



Staff Report

Raleigh Appearance Commission Administrative Alternate Request

City of Raleigh
Planning and Development
One Exchange Plaza
Suite 300
Raleigh, NC 27601
(919) 996-4640
www.raleighnc.gov

Case File / Name: AAD-11-21 – 7100 Falls of Neuse Road

General Location: Northeast corner of Falls of Neuse Road and Harps Mill Road intersection

Owner: Towne Bank

Contact: Diana Howell, Kimley-Horn, diana.howell@kimley-horn.com

Cross-Reference: ASR-0037-2021, Z-32-20

Request: The applicant requests an administrative alternate for UDO Section 1.5.6. Build-to.

Nature of Request: UDO Section 1.5.6. Build-to

A. Defined:

1. The build-to is the area on the lot where a certain percentage of the front principal building façade must be located, measured as a minimum and maximum setback range from the edge of the proposed or existing right-of-way, whichever is greater.
2. The required percentage specifies the amount of the front building façade that must be located in the build-to, measured based on the width of the building divided by the width of the site or lot.

B. Intent:

1. The build-to is intended to provide a range for building placement that strengthens the street edge along the right-of-way, establishing a sense of enclosure by providing spatial definition adjacent to the street.
2. The building edge can be supplemented by architectural elements and certain tree plantings aligned in a formal rhythm. The harmonious placement of buildings to establish the street edge is a principal means by which the character of an area or district is defined.
3. The build-to range is established to accommodate some flexibility in specific site design while maintaining the established street edge.

C. General Requirements:

1. On corner lots, a building façade must be placed within the build to for the first 30 feet along the street extending from the block corner.
2. With the exception of parking areas, all structures and uses customarily allowed on the lot are permitted in the build-to area.
3. Any common area is not required to meet the build-to requirements
4. Riparian Buffers, Floodways, areas of steep slope (defined as slopes in excess of 25%), pre-established and recorded Tree Conservation Areas and portions of property encumbered by overhead electric transmission lines rated to transmit 230 Kv, for any second driveway required by this code that must cross the build-to area, the additional width of the driveway up to a maximum of 25', and City of Raleigh utility easements shall not be considered when calculating the build-to percentage or build-to range.

The applicant is proposing to develop a new bank branch building on a 1.95-acre located at the northeast corner of the intersection of Falls of Neuse Road and Harps Mill Road. The parcel was recently rezoned to Office Mixed Use-3 Stories-Parking Limited Frontage-Conditional Use (OX-3-PL-CU). Conditions include prohibition on certain uses, tree conservation requirements, maximum building height (2 stories), and maximum building area (15,000 square feet).

For a primary street frontage, the Parking Limited designation calls for a build-to of 5-100', 50% of which must be occupied by building width. Both Falls of Neuse Road and Harps Mill Road are designated as primary streets. The corner build-to requirement that building be placed in the first 30' of the build-to from the along the street extending from the block corner also applies to the building.

The proposed building meets the corner requirement and is placed within the build-to on both streets, but only occupies 33% of the lot width on Falls of Neuse Road and 32% on Harps Mill Road. As an alternate design, the applicant proposes open amenity areas along each block face at lengths sufficient to meet the coverage width requirement when combined with building length.

**Additional UDO
Sections:**

**Sec. 1.5.3. Outdoor Amenity Area
B. Intent**

1. Outdoor amenity areas are intended to provide usable on-site open space in both residential and non-residential developments for the healthy enjoyment of occupants, invitees and guests of the development.
2. In more intensely developed urban contexts, outdoor amenity areas are also intended to provide visual breaks.

C. General Requirements

1. Where outdoor amenity area is required, it must be provided on-site and must be available for use by or as an amenity for the occupants, invitees and guests of the development.
2. All required outdoor amenity areas must be ADA accessible.
3. Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the lot; however, to receive credit, each area must be at least 10 feet in width and length.
4. Required outdoor amenity area may be located at or above grade.
5. Required outdoor amenity area cannot be parked or driven upon, except for emergency access and permitted temporary events.
6. In all other districts except DX-, required outdoor amenity area may be covered but cannot be enclosed.
7. Above-ground stormwater detention facilities shall not be considered an outdoor amenity area.
8. Tree Conservation areas shall not be considered an outdoor amenity area.

Sec. 3.4.5. Parking Limited (-PL)

C. Build-to

- | | |
|--|---------|
| C1. Primary street build-to (min/max) | 5'/100' |
| C2. Building width in primary build-to (min) | 50% |

**Administrative
Alternate
Findings:**

Sec. 1.5.6. Build-to

The Planning Director may in accordance with *Sec. 10.2.17.* reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;
3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under *Sec. 1.5.3.B.*

**Comprehensive
Plan Guidance:**

Policy LU 2.1 - Placemaking

Development within Raleigh's jurisdiction should strive to create places, streets, and spaces that in aggregate meet the needs of people at all stages of life, are visually attractive, safe, accessible, functional, inclusive have their own identity, and maintain or improve local character.

Policy LU 2.2 – Compact Development

New development and redevelopment should use a more compact land use pattern to support the efficient provision of public services, improve the performance of transportation networks, preserve open space, and reduce the negative impacts of low intensity and non-contiguous development.

Policy LU 4.5 – Connectivity

New development and redevelopment should provide pedestrian and vehicular connectivity between individual development sites to provide alternative means of access along corridors.

Policy LU 4.9 – Corridor Development

Promote pedestrian-friendly and transit-supportive development patterns along multimodal corridors designated on the Growth Framework Map, and any corridor programmed for “transit intensive” investments such as reduced headways, consolidated stops, and bus priority lanes and signals.

Policy LU 5.1 – Reinforcing the Urban Pattern

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

Policy LU 7.4 – Scale and Design of New Commercial Uses

New uses within commercial districts should be developed at a height, mass, scale, and design that is appropriate and compatible with surrounding areas.

Policy LU 7.6 – Pedestrian-friendly Development

New and redeveloped commercial and mixed-use developments should be pedestrian-friendly.

Policy T 2.9 – Curb Cuts

The development of curb cuts along public streets—particularly on major streets—should be minimized to reduce vehicular conflicts, increase pedestrian safety, and improve roadway capacity.

Policy T 5.10 – Building Orientation

All primary building entrances should front onto a publicly accessible, and easily discernible, and ADA-compliant walkway that leads directly from the street to the front door to improve pedestrian access.

Policy UD 1.4 – Maintaining Facade Lines

Maintain the established facade lines of neighborhood streets by aligning the front walls of new construction with the prevailing facades of adjacent buildings, unless doing so results in substandard sidewalks. Avoid violating this pattern by placing new construction in front of the historic facade line unless the streetscape is already characterized by such variations. Where existing facades are characterized by recurring placement of windows and doors, new construction should complement the established rhythm.

Policy UD 2.1 – Building Orientation

Buildings in mixed-use developments should be oriented along streets, plazas, and pedestrian ways. Their facades should create an active and engaging public realm.

Policy UD 2.3 – Activating the Street

New retail and mixed-use centers should activate the pedestrian environment of the street frontage in addition to internal pedestrian networks and connections, particularly along designated Main Street corridors.

Policy UD 4.1 – Public Gathering Spaces

Encourage the development of public gathering spaces within all developments. Such spaces should be designed to attract people by using common and usable open space, an enhanced pedestrian realm, streetscape activation, and retail uses.

Policy UD 4.5 – Improving the Street Environment

Create attractive and interesting commercial streetscapes by promoting ground level retail and desirable street activities, making walking more comfortable and convenient, ensuring that sidewalks are wide enough to accommodate pedestrian traffic, minimizing curb cuts and driveways, and avoiding windowless facades and gaps in the street wall.

Policy UD 6.2 – Ensuring Pedestrian Comfort and Convenience

Promote a comfortable and convenient pedestrian environment by requiring that buildings face the sidewalk and street area, avoid excessive setbacks, and provide direct pedestrian connections. On-street parking should be provided along pedestrian-oriented streets and surface parking should be to the side or in the rear. This should be applied in new development, wherever feasible, especially on Transit Emphasis and Main Street corridors and in mixed-use centers.

Policy UD 7.3 – Design Guidelines

The Design Guidelines in Table UD-1 shall be used to review rezoning petitions and development applications for mixed-use developments; or rezoning petitions and development applications along Main Street and Transit Emphasis Corridors

or in City Growth, TOD and Mixed-Use Centers, including preliminary site plans and development plans, petitions for the application of Downtown Overlay Districts, Planned Development Districts, and Conditional Use zoning petitions.

UDG 6 – A primary task of all urban architecture and landscape design is the physical definition of streets and public spaces as places of shared use. Streets should be lined by buildings rather than parking lots and should provide interest especially for pedestrians. Garage entrances and/or loading areas should be located at the side or rear of a property.

UDG 8 – If the site is located at a street intersection, the main building of a complex or main part of a single building should be placed at the corner. Parking, loading, or service should not be located at an intersection.

UDG 9 – To ensure that urban open space is well-used, it is essential to locate and design it carefully. The space should be located where it is visible and easily accessible from public areas (building entrances, sidewalks). Take views and sun exposure into account as well.

UDG 10 – New urban spaces should contain direct access from the adjacent streets. They should be open along the adjacent sidewalks and allow for multiple points of entry. They should also be visually permeable from the sidewalk, allowing passersby to see directly into the space.

UDG 13 – New public spaces should provide seating opportunities.



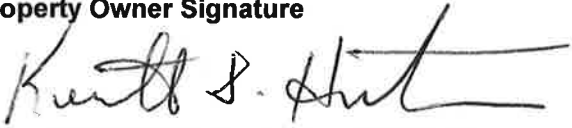


Planning & Development

Development Services Customer Service Center

One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
Fax 919-516-2685

Administrative Alternate

Administrative Alternate Request	OFFICE USE ONLY
Section(s) of UDO affected: UDO Section 3.4.5.C2	Transaction Number
Provide an explanation of the alternate requested, along with an applicant's statement of the findings See Attached	
Provide all associated case plan numbers including zoning and site plan: ASR-0037-2021, Z-32-20	

GENERAL INFORMATION		
Property Address 7100, 7104 Falls of Neuse Road and 7105, 7109 Harps Mill Road Raleigh NC 27615		Date
Property PIN 1717059939, 1717068089, 171760037, 171716311	Current Zoning OX-3-PL-CU	
Nearest Intersection Falls of Neuse Road and Harps Mill Road		Property size (in acres) 1.95 Acres
Property Owner Towne Bank	Phone	Mail 6001 Harbour View Blvd Suffolk, VA 23435
	Email Keith.Horton@townebank.net	
Project Contact Person Diana Howell	Phone 919-678-4129	Mail 421 Fayetteville St, Suite 600 Raleigh, NC 27601
	Email Diana.Howell@Kimley-Horn.com	
Property Owner Signature 	Email Keith.Horton@townebank.net	
Notary Sworn and subscribed before me this <u>27</u> day of <u>July</u> , 20 <u>21</u>	 Notary Signature and Seal 	



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Administrative Alternate Checklist

TO BE COMPLETED BY APPLICANT		YES	N/A
ADMINISTRATIVE ALTERNATE REQUIREMENTS			
1.	The property owner must be the applicant.	X	
2.	An application, signed by the property owner and notarized to that effect, is required.	X	
3.	The applicant must submit stamped envelopes addressed to the property owners within 100 feet of the subject property as indicated in Chapter 10.2 of the Unified Development Ordinance. City staff will mail the public hearing notices.	X	
4.	The applicant shall submit pertinent material necessary for review of the alternate; in addition to the submittal material required for a subdivision, plot plan or site plan. This may include architectural renderings, materials samples or other project-specific information.	X	

7100 Falls of Neuse Road – Administrative Alternate Requests and Statement on Findings

UDO Sections 3.4.5.C2

Property owner requests: (i) a 17% and 18% administrative alternate to UDO Section 3.4.5.C2, which requires property with a Parking limited frontage to locate the building within the build-to range for fifty percent (50%) of its primary street frontage, in order to construct a building within the build-to range for 33% of its Falls of Neuse Road frontage and 32% of its Harps Mill frontage, respectively.

1. The approved alternate meets the intent of the build-to regulations

Response: The intent of the build-to regulations is to strengthen the street edge along the right-of-way and establish a sense of enclosure by providing spatial definition adjacent to the street. The proposed building is within the build-to range along Falls of Neuse Road and Harps Mill Road. Due to the proposed building's size, full compliance with the build-to regulations along Falls of Neuse Road and Harps Mill Road cannot be met. Additionally, the site layout is compliant with the -PL frontage requirements for parking locations.

2. The approved alternate conforms with the Comprehensive Plan and adopted City plans

Response: The requested alternate is consistent with the following Comprehensive Plan policies: LU 5.1 "Reinforcing the Urban Pattern"; LU 5.2 "Managing Commercial Development Impacts"; LU 5.6 "Buffering Requirements"; LU 7.6 "Pedestrian friendly Development"; and LU 10.3 "Ancillary Retail Uses".

3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context

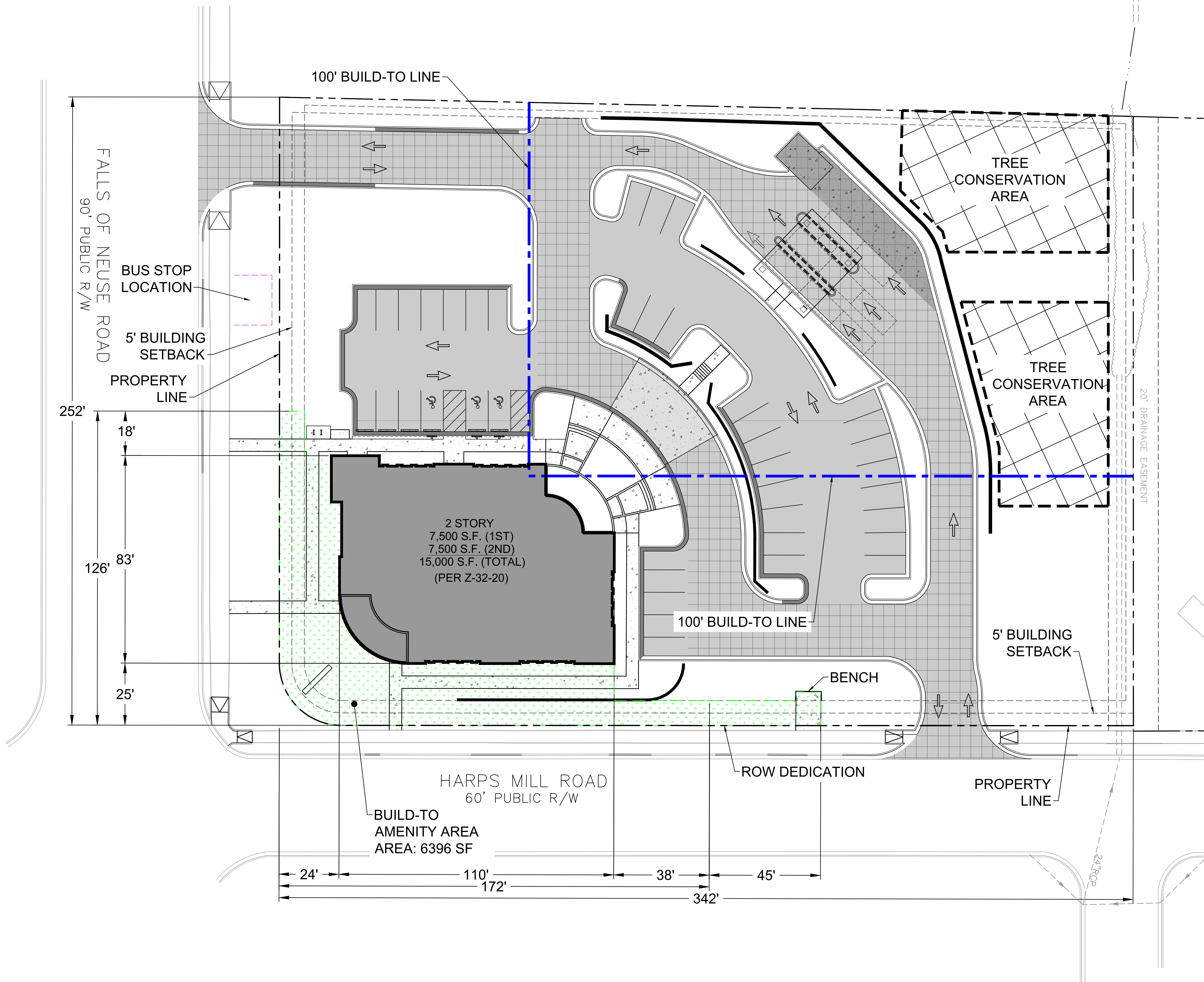
Response: The requested alternate is consistent with building orientations along Falls of Neuse Road and Harps Mill Road. Redevelopment of this property includes moving parking away from the streets, locating the proposed building closer to the road, and creating urban outdoor space.

4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and

Response: The proposed development includes pedestrian improvements that will increase pedestrian safety at the intersection.

5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B.

Response: As shown on the attached Exhibit, those areas that would have otherwise been occupied by buildings will be converted to outdoor amenity area.



SITE LEGEND

PROPERTY LINE

EASEMENT LINE

100' BUILD-TO LINE

AMENITY AREA

TREE CONSERVATION
AREA (TCA)

BUILD-TO CALCULATIONS

REQUIREMENTS:

PRIMARY BUILD-TO: 100

PRIMARY BUILD-TO BUILDING WIDTH: 50%

HARPS MILL ROAD

STREET TYPE: PRIMARY

TOTAL FRONTAGE: 342 LF

REQUIRED % BUILD-TO: 50% (172 LF)

PROVIDED % BUILD-TO: 32% (110 LF)
PROVIDED ADDITIONAL AMENITY AREA: 107 LF
(31% OF FRONTAGE AREA)

FALLS OF NEUSE ROAD

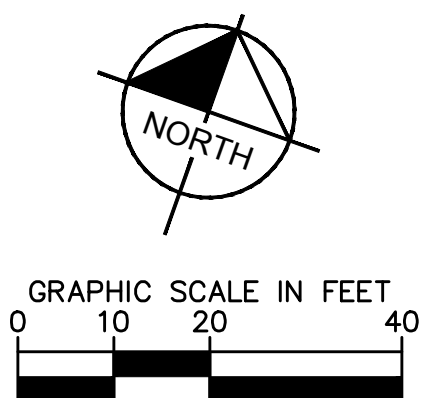
STREET TYPE: PRIMARY

TOTAL FRONTAGE: 252 LF

REQUIRED % BUILD-TO: 50% (126 LF)

PROVIDED % BUILD-TO: 33% (83 LF)

PROVIDED ADDITIONAL AMENITY AREA: 43 LF
(17% OF FRONTAGE AREA)



FOR REVIEW ONLY

NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY FOR TOWNBANK FALLS OF NEUSE ROAD AND DATED 08/12/2021; LOCATED IN WAKE COUNTY, RALEIGH, NC 27615; PROVIDED BY SEPI ENGINEERING AND CONSTRUCTION, INC. 1 GLENWOOD AVE, SITE 600; RALEIGH, NC 27603; 919-789-9977 EXISTING INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY OWNER OR ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



Know what's below.
Call before you dig

Kimley»»Horn

21 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
NC LICENSE #F-0102

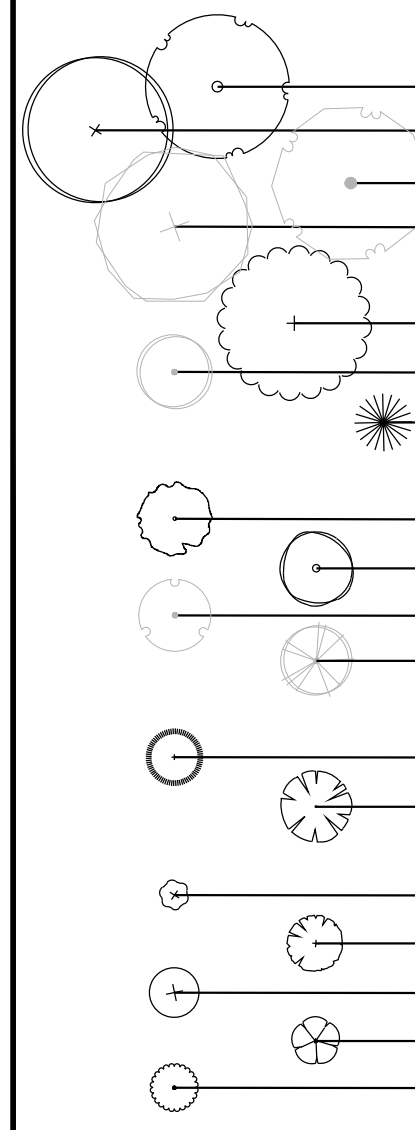
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	SMH
116860000	07/20/2021			DRAWN BY	SMH
				CHECKED BY	DMU







BUILT TO EXHIBIT

TOWNEBANK FALLS OF NEUSE

SHEET NUMBER
EX 10

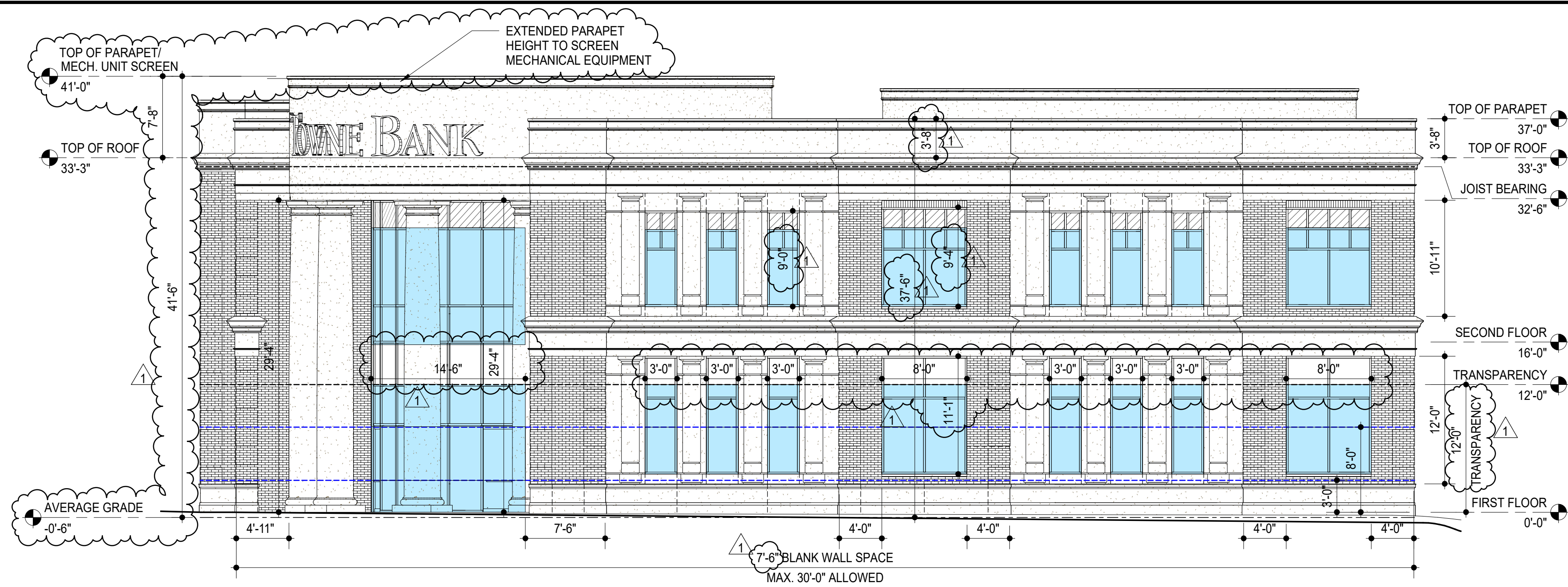
ALEIGH



	QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE*	HEIGHT**	ROOT	REMARKS
	35	SP1	Spiraea japonica "Goldmound"	GOLDMOUND SPIREA	18"	15'-18"	CONT.	SPACED 3' O.C.
	23	RH	Rhapiolepis indica 'Snow White'	INDIAN HAWTHORN	3 GAL.	18"	CONT.	
	EVERGREEN SHRUBS							
	43	MAH	Mahonia eurybracteata "Soft Caress"	MAHONIA SOFT CARESS		15'-18"	CONT.	
	30	DAP	Daphne odora "Aureomarginata"	WINTER DAPHNE		15'-18"	CONT.	SPACED 3' O.C.
	32	CAR	Carex oshimensis 'Everillo' TM	EVERCOLOR EVERILLO JAPANESE SEDGE		18"	CONT.	SPACED 18" O.C.
	24	RO	Rosemarini officinali	ROSEMARY		18"	CONT.	
	17	IG	Ilex glabra 'Shamrock'	SHAMROCK INKBERRY HOLLY		18"	CONT.	
	19	CS	Camellia sasanqua	SASANQUA CAMELLIA		18"	CONT.	
	35	SAR	Sarcococca hookeriana humilis	SWEET BOX	12'-15' SPR.		CONT.	SPACED 2' O.C.
	GROUND COVERS & PERENNIALS							
	316	CARI	Carex x 'Ice Dance'	ICE DANCE SEDGE	1 GAL.		CONT.	SPACED 12"
	35	DL	Dryopteris ludoviciana	SOUTHERN SHIELD FERN	1 GAL.		CONT.	FULL PLANT 18" O.C.
	22	DRYD	Dryopteris x australis	DIXIE WOOD FERN	1 GAL.		CONT.	FULL PLANT 2.5' O.C.
	17	HOS	Hosta x 'Stained Glass'	PLANTAIN LILY	1 GAL.		CONT.	FULL PLANT 2' O.C.
	29	MC	Muhlenbergia capillaris	PINK MUHLY GRASS		12'-15'	CONT.	FULL PLANT 18" O.C.
	52	PEN	Pennisetum alopecuroides 'Hamel'	HAAMELN FOUNTAIN GRASS	2 GAL.		CONT.	FULL PLANT 24" O.C.
	104	SALB	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	3 GAL.		CONT.	FULL PLANT 3' O.C.
	30	EP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.		CONT.	FULL PLANT 24" O.C.
	25	RF	Rudbeckia fulgida 'Goldsturm'	BLACK EYED SUSAN	1 GAL.		CONT.	FULL PLANT 18" O.C.
	187	LIRV	Liriope muscari 'Variegata'	VARIEGATED LILY TURF	2-1/4" POT	3-5 BIBS	CONT.	FULL PLANT 12" O.C.

SHEET NUMBER
L1.0

Design: 6/25/2021 12:58:14 PM C:\Users\katiem\Documents\20130_TB_FallsOfNeuse_F20_katiem@baonline.com.rvt
Project Manager: Checked: Drawn: Author:



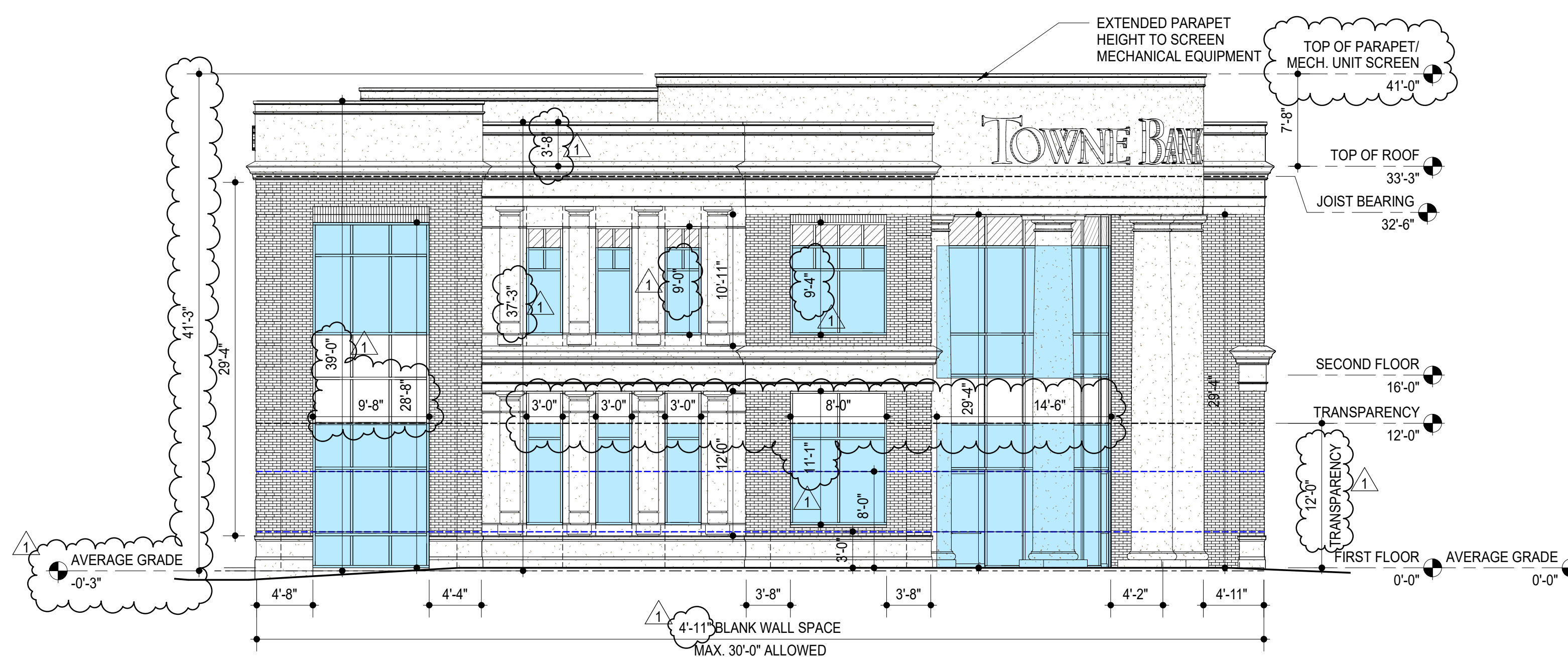
SOUTH ELEVATION (STREET-FACING FACADE)

1/8" = 1'-0"



NORTH ELEVATION - TRANSPARENCY

1/8" = 1'-0"



WEST ELEVATION (STREET-FACING FACADE)

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

ARCHITECTURAL SITE REVIEW SUBMISSION

BUILDING CLASSIFICATION: OX-3-PL (OFFICE AND RESIDENTIAL MIXED USE)

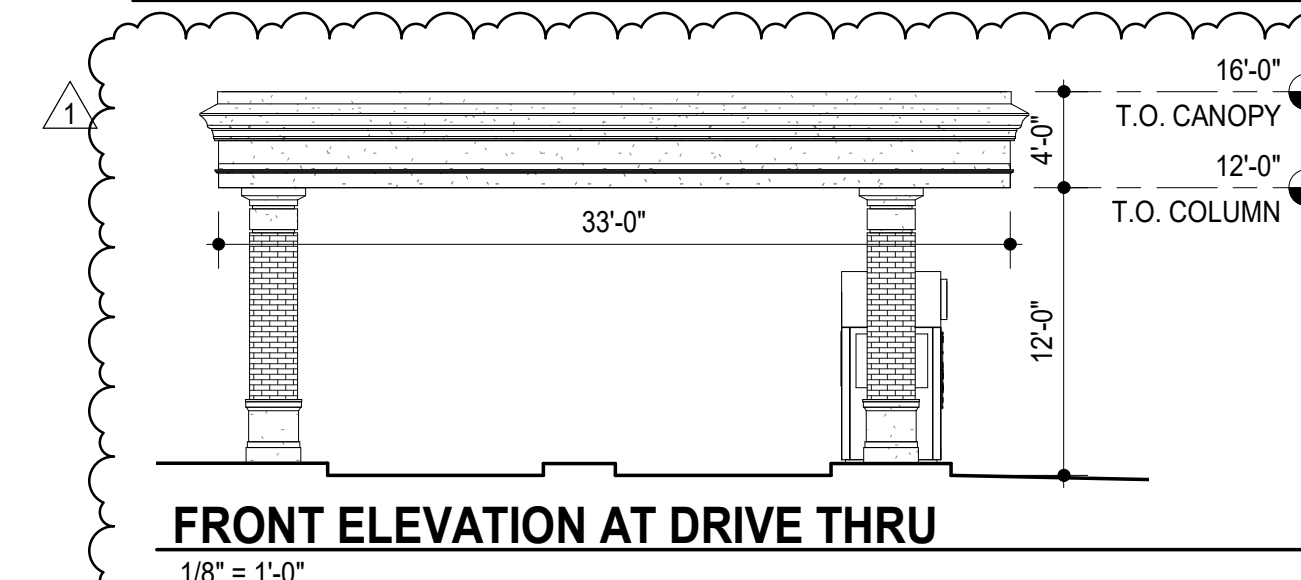
UNIFIED DEVELOPMENT ORDINANCE FOR CITY OF RALEIGH, NORTH CAROLINA

	REQUIRED	PROVIDED
HEIGHT (PER 3.2.5)		
PRINCIPAL BUILDING (MAX.):	SET BY DISTRICT - 50 FT	41'-6" MAX
ACCESSORY STRUCTURE (MAX.):	25 FT	16 FT
FLOOR HEIGHTS (PER 3.2.5)		
GROUND FLOOR ELEVATION (MIN.):	0 FT	0 FT
GROUND STORY HEIGHT (FLOOR TO FLOOR - MIN.):	11 FT	16 FT
UPPER STORY HEIGHT (FLOOR TO FLOOR - MIN.):	9 FT	16 FT
TRANSPARENCY (PER 3.2.5)		
GROUND STORY (MIN.):	33%	SOUTH: 33.6% WEST: 43%
UPPER STORY (MIN.):	20%	22% 27%
BLANK WALL AREA (MAX.):	30 FT	32'-1" 25'-5"

TRANSPARENCY PERCENTAGE CALCULATIONS:
SOUTH WALL LOWER = 460 SF / 1368 SF = 33.6% WEST WALL LOWER = 432 SF / 1004 SF = 43%
SOUTH WALL UPPER = 408 SF / 1860 SF = 22% WEST WALL UPPER = 314 SF / 1365 SF = 23%

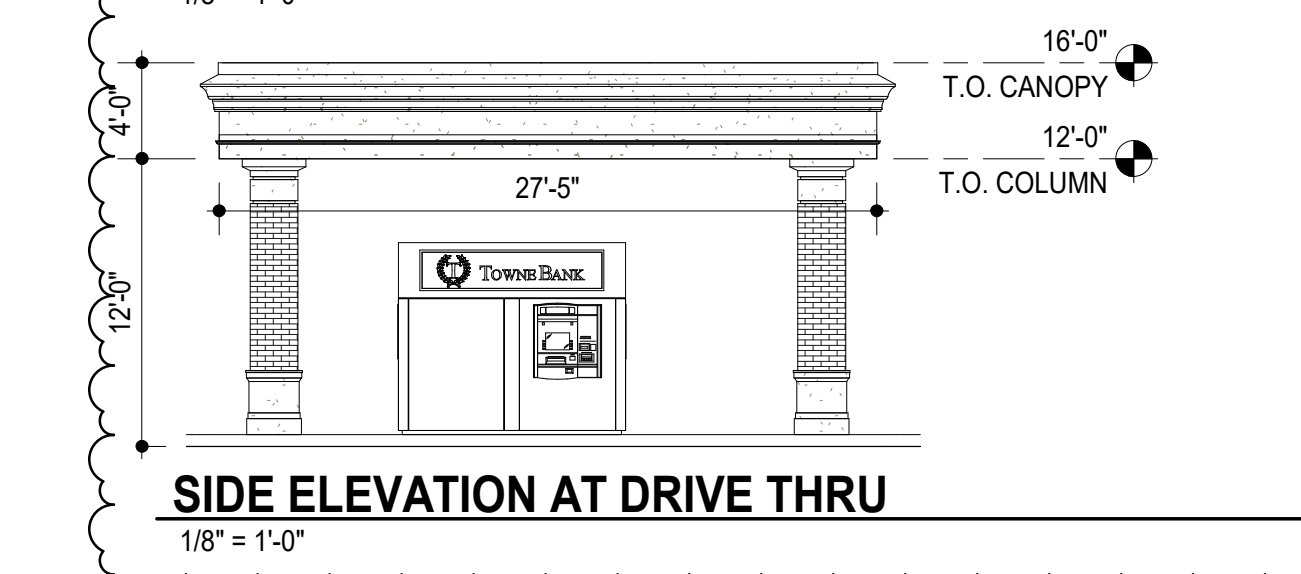
50% OF REQUIRED TRANSPARENCY BETWEEN 3'-0" AND 8'-0":
SOUTH WALL: 33% OF 1368 SF = 451 SF X 50% = 226 SF REQUIRED / 223 SF PROVIDED
WEST WALL: 33% OF 1004 SF = 331 SF X 50% = 166 SF REQUIRED / 196 SF PROVIDED

PARAPETS GREATER THAN 4'-0" HAVE BEEN INDICATED IN ACCORDANCE WITH THE ROOF-MOUNTED EQUIPMENT SCREENING REQUIREMENT AS OUTLINED IN UDO SECTION 7.2.5.2



FRONT ELEVATION AT DRIVE THRU

1/8" = 1'-0"



SIDE ELEVATION AT DRIVE THRU

1/8" = 1'-0"

NOTE: THIS SHEET TO BE PRINTED IN COLOR



**ARCHITECTURE
INTERIOR DESIGN**
ONE COLUMBUS CENTER, SUITE 1000
VIRGINIA BEACH, VIRGINIA 23462

NOT FOR CONSTRUCTION

NEW BRANCH FOR
TOWNE BANK - FALLS OF NEUSE
RALEIGH, NC

ARCHITECTURAL ELEVATIONS

ARCHITECTURAL SITE REVIEW SUBMITAL 4-29-2021
REVISED PER CITY COMMENTS 1 6-25-2021

20130

A204

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NEW BRANCH FOR
TOWNE BANK - FALLS OF NEUSE
RALEIGH, NC

EXTERIOR RENDERING

08/13/2021





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RALEIGH, NC

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