



Administrative Approval Action

Case File / Name: ASR-0001-2019
GLENLAKE OFFICE BUILDING III

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 4.75 acre site zoned CX-12-CU (Z-25-17) is located at 4251 Park Lake Avenue on the southwest corner of the intersection of Edwards Mill Road and Parklake Avenue.

REQUEST: Development of a 210,000 square foot, seven story office building and a parking deck.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 15, 2020 by Piedmont Land Design, LLP.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities

1. A Water Model in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.
2. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Prior to the issuance of a grading permit, a tree impact permit must be issued for the approved removal of street trees in the right of way.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-25-17.

Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A fee-in-lieu for 885 l.f. around the entire site of one foot of sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

6. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.47 acres of tree conservation area.



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9. A public infrastructure surety for the street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Edwards Mill Road, 2 street trees along Parklake Avenue, and 7 street trees along Lakerim Avenue for a total of 18 street trees.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 22, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____

Development Services Dir/Designee

Date: 05/22/2020

Staff Coordinator: Michael Walters

EXIST. CONDITIONS/DEMOLITION NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-432-6949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES.
- PHASING OF ALL REMOVALS SHALL BE COORDINATED WITH INSTALLATION OF NEW IMPROVEMENTS SO THAT THERE IS NO INTERRUPTION IN SERVICES OR LOSS OF PROPER DRAINAGE OR DESIGN CONTROL.
- ALL TREE PROTECTION FENCE AND BILT FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

LEGEND

- BM BOOK OF MAPS
- BR BRICK
- PC PAVED
- N/P NOW OR FORMERLY
- R/W RIGHT OF WAY
- EP EXISTING POB PIPE
- EMAG EXISTING MAG NAIL
- CSA EXISTING CONCRETE MONUMENT
- MASS MAG NAIL SET
- CP COMPLETED POINT
- SS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- WM MANHOLE
- TELEPHONE MANHOLE
- ET ELECTRICAL TRANSFORMER
- OB STORM CATCH BASIN
- CONC CONCRETE
- RCF REINFORCED CONCRETE STORM PIPE
- WV WATER VALVE
- WM WATER METER
- IP LIGHT POLE
- ICV IRRIGATION CONTROL VALVE
- CLTY CABLE TELEVISION
- FM FIRE HYDRANT
- GL GROUND LIGHT
- ELC ELECTRIC METER
- DBL DENOTES BRICK
- CONC DENOTES CONCRETE
- ADRS DENOTES ADDRESS
- PROPERTY LINE
- RIGHT OF WAY LINE
- PROP. LINE NOT SURVEYED
- STORM PIPE
- SEWER PIPE
- OVERHEAD POWER

TREE LEGEND

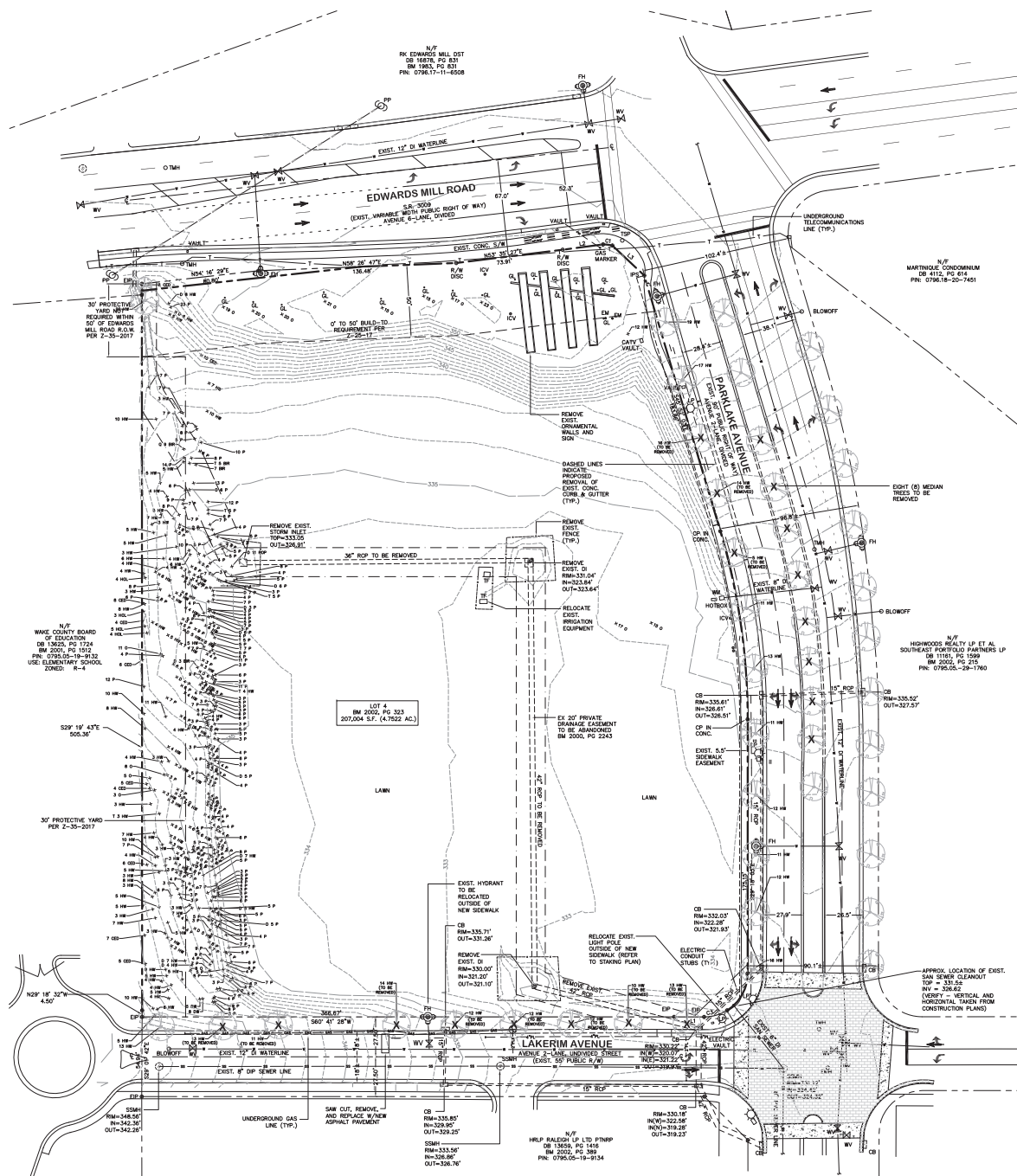
ABBREVIATION	TREE TYPE
HR	HORSE CHESNUT
POP	POPLAR
DW	DOGWOOD
O	OAK
BR	BIRCH
CE	CEDAR
P	PINE
HOL	HOLLY

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	20.66'	S60°44'50"W
L2	30.16'	S76°03'27"E
L3	28.11'	N57°10'46"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	6.45'	236.96'	21°21'58"	6.44'	S67°54'27"W
C2	131.56'	455.00'	016°13'59"	131.10'	N37°35'03"W
C3	47.14'	296.96'	09°05'10"	42.43'	N15°41'57"E



SCALE IN FEET: 1" = 30'
REFER TO GENERAL NOTES ON DWG. NO. PA.1



REFER TO GENERAL NOTES ON DWG. NO. PA

LIGHT DUTY ASPHALT PAVING:
2" 59.58 ON
8" CABC STONE

HEAVY DUTY ASPHALT PAVING:
1 1/2" 59.58 ON
2 1/2" 119.0 B ON
8" CABC STONE

HEAVY DUTY CONCRETE:
6" THICK 4,500 PSI CONC. ON
4" CABC

PAVERS:
REFER TO DETAIL SHEET

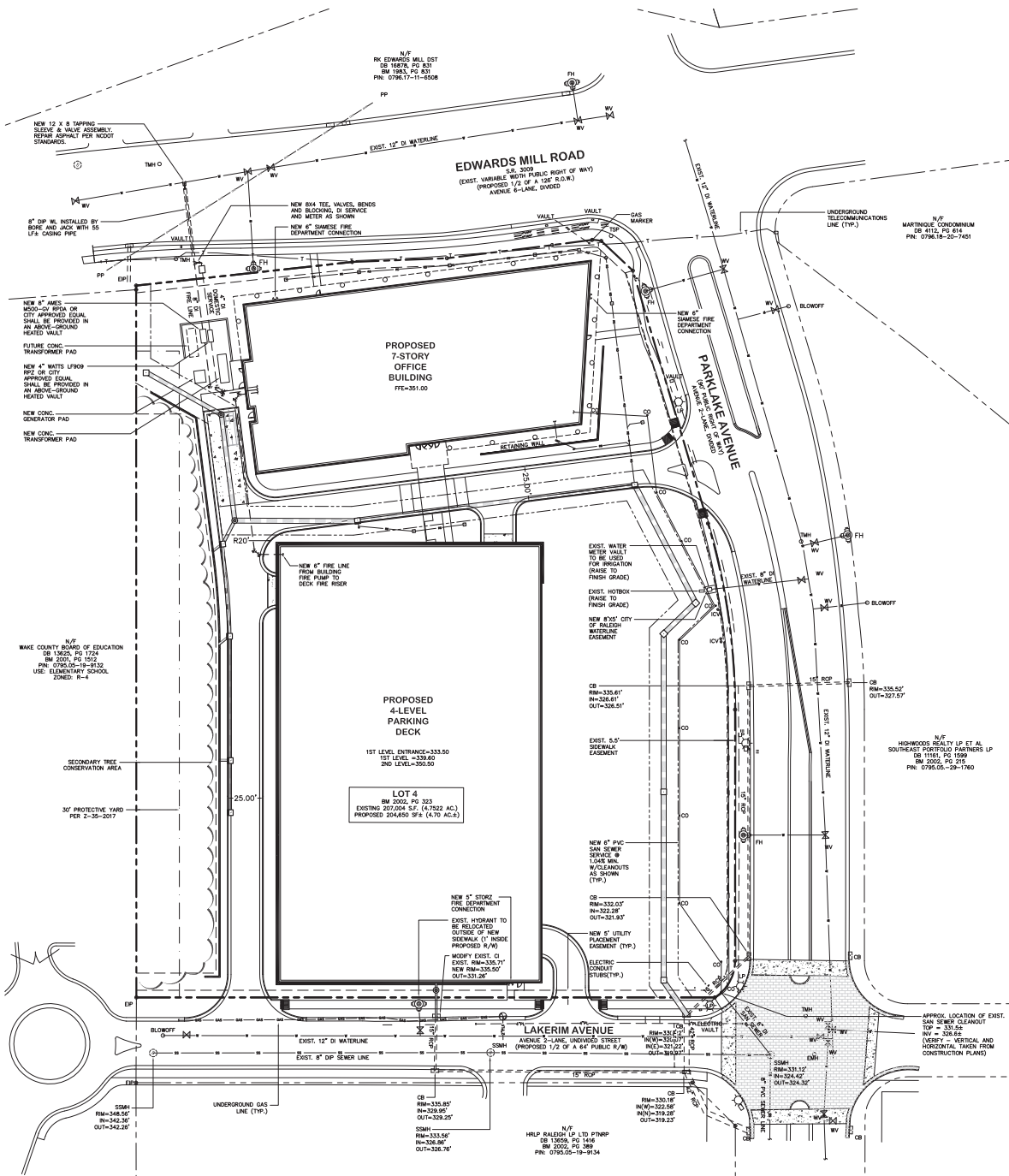
DWG. NO. **PA.3**

UTILITY NOTES

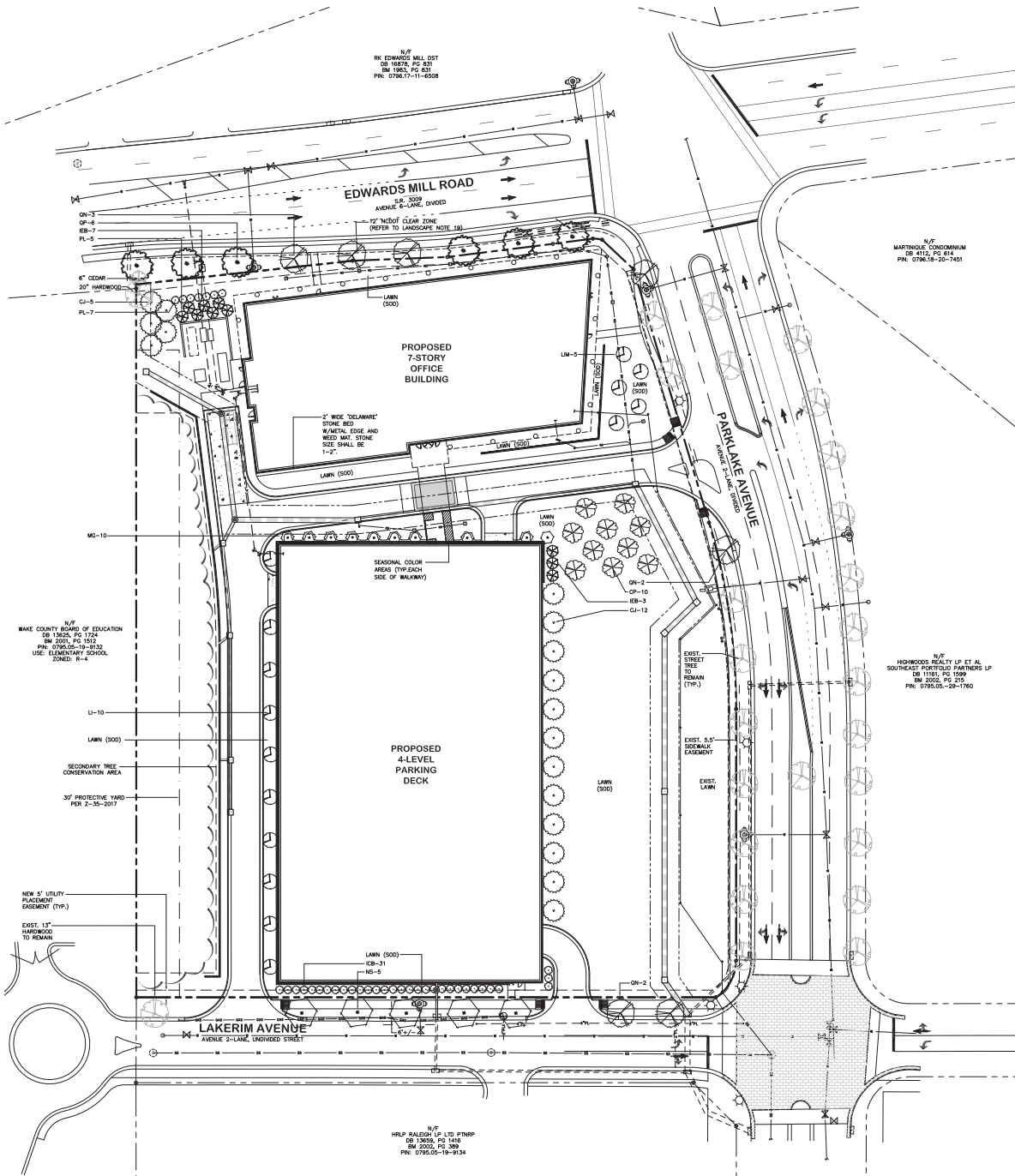
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-6349) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL CONFIRM THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDINGS WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.
- ALL CLEAN-OUTS SHALL BE PROVIDED IN CAST IRON FRAME AND COVER SIMILAR TO WATER VALVE BOX. PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
- ALL MANHOLE AND CLEAN OUT FRAMES AND COVERS/GATES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL AFTER INSTALLATION.
- CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
- IRRIGATION METER, REDUCED PRESSURE ZONE DEVICE, AND SERVICE SHALL BE PROVIDED. (DESIGN-BUILD)
- CONTRACTOR SHALL PROVIDE PVC CONDUITS UNDER PAVED AREAS FOR POWER TO LIGHT POLES AND MONUMENT SIGN.
- FOOT CULVERT SHALL BE 2 1/2" HOSE CONNECTIONS X THE NUMBER DETERMINED BY THE SPRINKLER CONTRACTOR. THE NUMBER OF VALVES WILL BE DEPENDENT ON THE SYSTEM DEMAND, WHICH WILL BE GREATER THAN 500 GPM.

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
• A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE (SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER) IF REGULATE LATERAL SEPARATION CANNOT BE ACHIEVED. TYPICAL SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
• WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
• 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OF MATERIAL IS SPECIFIED FOR SANITARY SEWER & STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM DRAIN CROSSINGS. WHERE REGULATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49) FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PCH SEWER SERVICES @ 1.0' OR MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES EXCEEDING 10' FROM MAIN & 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- WOOD/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GRADE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FDS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIM@TY.BEASLEY@RALEIGHGOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-1963 OR JOANNE.HARTLEY@RALEIGHGOV FOR MORE INFORMATION.
- EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE.



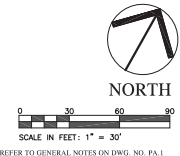
SCALE IN FEET: 1" = 30'
REFER TO GENERAL NOTES ON DWG. NO. PA.1



KEY	PLANT LIST		QUAN.	CAL.	HT.	ROOT	REMARKS
	BOTANICAL NAME	COMMON NAME					
TREES							
MS	<i>Quercus rubra</i> "Sliding"	White Oak	15	3"	10'	BAR	
MS	<i>Prunella americana</i> "Sharon"	Black Cherry	15	3"	10'	BAR	
CP	<i>Prunella americana</i> "Sliding"	Washington Hawthorn	15	1 1/2"	8'	BAR	
CP	<i>Prunella americana</i> "Sliding"	Red Seed Coat Myrtle	15	—	6' MN	BAR	
LM	<i>Prunella americana</i> "Sliding"	Myrtle Green Myrtle	15	—	6' MN	BAR	
CP	<i>Prunella americana</i> "Sliding"	Red Seed Coat Myrtle	15	—	6' MN	BAR	
MS	<i>Quercus rubra</i> "Sliding"	White Oak	15	3"	10'	BAR	STREET TREE
MS	<i>Quercus rubra</i> "Sliding"	White Oak	15	3"	10'	BAR	STREET TREE
SHRUBS							
SH	<i>Prunella americana</i> "Sliding"	Black Cherry	15	3"	10'	BAR	
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SH	<i>Prunella americana</i> "						

- LANDSCAPE NOTES**
- CONTRACTOR SHALL REMOVE ALL WEEDS, ROOTS, CONSTRUCTION ITEMS, ETC. IN LANDSCAPE AREAS DISTURBED BY CONSTRUCTION. LANDSCAPE BEDS SHALL BE SHAPED TO A DEPTH OF 6" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE.
 - FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
 - ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 - ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUED OR STAKED FOR THE DETAIL.
 - ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRINKLING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
 - STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - SHRUB BEDS ARE TO BE COMPLETELY COVERED WITH PINE STRAW TO A MINIMUM DEPTH OF THREE (3) INCHES.
 - NEW TREES ARE TO BE COMPLETELY COVERED WITH PINE STRAW TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (3) ONE FOOT DIAMETER.
 - IRRIGATION PLANS SHALL BE PREPARED BY OTHERS.
 - SEASONAL COLOR AREAS SHOWN ON PLANS SHALL CONSIST OF ANNUAL FLOWERING PLANTS THAT WILL PROVIDE SEASONAL VARIETY AND COLOR. PLANT SELECTIONS SHALL BE SUITED TO SITE CONDITIONS AND CAPABLE OF THRIVING IN AREAS SHOWN ON PLANS.
 - CONTRACTOR SHALL ATTEMPT TO OBTAIN PLANT MATERIAL FROM REGIONAL NURSERIES. IF PLANTS ARE NOT AVAILABLE IN THIS REGION, CONTACT THE OWNER AND/OR THE LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS PRIOR TO PURCHASING FROM REGIONS WHERE USDA PLANT HARDINESS ZONE IS 6 OR LESS.
 - NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
 - STREET TREES SHALL BE LOCATED 12" MINIMUM FROM THE TRAVEL LANE PER NCDOT GUIDELINES FOR PLANTING WITH HIGHWAY RIGHT-OF-WAY.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

- LANDSCAPE REQUIREMENTS**
- STREET PROTECTIVE YARDS**
- EDWARDS MILL ROAD:
 - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
 - 341 LF / 40' = 9 NEW STREET TREES PROVIDED
 - PARKER AVENUE:
 - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
 - 524 LF ~ 70 LF FOR DRIVEWAY / 40' = 11 STREET TREES REQUIRED
 - 9 EXISTING STREET TREES TO REMAIN / 2 NEW STREET TREES PROVIDED
 - LAKERIM AVENUE:
 - 1 STREET TREE @ 40' O.C. REQUIRED/PROVIDED
 - 453 LF ~ 61 LF FOR DRIVEWAYS / 40' = 8 STREET TREES
 - 1 EXISTING STREET TREE TO REMAIN / 7 NEW STREET TREES PROVIDED
- NOTE: REFER TO EXISTING CONDITIONS PLAN FOR EXISTING STREET TREE SIZE AND SPECIES.



PLD

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PRELIMINARY
NOT FOR CONSTRUCTION

GLENLAKE OFFICE BUILDING III
4300 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA

ISSUED: 21 JUN 2019

REVISIONS:

18 MAR 2020	REVISED PER CITY COMMENTS
15 APR 2020	REVISED PER CITY COMMENTS

DRAWN BY: MGD
CHECKED BY: MGD
PROJECT: HWDPB3

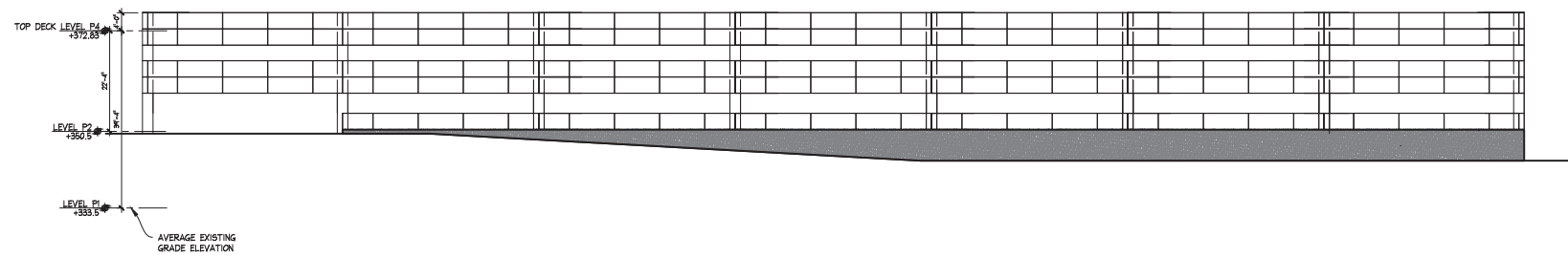
PRELIMINARY LANDSCAPE PLAN

DWG. NO. **PA.6**

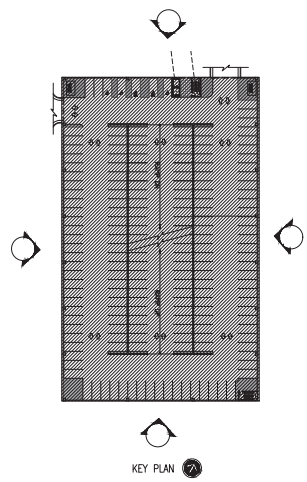
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GLENLAKE
4300 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA

COMMISSION NO: 13-096.0
DRAWING NO:
AP4-02



1 WEST ELEVATION
Scale: 3/32"=1'-0"

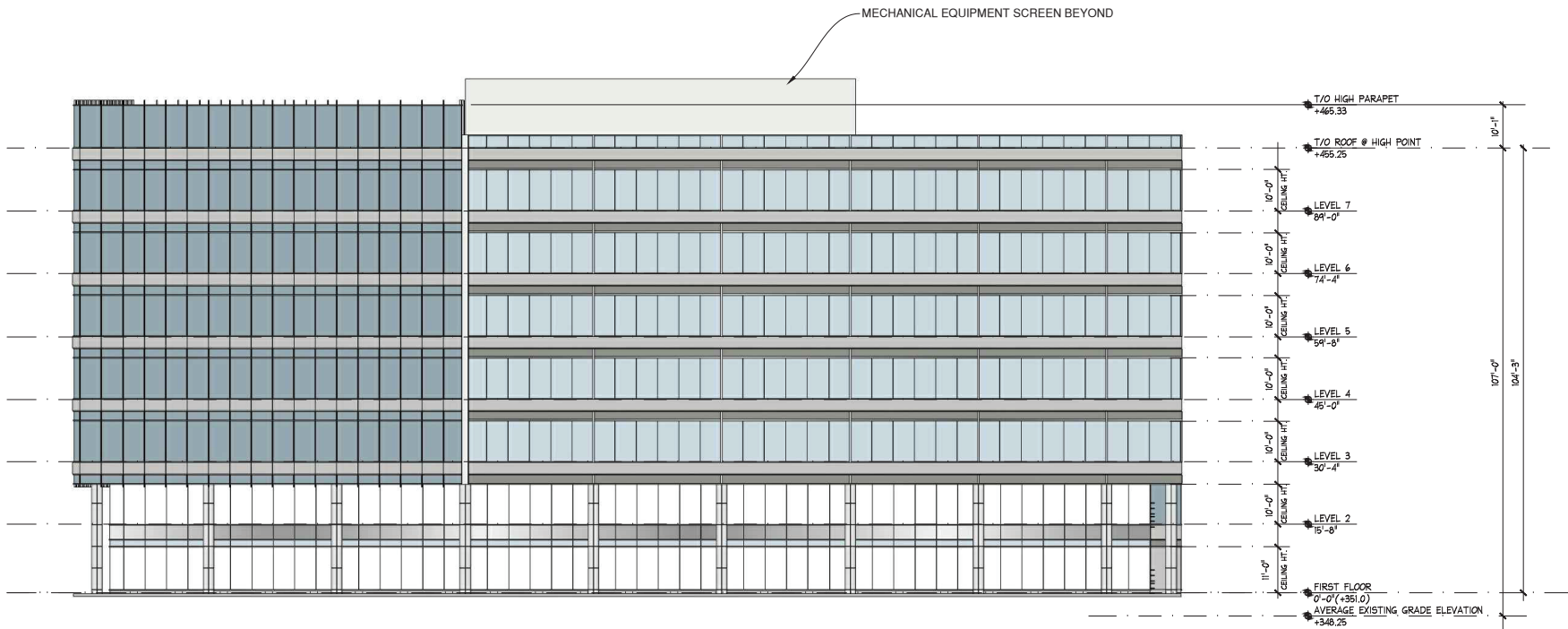


NOT ISSUED FOR CONSTRUCTION

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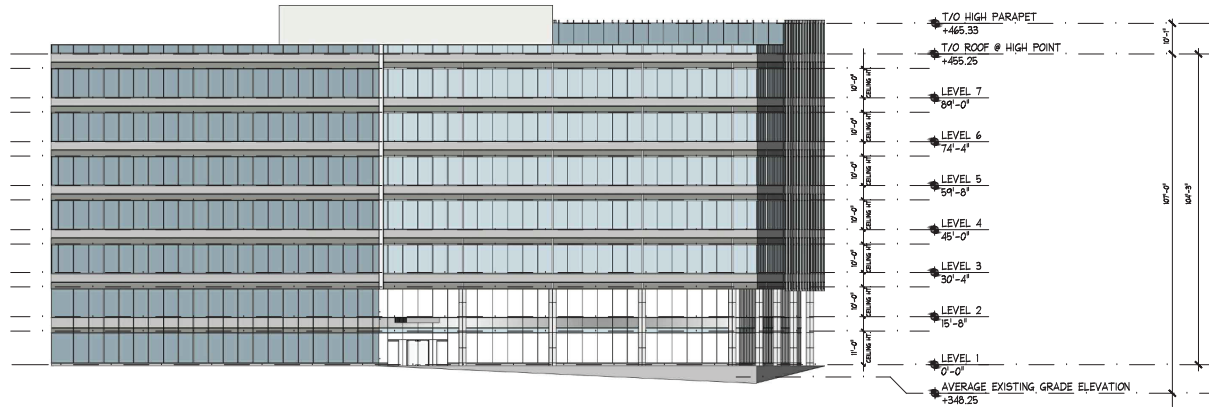
GLENLAKE III
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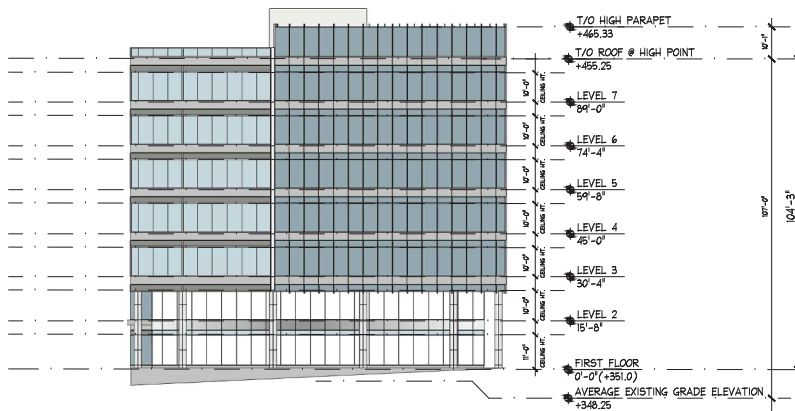


2 NORTHWEST BUILDING ELEVATION

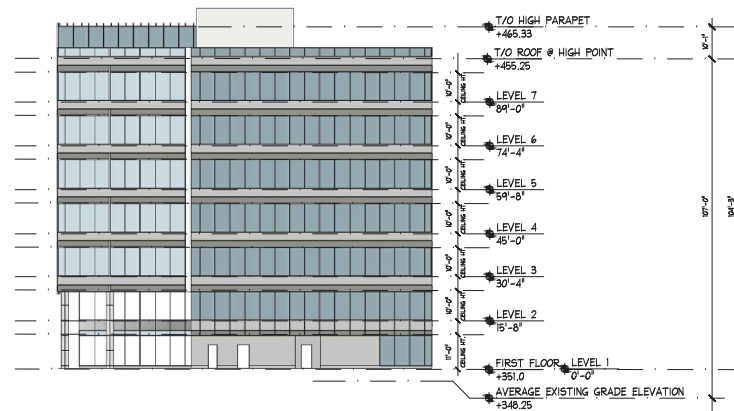
Scale: NTS



4 SOUTHEAST BUILDING ELEVATION
Scale: NTS



1 NORTHEAST BUILDING ELEVATION
Scale: NTS



3 SOUTHWEST BUILDING ELEVATION
Scale: NTS



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DATE ISSUE/REVISION

02/06/2020 CONCEPT DESIGN

04/14/2020 ASR RESUBMITTAL

NEAST & N.WEST BUILDING ELEVATIONS
GLENLAKE III
4300 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA

COMMISSION NO. 15-00000

DRAWING NO.

NOT ISSUED FOR CONSTRUCTION