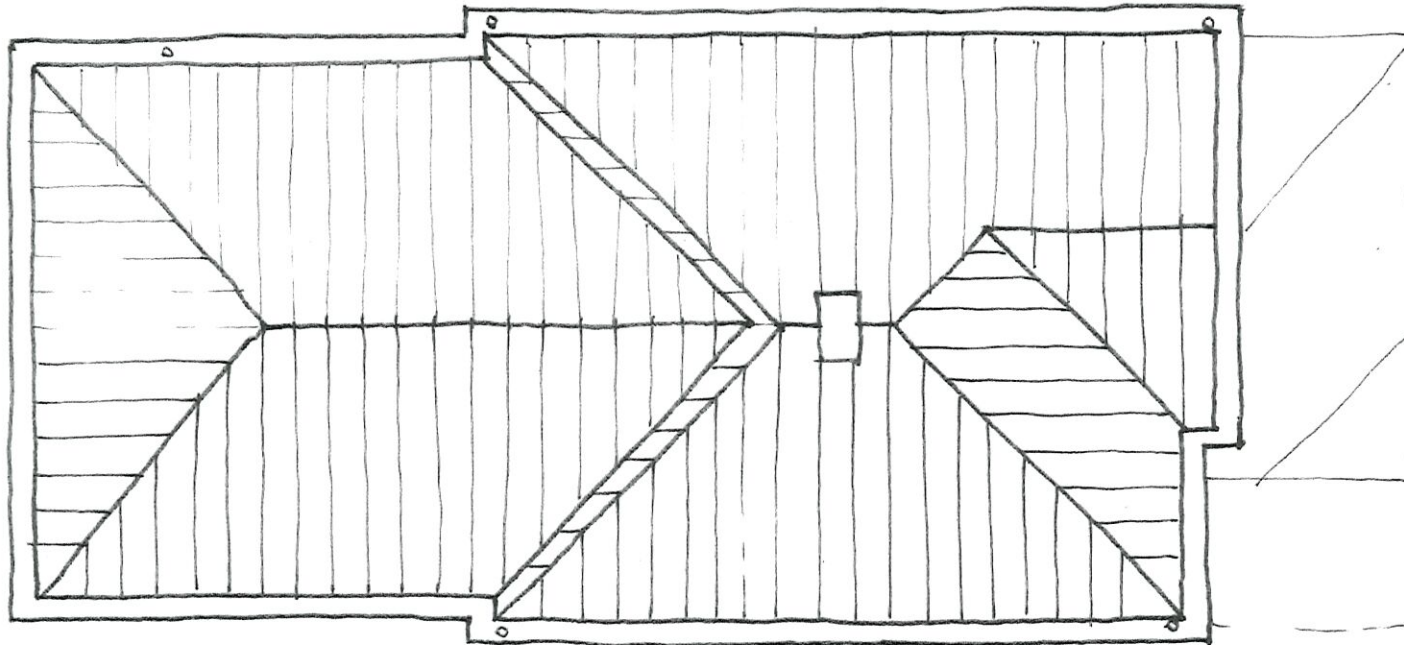


EXISTING ROOF PLAN

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



PROPOSED ROOF PLAN

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



NEW MATERIALS AND FINISHES TO MATCH EXISTING:

1. TERNE METAL, 1-INCH STANDING SEAM, PAINTED
2. WOOD BOARD SIDING AND TRIM, PAINTED
3. PORCH COLUMN AND WOOD T&G CEILING, PAINTED
4. WOOD WINDOWS AND DOORS, PAINTED
5. BRICK PAVERS, STEPS, PILASTERS AND WALLS

WEST ELEVATION

1"=8' DEC. 5, 2016

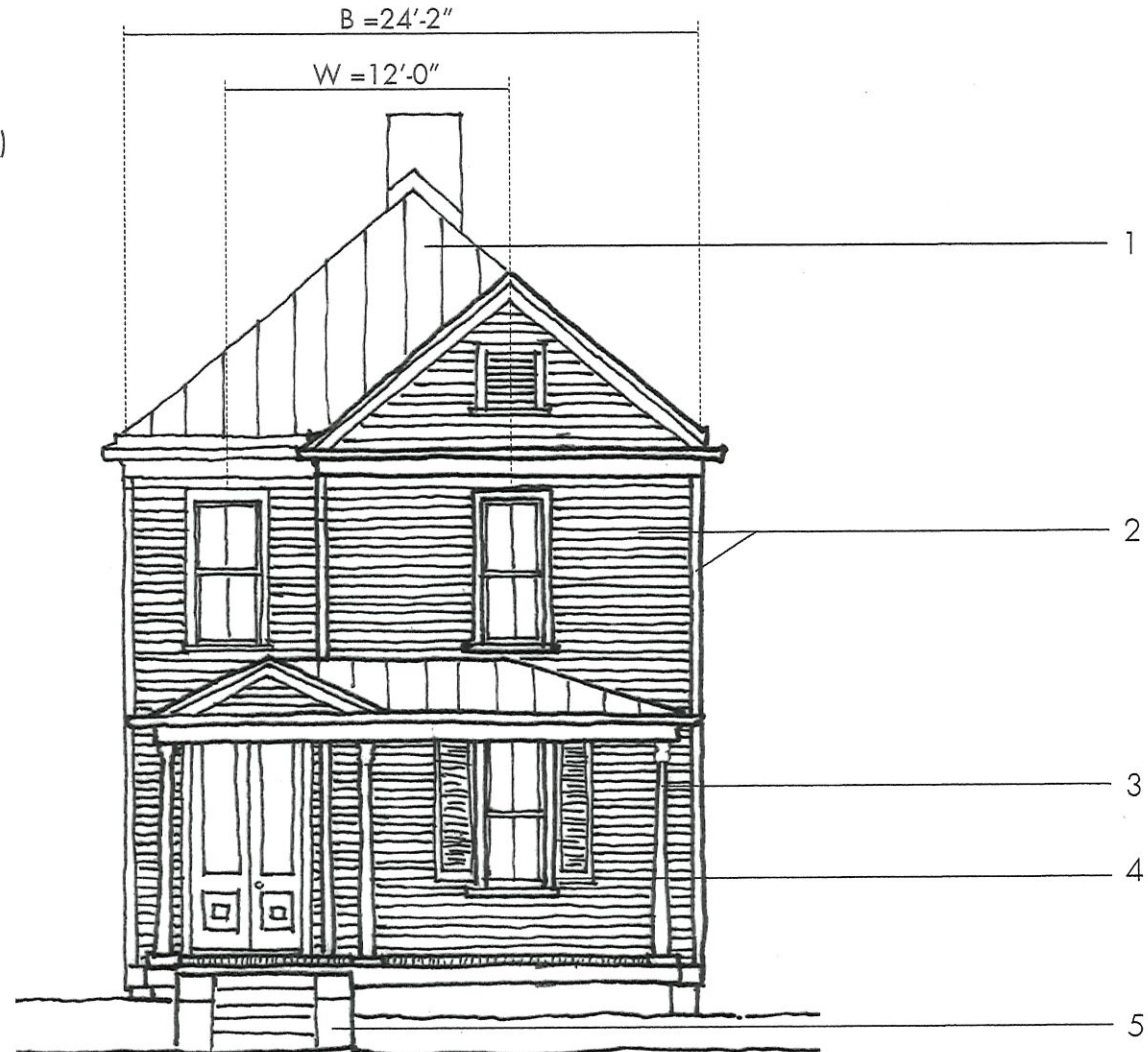


GRIFFIN TYLER DEMPRESS RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

proportion:

ratio of existing building width (B)
to window center placement (W)

$$B/W = 24' / 12' = 2$$



NEW MATERIALS AND FINISHES TO MATCH EXISTING:

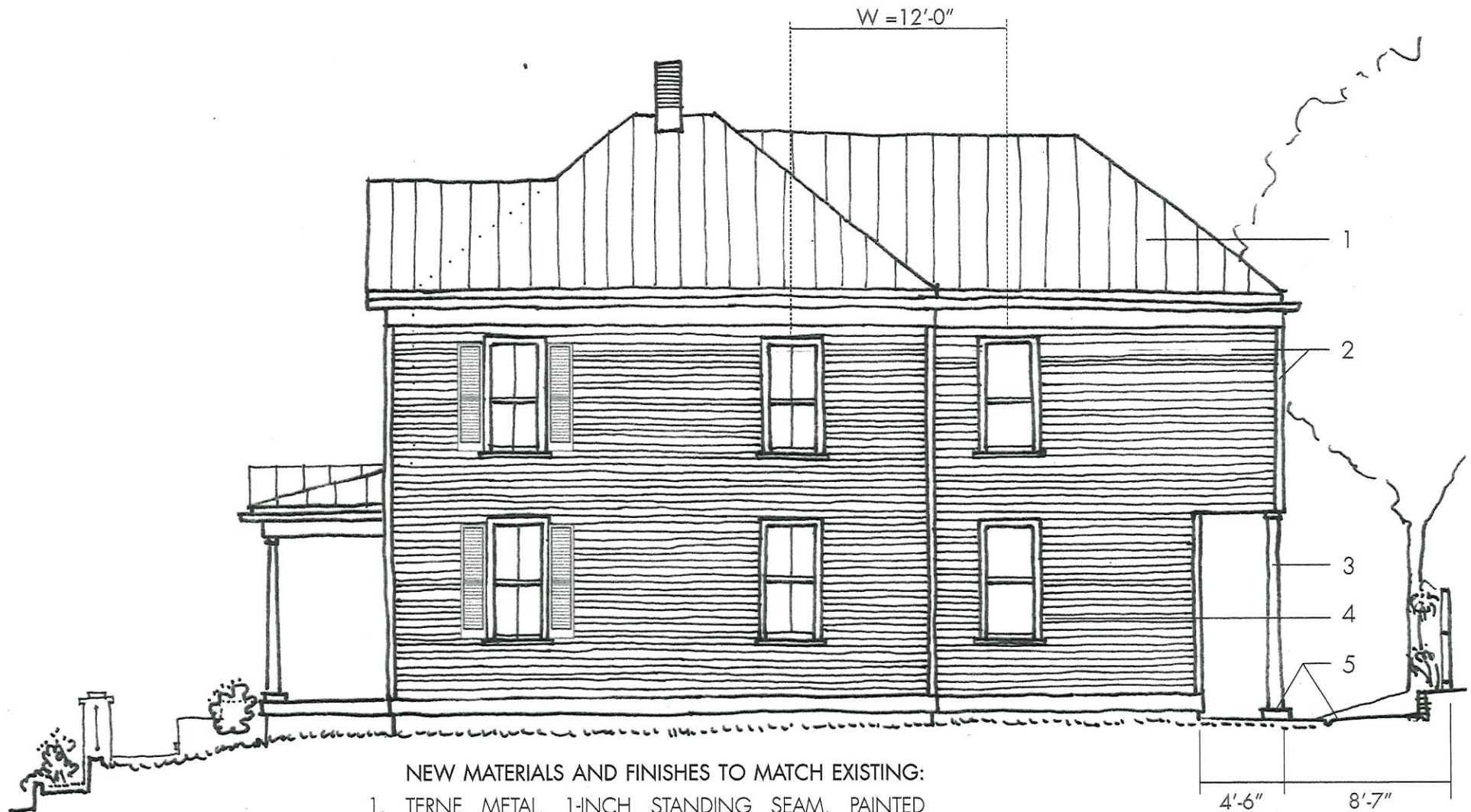
1. TERNE METAL, 1-INCH STANDING SEAM, PAINTED
2. WOOD BOARD SIDING AND TRIM, PAINTED
3. PORCH COLUMN AND WOOD T&G CEILING, PAINTED
4. WOOD WINDOWS AND DOORS, PAINTED
5. BRICK PAVERS, STEPS, PILASTERS AND WALLS

SOUTH ELEVATION

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT

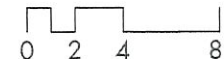


NEW MATERIALS AND FINISHES TO MATCH EXISTING:

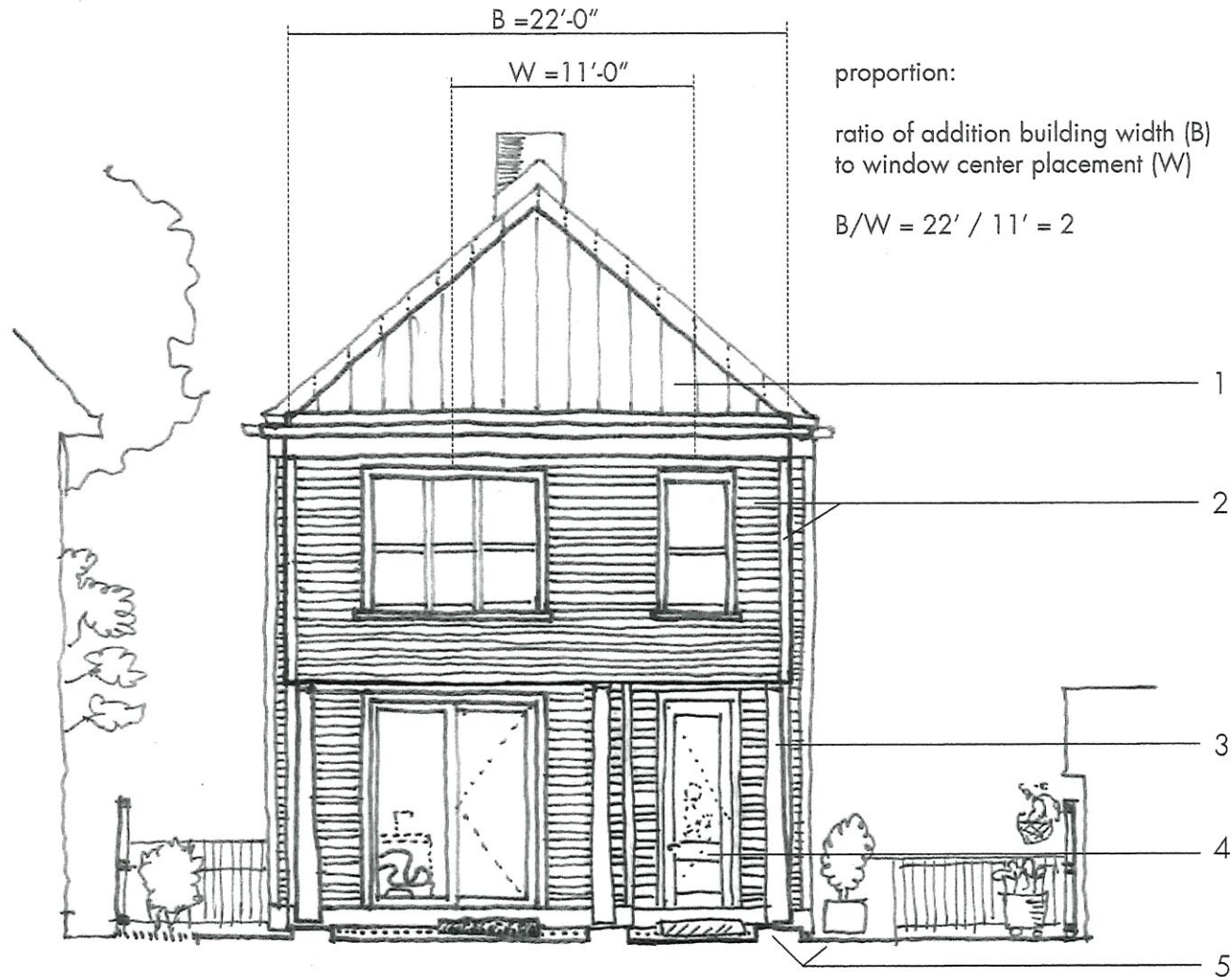
1. TERNE METAL, 1-INCH STANDING SEAM, PAINTED
2. WOOD BOARD SIDING AND TRIM, PAINTED
3. PORCH COLUMN AND WOOD T&G CEILING, PAINTED
4. WOOD WINDOWS AND DOORS, PAINTED
5. BRICK PAVERS, STEPS, PILASTERS AND WALLS

EAST ELEVATION

1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRESS RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



NEW MATERIALS AND FINISHES TO MATCH EXISTING:

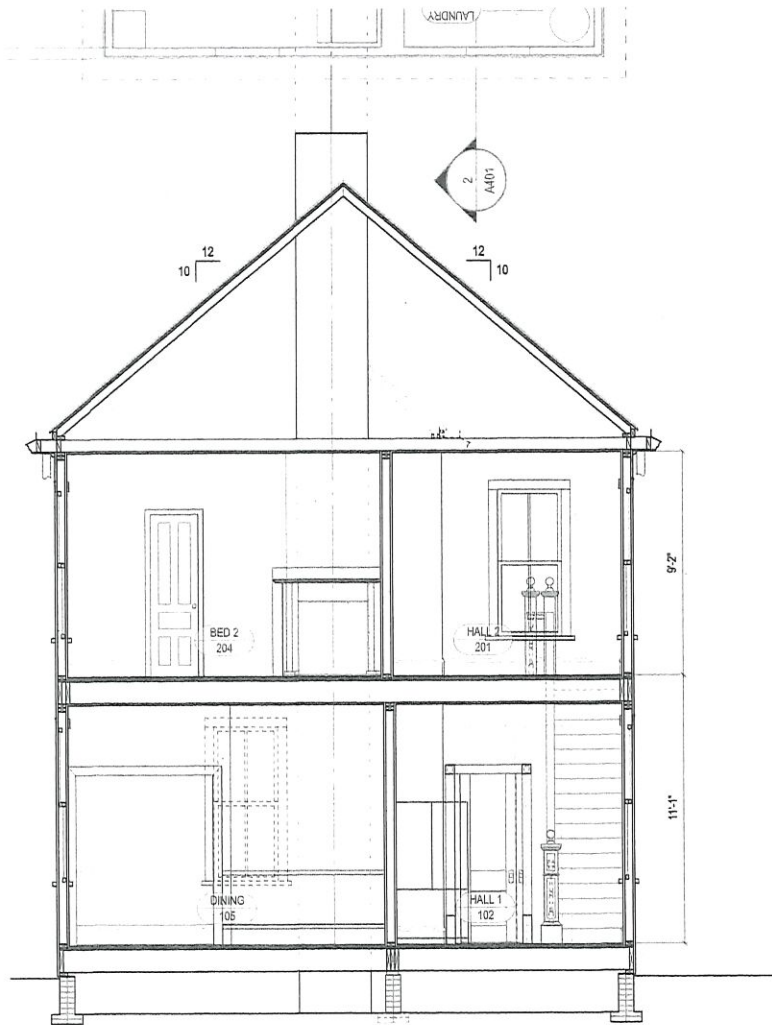
1. TERNE METAL, 1-INCH STANDING SEAM, PAINTED
2. WOOD BOARD SIDING AND TRIM, PAINTED
3. PORCH COLUMN AND WOOD T&G CEILING, PAINTED
4. WOOD WINDOWS AND DOORS, PAINTED
5. BRICK PAVERS, STEPS, PILASTERS AND WALLS

NORTH ELEVATION

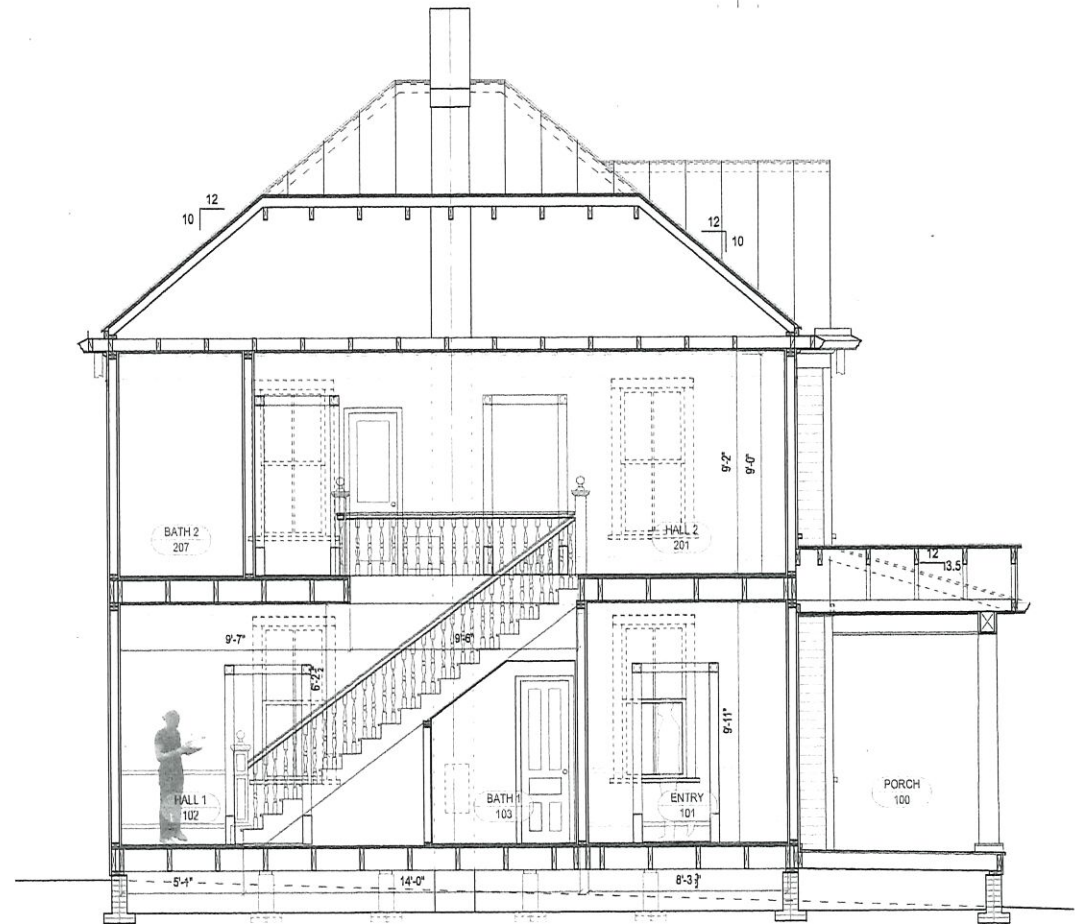
1"=8' DEC. 5, 2016



GRIFFIN TYLER DEMPRES RESIDENCE 507 OAKWOOD AVENUE ALTERATION & ADDITION PROJECT



1 **BUILDING SECTION 1**
1" = 4' 0 1 2 4 8 FT



2 **BUILDING SECTION 2**
1" = 4' 0 1 2 4 8 FT

DIMENSIONS MEASURED
BY TIM MARTIN, PE
SEPTEMBER 11th & 16th, 2016

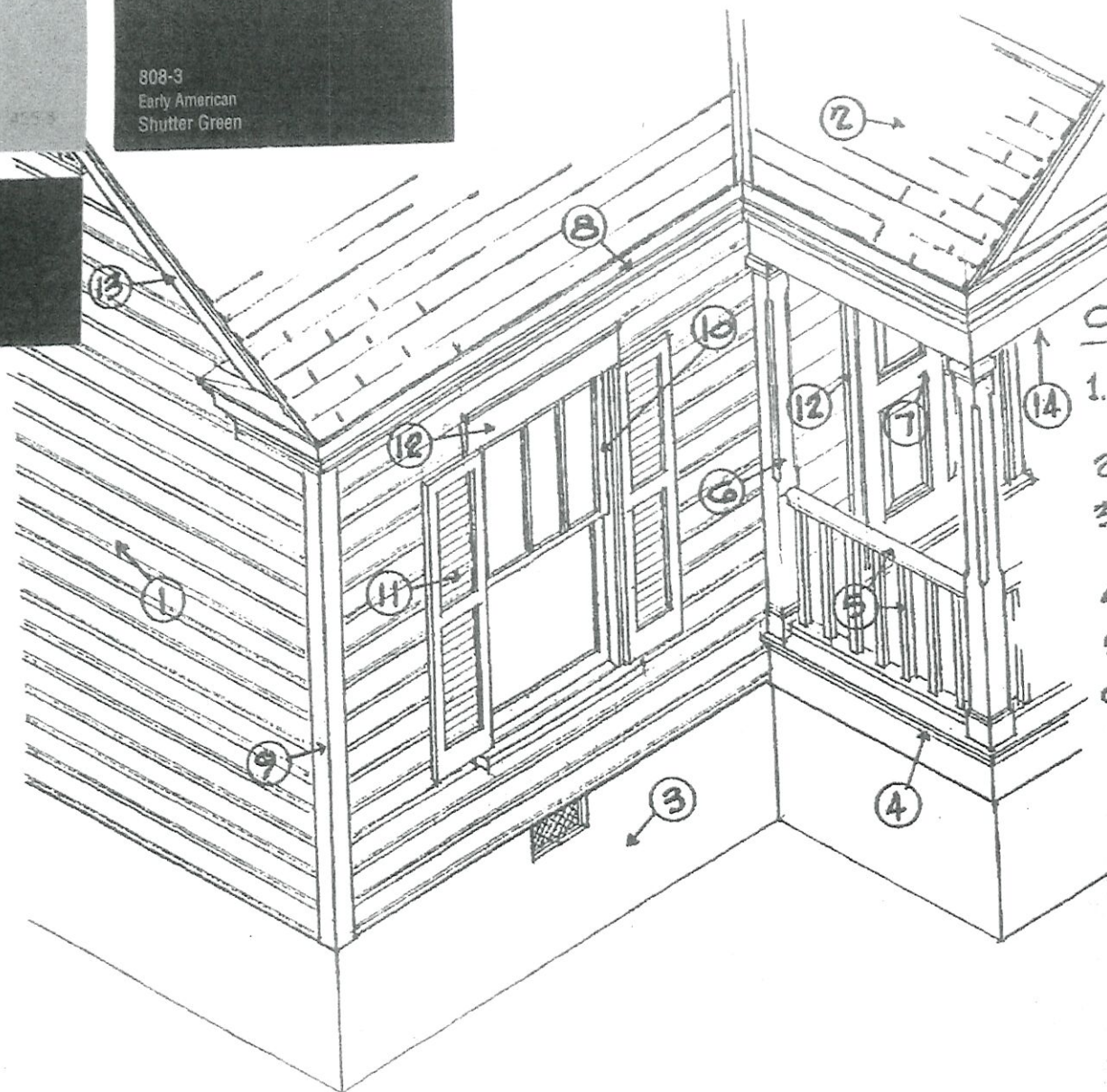
EXISTING BUILDING SECTIONS

DEC. 5, 2016

0 2 4 8'

808-3
Early American
Shutter Green

808-2
Blackwatch Green



COLOR SCHEDULE

1. BODY OF HOUSE: Cathedral Glass
2. ROOFING: Gray
3. FOUNDATION: Blackwatch Green
4. PORCH FLOOR: Blackwatch Gr
5. RAILING: White
6. COLUMNS: white
7. ENTRANCE DOOR: Early American Shutter Green
8. CORNICE: White
9. CORNER BOARDS: white
10. WINDOW SASH: white
11. SHUTTER: Early American Shutter Green
12. DOOR & WINDOW TRIM: White
13. RAKE: ? White
14. PORCH CEILING: White

15. OTHER: _____

RALEIGH HISTORIC DISTRICTS

APPLICANT: Kent G. Grier & Rennie Grier
ADDRESS: 507 Oakwood Ave

PAINT MFR: Dixie Greens: Valspar; "Cathedral Glass" Olympic