

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

	Project Description:
15 E PEACE STREET	
Address	■ Construct ADA access elevator on Belk Hall
BLOUNT STREET	
Historic District	
Historic Property	
192-16-MW	
Certificate Number	
12-28-2016	
Date of Issue	
06-28-2017	
Expiration Date	
This card must be kent pasted in a location within public	

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspection, your Certificate of Appropriateness is null and void.

Signature, Roleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

## Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



#### Development Services Customer Service Center

One Exchange Plaza 1 Exchange Plaza, Suite 400 Raleigh, North Carolina 27601 Phone 919-996-2495 eFax 919-996-1831



☐ Additions Greate ☐ New Buildings ☐ Demo of Contrib ☐ All Other	iew) – 1 copy mmittee review) – 10 copies er than 25% of Building Squ outing Historic Resource view of Conditions of Appro	uare Footage	For Office Use Only  Transaction # 494603  File # 2900  Amount Paid \$2900 CC  Received Date 11-15-16  Received By
Property Street Address 15 E	. Peace Street R	aleigh, NC	27604
Historic District : Blount Str	eet Historic Overlag	y District	
Historic Property/Landmark nam	e (if applicable) Peace (	Jniversity	
Owner's Name William Pea	ce University		
Lot size	(width in feet)	. (	(depth in feet)
	i.e. both sides, in front (acre		rovide addressed, stamped envelopes to owners and behind the property) not including the width
Property Ad	ldress		Property Address
	8 N		
		U	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:		
Applicant MLB Construction Services,	LLC	
Mailing Address 1930 N. Salem Street,	Suite 201	
city Apex	State NC Zip Code 27523	
Date 11/14/2016	Daytime Phone 919-795-2768	
Email Address jgallimore@mlbind.com		
Applicant Signature Jan U	alhur	
<u> </u>		Office Use Only
Will you be applying for rehabilitation tax credits	for this project?  Yes No	pe of Work
Did you consult with staff prior to filing the appli	cation?  Yes No –	99/59

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2/7-16	Site and Setting	MLB will be constructing/adding an elevator for ADA
2.5/17	Walkways	Access to this buildings existing second floor. The addition will be added to the exterior West Elevation of
3/25-35	Changes to the Bldg Exterior	the Peace University Belk Hall Building. The new
3/36-43	Exterior Walls, Windows, Doors and Entrances	addition by adding the elevator will add 160sqft on the first floor and 100sqft on the second floor. All exterior
3.11/48-49	Accessibility, Health, and Safety Considerations: Guidelines	finishes will match the existing facade on Belk Hall
4.2 /54	Additions to Historic Buildings	(brick masonry, boxing and fascia trim, doors and windows and exterior lighting. The new elevator construction will not exceed the existing roof ridge height. The existing walk and paver area adjacent to the West Elevation of Belk Hall will remain as is except for the area required to perform the minor addition of the elevator. A small ramp will address the gradient access to the new elevator entry meeting/giving ADA access. All disturbed pavers and paver walks will be reinstalled back adjacent to new construction with minimal impact to the existing conditions that exist along the West Elevation of Belk Hall.  Non. Contributing  160-13-100

	Minor Work Approval (office use only)						
Upon be	ing signed and dated below by the Planning Director or designee, this application b	ecomes	the Minor	r Work C	ertificate	of	
Appropri	ateness. It is valid until 6/25/17. Please post the enclosed place	ard form	of the ce	rtificate a	as indicat	ed at	
	om of the card. Issuance of a Minor Work Certificate shall not relieve the applicant,						
obtaining	g any other permit required by City Code or any law. Minor Works are subject to an	appeals	period of	30 days	from the	date	
of approv		,	- 170	111			
Signatu	re (City of Raleigh)	Date	2/28	/16		-	
	TO BE COMPLETED BY APPLICANT					TO BE COMPLETED BY CITY STAFF	
		YES	N/A	YES	NO	N/A	
and othe below to	-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, or graphic information necessary to completely describe the project. Use the checklist be sure your application is complete.						
Minor W	<u>/ork</u> (staff review) – 1 copy						
Major W	ork (COA Committee review) – 10 copies						
1.	Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	х					
2.	Description of materials (Provide samples, if appropriate)	x					
3.	<b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	X					
4.	Paint Schedule (if applicable)	х					
5.	Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	х					
6.	Drawings showing existing and proposed work						
	☑ Plan drawings						
	☑ Elevation drawings showing the façade(s)						
	☑ Dimensions shown on drawings and/or graphic scale (required)	Х					
	□ 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	27					
7.	Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.		X				
8.	Fee (See Development Fee Schedule)	x					

AREA FOR ELAWIDE WEST ELEVATION BELK HULL



Justiff Coenets Fir Now Election WEST ELEVATION BELK HALL



### **Elevator Addition**

Belk Hall William Peace University 15 East Peace Street Raleigh, NC 27604

#### **INDEX OF DRAWINGS**

GENERAL

INDEX OF DRAWINGS, VICINITY MAP, EGRESS PLAN BUILDING CODE SUMMARY FIRE PROTECTION DETAILS & ACCESS. COMPLIANCE

SITE/CIVIL

C-100 C-200

#### EXISTING CONDITIONS & SITE DEMO PLAN SITE LAYOUT & SITE GRADING PLAN

#### ARCHITECTURAL

NEW WORK PLANS & ROOF PLAN

FOUNDATION PLAN

TYPICAL FOUNDATION DETAILS

PLUMBING SCHEDULES, DETAILS, & NOTES

PLUMBING PLAN PLUMBING PLAN - RISERS

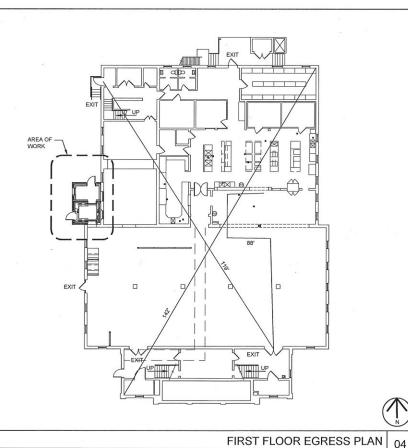
MECHANICAL PLAN & DETAILS

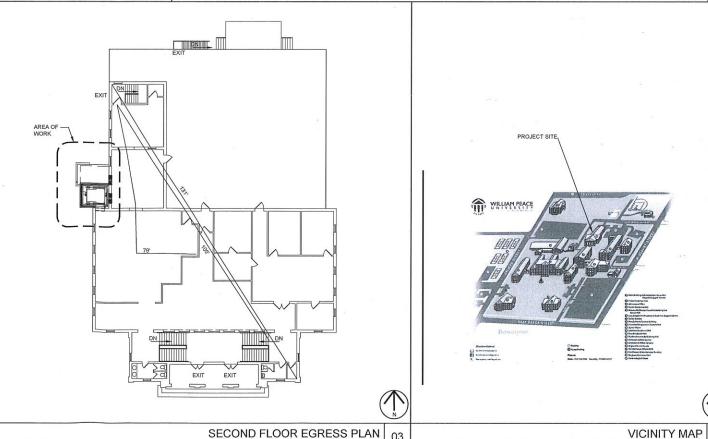
ELECTRICAL SCHEDULES, DETAILS & NOTES ELECTRICAL LIGHTING AND POWER PLANS

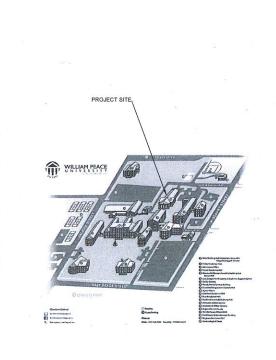
PANEL SCHEDULE & RISER

INDEX OF DRAWINGS

03







Elevator Addition

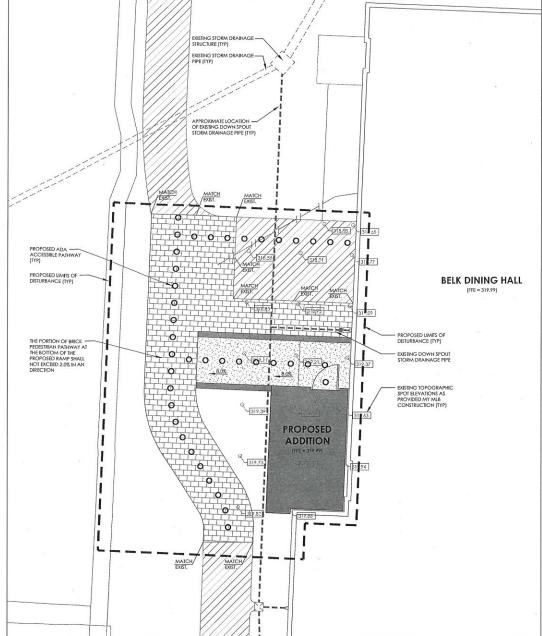
302 JEFFERSON STREET SUITE 250 RALEIGH, NC 27605

PROGRESS SET NOT FOR CONSTRUCTION

PROJ	ECT#	16054
DATE	:	11 . 11 . 2016
DRAV	VN BY:	WBS
CHEC	KED BY:	DBB, WBS
NO.	REVISION	DATE
Vici	ex of Dr inity Ma ess Pla	р

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SITE LAYOUT PLAN



ALL CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

REFER TO SHEET C-100 FOR GENERAL NOTES.

— XXX — EXISTING CONTOUR (MAJOR) 

W \_\_\_\_\_ EXISTING WATERLINE

FO EXISTING FIBER OPTIC UTILITY LINE

PROPOSED LIMITS OF DISTURBANCE

O O O O O PROPOSED ADA ACCESSIBLE PA

======== EXISTING STORM DRAINAGE

(3)

 $\bowtie$ 0

XXXXX

\_\_\_\_ EXISTING SANITARY SEWER \_\_\_\_ T \_\_\_\_\_ EXISTING TELEPHONE UTILITY LINE

EXISTING GAS UTILITY LINE

EXISTING ELECTRICAL UTILITY LINE

EXISTING LIGHT/UTILITY POLE

EXISTING SANITARY SEWER MANHOLE

EXISTING STORM DRAINAGE STRUCTUR

EXISTING TOPOGRAPHY SPOT ELEVAT

**LEGEND** 



PLAN

GRADING

SITE

∞ŏ

LAYOUT

SITE

UNIVERSITY  $\triangleleft$ PEACE 工 (

WILLIAM

DINING  $\leq$ 山 B

#### SITE GRADING PLAN

## PREFABRICATED BRICK EDGE RESTRAINT **BRICK PAVER SIDEWALK DETAIL**

#### SITE LAYOUT NOTES

- 1. REFER TO GENERAL NOTES.

  2. BUILDING SIZE, DIMENSIONS, AND LOCATION ARE APPROXIMATE AND ARE PROVIDED FOR DIAGRAMATIC PURPOSES ONLY. REFER TO ARCHIFECTURAL PLANS BY OTHERS FOR DETAILED INFORMATION INCLUDING BIOMENSIONS, LOCATION, AND BUILDING FOOTPRINT.

  3. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS FOR ALL CONCRETE SIDEWALK AND CONCRETE PAYING IN ACCORDANCE WITH GUIDELINES PROVIDED BY THE PORTLAND CEMENT ASSOCIATION AND THE AMERICAN CONCRETE INSTITUTE.
- ASSOCIATION AND THE AMERICAN CONCRETE INSTITUTE

  A. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TRANGENCY.

  5. WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION SHALL BE INSTITUTED SHOWN OF THE POINT OF THE

#### SITE UTILITY NOTE

 THERE ARE NO PROPOSED SITE UTILITY IMPROVEMENTS RELATED TO SANITARY SEWER AND WATER FOR THIS PROJECT. THE EXISTING WATER AND SANITARY SEWER SERVICES WILL REMAIN IN PLACE TO SERVICE THE SUBJECT BUILDING.

#### **GRADING & DRAINAGE NOTES**

- 1. REFER TO GENERAL NOTES

- 1. REFER TO GENERAL MOTES.
  2. COMPACTION OF SOILS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF FALEIGH STANDARD, ON SECRIFICATIONS AND/OR RECOMMENDATIONS OF A LICENSED GENERAL RECORDER.
  3. THE CONTRACTION SHALL CONTRACT GROUNDED ENGINEERING FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.
  4. SLOPES THAT ARE 31 OR FLATTER ARE PERMITTED TO BE SEEDED. SLOPES STEEPER THAN 31 ARE REQUIRED TO BE SOODED. 11 SLOPES ARE NOT PERMITTED UNLESS ADJACENT TO A RETAINING WALL. 11 SLOPES ARE NOT ALLOWED WITHIN ANY PUBLIC EASEMENT.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND GRADING ALL PROPOSED IMPROVEMENTS IN A MANNER THAT ALLOWS FOR POSITIVE DRAINAGE AWAY FROM THE BUILDING, PONDING WATER ANYWHERE ON SITE IS PROMIBITED.
  6. NO STATEMENT IS MADE OR IMPLIED THAT THE ON-SITE GRADING AND EARTHWORK INDICATED ON THESE DRAININGS BALANCED.
  7. NO STATEMENT IS MADE OR IMPLIED THAT THE QUALITY OF THE ON-SITE SOILS.

#### SITE ACCESSIBILITY NOTES

ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE NOTED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILIES ACT, FAIR HOUSING STANDARDS, AND GOVERNING STATE HANDLAP CODE STANDARDS. THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:

MAXIMUM WALL SLOPE = 1:12 WITH RAILING
MAXIMUM RAMP SLOPE = 1:12 WITH RAILING
MAXIMUM CROSS SLOPE = 1:14 PER FOOT [28]

- ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE

#### PROPOSED AREA OF DISTURBANCE

THE PROPOSED LIMITS OF DISTURBANCE FOR THIS PROJECT AS SHOWN ON THESE PLANS IS APPROXIMATELY 1,250 SF.

#### **EROSION CONTROL PERMIT EXEMPTION**

THE PROPOSED LIMITS OF DISTURBANCE FOR THIS PROJECT AS SHOWN ON THESE PLANS IS APPROXIMATELY 1,250 SF. PER THE CITY OF RALEIGH UDO, AN EROSION CONTROL PLAN AND PERMIT ARE NOT REQUIRED FOR LAND DISTURBING ACTIVITIES LESS THAN 12,000 SF.

#### STORMWATER MANAGEMENT EXEMPTION

THE PROPOSED SITE AS SHOWN HAS BEEN CALCULATED TO RESULT IN A NET INCREASE OF 34 SF OF IMPERVIOUS AREA. A PREVIOUS PROJECT ENTITLED "BELK HALL RENOVAIDIONS - WILLIAM PEACE UNIVERSITY." RECORDED A NET DECREASE OF 442 SF THAT COULD BE USED ON PUTURE PROJECTS. BY USING 36 SF OF THE PREVIOUS! A BANKED IMPERVIOUS AREA AREA FOR THIS SITE. HIE PROJECT WILL COMPT! WITH CITY OF RALEDED HOS DECIDION 92,22A4, INDICATION THAT THE VISITIOTION OF IMPERVIOUS AREAS ARE DECRET FROM STORMWARDE MANAGEMENT ENDURSABLES. SET SET OF USE WITH FUTURE PROJECTS ON THIS PRACEL IS NOW 306 SF.

#### **GROUND COVER NOTES**

- 1. STABILIZE DIVERSION DITCHES INTENDED TO BE IN SERVICE FOR 30 DAYS OR MORE WITH TEMPORARY SEEDING AND EROSION CONTROL NETTING.

  2. FOR ALL AREAS OF MODERALE AND/OR SIZEP SLOPES, PROVIDE TEMPORARY GROUND COVER FINE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF FOURTEEN (14) CALENDAR DAYS.

  3. PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SIZE UPON WHICH FURTHER LAND DISTURBING ACTIVITY IS NOT BEING UNDERTRAIN WITHIN FOURTEEN (14) CALENDAR DAYS OR TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.

  4. ESTABLISH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND/OR PRIOR TO FINAL INSPECTION.



NORTH

GRAPHIC SCALE



16018

C-200



310 Architecture + Interiors, PA

P. O. BOX 97935 RALEIGH, NC 27624-7935

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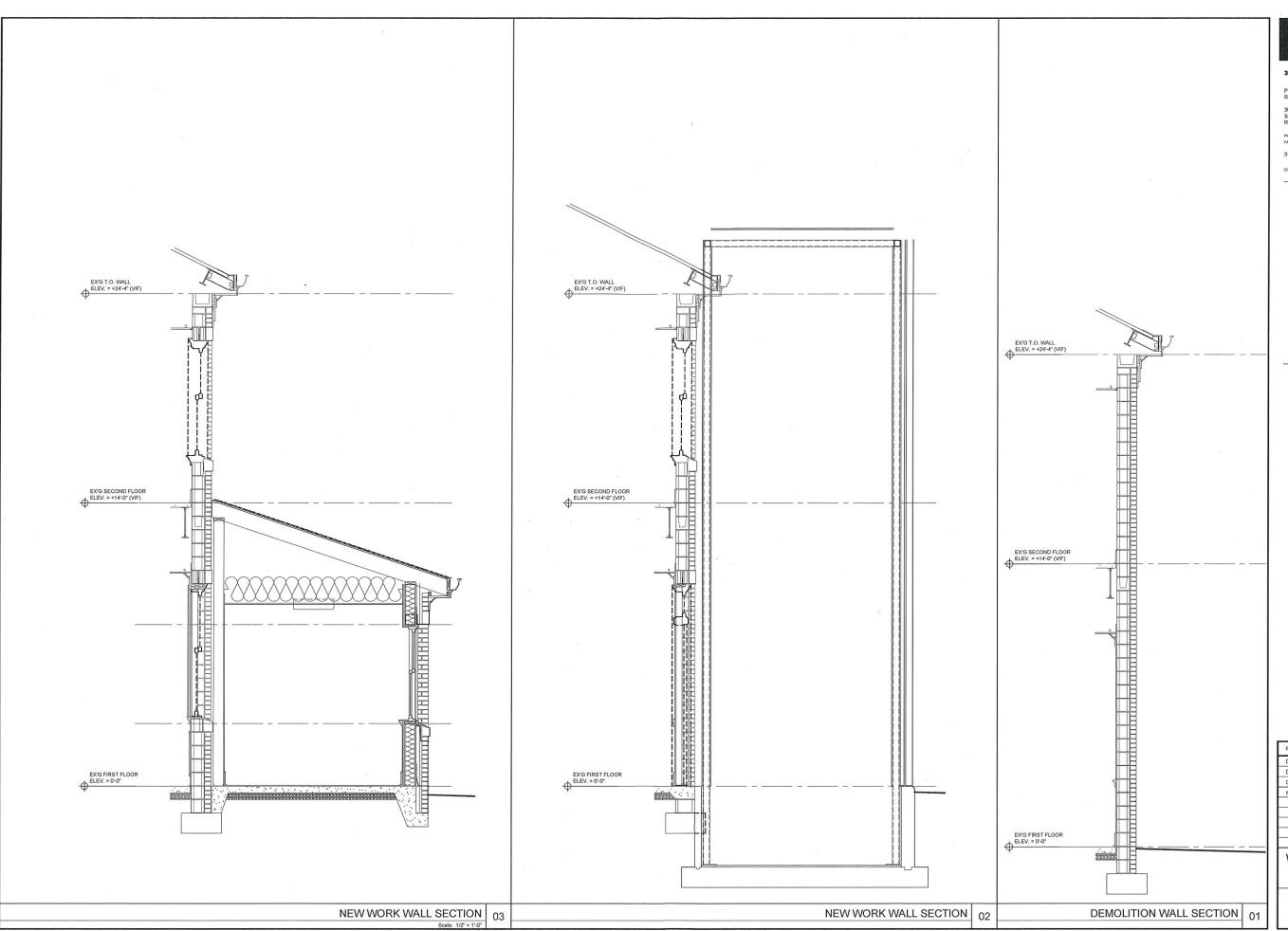
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PROGRESS SET NOT FOR CONSTRUCTION

## **Elevator Addition** 3elk Hall, William Peace University 15 East Peace Street Raleigh, NC 27604

PROJ	ECT#	16054
DATE		11 . 11 . 2016
DRAV	VN BY:	RMC
CHEC	KED BY:	DBB, WBS
NO.	REVISION	DATE
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**310**ai

310 Architecture + Interior

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GHT 2016 310 Architecture + Int

PROGRESS SET NOT FOR CONSTRUCTION

Elevator Addition
Belk Hall, William Peace University
15 East Peace Street
Raleigh, NC 27604

PROJECT# 16054

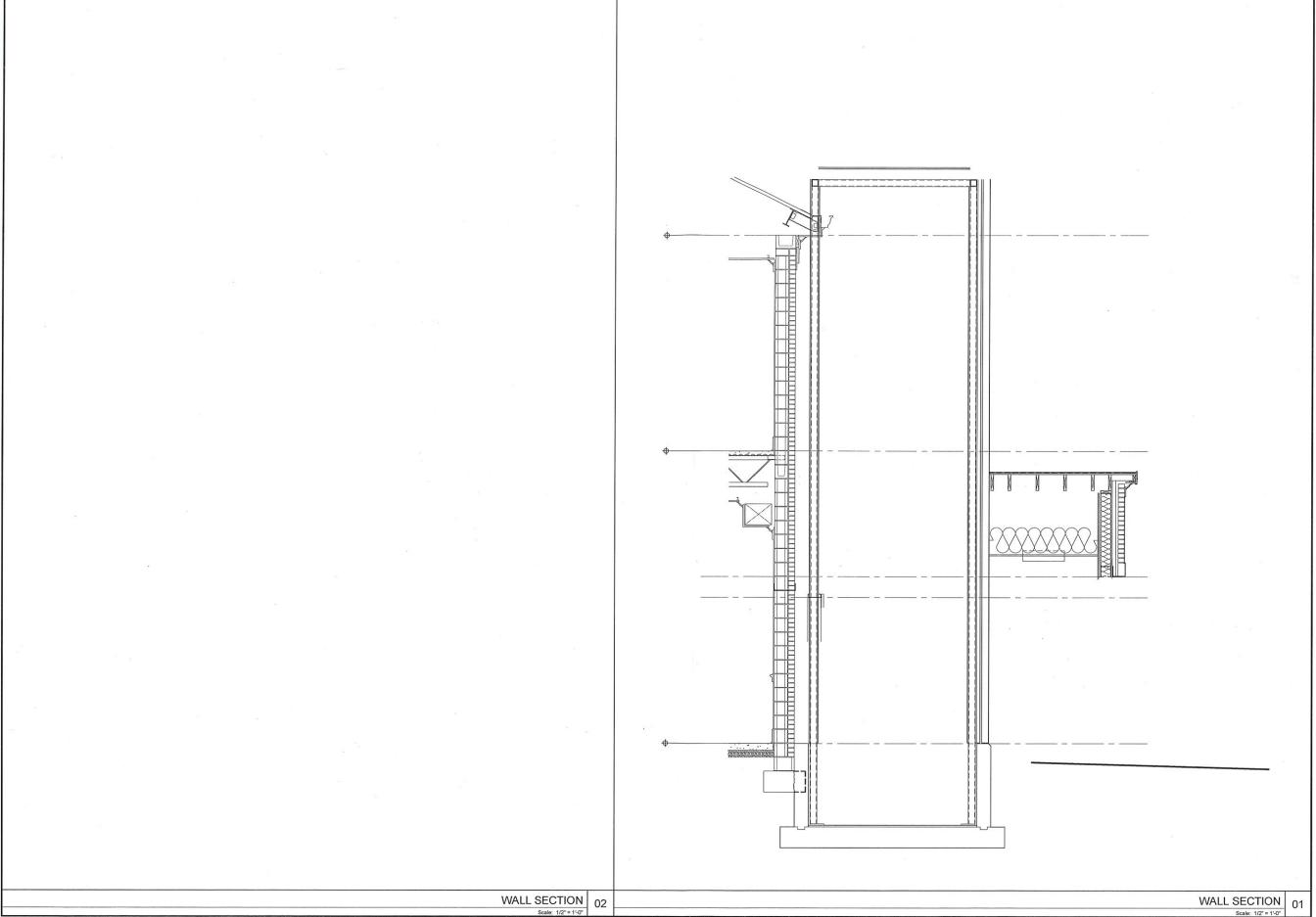
DATE: 11.11.2016

DRAWN BY: RMC
CHECKED BY: DBB, WBS

NO. REVISION DATE

Wall Sections

A5.01



**310**ai

310 Architecture + Interiors,

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PHONE (919) 838-9310 FAX (919) 838-9311

3 Toal, com

T 2016 310 Architecture +

PROGRESS SET NOT FOR CONSTRUCTION

# Elevator Addition Belk Hall, William Peace University 15 East Peace Street Raleigh, NC 27604

PROJECT # 16054

DATE: 11.11.2016

DRAWN BY: RMC

CHECKED BY: DBB, WBS

NO. REVISION DATE

Wall Sections

A5.02