



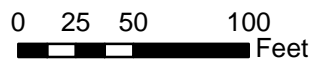
City of Raleigh



This document is a graphic representation only,
created from the best available sources.
The City of Raleigh assumes no responsibility for any errors,
or misuse of this document.

191-17-CA

219 E NORTH STREET
BLOUNT STREET
HISTORIC DISTRICT (HOD-G)



Nature of Project:
[After-the-Fact] Install sidelight
adjacent to the rear door

APPLICANT:
MATTHEW KONAR ARCHITECT

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

191-17-CA 219 E NORTH STREET

Applicant: MATTHEW KONAR ARCHITECT

Received: 12/6/2017

Meeting Date(s):

Submission date + 90 days: 3/6/2018

1) 1/25/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: BLOUNT STREET HISTORIC DISTRICT

Zoning: HOD-G

Nature of Project: After-the-Fact: Install sidelight adjacent to the rear door

Staff Notes:

- A minor work COA (095-17-MW) was approved 6/2/17 for various items of work for this property.
- A major work COA (123-17-CA) was denied by the COA committee at the 8/24/17 hearing. The nature of the project was “After-the-fact: Installation of sidelight on rear door”.
- At the 12/28/17 COA meeting the committee granted the applicant’s reconsideration request petition for the rear door sidelight at 219 E North St. This is to be treated as a new application.
- COAs mentioned are available for review.
- After-the-Fact applications are reviewed as though the work has not been completed.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
2.7	Windows and Doors	After-the-fact: Install sidelight adjacent to the rear door

STAFF REPORT

Based on the information contained in the application and staff’s evaluation:

A. The installation of a sidelight adjacent to the rear door is incongruous in concept according to *Guideline 2.7.9*, and the following suggested facts:

- 1* The S.B. Shepherd House was built in 1903, according to the report prepared in 1975 to establish the Blount Street Historic District. It is a 2-story Queen Anne with a wraparound front porch. The rear of the house has been significantly modified over the years with both 1-story and 2-story additions. According to photographs provided by the applicant, prior to the current renovations, the rear door led out to a concrete stoop and stairs. The door was a half-light with two panels. There was no sidelight.

- 2* From *Guidelines* section 2.7 Windows and Doors, Things to Consider As You Plan:
- “Changing existing window and door openings, closing existing openings, or adding new openings on a historic building should be carefully considered and undertaken only for compelling reasons. Changes to original openings in a character-defining facade should never be considered. For less significant facades, the pattern of proposed openings should be characteristic of and complementary to the historic building and the historic district context.”
- 3* From the COA 095-17-MW: “The relocated rear door will be a new wood door similar to the front door and be consistent in size, glazing, detailing, trim, etc., yet more modest than the front door as this is a rear door.”
- 4* According to the drawings of the front and rear elevations, the front and rear doors are nearly identical. The front door includes a transom and two sidelights, while the rear door includes a single sidelight.
- 5* Rear doors were generally treated as secondary/service entries; a sidelight is atypical.
- 6* The application includes:
- a. An image generated from iMAPS showing the property and surrounding properties numbered from 01 to 15. There is no title or explanation of what this page is meant to convey.
 - b. An 11" x 17" drawing labeled A0101, Architectural Floor Plan Ground Level.
- 7* The applicant states that “a thorough analysis of all rear doors and all adjacent glazing in the entire historic district” will be presented at the 1/25/18 COA meeting.

Staff suggests denial of the application.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☒ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 538 391

File # 191-17-CA

Fee _____

Amount Paid \$147

Received Date 1/3/18 TO REPLACE ORIGINAL APPLICATION FROM 12/6/17

Received By _____

Property Street Address 219 E North Street (historically, 215 E North Street), Raleigh, North Carolina 27601

Historic District Blount Street Historic District

Historic Property/Landmark name (if applicable) Francis-Ashley House

Owner's Name Francis Law Office

Lot size 0.23 acres (width in feet) 78 feet (depth in feet) 126 feet

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
418 N Blount Street	226 E North Street
412 N Blount Street	-
408 N Blount Street	401 N Person Street
400 N Blount Street	407 N Person Street
207 E North Street	411 N Person Street
211 E North Street	415 N Person Street
310 N Blount Street	224 Polk Street
215 E Lane Street	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Matthew Konar Architect

Mailing Address 611 W Club Boulevard

City Durham State North Carolina Zip Code 27701

Date Wednesday, 06 December 2017 Daytime Phone 919.801.9736

Email Address matthewk@matthewkonar.com

Applicant Signature

Will you be applying for rehabilitation tax credits for this project? ☒ Yes ☐ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.7 / pg. 51	Windows and Doors	The work is a single, new sidelight adjacent to the rear door.
		Per RHDC Guidelines, Section 2.7.9, 'If additional windows or doors are necessary for a new use, install them on a rear or non-character-defining facade of the building, but only if they do not compromise the architectural integrity of the building. Design such units to be compatible with the overall design of the building, but not to duplicate the original.'
		In accordance with the RHDC Guidelines, Section 2.7.9 Windows and Doors, the single, new sidelight adjacent to the rear door is placed on the 'rear' and 'non-character-defining' facade of the building. In order for the new sidelight 'to be compatible' with the overall design of the building, the rear entrance is considered a 'secondary entry' and, thus, the design of the rear door and sidelight is similar, yet more modest to the front door. This is not the original, historical rear door and, thus, does 'not duplicate the original'. A 'compelling reason' for the new sidelight is to allow additional light to highlight the most significant interior historical feature, the exposure of the original wood siding of the detached kitchen building which has been incorporated into the building over multiple renovations. Lastly, in terms of neighbor context, the Blount Street Historic District has a wide variety of rear door with adjacent window arrangements, including a residence with a rear door and sidelight. Thus, the new sidelight would be consistent with the variety of the Blount Street Historic District.
		For further clarification, the rear door and the paint schedule have received a Certificate of Appropriateness via transaction no. 500427.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (<u>See Development Fee Schedule</u>)	<input checked="" type="checkbox"/>				

Properties within 100ft

1. 418 N Blount Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
2. 412 N Blount Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
3. 408 N Blount Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
4. 400 N Blount Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
5. 207 E North Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
6. 211 E North Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
7. 310 N Blount Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
8. 215 E Lane Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
9. 226 E North Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
10. same as 8.
11. 401 N Person Street
Matthew Brown
601 E Lane Street
Raleigh, North Carolina 27601
12. 407 N Person Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
13. 411 N Person Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
14. 415 N Person Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603
15. 224 Polk Street
State of North Carolina
State Property Office
116 W Jones Street
Raleigh, North Carolina 27603

Matthew Konar Architect

CERTIFICATE of APPROPRIATENESS application

Wednesday, 06 December 2017

to: Staff at the Raleigh Historic Districts Commission

re: Installation of New Sidelight adjacent to Rear Door
Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601

PART 1 WRITTEN DESCRIPTION

The scope of work will be the installation of a new sidelight adjacent to the rear door.

PART 2 DESCRIPTION OF MATERIALS

Frame: Wood, Fir
Glazing: Clear, Glass
Refer to attached specifications and purchase order.

PART 3 PHOTOGRAPHS

Refer to attached exterior photographs.

PART 4 PAINT SCHEDULE

Refer to attached RHDC approved exterior Paint Schedule.
The Paint Schedule was approved on Friday, 02 June 2017 via transaction no. 500427,
Certificate of Appropriateness for Minor Work.

PART 5 PLOT PLAN: not applicable

PART 6 DRAWINGS

Floor Plan of Main Level on sheet A0101, drawing 01.
Exterior Elevation of rear North Elevation on sheet A0202, drawing 01.

PART 7 ENVELOPES: Enclosed in submittal.

PART 8 FEE: Paid upon submittal

LARRY BISSETTE INC.

P.O. BOX 232
FUQUAY-VARINA, NC 27526
OFFICE:919.773.2140
MOBILE:919.880.8897

Invoice

Date	Invoice #
12/9/2016	20521

Bill To
Greg Paul Builders, Inc. 436 North Harrington Street Suite 110 Raleigh, NC 27603 Office:834-5700 Fax:834-9010

Ship To

Description	Qty	Rate	Amount
215 EAST NORTH STREET RALEIGH, NC 27601			
60sq. - one layer of shingles torn off - roof decking inspected - 15lb. roofing felt underlayment supplied and installed - Certainteed Landmark Lifetime Colonial Slate Architect Shingles supplied and installed	1	15,250.00	15,250.00
56ls. Certainteed Swift Start Starter Shingles supplied and installed			
NO RIDGE VENT - SPRAY FOAM INSULATION INSTALLED			
156ls. Certainteed Shadow Ridge Cap - supplied and installed			
4 rolls Certainteed Winterguard Underlayment supplied and installed around all roof penetrations, on 2/12 pitch roof and in valleys			
205ft. of existing wall flashing reworked			
2 center brick chimneys reflashed			
Dormer reworked			
Remove 6 attic fans and patch holes with plywood			
Replace all pipe flashings and box vents - Never Leak pipe flashings supplied and installed			
Clean up and disposal			
4sq. - supply and install new EPDM membrane roofing and accessories with 1/2in high density board insulation on 0/12 and 1/12 pitch roofs	1	2,500.00	2,500.00
<div style="display: flex; justify-content: space-between;"> <div> SUBCONTRACTOR Pay Date _____ Super _____ GLP _____ </div> <div> GLP SUBCONTRACTOR CC 4500 </div> </div>			
Total			\$17,750.00

Quote Form

2g^{no}

AMERICAN CEDAR MILLWORK-RALEIG
3401 TARHEEL DR
RALEIGH NC 27609
919-871-0200



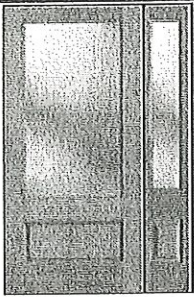
Project Information (ID #1393819) [Hide](#)

Project Name: 215 E NORTH Customer: Cash Customer Contact Name: Cash Customer Phone (Main): 919-981-6127 Phone (Cell): Customer Type: Home Owner Terms:	Quote Date: 01/03/2017 Submitted Date: PO#: Sales Rep Name: michele durst
--	--

Delivery Information [Hide](#)

Shipping Contact: Cash Customer Shipping Address: City: State: Zip:	Comments:
--	------------------

Unit Detail [Hide All Configuration Options](#)

Item: 0001: Ext 36" / 14" x 80" F7501LE / F7801LE RHI 4 9/16" FrameSaver	Location:	Quantity: 1
	Fir 36"x80" Single Door w Right Sidelite	
		1,203.20



EXTERIOR
Right-Hand Inswing
Sidelite Hinge Side

Configuration Options [Hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb
- **Product Type:** Exterior
- **Region:** East
- **Product Material:** Wood
- **Material Type:** Fir
- **Configuration (Units viewed from Exterior):** Single Door w Right Sidelite
- **Factory Finish Option:** No
- **Frame Material:** FrameSaver
- **Unit Construction:** Continuous
- **Slab Width:** 36"

- **Slab Height:** 80"
- **Product Style:** 3/4 Lite
- **Raised Molding:** No
- **Glass Type:** Clear
- **Panel Type:** Raised
- **Panel Thickness:** 1-7/16" Innerbond
- **Glass Style:** Clear
- **Insulation:** Low E
- **Performance Option:** Performance Series(TM)
- **Model:** F7501LE
- **Sidelite Product Material:** Wood
- **Sidelite Material Type:** Fir
- **Sidelite Width:** 14"
- **Sidelite Height:** 80"
- **Sidelite Style:** 3/4 Lite
- **Sidelite Glass Type:** Clear
- **Sidelite Panel Type:** Raised
- **Sidelite Glass:** Clear
- **Sidelite Insulation:** Low E
- **Sidelite Panel Thickness:** 1-7/16" Innerbond
- **Sidelite Performance:** Standard
- **Sidelite Model:** F7801LE
- **Handing:** Right Hand Inswing
- **Casing/Brickmould Pattern:** None
- **Hinge Type:** Radius Corner Ball Bearing
- **Hinge Brand:** Reeb
- **Hinge Finish:** US5 Antique Brass
- **Jamb Depth:** 4 9/16"
- **Sill:** Composite Adjustable
- **Sill Finish:** Bronze
- **Multi-Point Lock:** None
- **Bore:** Double Lock Bore 2-3/8" Backset
- **Strike Jamb Prep:** DBM
- **Weatherstrip Type:** Compression
- **Weatherstrip Color:** Bronze
- **Custom Height Option:** No
- **Storm Door Adapter Kits:** No
- **Kick Plate:** None
- **Sill Cover:** No
- **Rough Opening Width:** 53 1/2"
- **Rough Opening Height:** 82 1/2"
- **Total Unit Width(Includes Exterior Casing):** 52 5/8"
- **Total Unit Height(Includes Exterior Casing):** 82"

Item Total: \$ 1,203.20

Item Quantity Total: \$ 1,203.20

Unit Summary[Hide](#)

Item Description	Quantity	Unit Price	Total Price
0001 Ext 36" / 14" x 80" F7501LE / F7801LE RHI 4 9/16" FrameSaver	1	\$ 1,203.20	\$ 1,203.20

SUBMITTED BY: _____

SUBTOTAL: \$ 1,203.20

ACCEPTED BY: _____

TAXES (6.75 %): \$ 81.22

DATE: _____

GRAND TOTAL: \$ 1,284.42

Additional Information:

I understand that this order will be placed according to these specifications and is non-refundable. All products are unfinished unless otherwise specified and should be finished as per the instructions provided by the manufacturer.

Images in this catalog should be considered a representation of the product and may vary with respect to color, actual finish options and decorative glass privacy ratings. Please verify with sales associate before purchasing.

Unless otherwise noted, prices are subject to change without notice, and orders accepted subject to prices in effect at time of shipment. Prices in this catalog apply only to sizes and descriptions listed; any other specifications will be considered special and invoiced as such.

MAPS

iMAPS

Disclaimer

About

Feedback

Links

Data Download

Help

Tools

0 50 100ft

-

+

🔄

📏

N Blount St

E North St

N Person St

E North St

01

02

03

04

05

06

07

08

09

10

11

12

13

14

15

Maps

Search

219 E NORTH ST

For Property

Field	Value
PIN	1704801785
PIN Ext	000
Real Estate ID	0422809
Map Name	1704 20
Owner	TLC FRANCIS LLC
Mail Address 1	PO BOX 164
Mail Address 2	RALEIGH NC 27602-0164
Mail Address 3	
Deed Book	016495
Deed Page	00883
Deed Date	08/16/2016
Deed Acres	0.23
Building Value	\$268,755
Land Value	\$450,955

Overview

Layers

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Property name the Francis-Ashley House NPS Project Number _____

Property address 215 E North Street, Raleigh, North Carolina, 27601

7. Photographs and maps. Send photographs and map with application.



Photo of Exterior . South Elevation



Photo of Exterior . West Elevation

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Property name the Francis-Ashley House NPS Project Number _____
Property address 215 E North Street, Raleigh, North Carolina, 27601

7. Photographs and maps. Send photographs and map with application.



Photo of Exterior . West Elevation



Photo of Exterior . North Elevation

The Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601



South Elevation



detached kitchen building

original main house

West Elevation

The Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601

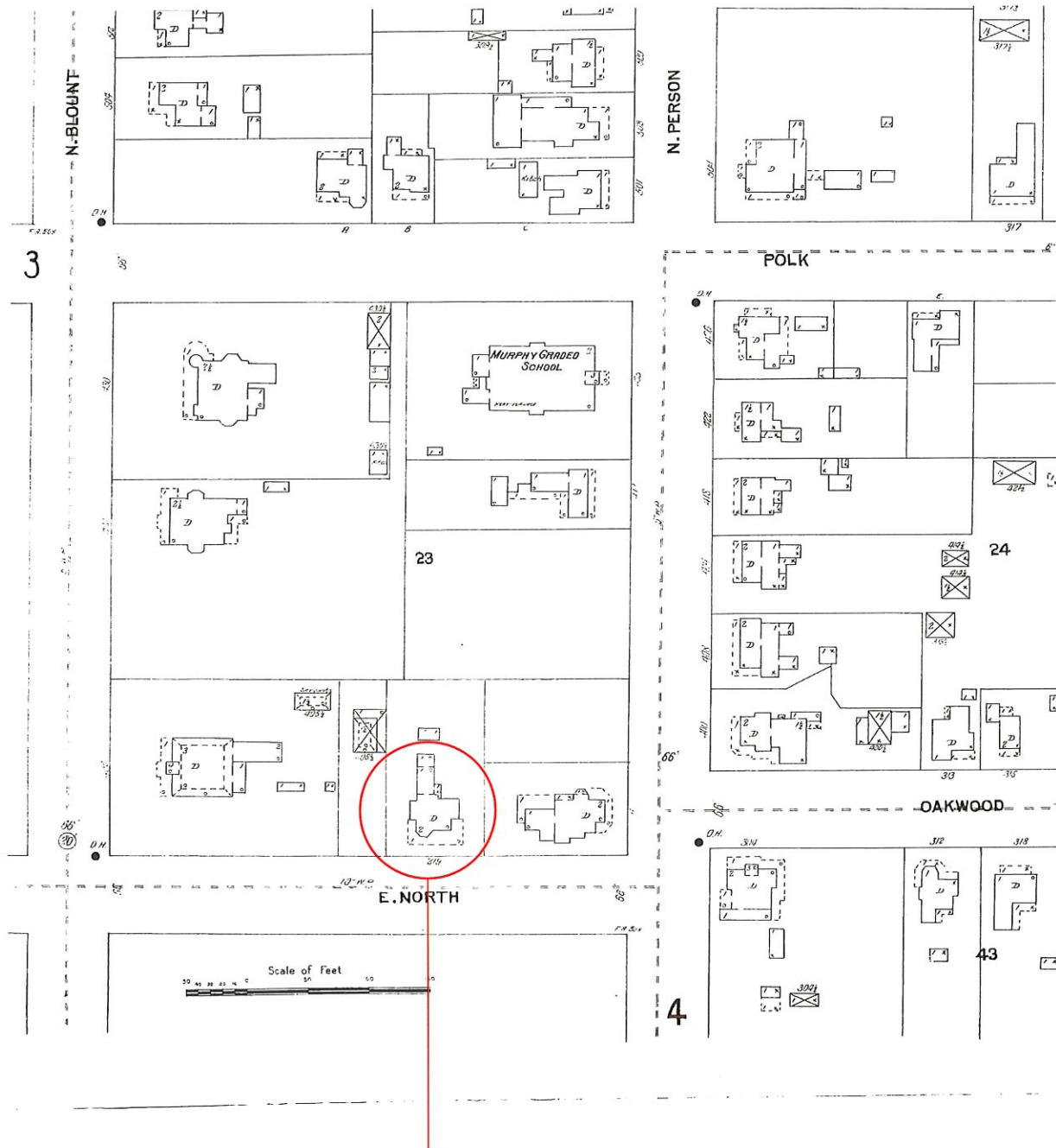


detached kitchen building North Elevation



East Elevation

The Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601



house with detached kitchen

Sanborn map of City of Raleigh, July 1903

The Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601

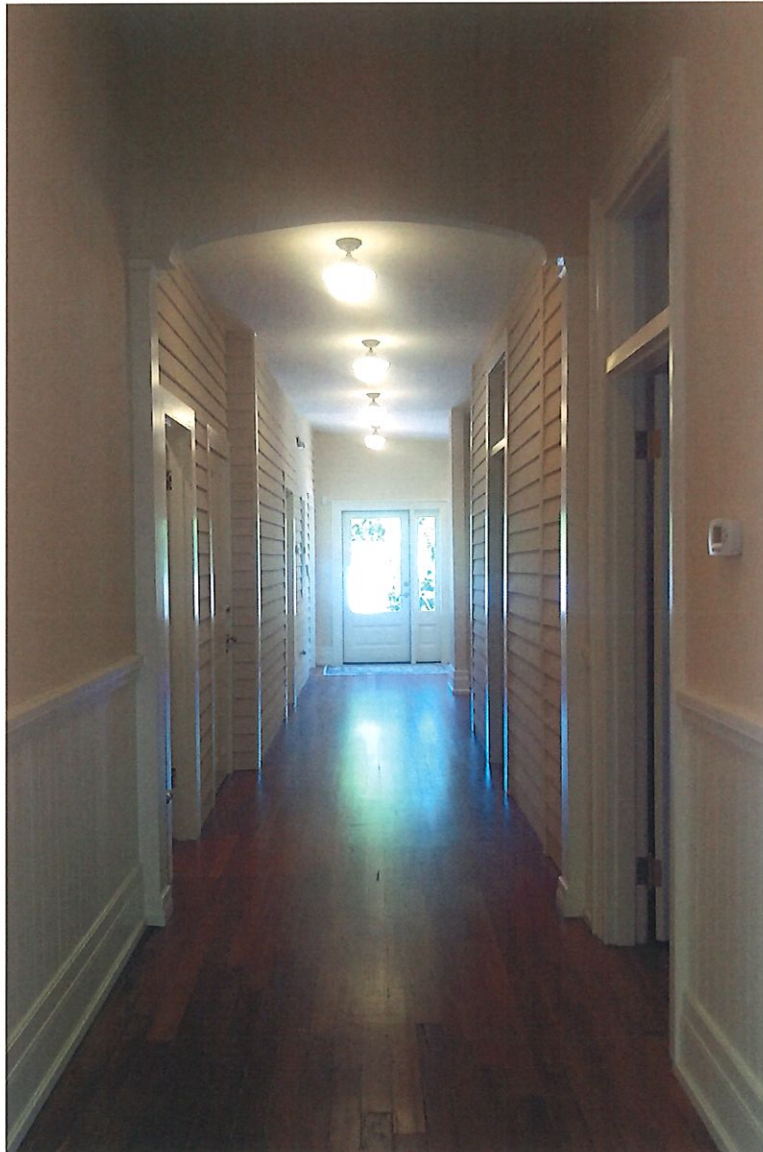


view down main hallway with additional light from sidelight illuminating the exterior wood siding of the original detached kitchen

Certificate of Appropriateness
Raleigh Historic Districts Commission

prepared by Matthew Konar Architect
on Tuesday, 27 June 2017

The Francis-Ashley House
219 E North Street
Raleigh, North Carolina 27601



view down main hallway with additional light from sidelight illuminating the exterior wood siding of the original detached kitchen

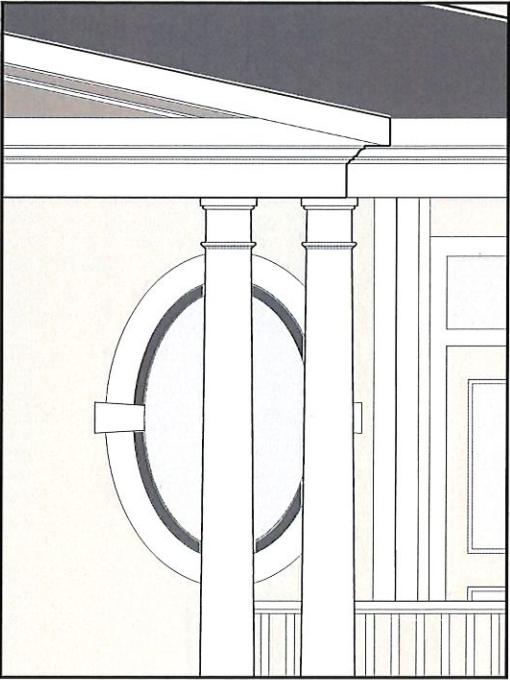
Siding

Trim

Detail / Sash

Accent / Base

PAINT SCHEDULE
Siding: China White PM-20.
Trim: Super White PM-1.
Accent / Base: Ashley Grey HC-87.
Detail / Sash: Dragon's Breath.1547.
Porch Ceiling: Woodlawn Blue HC-147.
Front Door: Cottage Red. PM-15.
Brick Base: Unpainted. Existing.



Enlarged Detail.



01 Architectural Elevation . South . Proposed . Historic
not to scale

Matthew Konar Architect
The Farmhouse
611 W Club Boulevard
Durham
North Carolina
27701

matthewk@matthewkonar.com
919.801.9736
www.matthewkonar.com
@matthewkonar

PERMIT SET

Architectural Elevations . Proposed
South

MKA project no. 0177
PROJECT
Francis Law Firm Office
ADDRESS
219 E North Street
Raleigh
North Carolina
27601

REVISIONS

SCALE

DATE
Tuesday 10 January 2017



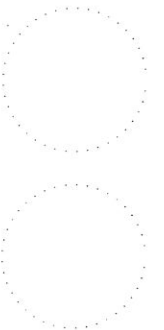
01 Architectural Elevation . North . Proposed
scale: 1/4" = 1'-0"



02 Architectural Elevation . East . Proposed
scale: 1/4" = 1'-0"

Matthew Konar Architect
The Farmhouse
611 W Club Boulevard
Durham
North Carolina
27701
matthewk@matthewkonar.com
919.801.9736
www.matthewkonar.com
@matthewkonar

PERMIT SET



Architectural Elevations . Proposed
North and East

MKA project no. 0177

PROJECT
Francis Law Firm Office

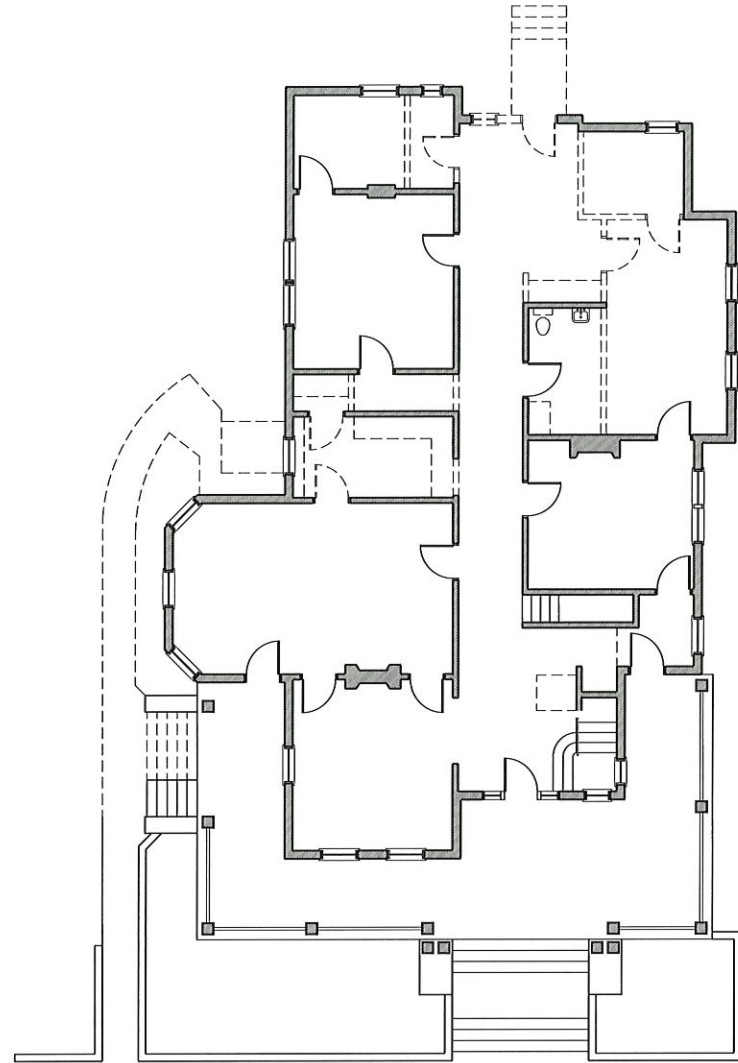
ADDRESS
219 E North Street
Raleigh
North Carolina
27601

REVISIONS

SCALE

DATE
Wednesday 06 December 2017

A0202



00 Architectural Demolition Plan . Ground Level . FOR REFERENCE ONLY
scale: 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. Protect all existing floors, walls, and trim while working.
2. Patch and repair all cracked or falling plaster in walls and ceilings. Finish with skim coat to match existing plaster finish.
3. Replace and repair rotten or severely damaged trim.
4. Carefully clean all walls and trim and as necessary and prepare for new paint or wall finish.
 - Paint all new and existing painted trim with Semi-Gloss, color TBD
 - Paint all ceilings with Flat, color TBD
 - Paint all plaster walls with Flat or Eggshell, color TBD
 - Paint all existing doors with Satin, color TBD
5. Clean existing wax build-up on wood floors. Carefully repair any damaged floors. Provide new top/finish coat.
6. Clean & secure fireplace surround, hearth, and mantles. Replace missing tiles & grout as necessary, match existing.
7. Clean, repair or replace any damaged transom window panes above existing doors.
8. If feasible, re-use existing doors as needed.
9. Examine and repair all door hardware to ensure latches and locks operate efficiently. Clean and service all lock, door and window hardware.
10. Provide new shelves, hooks and rods in closets as determined on site with Owner.
11. Provide new crown molding and quarter round at base board in Reception, Waiting, Conference, Main Hall, Side Entry, and Attorney Offices on First Floor. (Crown EC Moulding EC24 Profile in Charter Office, EC33 Profile elsewhere). When new trim, casing, base board, etc. is provided, match existing.
12. Provide new electrical, phone, and cable wiring and connections as necessary and/or as determined on site with Owner/Designer. All outlets shall be in base board or wall. There shall be no surface mounted boxes. Re-install and replace base board as necessary.
13. Provide new light fixtures throughout, type to be selected by Owner/Designer.
14. New faceted or fixtures to be selected by Owner.
15. Remove any unused piping, wiring, and ductwork.
16. Repair / replace any access panels as necessary.
17. Insulate under all crawl spaces.
18. Repair or replace existing windows with new windows as needed. Match pattern to match existing.
19. Per Owner request, First Floor Corridor to be leveled to consistent Finished Floor Elevation from Front to Rear, as structurally feasible. FFE to be mitigated to provide accessible route as required.

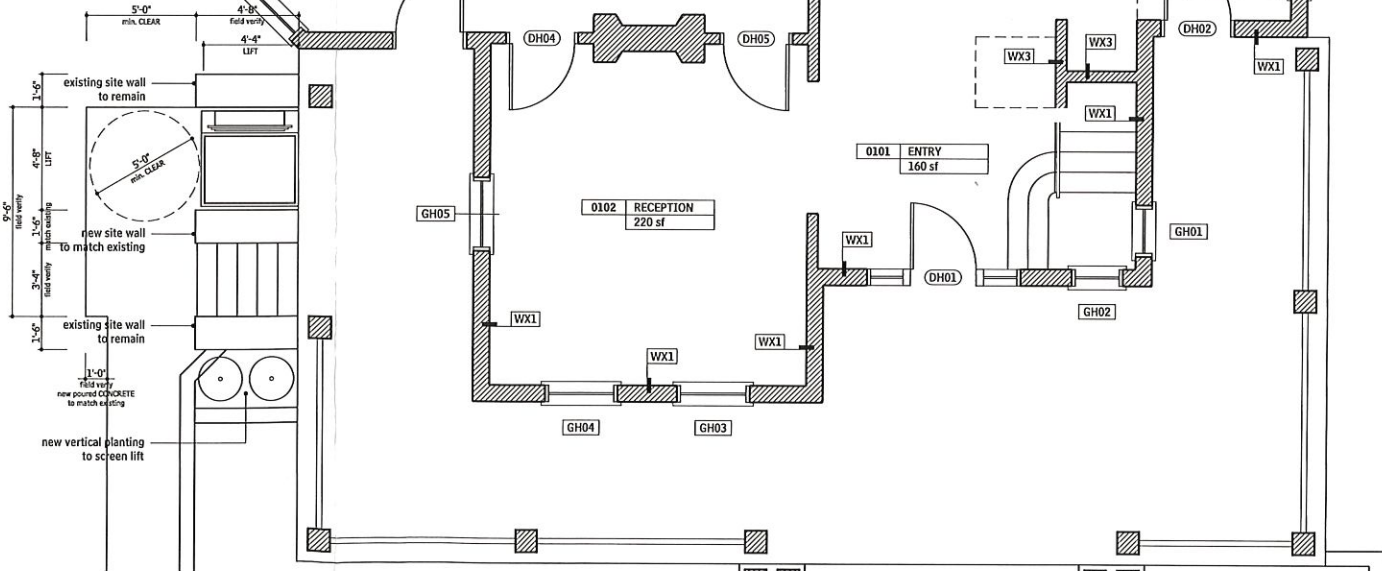
EXTERIOR CONSTRUCTION NOTES

1. Contractor to repoint all brick and existing chimneys as needed. Grout to match existing in color and texture. Match existing joint detail.
2. Brick foundation to be painted, color TBD
3. Existing wood siding to be scraped, cleaned and sanded as necessary to provide for new exterior paint finish. Repair and/or replace any damaged or rotten siding.
4. At Front Porch, repair or replace wood steps, wood deck, columns, railings, wood ceiling as needed. Scrape, clean and sand as necessary to prepare for new exterior paint finish.
5. All new wood trim to match existing.
6. Provide new exterior electrical light fixtures as approved by Owner/Designer.
7. Contractor to carefully examine existing roof and repair and replace any roofing components as needed including but not limited to flashing, counterflashing, building felt, roof sheathing.
8. Contractor to install new asphalt shingle roof, color and type TBD
9. Existing windows to be repaired or replaced as needed. Match existing window style.
10. Existing exterior doors to be repaired or replaced as needed. Match existing as approved by Owner/Designer. Prepare for new exterior paint finish.
11. Examine and repair all window hardware to ensure proper operation. Clean and service all window hardware. Repair and replace any damaged window panes.
12. Contractor to provide new insulation at all attic spaces.

SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

- The Standards (Department of Interior regulations 36 CFR 47) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.
1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

IMPERVIOUS CALCULATIONS
Existing: 7,558 sf
Proposed: 7,600 sf
Delta: +42 sf
Percentage: +0.6%



01 Architectural Floor Plan . Ground Level . Proposed
scale: 1/4" = 1'-0"

Matthew Konar Architect
The Farmhouse
611 W Club Boulevard
Durham
North Carolina
27701

matthewk@matthewkonar.com
919.801.9736
www.matthewkonar.com
@matthewkonar

PERMIT SET

Architectural Floor Plan
Ground Level

MKA project no. 0177

PROJECT
Francis Law Firm Office

ADDRESS
219 E North Street
Raleigh
North Carolina
27601

REVISIONS

SCALE

DATE
Wednesday 07 June 2017

A0101