

# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Transaction #: <u>ASR-0001-2019</u> Planning Coordinator: <u>Boivin</u>			
Building Type		Site Transaction History	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: GlenLake Office Building III			
Inside City limits? <input type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <b>4300 Edwards Mill Road</b>			
Site P.I.N.(s): 0795.05-19-7505			
Please describe the scope of work. Include any additions, expansions, and change of use. Construct office building, parking deck and drives.			
Current Property Owner/Developer Contact Name:		Highwoods Realty LP - Randy Roberson (Senior Vice President)	
NOTE: please attach purchase agreement when submitting this form.			
Company: Highwoods Realty LP - Randy Roberson		Title: Senior Vice President	
Address: 3100 Smoketree Court, Suite 600, Raleigh, NC 27604			
Phone #: 919-872-4924		Email: randy.roberson@highwoods.com	
Applicant Name: Ron Hendricks			
Company: Piedmont Land Design, LLP		Address: 8522 Six Forks Road, Suite 204, Raleigh 27615	
Phone #: 919-845-7600		Email: ronh@piedmontlanddesign.com	

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-CU (Z-25-2017)	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 4.75	New gross floor area: 211,862 SF
# of parking spaces required: 424	Total sf gross (to remain and new):
# of parking spaces proposed: 718	Proposed # of buildings: 1 office and 1 deck
Overlay District (if applicable): N/A	Proposed # of stories for each: 7 - office and 4 - deck
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Office	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 0.06      Square Feet: 2,490	Proposed Impervious Surface: Acres: 2.77      Square Feet: 120,480
Is this a flood hazard area?      Yes <b>No</b> If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer      Yes <b>No</b>	Wetlands      Yes <b>No</b>

**RESIDENTIAL DEVELOPMENTS**

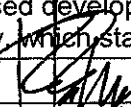
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br:      2br:      3br:      4br or more:	
# of lots:	Is your project a cottage court?      Yes      No

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Piedmont Land Design, LLP to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 6/24/2019
Printed Name: RANDY ROBERTSON	

# Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



Use this checklist as a guide for Administrative Site Review submittals requirements.  
This checklist must be submitted with your application.

## MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.  
The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. <b>Cover sheet and/or second sheet:</b> include project name and location; site data table ( <i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i> ); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. <b>Existing conditions sheet:</b> including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure ( <i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i> ); built improvements ( <i>parking, driveways, alleys</i> ); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. <b>Demolition plan:</b> Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. <b>Proposed site plan:</b> including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions ( <i>structures, streets, driveways, parking, storage areas, service areas, etc.</i> ); setback/build-to lines; proposed property lines; streetscape; mechanical equipment ( <i>HVAC, generators, etc.</i> ); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations ( <i>UDO Section 7.1.2</i> ); amenity area ( <i>UDO Section 1.5.3</i> ); open space and/or greenways; transition protective yard ( <i>UDO Section 7.2.4</i> ); Site Data ( <i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B)</i> )	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. <b>Proposed grading plan:</b> including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. <b>Proposed stormwater plan:</b> include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. <b>Proposed Utility Plan:</b> All utilities (shown underground); above ground utilities and equipment with required screening ( <i>UDO Section 7.2.5.D.</i> ); include Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. <b>Lighting Plan:</b> Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. <b>Proposed tree conservation plan:</b> for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. <b>Proposed landscape plan:</b> ( <i>UDO Section 7.2</i> ) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping ( <i>UDO Section 7.1.7.</i> ) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. <b>Architectural Elevations</b> showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**NOTE: Revisions to previously approved site plans must contain the following minimum information:**

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



## **SECRETARY'S CERTIFICATE**

I, Jeffrey D. Miller, am the duly elected Secretary of Highwoods Properties, Inc. (the "Company"), which is the sole general partner of Highwoods Realty Limited Partnership, a North Carolina limited partnership (the "Partnership"), and hereby certify that Randy Roberson, as Senior Vice President, is a duly elected officer of the Company and, in that capacity, he is a duly authorized signatory of the Company on its behalf and on behalf of the Partnership.

This the 24th day of June, 2019.



By: \_\_\_\_\_

A handwritten signature in black ink, appearing to read "J. Miller", written over a horizontal line.

Jeffrey D. Miller

Executive Vice President, General Counsel  
and Secretary of the Company

283

0795197505

HIGHWOODS REALTY LP ET AL AP  
SOUTHEAST PORTFOLIO P...  
3100 SMOKETREE CT STE 600  
RALEIGH NC 27604-1050

0795197505

HIGHWOODS REALTY LP ET AL AP  
SOUTHEAST PORTFOLIO P...  
3100 SMOKETREE CT STE 600  
RALEIGH NC 27604-1050

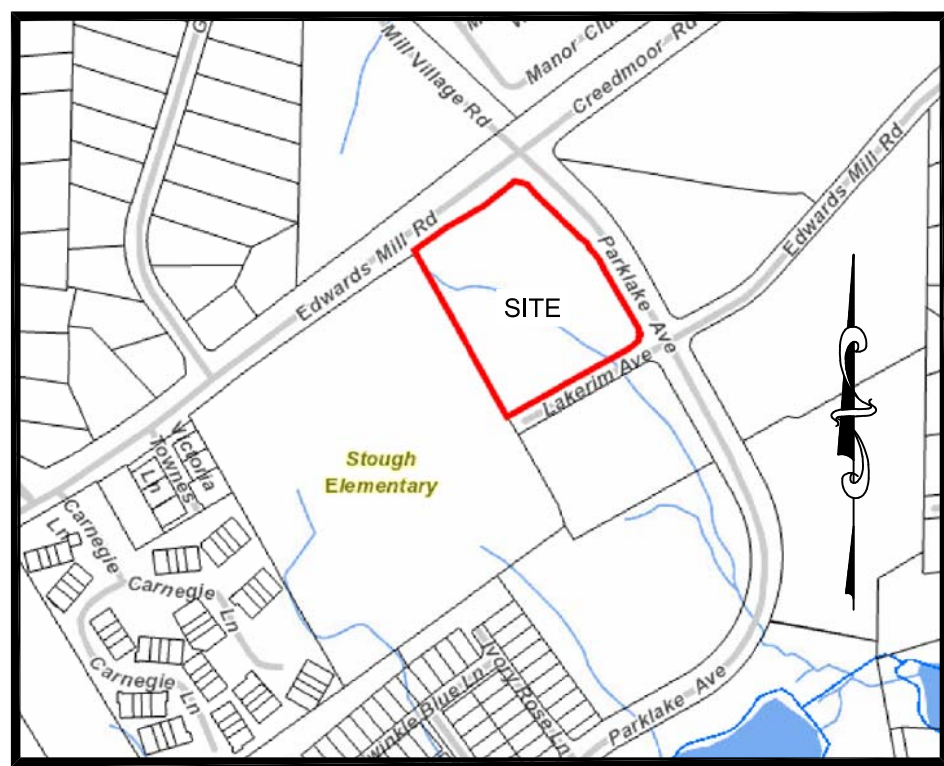
0795193132

WAKE CNTY BOARD OF EDUCATION  
RE SERVICES DIRECTOR  
1551 ROCK QUARRY RD  
RALEIGH NC 27610-4145

0795199134

HRLP RALEIGH LP LTD PTNRP  
3100 SMOKETREE CT STE 600  
RALEIGH NC 27604-1050





VICINITY MAP  
SCALE: 1" = 500'

# ADMINISTRATIVE SITE REVIEW SUBMITTAL

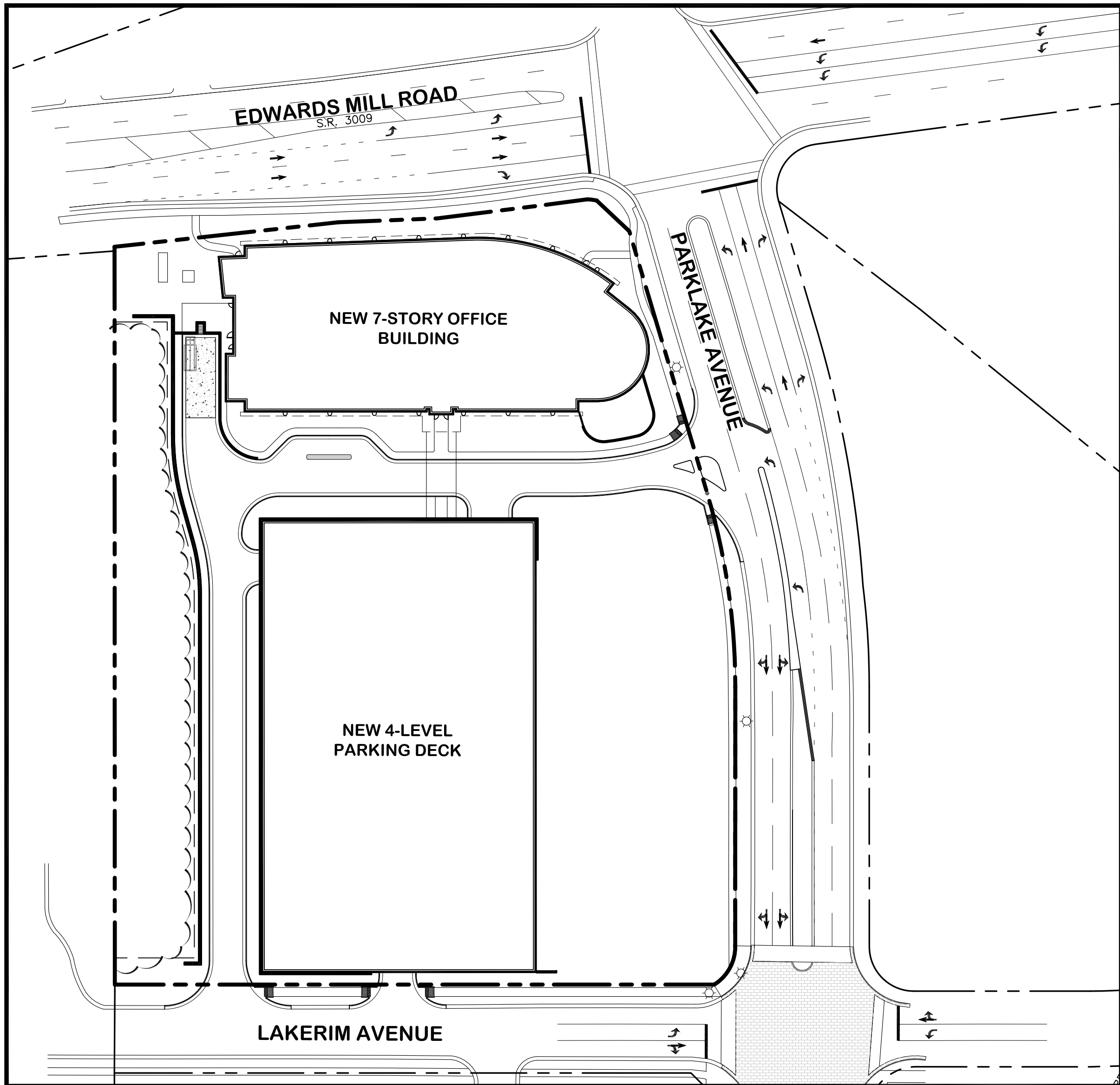
## FOR:

# GLENLAKE OFFICE BUILDING III

### 4300 EDWARDS MILL ROAD RALEIGH, NORTH CAROLINA WAKE COUNTY

#### CITY OF RALEIGH SITE PLAN INFORMATION

PLAN REQUIRES APPROVAL BY PLANNING COMMISSION OR CITY COUNCIL:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
1. DEVELOPMENT NAME:	GLENLAKE OFFICE BUILDING III
2. STREET ADDRESS:	4300 EDWARDS MILL ROAD RALEIGH, NORTH CAROLINA
3. WAKE COUNTY P.I.N.:	0795.05-19-7505
4. TOTAL NUMBER OF LOTS:	1
5. LOT AREA:	4.75 ACRES (207,004 SF)
GROSS LOT AREA:	2,349 SF
PROPOSED RIGHT OF WAY DEDICATION:	4.69 ACRES (204,665 SF)
NET LOT AREA:	
6. ZONING:	CX-12-CU (Z-25-2017)
7. BUILDING GROSS FLOOR AREA & USE:	211,862 SF TOTAL - OFFICE AND EATING ESTABLISHMENT
8. BUILDING HEIGHT:	OFFICE BUILDING - 109.73' AND PARKING DECK - 48.7'
9. PARKING SUMMARY:	1 SPACE PER 500 SF
BASIS OF DETERMINATION:	424 SPACES
TOTAL REQUIRED:	718 SPACES (INCLUDES HC SPACES)
TOTAL PROVIDED:	15 SPACES INCLUDING 2 VAN SPACES
10. BICYCLE PARKING SUMMARY:	1 SHORT TERM SPACE/10,000 GSF
BASIS OF DETERMINATION:	1 LONG TERM SPACE/5,000 GSF
	30 SPACES MAXIMUM
	10 SHORT TERM AND 20 LONG TERM SPACES
PARKING SPACES REQUIRED/PROVIDED:	
11. TOTAL IMPERVIOUS SURFACE AREA:	0.06 ACRES +/- (EXIST.)
	2.77 ACRES +/- (NEW)
12. INSIDE CITY LIMITS:	YES
13. INSIDE FLOOD HAZARD BOUNDARY:	NO
14. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
15. DEDICATED STREET RIGHT OF WAY:	YES - 2,349 SF
16. AMENITY AREA:	0.47 ACRES (10%) PROVIDED
17. BUILDING SETBACKS:	EDWARDS MILL ROAD- 0'-50' FROM R.O.W. PARKLAKE AVENUE - A PORTION OF BUILDING SHALL BE WITHIN 50' OF R.O.W. LAKERIM AVENUE - 0' ADJACENT TO SLOUGH ELEMENTARY - 30' MIN. (PROTECTIVE YARD PER Z-25-2017)
18. DEVELOPER:	HIGHWOODS PROPERTIES, INC. 3100 SMOKETREE COURT, SUITE 600 RALEIGH, NC 27604 (919) 872-4924 (PHONE) (919) 878-4200 (FAX) JEFF.EMERSON@HIGHWOODS.COM (E-MAIL)
19. CONTACT PERSON:	PIEDMONT LAND DESIGN, LLP C/O RON HENDRICKS 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) RONH@PIEDMONTLANDDESIGN.COM (E-MAIL)
20. RIVER BASIN:	NEUSE



#### GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, SURVEY, AND HORIZONTAL/VERTICAL DATUM INFORMATION IS TAKEN FROM SURVEY BY JOHN A. EDWARDS & COMPANY. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS
- THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "Y" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 3720079500J, WITH A DATE OF IDENTIFICATION OF MAY 2, 2006, FOR COMMUNITY NUMBER 370243, IN RALEIGH, CITY OF RALEIGH, WAKE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ALL SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH ZONING ORDINANCE.
- THIS DEVELOPMENT SHALL CONFORM TO ZONING CONDITIONS FOR Z-25-2017.

#### SOLID WASTE COMPLIANCE STATEMENT

NEW TRASH COMPACTOR WITH HEAVY DUTY CONCRETE PAD SHALL BE PROVIDED IN THE LOCATION SHOWN ON THE PLANS. THE OWNER WILL USE A PRIVATE HAULER TO REMOVE SOLID WASTE, CARDBOARD, AND OTHER RECYCLABLES.

#### ZONING CONDITION COMPLIANCE SUMMARY

- BUILDING DOES NOT EXCEED SEVEN (7) STORIES AND ONE HUNDRED TEN (110) FEET IN HEIGHT.
- OFFICE USE IS NOT PROHIBITED.
- NOT APPLICABLE.
- 100% OF AUTOMOTIVE PARKING SPACES ARE LOCATED IN A STRUCTURE.
- PROTECTIVE YARD HAS BEEN PROVIDED.
- BUILD-TO REQUIREMENT HAS BEEN MET. 72% OF FAÇADE IS LOCATED BETWEEN 0-50 FEET.
- BLOCK PERIMETER NOT REQUIRED.
- A CURB CUT ON EDWARDS MILL ROAD IS NOT PROPOSED.
- A PORTION OF THE BUILDING IS LOCATED WITHIN 50 FEET OF PARKLAKE AVENUE R.O.W.
- MONUMENT TYPE GROUND SIGN SHALL NOT EXCEED THIRTY-FIVE (35) SQUARE FEET AND BE NO MORE THAN SEVEN (7) FEET IN HEIGHT.
- NOT APPLICABLE.
- NOT APPLICABLE.
- PARKING DECK IS NOT WITHIN ONE HUNDRED (100) FEET OF EDWARDS MILL ROAD OR PARKLAKE AVENUE R.O.W.
- BUILDING ENTRANCES FACING PARKLAKE AVENUE AND EDWARDS MILL ROAD HAVE BEEN PROVIDED.

#### DRAWING INDEX

PA.1 COVER SHEET  
PA.2 EXISTING CONDITIONS PLAN  
PA.3 PRELIMINARY STAKING  
PA.4 PRELIMINARY GRADING PLAN  
PA.5 PRELIMINARY UTILITY PLAN  
PA.6 PRELIMINARY LANDSCAPE PLAN  
PA.7 PRELIMINARY TREE CONSERVATION PLAN  
BM 2002/PG. 323 RECORDED MAP  
A0.00 ARCHITECTURAL SITE PLAN  
A1.01 LEVEL 1 FLOOR PLAN  
A1.02 LEVEL 2-8 FLOOR PLAN  
A1.07 LEVEL 7 FLOOR PLAN  
AS.01 SOUTH ELEVATION  
AS.02 NORTH ELEVATION  
AS.03 WEST & EAST ELEVATION  
AP1.08 LEVEL 8 PARKING DECK PLAN  
AP1.01 LEVEL 1 PARKING DECK PLAN  
AP1.02 LEVEL 2 PARKING DECK PLAN  
AP1.03 LEVEL 3 PARKING DECK PLAN  
AP4.01 PARKING DECK ELEVATIONS  
E7-01 SITE PLAN - PHOTOMETRICS  
E7-02 SITE FUTURE DETAILS  
E7-03 PARKING DECK P8 LEVEL PLAN - PHOTOMETRICS  
E7-01 PARKING DECK P1 LEVEL PLAN - PHOTOMETRICS  
E7-02 PARKING DECK P3 LEVEL PLAN - PHOTOMETRICS  
E7-03 PARKING DECK FUTURE DETAILS

PRELIMINARY  
NOT FOR CONSTRUCTION

GLENLAKE  
OFFICE BUILDING III  
4300 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA

ISSUED: 21 JUN 2019

REVISIONS:

DRAWN BY: MGD  
CHECKED BY: RPH

PROJECT: HWDPB3

PRELIMINARY  
COVER  
SHEET

DWG. NO. PA.1

**DEVELOPMENT SERVICES**

**Administrative Site Review Application**  
Development Services Customer Service Center - One Raleigh Place, Suite 400 | Raleigh, NC 27601 | 919-996-0660

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:	Planning Coordinator:
<b>Building Type</b> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<b>Site Transaction History</b> <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Open lot <input type="checkbox"/> Civic Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____

**GENERAL INFORMATION**

Development name: Glenlake Office Building III  
Inside City limits? ☒ Yes ☐ No  
Property address(es): 4300 Edwards Mill Road  
Site P.I.N.(s): 0795.05-19-7505  
Please describe the scope of work. Include any additions, expansions, and change of use. Construct office building, parking deck and drives.

Current Property Owner/Developer Contact Name: Jeff Emerson  
NOTE: please attach purchase agreement when submitting this form.  
Company: Highwoods Realty LP - Jeff Emerson Title: Owner  
Address: 3100 Smoketree Court, Suite 600, Raleigh, NC 27604  
Phone #: 919-872-4924 Email: jeff.emerson@highwoods.com  
Applicant Name: Ron Hendricks  
Company: Piedmont Land Design, LLP Address: 8522 Six Forks Road, Suite 204, Raleigh 27615  
Phone #: 919-845-7600 Email: ronh@piedmontlanddesign.com

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**DEVELOPMENT TYPE - SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-CU (Z-25-2017)	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0 New gross floor area: 211,862 SF Total of gross (to remain and new):
Gross site acreage: 4.75	# of parking spaces required: 424
# of parking spaces proposed: 718	Proposed # of buildings: 1 office and 1 deck
Overlay District (if applicable): N/A	Proposed # of stories for each: 7 - office and 4 - deck
Existing use (UDO 8.1.4): Vacant	
Proposed use (UDO 8.1.4): Office	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 5.08 Square Feet: 2,480	Proposed Impervious Surface: Acres: 5.77 Square Feet: 125,480
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Flood etc. FEMA Map Panel #:	
Neuse River Buffer: Yes <input checked="" type="checkbox"/> Wetlands: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: # of bedroom units: 1br 2br 3br 4br or more: # of lots:	Type # of total units: 4br or more: Is your project a cottage court? Yes No
--	---

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate: Jeff Emerson to serve as my agent representing me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submitted project within time applications will expire after 180 days of inactivity.

Signature: Jeff Emerson Date: 6/21/19  
Printed Name: Jeff Emerson

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Ordinance: (2019) 836 ZC 765  
Effective: 6/5/2018

**Z-25-17 - Parklake Avenue**, southeast corner of its intersection with Edwards Mill Road, being Wake County PIN 0793197305, approximately 4.75 acres zoned to Commercial Mixed Use-12 Stories-Conditional Use (CX-12-CU).

Conditions dated: April 20, 2018

1. **Height Limit:** No building constructed on the Property shall be greater than seven (7) stories and one hundred ten (110) feet in height, both as measured and determined from the average grade of the right-of-way of Edwards Mill Road adjacent to the Property.

2. **Prohibited Uses:** The following uses, if otherwise allowed in the CX district, shall be prohibited on the Property: All uses listed in the Public & Institutional Use Category in the Principal Use Table (the "Table") in Section 6.1.4 of the UDO with the exception of Minor Utilities and Parks, Open Space and Greenways; all uses included within the Indoor Recreation, Use Category in the Table including Adult Establishment, Dance, Martial Arts, Music Studio, Classroom, and Sports Academy; all uses included in the Outdoor Recreation Use Category in the Table including Golf course, Outdoor spots or entertainment facility with any number of seats, and Riding stable; Commercial parking lot; Remote parking lot; Passenger terminal, including Airport, Heliport serving a hospital and Heliport, all others; Animal care (Indoor); Animal care (outdoor); Bar, nightclub, tavern, lounge; Pawnshop; Vehicle Fuel Sales (including gasoline and diesel fuel); Vehicle Sales/Rental; all uses included in the Industrial Use Category in the Table except Research and Development, which shall be allowed; and all uses included in the Open Category in the Table.

3. **Size Limits:** Medical, Office, and Research & Development uses on the Property shall be limited to 210,000 square feet. Eating establishment uses and Retail Sales uses on the Property shall be limited to 20,000 square feet. For each square foot of Eating establishment and/or Retail Sales Uses existing on the Property, the maximum allowed number of square feet of Medical, Office, and Research and Development uses shall be reduced by one square foot. All Eating establishment uses and Retail Sales uses on the Property shall be located on the ground floor of a multi-story building. With respect to Eating establishment and Retail Sales, no single establishment shall exceed 9,000 square feet.

4. **Parking:** At least eighty-five percent (85%) of the automotive parking spaces on the Property shall be located in a structure. With respect to any building on the Property facing Edwards Mill Road or Parklake Avenue, no automotive parking on the Property, except for temporary parking in a drop-off drive, shall be located closer to the respective street right-of-way than the facade of the building facing each right of way.

5. **Protective Yard - Slough Elementary School:** Along the boundary of the Property with tax parcel 0795.05-10-3132 (Owner: Wake County Board of Education; Deed dated

7/15/2009, recorded as Book 1363.5, Page 1724 of the Wake County Registry), hereinafter referred to as "Slough," there shall be maintained an area entirely without buildings or parking a minimum of thirty (30) feet in width. Existing landscaping shall be maintained therein, except within fifty (50) feet of Edwards Mill Road. It is provided, however, that drainage pipes and facilities may be located in the protective yard referenced in this condition.

6. **Build-to - Edwards Mill Road:** Commencing fifty (50) feet from the point on the Property adjacent to the intersection of the rights of way of Parklake Avenue and Edwards Mill Road and extending to the boundary of the Property with Slough, a build-to with a setback range of from 0 feet to 50 feet shall apply to the portion of the Property bounded by the right-of-way of Edwards Mill Road. A building facade facing Edwards Mill Road shall occupy at least fifty percent (50%) of this build-to, measured based on (a) the width of the building facade divided by (b) the width of the Property's boundary with the right-of-way of Edwards Mill Road reduced by fifty (50) feet. This condition shall not apply to parking structures. There will be no build-to requirement with respect to Parklake Avenue or setback requirement other than that set forth in condition (9), which shall apply.

7. **Block Perimeter Requirements:** The provisions of Section 8.3.2 of the Unified Development Ordinance, which is denominated "Blocks," shall have no applicability to the Property.

8. **Vehicle Access - Edwards Mill Road:** The Property will not be allowed a curb-cut on Edwards Mill Road.

9. **Parklake Avenue:** A portion of a building on the Property, with the exception of a parking structure, shall be within fifty (50) feet from the right-of-way of Parklake Avenue.

10. **Signage:** Signage upon the Property will be limited to signage allowed in the OX district, with the exception that in order to maintain unity of design with existing signs in the Glenlake Office Park, a monument type of ground sign up to thirty-five (35) square feet in size and no more than seven (7) feet in height may be located on the Property.

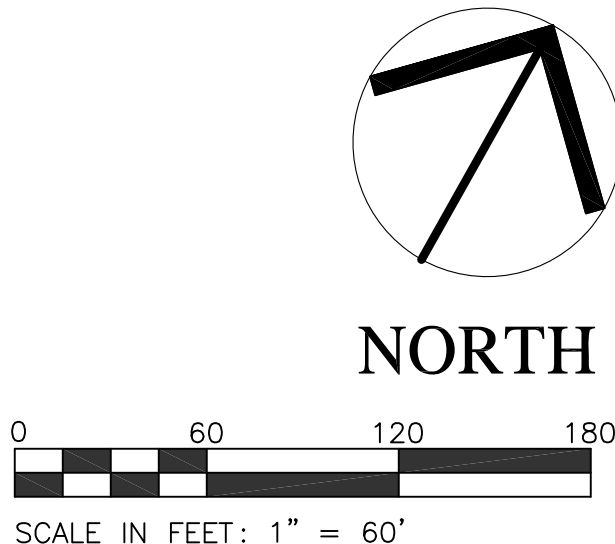
11. **Hours of Operation:** The hours of operation of any eating or retail establishment on the Property will be limited to those between 6:00 AM and 12:00 Midnight.

12. **Drive-Thru:** No drive-thru or drive-in facility will be allowed on the Property except as allowed in the OX district.

13. **Screening Parking Deck:** With respect to the portion of any parking structure that is within one hundred (100) feet of the right-of-way of Edwards Mill Road or Parklake Avenue and not screened from each right-of-way by a building, there will be established and maintained along the side of such portion of the structure facing the

respective road right-of-way an area at least ten (10) feet in depth planted with a minimum of ten (10) trees and thirty (30) shrubs each one hundred (100) feet. The trees will be at least ten (10) feet in height or two (2) inches in caliper at planting and at least fifty percent (50%) shall be evergreen. The planted area will be modified to comply with any applicable provision of the UDO. An entrance driveway up to thirty (30) feet in width may cross the planted area.

14. **Building Facing Entrances:** A building upon the Property other than a parking structure will have at least one entrance facing Parklake Avenue and at least one entrance facing Edwards Mill Road.



0 60 120 180  
SCALE IN FEET: 1" = 60'



## EXIST. CONDITIONS/DEMOLITION NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES.
- PHASING OF ALL REMOVALS SHALL BE COORDINATED WITH INSTALLATION OF NEW IMPROVEMENTS SO THAT THERE IS NO INTERRUPTION IN SERVICES OR LACK OF PROPER DRAINAGE OR EROSION CONTROL.
- ALL TREE PROTECTION FENCE AND SILT FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

## LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
TMH	TELEPHONE MANHOLE
TF	ELECTRICAL TRANSFORMER
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
ICV	IRRIGATION CONTROL VALVE
CATV	CABLE PEDESTAL
FH	FIRE HYDRANT
GL	GROUND LIGHT
EM	ELECTRIC METER
GL	DENOTES BRICK
---	DENOTES CONCRETE
XXX	DENOTES ADDRESS
---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SEWER LINE
---	OVERHEAD POWER

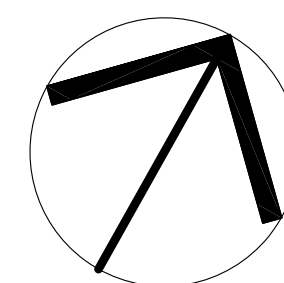
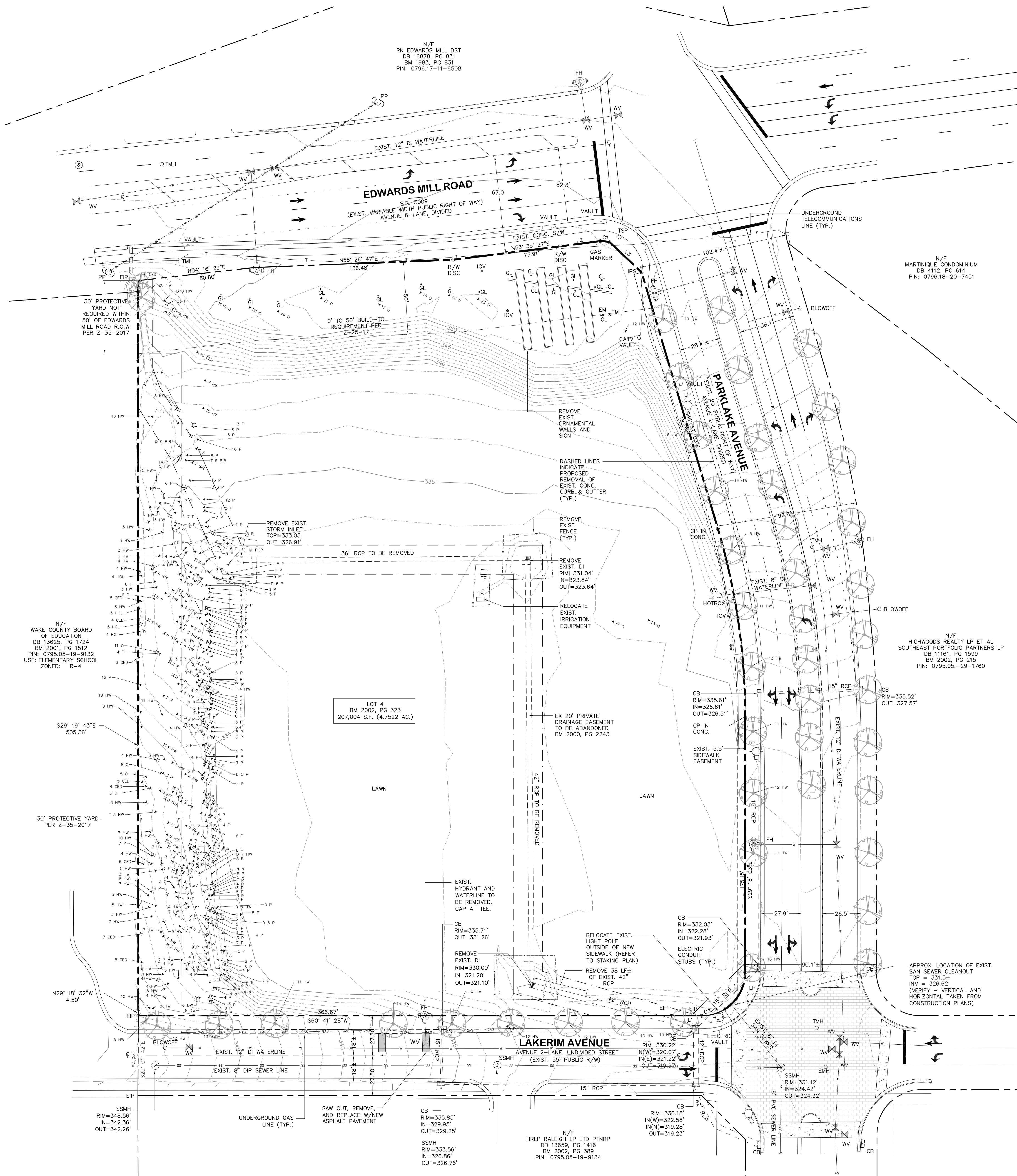
## TREE LEGEND

ABBREVIATION	TREE TYPE
HW	UNKNOWN HARDWOOD
POP	POPLAR
DW	DOGWOOD
O	OAK
BIR	BIRCH
CED	CEDAR
P	PINE
HOL	HOLLY

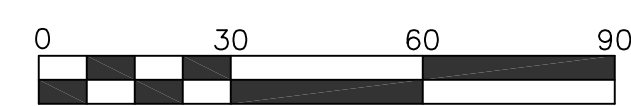
TREE SIZES LISTED IN INCHES AFTER ABBREVIATION. A "D" AFTER THE ABBREVIATION DENOTES DOUBLE TRUNK. A "T" AFTER THE ABBREVIATION DENOTE TRIPLE TRUNK & A "Q" AFTER THE ABBREVIATION DENOTE A QUADRUPLE TRUNK

LINE #	LENGTH	DIRECTION
L1	20.66'	S60°44'59"W
L2	30.18'	S76°03'27"E
L3	28.11'	N53°10'46"E

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	6.45'	29.99'	012°19'38"	6.44'	S67°34'27"W
C2	131.56'	455.00'	016°33'59"	131.10'	N37°35'03"W
C3	47.14'	29.98'	090°05'10"	42.43'	N15°41'57"E



**NORTH**



SCALE IN FEET: 1" = 30'

REFER TO GENERAL NOTES ON DWG. NO. PA.1



## STAKING NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF TURNED DOWN WALK, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
2. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. ALL CURB AND GUTTER ONSITE SHALL BE 30" WIDE.
5. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

## BUILD-TO FRONTAGE CALCULATIONS

EDWARDS MILL ROAD (PRIMARY STREET) LOT FRONTAGE = 340 LF  
BUILDING IN BUILD-TO FRONTAGE (0-50 FEET) = 245 LF (72%)

## OUTDOOR AMENITY AREA:

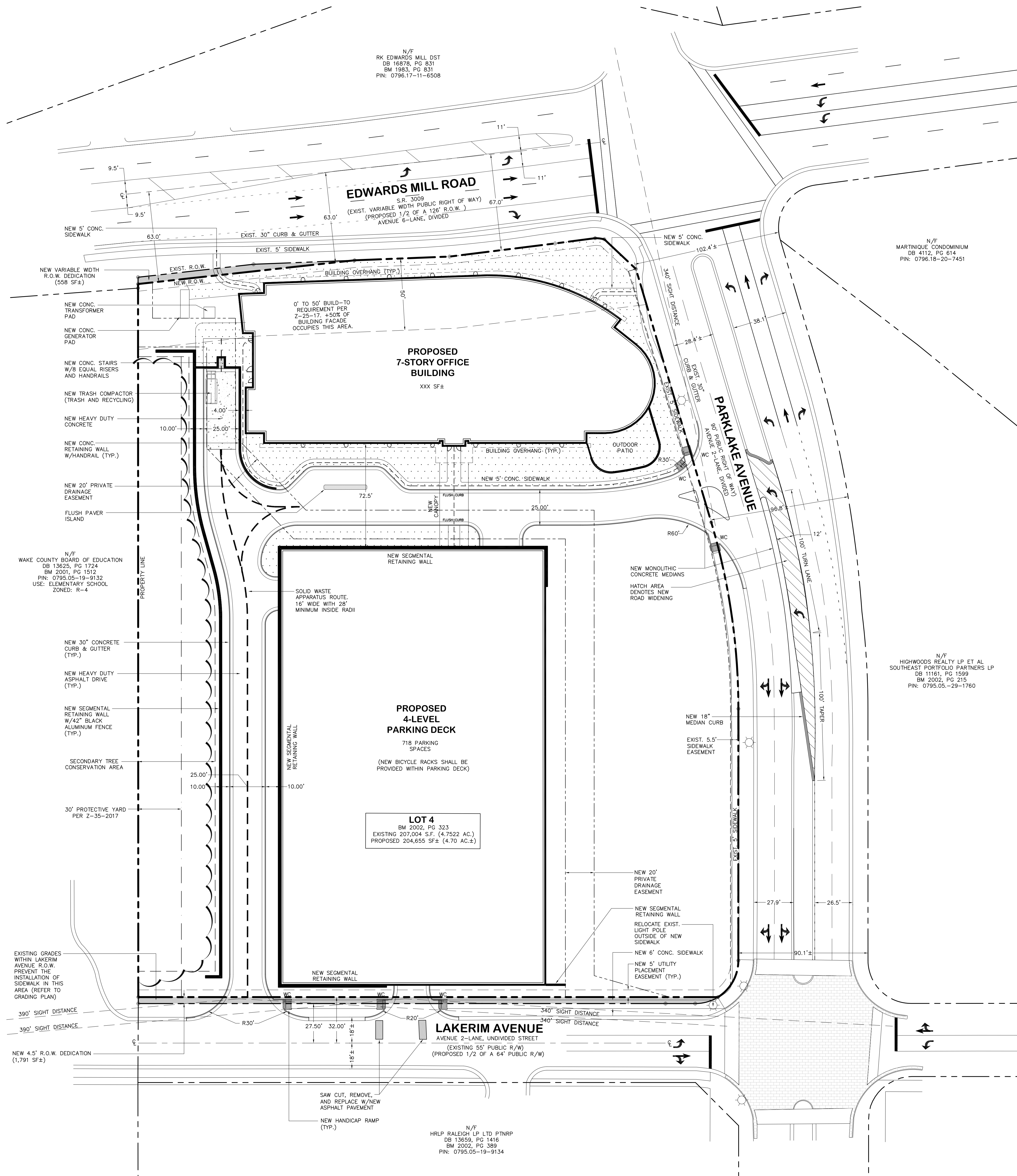
LOT AREA: 4.70 AC.±  
PROPOSED OUTDOOR AMENITY AREA: 0.47 AC.± (10% OF NET LOT AREA)

## SIGHT DISTANCE NOTE:

WITHIN THE AREA OF DEFINED SIGHT TRIANGLE, THERE SHALL BE NO OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, TOLLAGE, BERM, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR NEAREST TRAVEL WAY IF NO CURB EXISTS.

## LEGEND

- ACCESSIBLE ROUTE
- HEAVY DUTY ASPHALT PAVING
- HEAVY DUTY CONCRETE PAVING
- OUTDOOR AMENITY AREA



0 30 60 90  
SCALE IN FEET: 1" = 30'

REFER TO GENERAL NOTES ON DWG. NO. PA.1

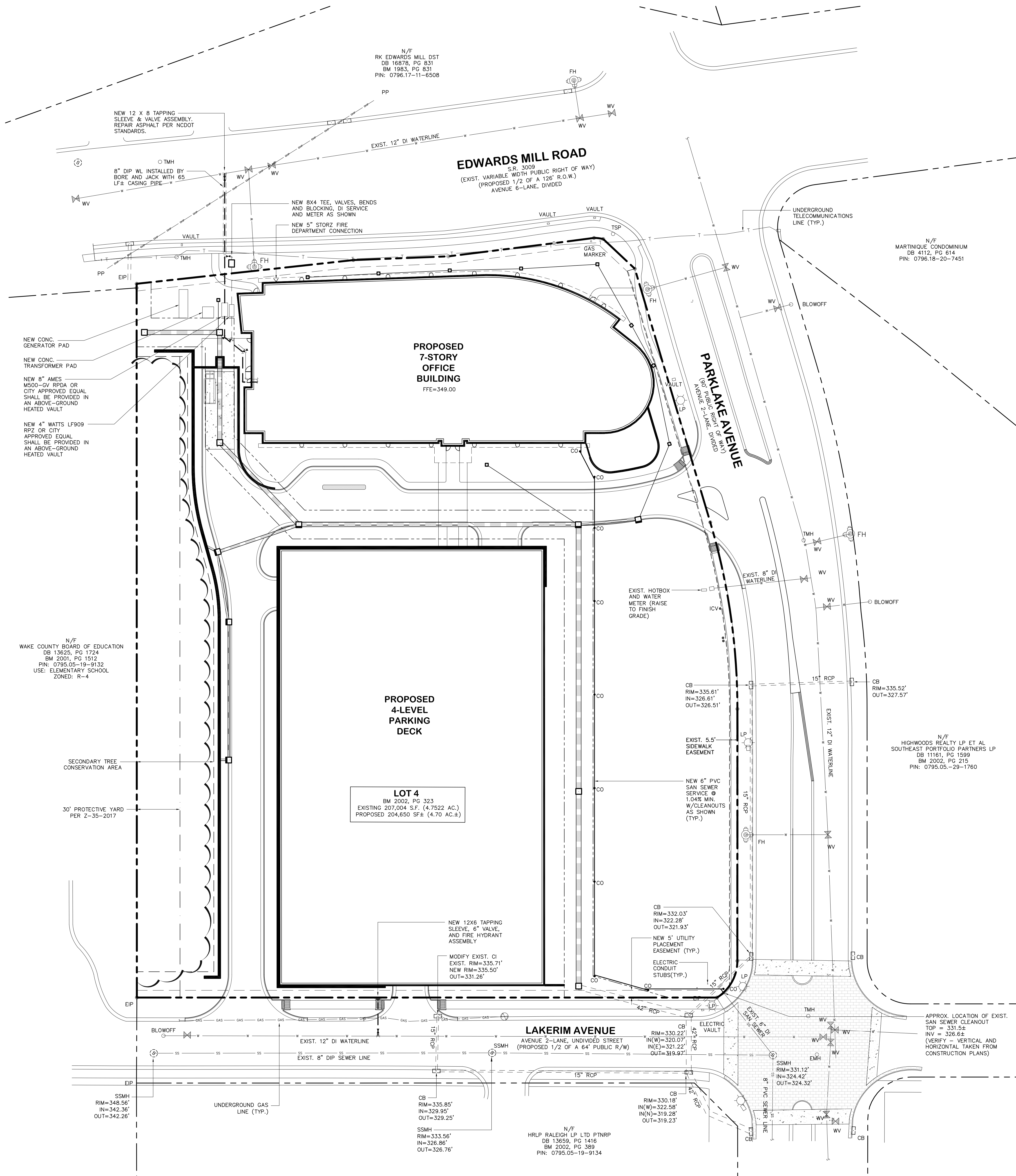
## UTILITY NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
5. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDINGS WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.
7. ALL CLEAN-OUTS SHALL BE PROVIDED IN CAST IRON FRAME AND COVER SIMILAR TO WATER VALVE BOX. PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
8. ALL MANHOLE AND CLEAN OUT FRAMES AND COVERS/GRATES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL AFTER INSTALLATION.
9. CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
10. IRRIGATION METER, REDUCED PRESSURE ZONE DEVICE, AND SERVICE SHALL BE PROVIDED. (DESIGN-BUILD.)
11. CONTRACTOR SHALL PROVIDE PVC CONDUIT(S) UNDER PAVED AREAS FOR POWER TO LIGHT POLES AND MONUMENT SIGN.

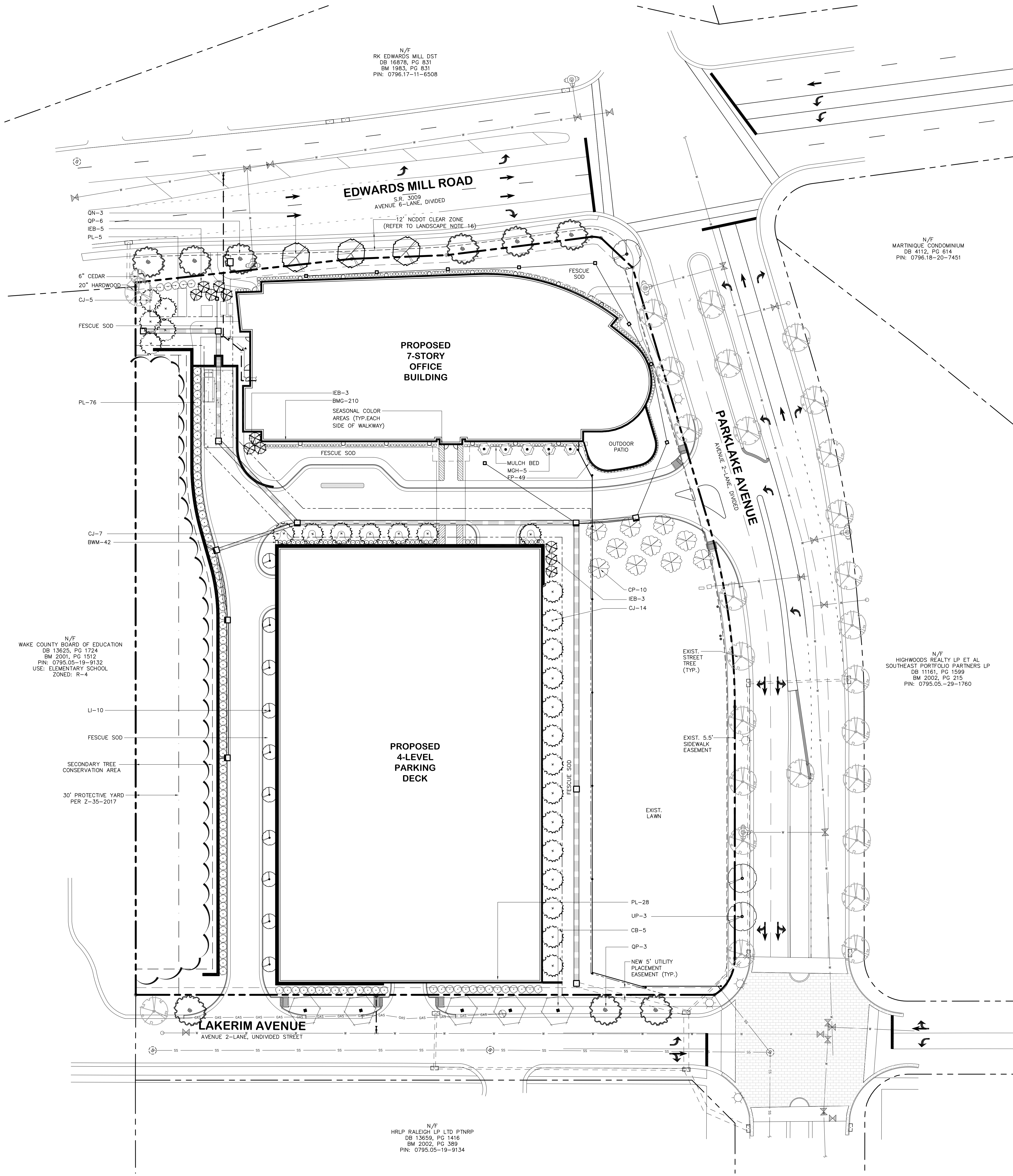
## CITY OF RALEIGH STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 3/4" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
11. NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

\* EDIT TYPICAL SERVICE SIZE &amp; MATERIAL AS APPROPRIATE







KEY	PLANT LIST		QUAN.	CAL.	HT.	ROOT	REMARKS
	BOTANICAL NAME	COMMON NAME					
TREES							
CB	Carpinus betulus 'Fastigiata'	Upright European Hornbeam	5	3"	10'	B&B	
CJ	Cryptomeria japonica 'Radicans'	Japanese Cryptomeria	26	-	10'	B&B	
CP	Crotaegus phoenopyrum	Washington Hawthorn	10	1 1/2"	6'	B&B	
LI	Lagerstroemia indica 'Hopi'	Hopi Dwarf Crape Myrtle	10	-	6" MIN	B&B	
MGH	Magnolia grandiflora 'Hosae'	Hosae Magnolia	5	-	10'	B&B	
ON	Quercus muhlenbergii	Nuttall Oak	3	3"	10'	B&B	STREET TREE
QP	Quercus phellos	Willow Oak	9	3"	10'	B&B	STREET TREE
UP	Ulmus parvifolia	Chinese Elm	3	3"	10'	B&B	STREET TREE
SHRUBS							
BMG	Buxus 'Green Velvet'	Green Velvet Boxwood	210	-	24"	5 GAL	
BWM	Buxus microphylla 'Wintergreen'	Japanese Boxwood	42	-	24"	5 GAL	
IEB	Ilex x 'Emily Bruner'	Emily Bruner Holly	11	-	36" MIN	15 GAL	
PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	109	-	24"	5 GAL	
VINES							
FP	Ficus pumila	Climbing Fig	49	-	24"	5 GAL	

LANDSCAPE NOTES

- CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., IN LANDSCAPE AREAS DISTURBED BY CONSTRUCTION. LANDSCAPE BEDS SHALL BE SCARIFIED TO A DEPTH OF 6" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED PER THE DETAIL.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- SHRUB BEDS ARE TO BE COMPLETELY COVERED WITH PINE STRAW TO A MINIMUM DEPTH OF THREE (3) INCHES.
- NEW TREES ARE TO BE COMPLETELY COVERED WITH PINE STRAW TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (5) FIVE FOOT DIAMETER.
- IRRIGATION PLANS SHALL BE PREPARED BY OTHERS.
- SEASONAL COLOR AREAS SHOWN ON PLANS SHALL CONSIST OF ANNUAL FLOWERING PLANTS THAT WILL PROVIDE SEASONAL VARIETY AND COLOR. PLANT SELECTIONS SHALL BE SUITED TO SITE CONDITIONS AND CAPABLE OF THRIVING IN AREAS SHOWN ON PLANS.
- CONTRACTOR SHALL ATTEMPT TO OBTAIN PLANT MATERIAL FROM REGIONAL NURSERIES. IF PLANTS ARE NOT AVAILABLE IN THIS REGION, CONTACT THE OWNER AND/OR THE LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS PRIOR TO PURCHASING FROM REGIONS WHERE USDA PLANT HARDINESS ZONE IS 6 OR LESS.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
- STREET TREES SHALL BE LOCATED 12" MINIMUM FROM THE TRAVEL LANE PER NCDOT GUIDELINES FOR PLANTING WITHIN HIGHWAY RIGHT-OF-WAY.

LANDSCAPE REQUIREMENTS

STREET PROTECTIVE YARDS

- EDWARDS MILL ROAD:
  - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
  - 341 LF / 40' = 9 NEW STREET TREES PROVIDED
- PARKLAKE AVENUE:
  - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
  - 524 LF - 62 LF FOR DRIVEWAY / 40' = 12 STREET TREES REQUIRED
  - 9 EXISTING STREET TREES TO REMAIN / 3 NEW STREET TREES PROVIDED
- LAKERIM AVENUE:
  - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
  - 403 LF - 61 LF FOR DRIVEWAYS / 40' = 9 STREET TREES
  - 1 EXISTING STREET TREES TO REMAIN / 8 NEW STREET TREES PROVIDED

NOTE: REFER TO EXISTING CONDITIONS PLAN FOR EXISTING STREET TREE SIZE AND SPECIES.

PLD

PIEDMONT LAND DESIGN, LLP  
8522-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.845.7600 PHONE  
919.845.7703 FAX  
ENGR. FIRM LICENSE NO. F-0843

PRELIMINARY  
NOT FOR CONSTRUCTION

GLENLAKE  
OFFICE BUILDING III  
4300 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA

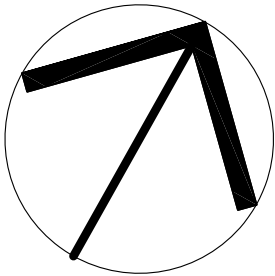
ISSUED: 21 JUN 2019

REVISIONS:

DRAWN BY: MGD  
CHECKED BY: RPH  
PROJECT: HWDPB3

PRELIMINARY  
LANDSCAPE  
PLAN

DWG. NO. PA.6



NORTH



SCALE IN FEET: 1" = 30'

REFER TO GENERAL NOTES ON DWG. NO. PA.1





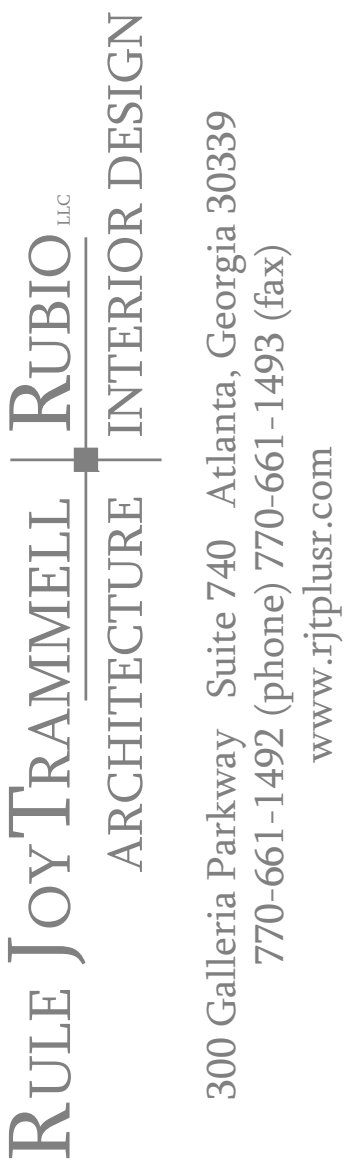






1	GLASS TYPE A GLAZING TO BE I"INSULATED VISION GLASS UNIT WITH VIRACON VREI-43 COATING ON THE SECOND SURFACE.	7	PREFINISHED GLAZED ALUMINUM CURTAIN WALL SYSTEM. VERTICAL MULLIONS TO BE BUTT GLAZED (NON-CAPTURED). HORIZONTAL MULLION CAPS TO BE CUSTOM 6"DEEP CUSTOM PROFILE. TWO COAT FLUOROPOLYMER MICA FINISH TO BE COLOR #1.
2	GLASS TYPE B GLAZING TO BE I"INSULATED SPANDREL GLASS UNIT WITH VIRACON VREI-43 COATING ON THE SECOND SURFACE AND A STANDARD COLOR FLOOD COAT FRIT ON THE FOURTH SURFACE.	8	REFINISHED METAL PANEL WITH TWO COAT FLUOROPOLYMER MICA FINISH TO BE COLOR #1. JOINTS TO BE WET GLAZED.
3	GLASS TYPE C GLAZING TO BE I"INSULATED VISION GLASS UNIT WITH VIRACON VNEI-53 COATING ON THE SECOND SURFACE.	9	PREFINISHED 9"TALL WIDE STILE ALUMINUM DOOR WITH TWO COAT FLUOROPOLYMER MICA FINISH TO BE COLOR #2 TO MATCH WINDOW WALL. GLAZING TO BE TYPE E.
4	GLASS TYPE D GLAZING TO BE I"INSULATED SPANDREL GLASS UNIT WITH VIRACON VNEI-53 COATING ON THE SECOND SURFACE AND A STANDARD COLOR FLOOD COAT FRIT ON THE FOURTH SURFACE.	10	1 1/2"EIFS COLOR #1 LIMESTONE AESTHETIC
5	GLASS TYPE E GLAZING TO BE I"INSULATED VISION GLASS UNIT WITH VIRACON VEI-2M COATING ON THE SECOND SURFACE. ALL SPANDREL WITHIN GLASS TYPE E TO BE SHADOW-BOXED.	11	3 CM HANDSET POLISHED GRANITE EXTERIOR STONE CLADDING
6	PREFINISHED GLAZED ALUMINUM CURTAIN WALL SYSTEM. VERTICAL MULLIONS TO ALTERNATE BETWEEN CAPTURED MULLION WITH STANDARD PROFILE AND BUTT GLAZED (NON-CAPTURED). HORIZONTAL MULLION CAPS TO BE CUSTOM 6"DEEP CUSTOM PROFILE. TWO COAT FLUOROPOLYMER MICA FINISH TO BE COLOR #1.	12	12"WIDE 3 CM HONED GRANITE PAVER TO BE ENTIRE PERIMETER AT THE BASE OF ALL BUILDINGS.
		13	REFINISHED METAL LOUVER WITH CUSTOM COLOR METALLIC FINISH TO MATCH COLOR #2
		14	48"THICK CANTILEVERED TEMPERED GLASS GUARD RAIL WITH CONTINUOUS SS BIL
		15	PAINTED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS)
		16	PREFINISHED ALUMINUM TRELLIS WITH TWO COAT FLUOROPOLYMER MICA FINISH TO BE COLOR #1
		17	PAINTED HOLLOW METAL DOOR

LEVEL	REQUIRED	PROVIDED
LEVEL 1	33% (658.5SF)	59% (1173.2SF)
LEVEL 2	20% (358.7SF)	62% (1119.2SF)
LEVEL 3-6	20% (360.4SF)	69% (1250.2SF)
LEVEL 7	20% (360.4SF)	69% (1250.2SF)



PRINTED	
DATE	ISSUE/REVISION

[illegible]

GLENLAKE III  
4300 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA

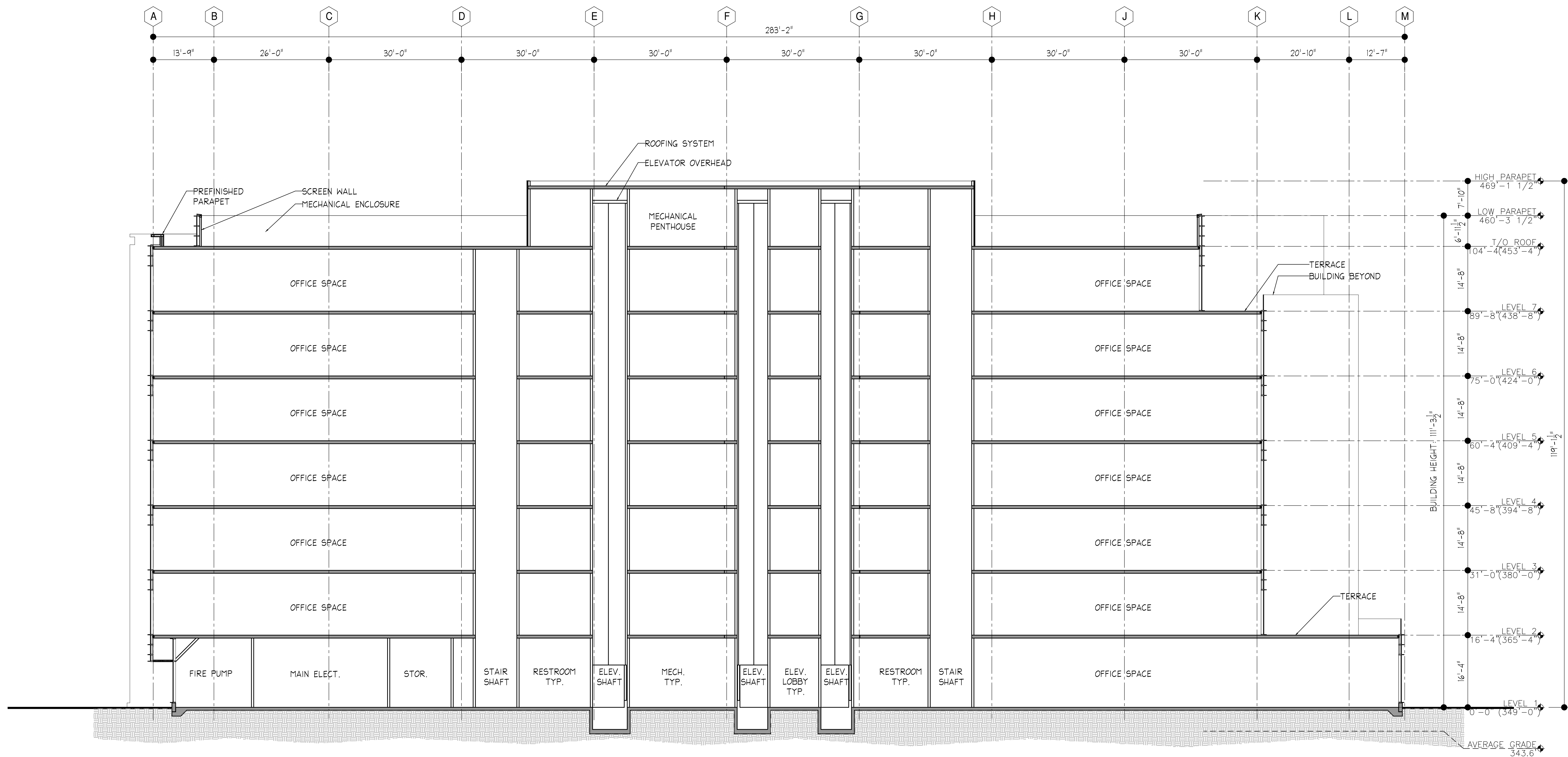
COMMISSION NO: 13-096.00

DRAWING NO:

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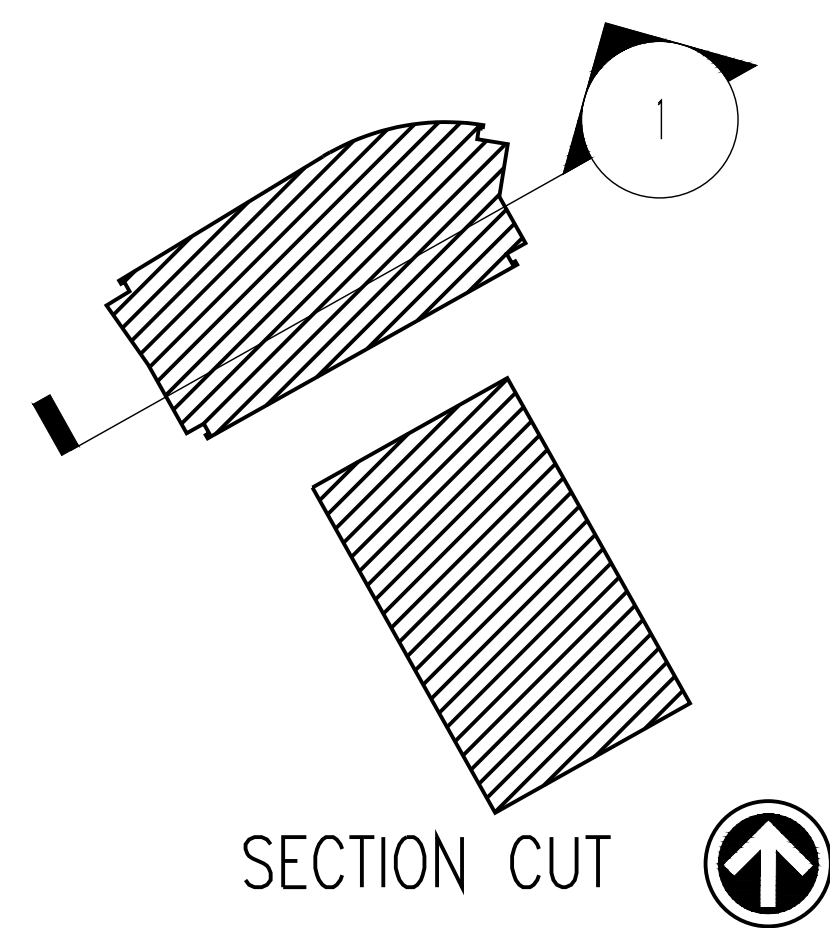
NOT ISSUED FOR CONSTRUCTION

BUILDING SECTION



# 1 BUILDING SECTION

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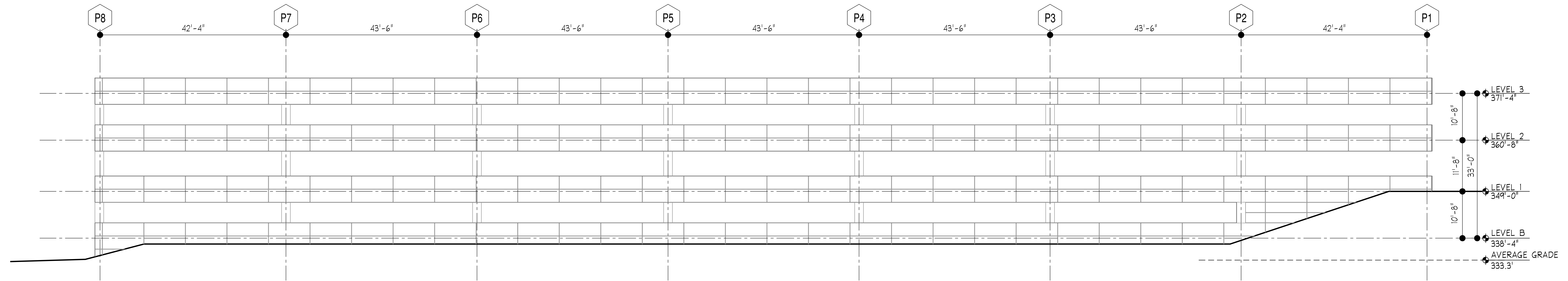


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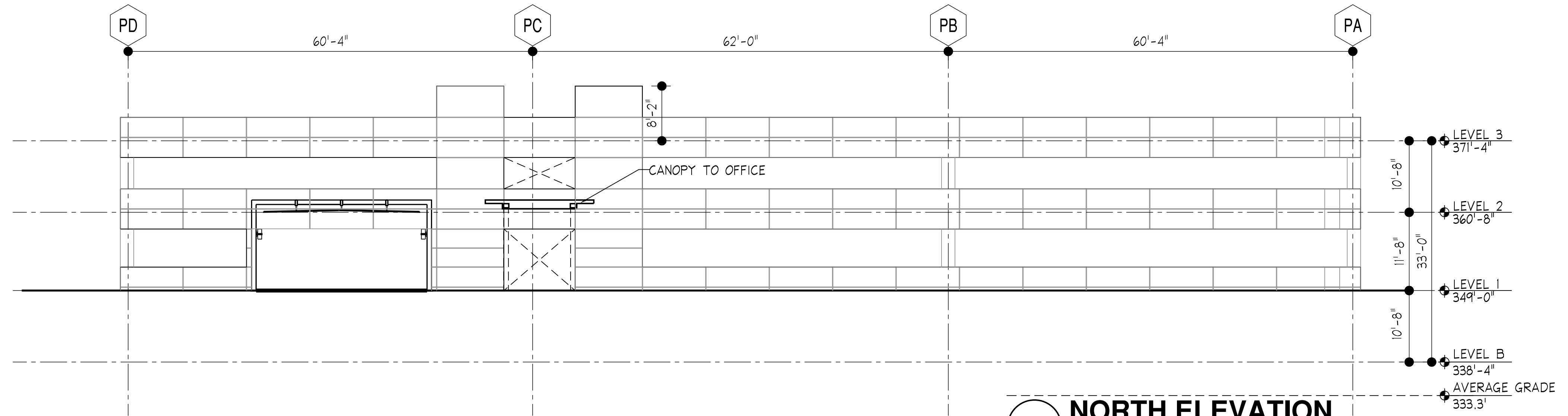
GLENLAKE III  
4300 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA

COMMISSION NO: 13-096.00
DRAWING NO:
AP4.01

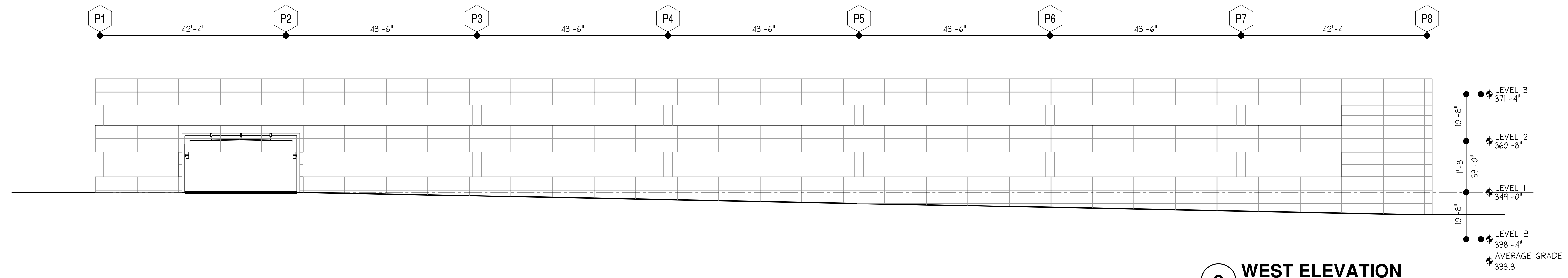


## 4 EAST ELEVATION

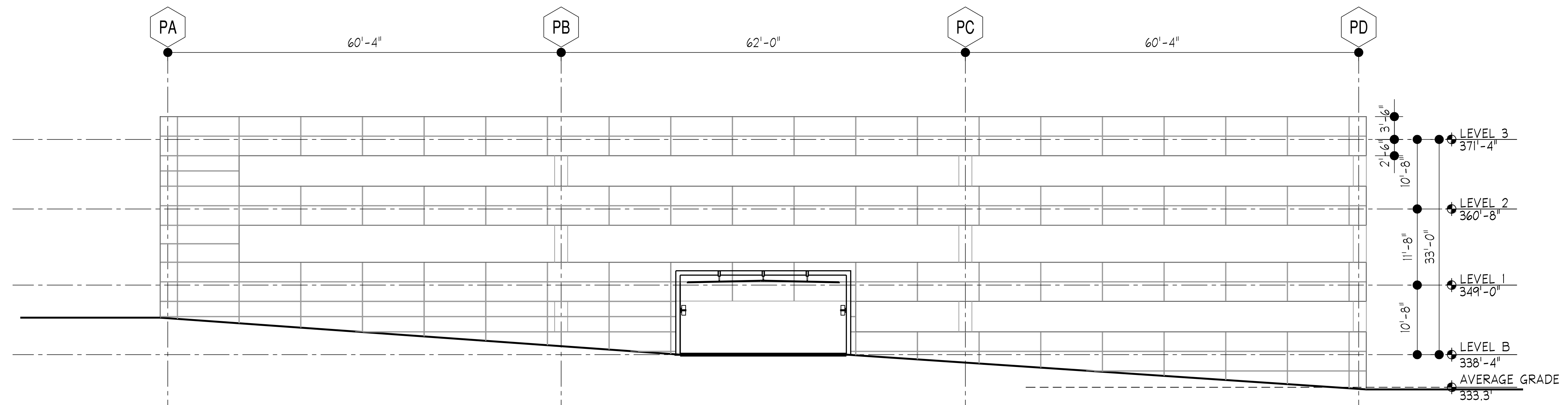
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**3 NORTH ELEVATION**  
Scale: 3/32"-1'-0"



**2 WEST ELEVATION**  
Scale: 3/32"-1'-0"



# 1 SOUTH ELEVATION

Scale: 3/32"-1'-0"

