

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits? Yes No		
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:	Title:	
Address:		
Phone #:	Email:	
Applicant Name (If different from owner. See “who can apply” in instructions):		
Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder		
Company: Kimley-Horn and Associates, Inc.	Address:	

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #: 919-653-2976	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:	Total # of hotel bedrooms:		
# of bedroom units: 1br _____ 2br _____ 3br _____	4br or more _____		
# of lots:	Is your project a cottage court?	Yes	No
	A frequent transit development?	Yes	No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

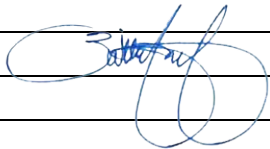
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

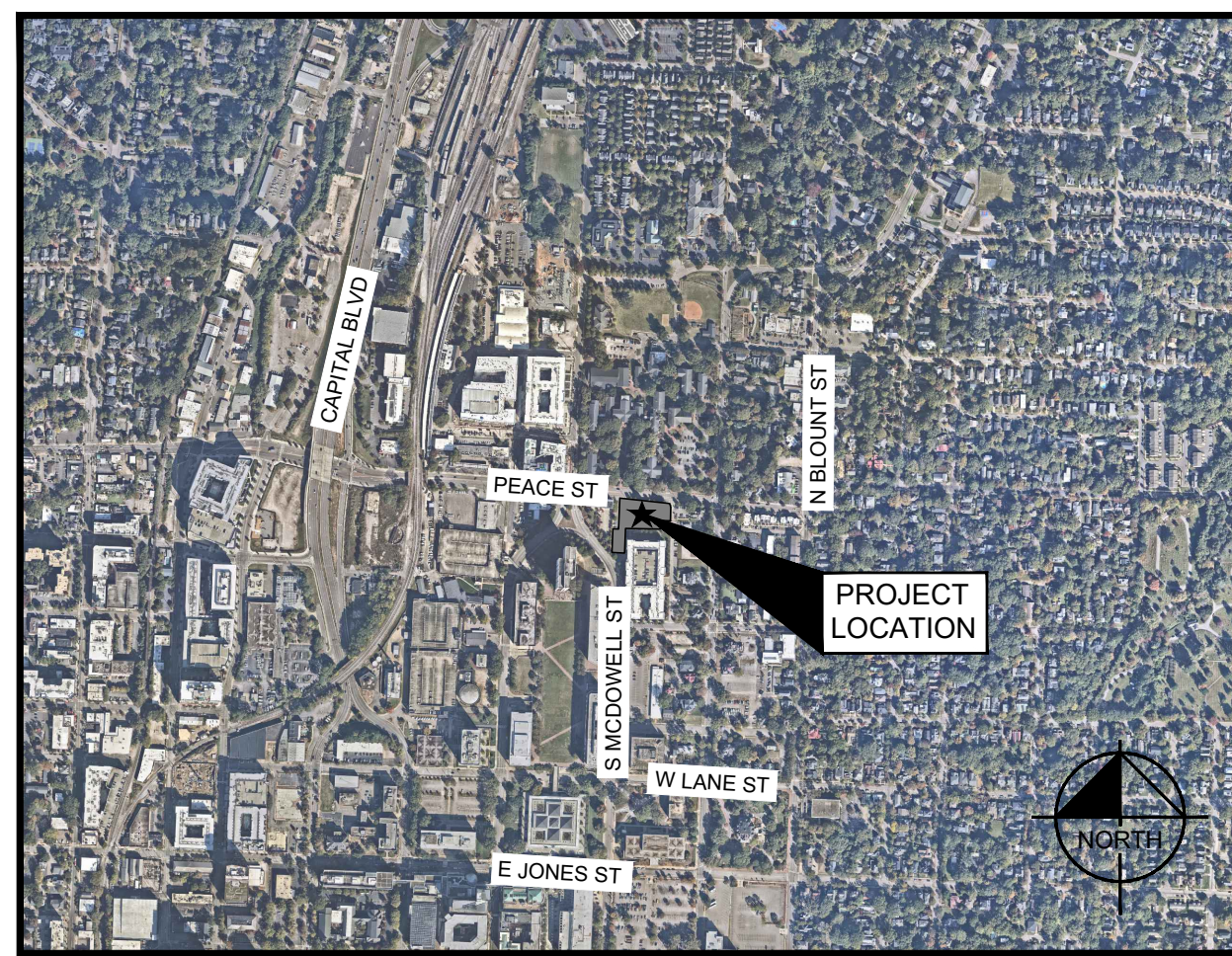
Signature:



Date:

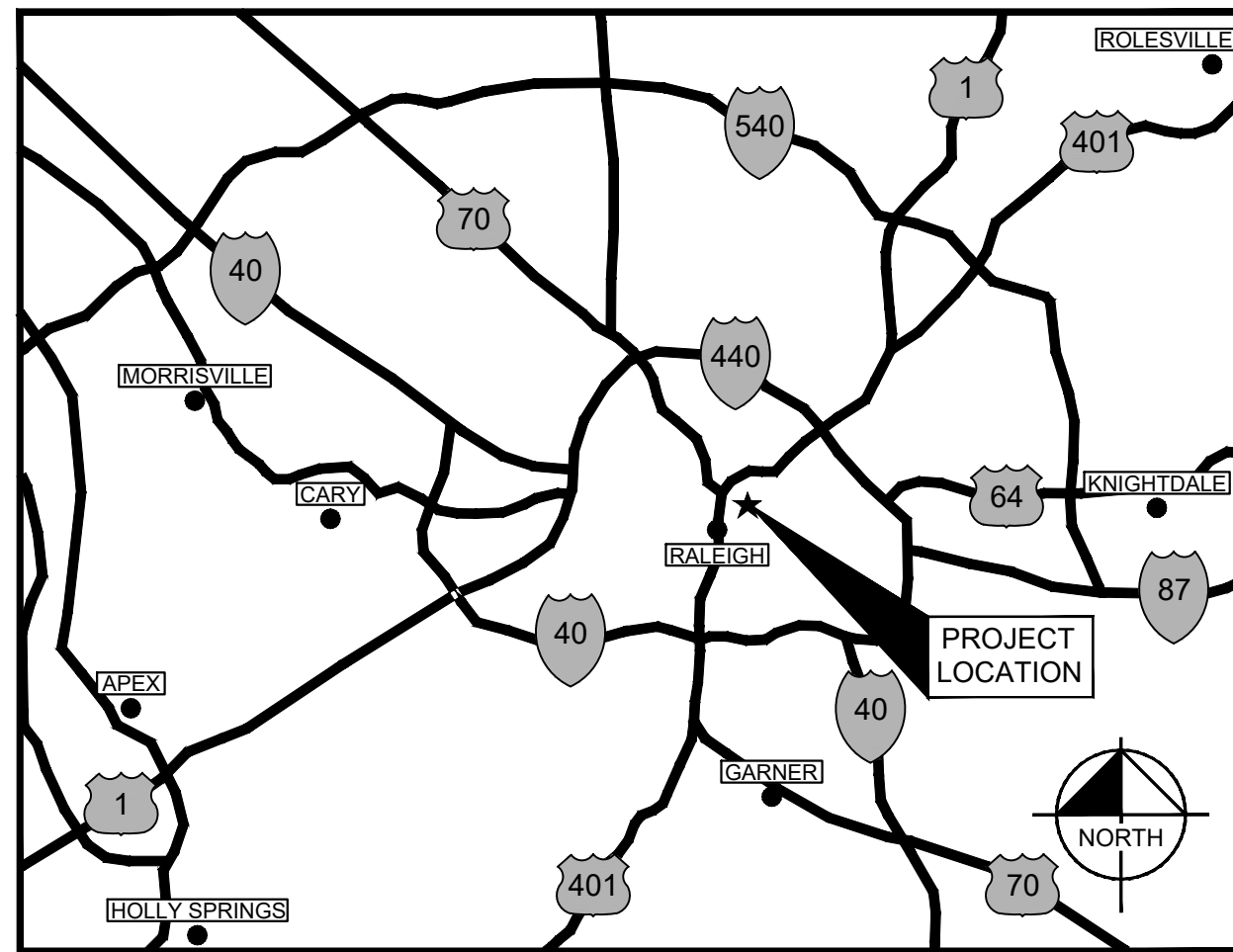
Printed Name:

Plotted By: Linon, Connor. Sheet Set: HOLY TRINITY - PHASE 2. Layout: CO.0 COVER SHEET. January 31, 2024, 09:04:24am. \kimley-horn.com\CAD\RURAL_LDEV\01122004_Holy Trinity Anglican Church-Phase 2-Planning Phase\10_CAD Files\02_PlanSheets\CO.0 COVER SHEET.dwg
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VICINITY MAP

SCALE: 1" = 1,000'



PROJECT LOCATION MAP

SCALE: NOT TO SCALE

HOLY TRINITY ANGLICAN CHURCH - PHASE 2

PIN: 01704715738

100 EAST PEACE STREET

RALEIGH, NC 27604

A DEVELOPMENT BY:

HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.

REFERENCE DOCUMENTS:

- 1) APPROVED PHASE 1 CONSTRUCTION DOCUMENTS #389886
- 2) APPROVED BLOUNT STREET COMMONS PLANNED DEVELOPMENT #MP-1-06

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	FIRE APPARATUS AND HOSE LAY PLAN
C4.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	SITE DETAILS
C7.0	UTILITY DETAILS
L1.0	LANDSCAPE PLAN
L1.1	PLAY AREA EQUIPMENT (NIC)
L2.0	LANDSCAPE DETAILS
A203-A205	EXTERIOR ELEVATIONS

PROJECT OWNERS & CONSULTANTS

OWNER/DEVELOPER HOLY TRINITY CHURCH OF RALEIGH, INC. 549 NORTH BLOUNT STREET RALEIGH, NC 27604 CONTACT: RICHARD BROWN PHONE: (919) 833-4204 EXT. 101 EMAIL: LPERRY@EWPNC.COM	LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601 CONTACT: RICHARD BROWN PHONE: (919) 653-2976 EMAIL: RICHARD.BROWN@KIMLEY-HORN.COM
CIVIL ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601 CONTACT: CONNOR LINTON PHONE: (864) 833-4424 EMAIL: CONNOR.LINTON@KIMLEY-HORN.COM	SURVEYOR OWNER ADDRESS CONTACT PHONE EMAIL
ARCHITECT LS3P CONTACT: NATHAN ASIRE PHONE: (864) 272-1229 EMAIL: NATHANASIRE@LS3P.COM	

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: Holy Trinity - Phase 2

Inside City limits? Yes No

Property address(es): 100 E Peace St, Raleigh, NC 27604

Site P.I.N.(s): 1704715738

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Building expansion with minor site modifications.

Current Property Owner(s): Holy Trinity Church of Raleigh, Inc.

Company: Holy Trinity Church of Raleigh, Inc. Title: _____

Address: 549 North Blount Street, Raleigh, NC 27604

Phone #: 919-833-4202 ext.101 Email: athompson@htcraleigh.org

Applicant Name (If different from owner. See "who can apply" in instructions): _____

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Kimley-Horn and Associates, Inc. Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601

Phone #: 919-653-2976	Email: richard.brown@kimley-horn.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Lee Perry	
Company: East West Partners	Title: Senior Managing Partner
Address: 1450 Environ Way, Chapel Hill, NC 27517	
Phone #: 919-929-0660	Email: LPerry@ewpnc.com
Applicant Name: Richard Brown	
Company: Kimley-Horn and Associates	Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601
Phone #: 919-653-2976	Email: richard.brown@kimley-horn.com

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 24,274 SF
Gross site acreage: 1.05 AC	Existing gross floor area to be demolished: N/A
# of parking spaces proposed: N/A	New gross floor area: 14,463 SF
Max # parking permitted (7.1.2.C): N/A	Total sf gross (to remain and new): 38,737 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Civic - Church	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): Civic - Church	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 32,501 Proposed total (sf) 39,867	Existing (sf) 32,501 Proposed total (sf) 39,867

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

NO.	REVISIONS	DATE	BY
1		12/22/2023	AF

Kimley»Horn

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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT	DATE	SCALE	DESIGNED BY	SET	CHECKED BY
011120004	12/22/2023	AS SHOWN	CDL		

COVER SHEET

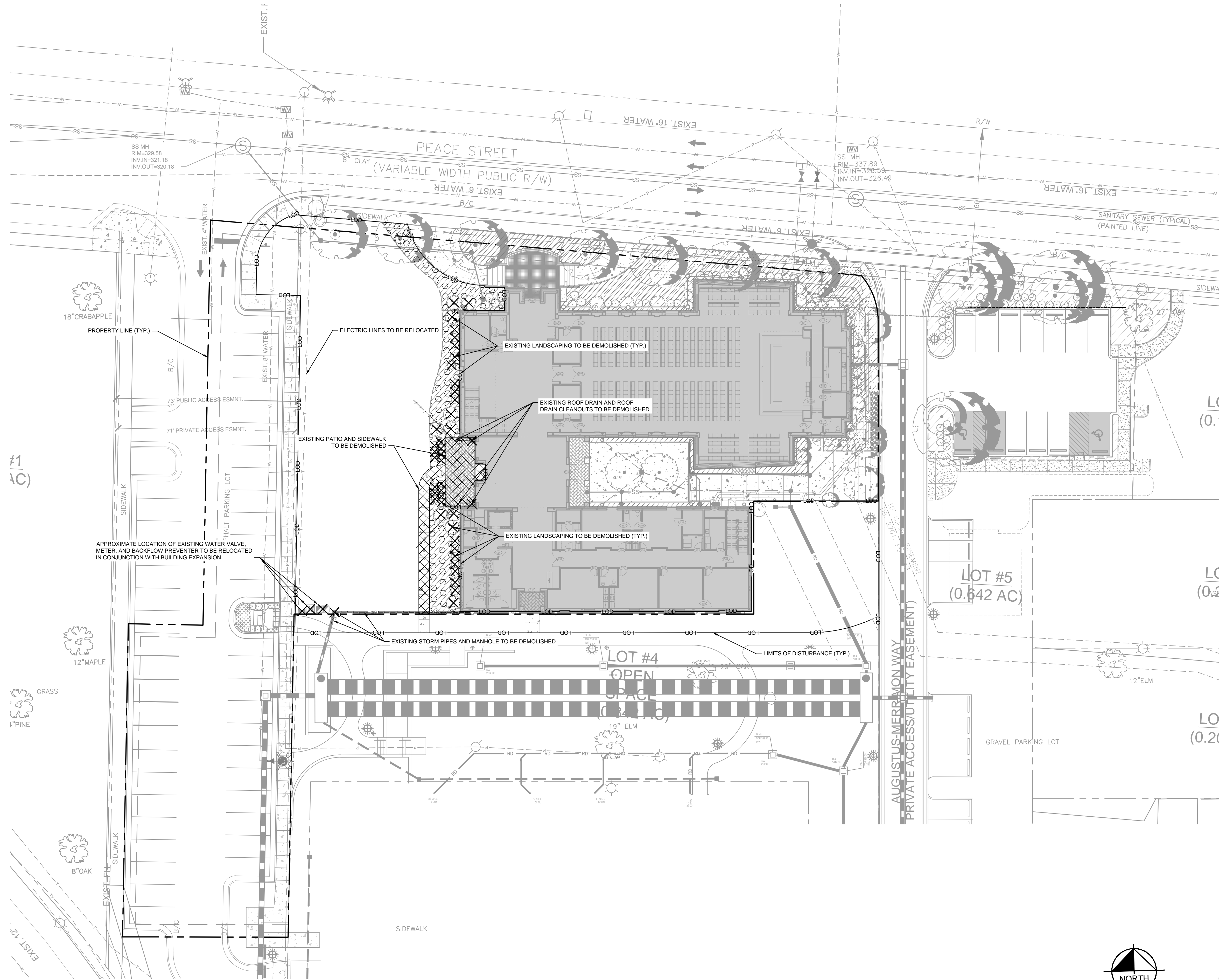
HOLY TRINITY - PHASE 2
 PREPARED FOR
 HOLY TRINITY ANGLICAN CHURCH
 OF RALEIGH, INC.

RALEIGH NC

SHEET NUMBER
CO.0



Plotted By: Lincon, Connor. Sheet Set: HOLY TRINITY - PHASE 2. Layout: C2.0 DEMOLITION PLAN. December 22, 2023. 04:50:54pm. K:\BIBAL_LDEV\01122004_Holy Trinity Anglican Church-Phase 2\Planning Phase\F10_CAD Files\C2.0 DEMOLITION PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



DEMOLITION LEGEND	
	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM/TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT TO BE REMOVED
	LANDSCAPING TO BE REMOVED

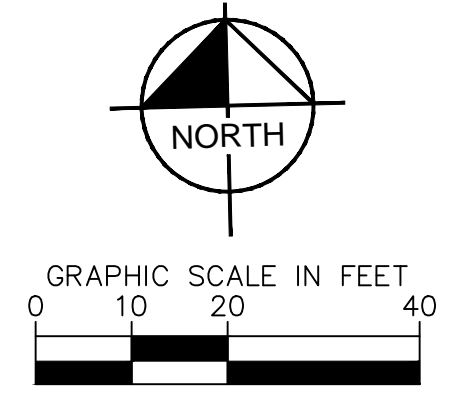
#1
(AC)

18" CRABAPPLE
12" MAPLE
GRASS
1" PINE
8" OAK

LC
(0.2)

LC
(0.2)

LO
(0.2)



No.	REVISIONS	DATE	BY
1		12/22/2023	AF

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PRELIMINARY
 NOT FOR CONSTRUCTION

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011120004	12/22/2023	AS SHOWN	CDL	SET	RLE

DEMOLITION PLAN

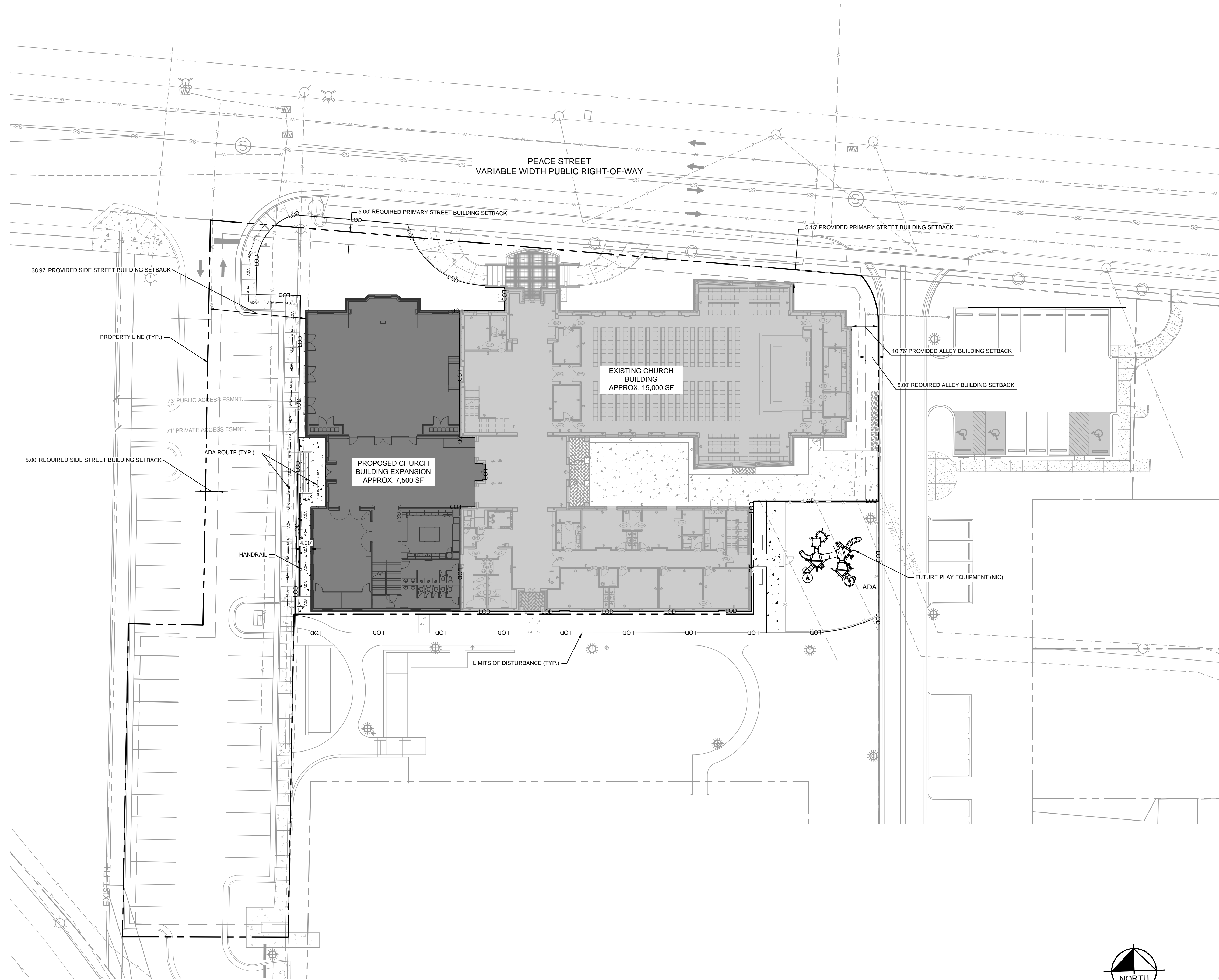
HOLY TRINITY - PHASE 2
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HOLY TRINITY ANGLICAN CHURCH
 OF RALEIGH, INC.

SHEET NUMBER
C2.0

RALEIGH

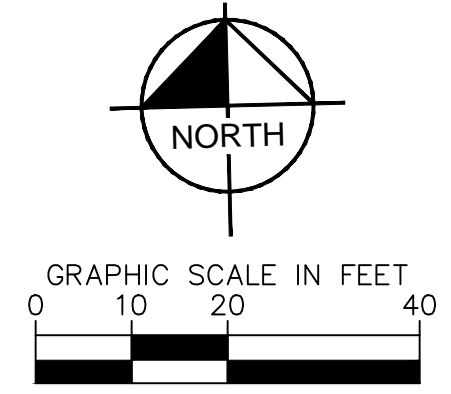
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK

SITE DATA	
PROJECT INFORMATION	
PROJECT NAME:	HOLY TRINITY - PHASE 2
COUNTY:	WAKE COUNTY
JURISDICTION:	CITY OF RALEIGH
PIN #:	1704715738
SITE SIZE & COVERAGES	
SITE ACREAGE:	1.05 AC / 45,825 SF
EXISTING BUILDING GFA:	24,274 SF
PROPOSED BUILDING GFA:	14,463 SF
TOTAL BUILDING GFA:	38,737 SF
LIMITS OF DISTURBANCE:	0.34 AC
REQUIRED AMENITY SPACE:	10% OF SITE AREA = .105 AC / 4,583 SF
PROVIDED AMENITY SPACE:	REFER TO APPROVED INFRASTRUCTURE PLANS FOR BLOUNT STREET COMMONS - BLOCK 2 (MP-1-06)
REQUIRED TREE CONSERVATION AREA:	MIN. 10% OF SITE AREA = .105 AC / 4,583 SF
PROVIDED TREE CONSERVATION AREA:	REFER TO APPROVED INFRASTRUCTURE PLANS FOR BLOUNT STREET COMMONS - BLOCK 2 (MP-1-06)
ZONING	
EXISTING ZONING:	PLANNED DEVELOPMENT (PD) - BLOUNT STREET COMMONS
PROPOSED ZONING:	PLANNED DEVELOPMENT (PD) - BLOUNT STREET COMMONS
EXISTING USE:	CIVIC BUILDING (CHURCH)
PROPOSED USE:	CIVIC BUILDING (CHURCH)
OFF-STREET PARKING	
PARKING MAXIMUM (PD)	N/A
REQUIRED HANDICAP PARKING	2 SPACES
TOTAL PROVIDED PARKING (EXISTING)	37 SPACES
REQUIRED BICYCLE PARKING	N/A
PROVIDED BICYCLE PARKING	N/A
SETBACK REQUIREMENTS (PD)	
BUILDING/STRUCTURE SETBACKS	
REQUIRED FROM PRIMARY STREET (MIN)	5'
PROVIDED FROM PRIMARY STREET	5.15'
REQUIRED FROM SIDE STREET (MIN)	5'
PROVIDED FROM SIDE STREET	38.78'
REQUIRED FROM SIDE LOT LINE (MIN)	N/A
PROVIDED FROM SIDE LOT LINE	N/A
REQUIRED FROM REAR LOT LINE (MIN)	N/A
PROVIDED FROM REAR LOT LINE	N/A
REQUIRED FROM ALLEY (MIN)	5'
PROVIDED FROM ALLEY	10.76'
PARKING SETBACKS	
REQUIRED FROM PRIMARY STREET (MIN)	N/A
PROVIDED FROM PRIMARY STREET	N/A
REQUIRED FROM SIDE STREET (MIN)	N/A
PROVIDED FROM SIDE STREET	N/A
REQUIRED FROM SIDE LOT LINE (MIN)	N/A
PROVIDED FROM SIDE LOT LINE	N/A
REQUIRED FROM REAR LOT LINE (MIN)	N/A
PROVIDED FROM REAR LOT LINE	N/A
REQUIRED FROM ALLEY (MIN)	N/A
PROVIDED FROM ALLEY	N/A



NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			

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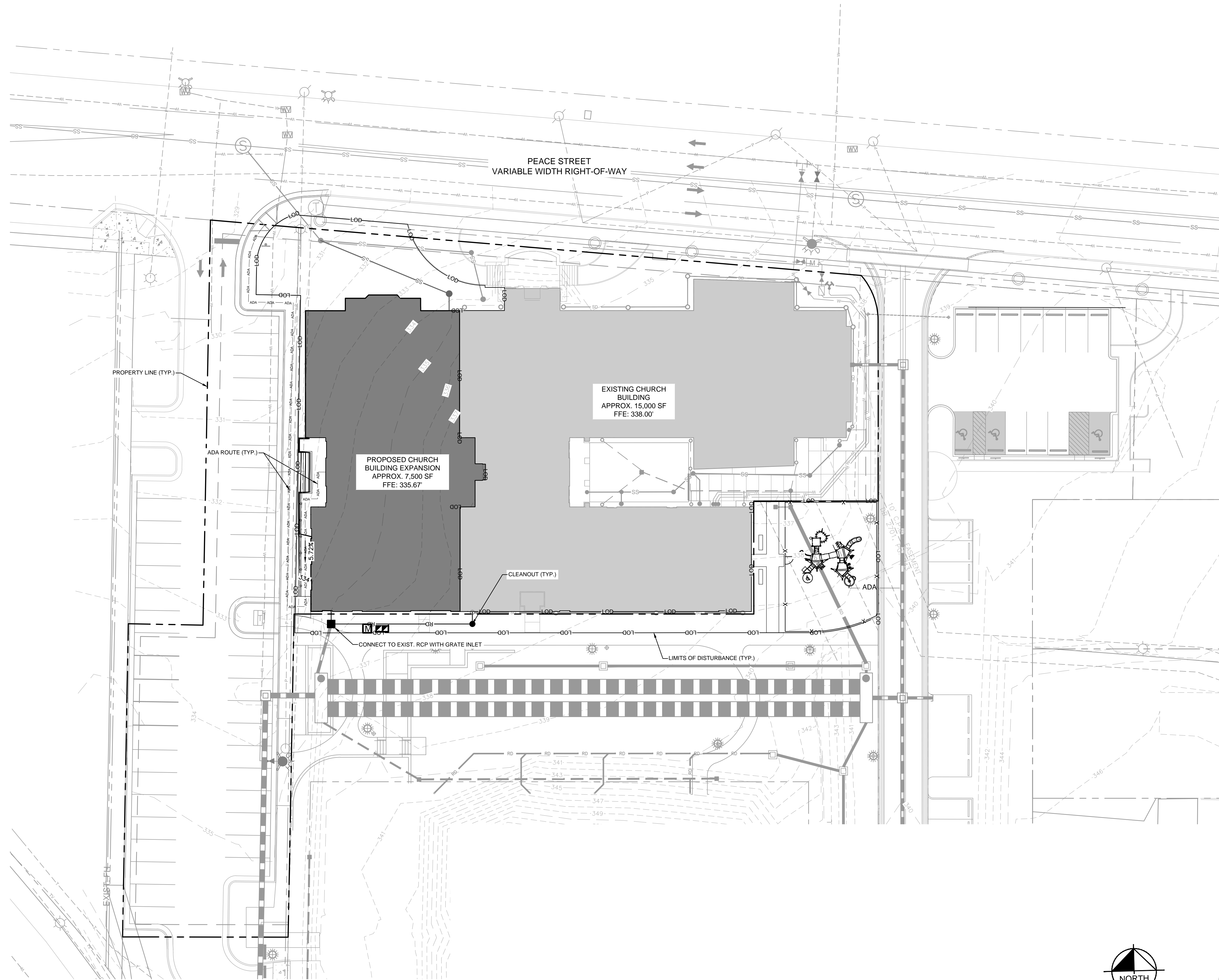
KHA PROJECT	DATE	SCALE	DESIGNED BY	SET	CHECKED BY
011120004	12/22/2023	AS SHOWN	CDL	SET	RLB

HOLY TRINITY - PHASE 2
 PREPARED FOR
HOLY TRINITY ANGLICAN CHURCH
 OF RALEIGH, INC.
 RALEIGH NC

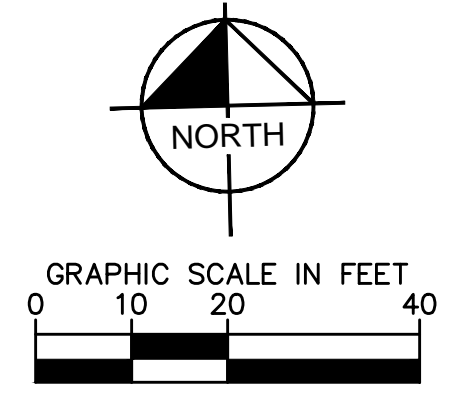
SITE PLAN

SHEET NUMBER
C3.0

Plotted By: Linton, Connor. Sheet Set: HOLY TRINITY - PHASE 2. Layout: C4.0 GRADING AND DRAINAGE PLAN. December 22, 2023 04:55:29pm. K:\RAL_LDEV\01120004_Holy Trinity Anglican Church-Phase 2\Planning Phase\19_CAD Files\02_PlanSheets\C4.0 GRADING AND DRAINAGE PLAN.dwg
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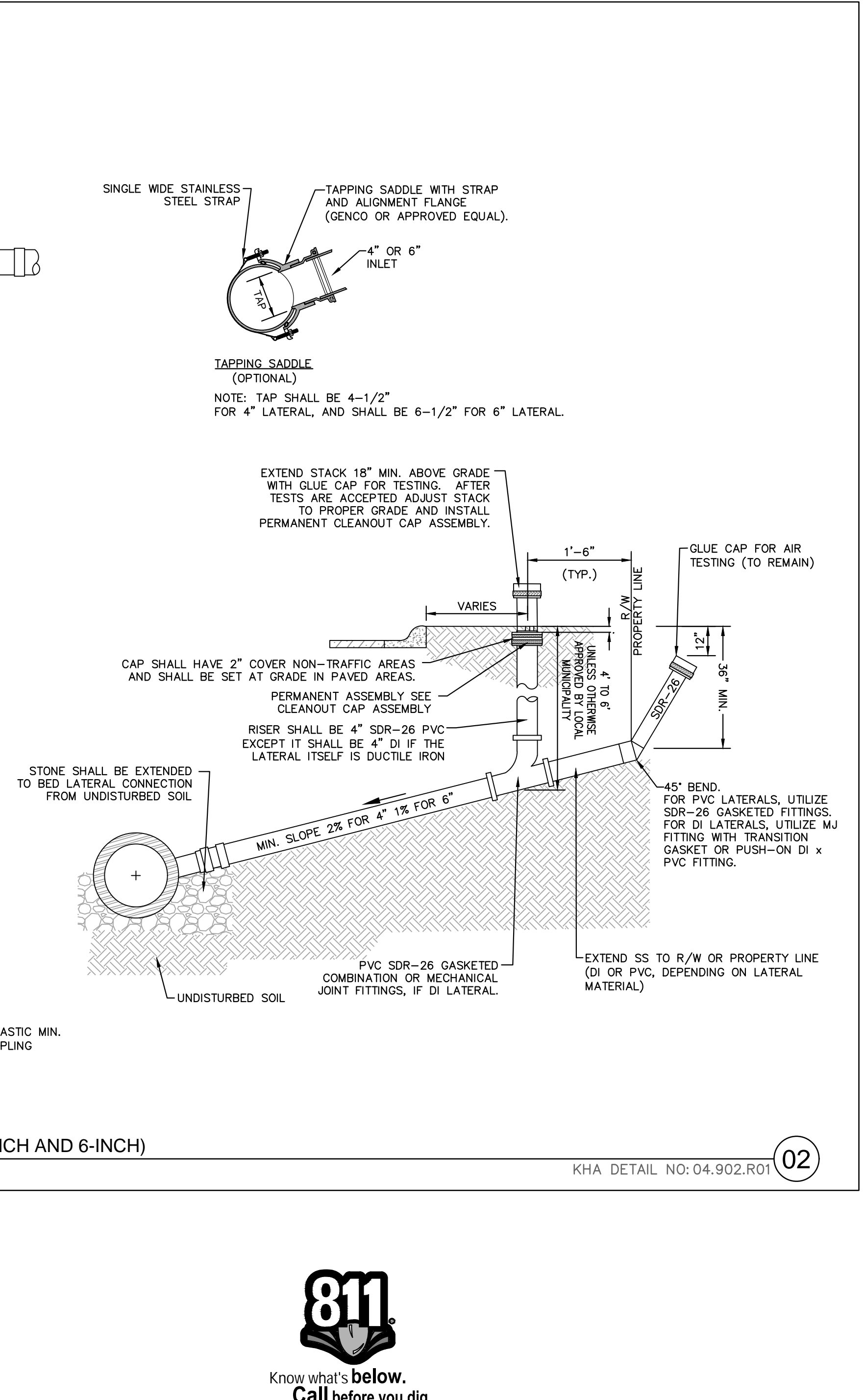
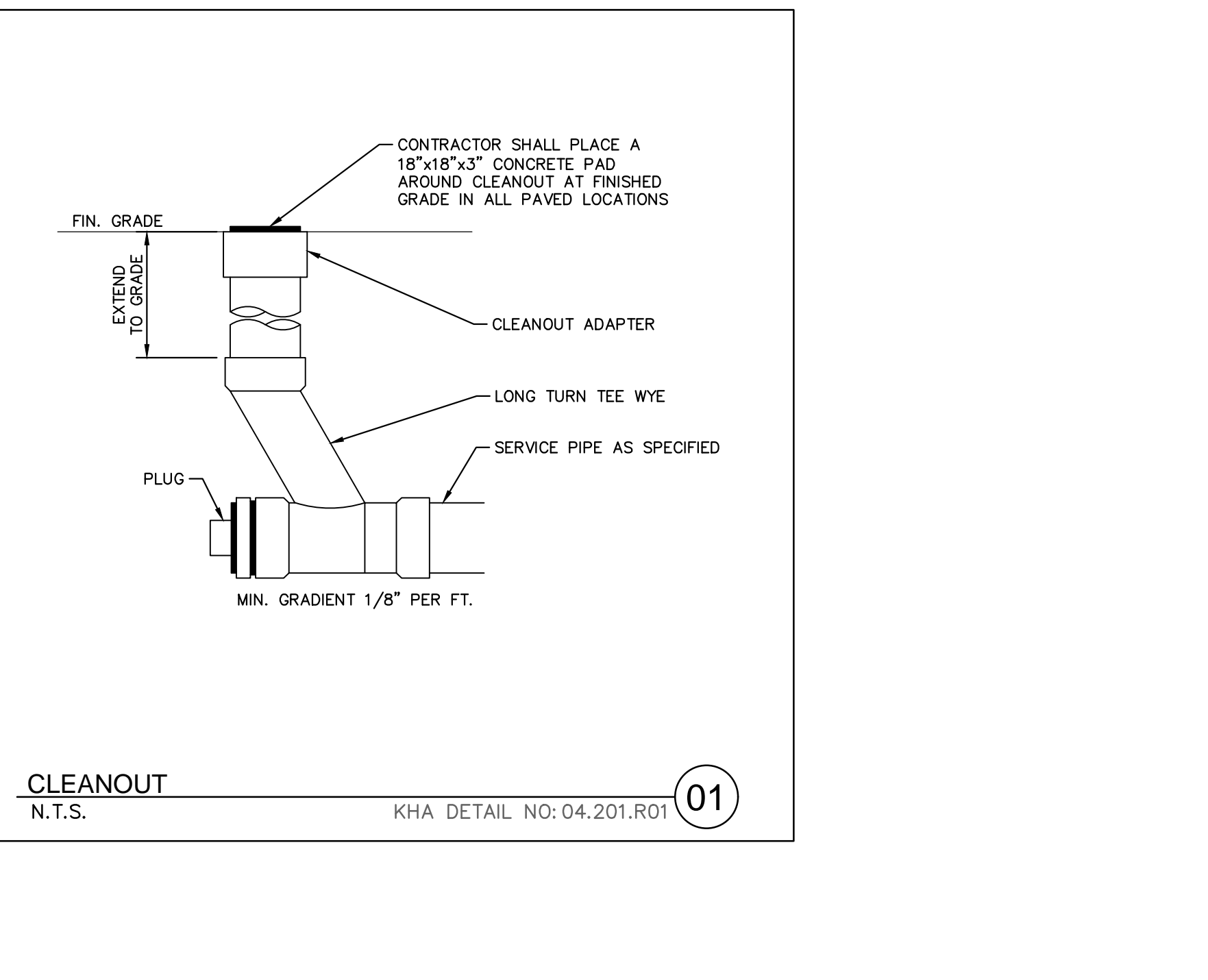
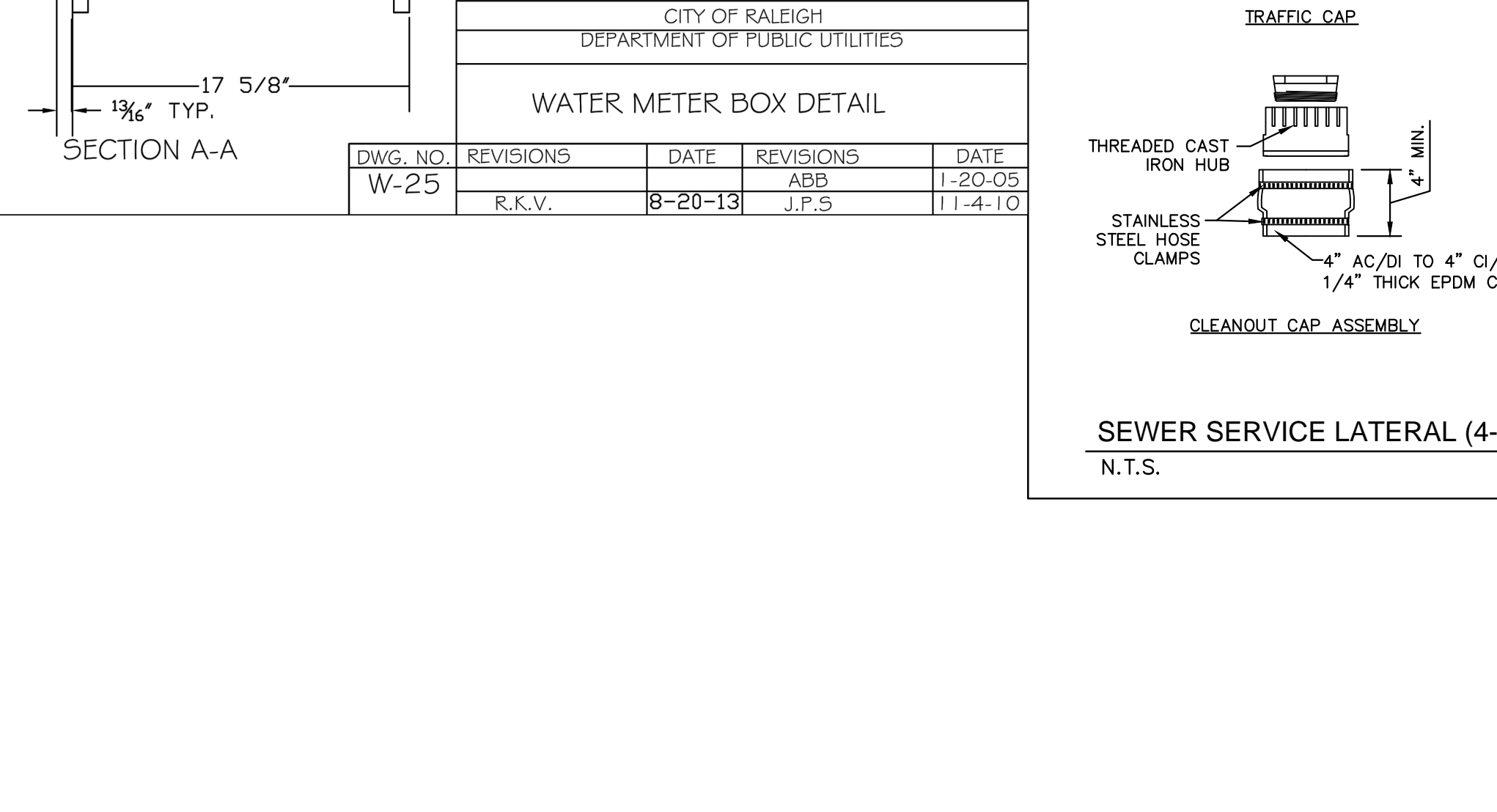
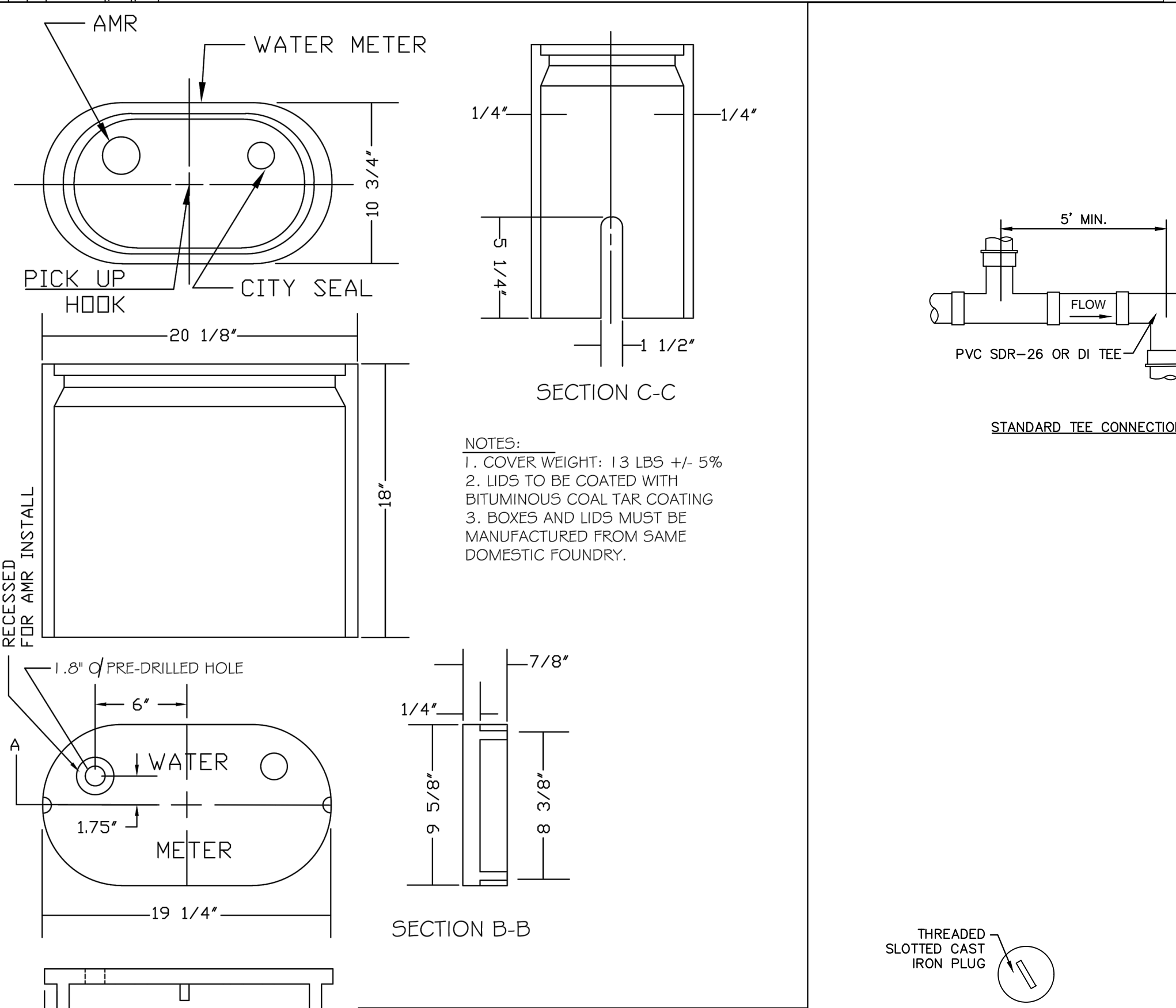
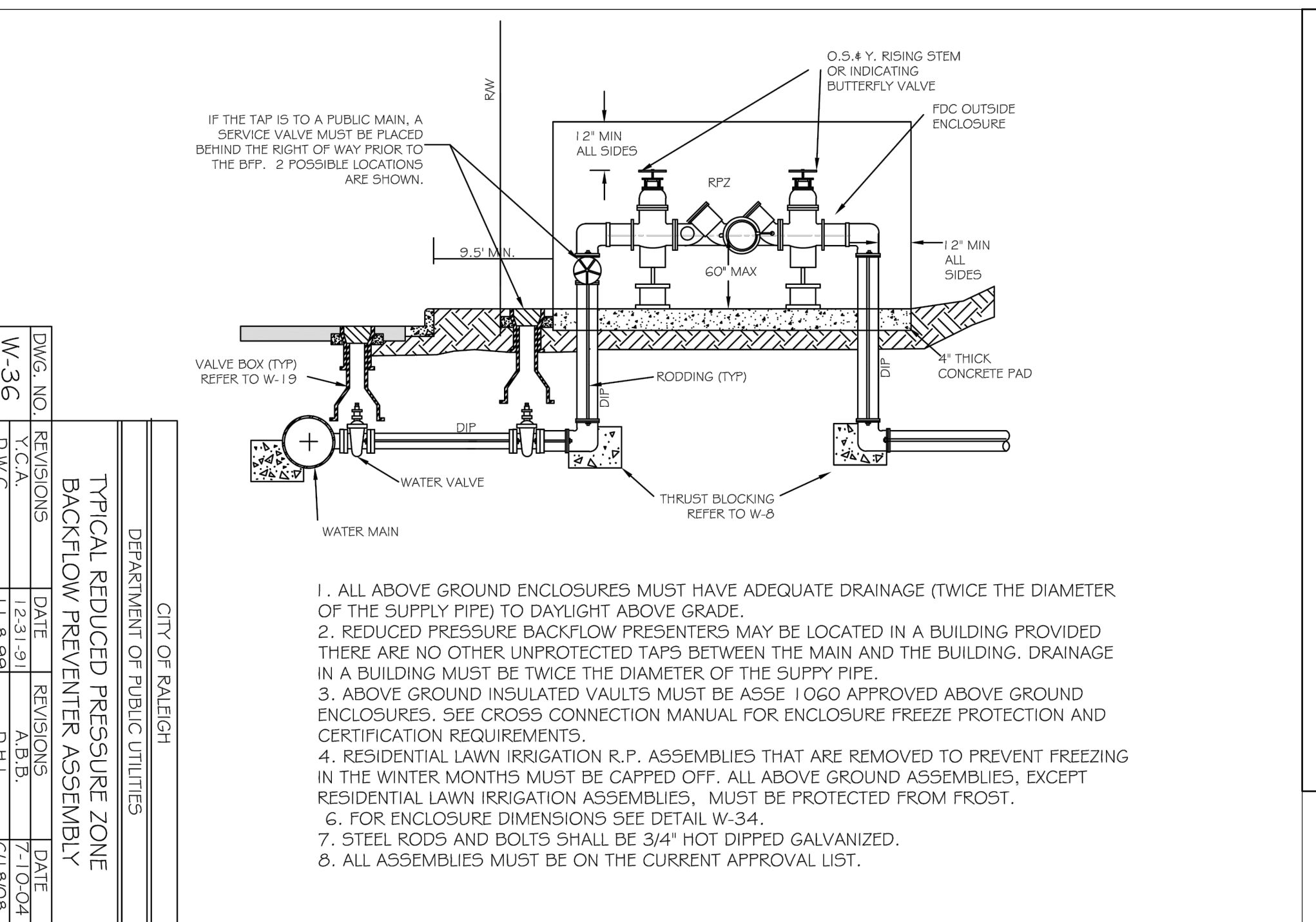
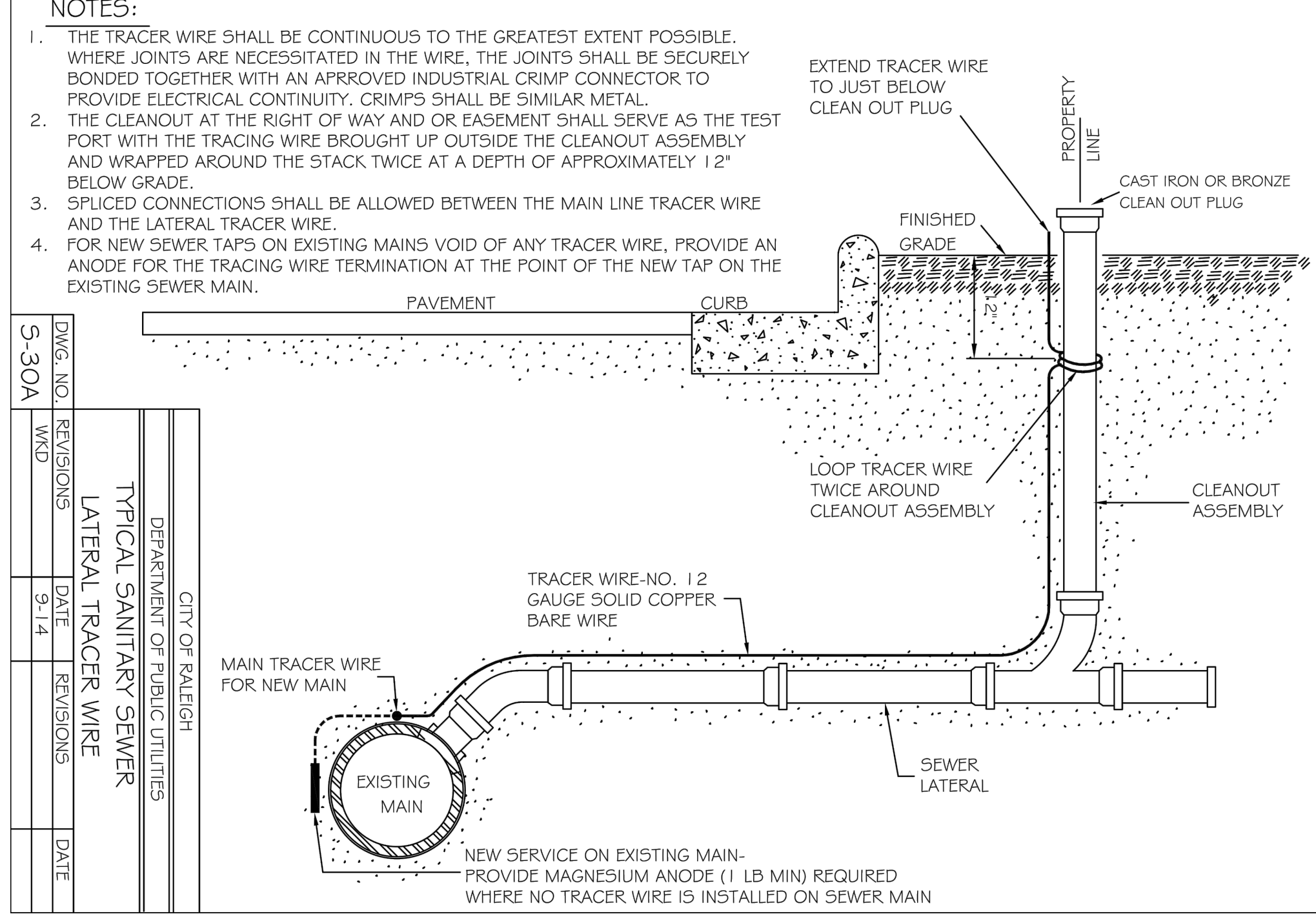
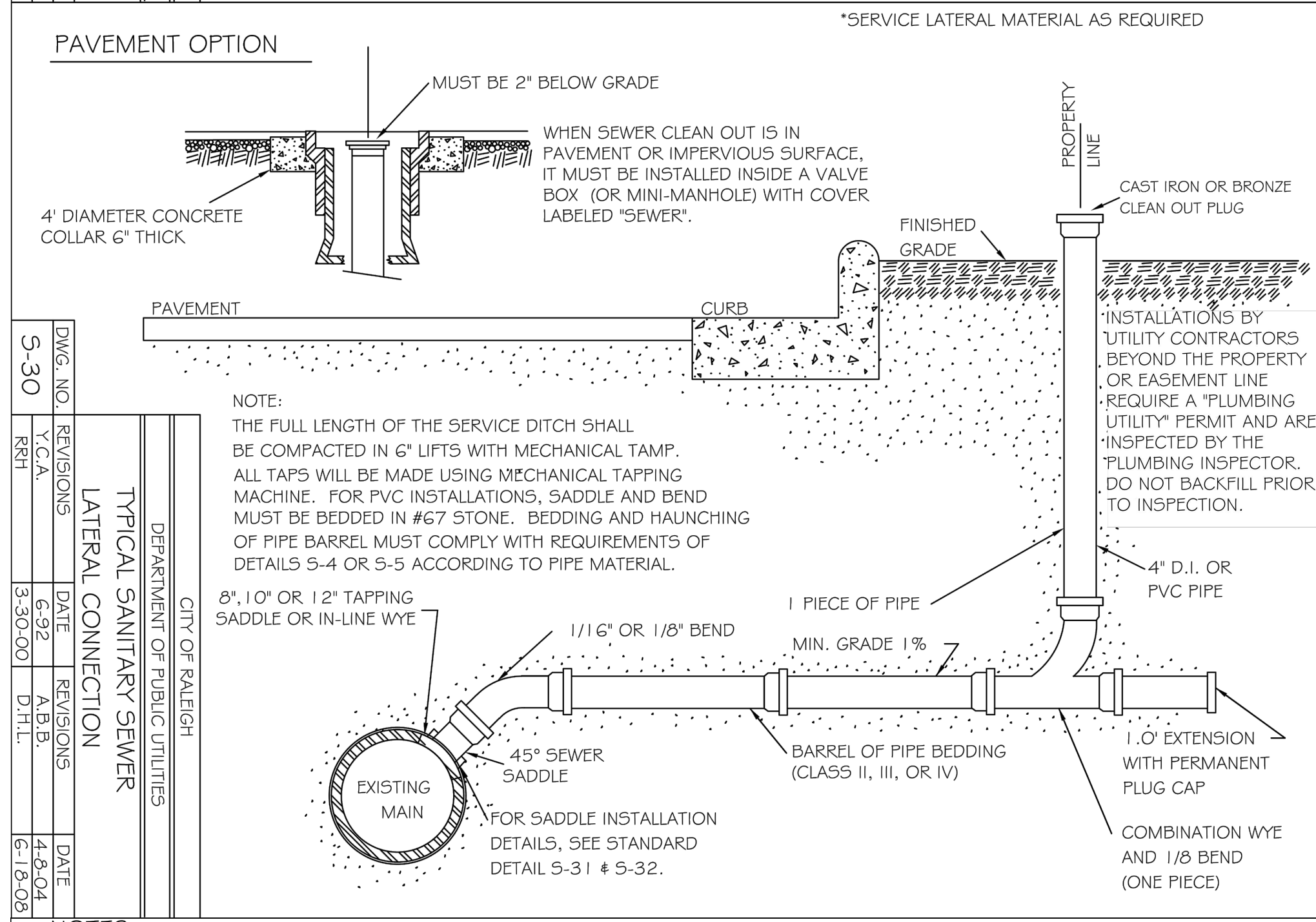
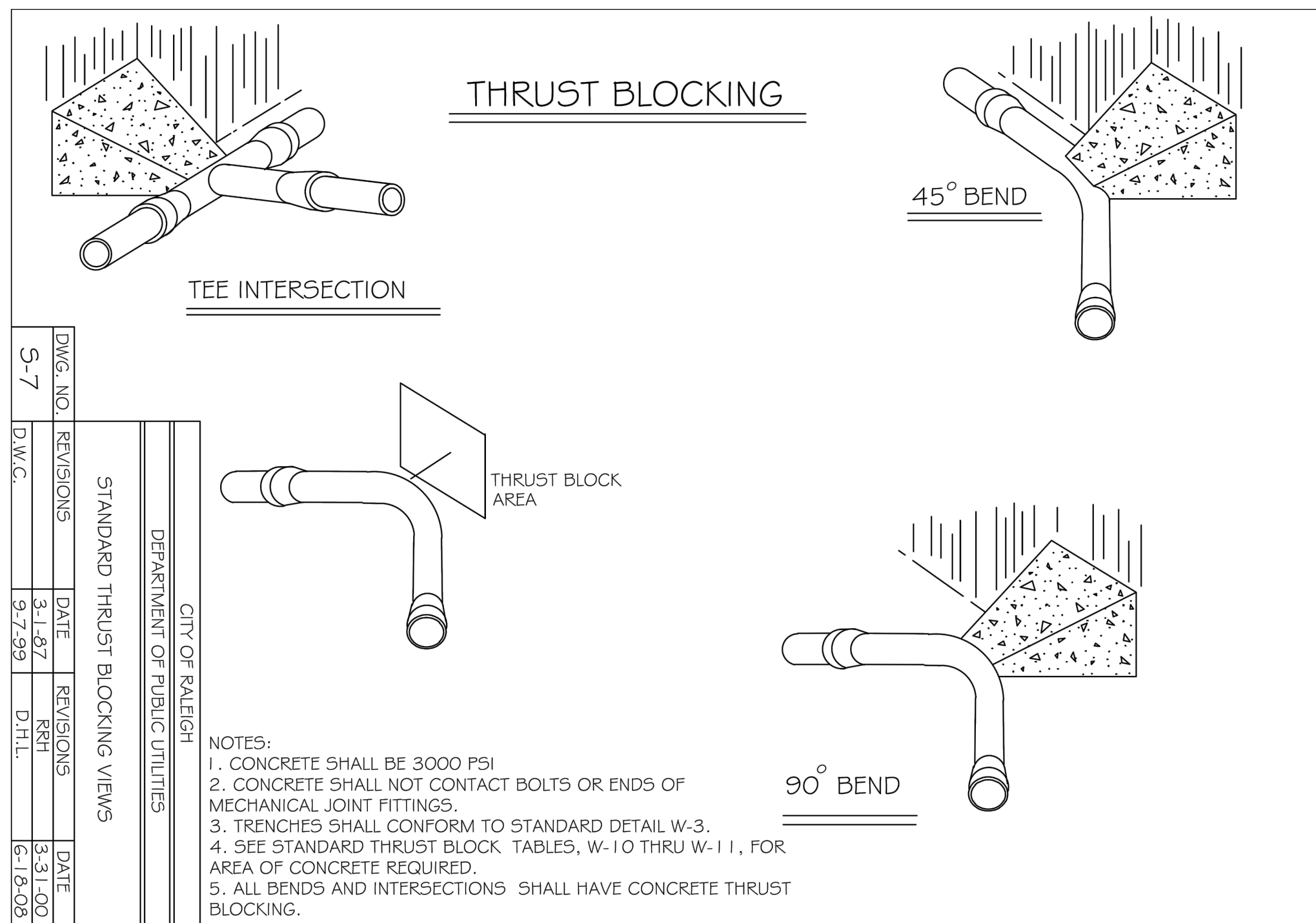


GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	GRATE INLET (GI)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)



KHA PROJECT 011120004 DATE 12/22/2023 SCALE AS SHOWN DESIGNED BY CDL DRAWN BY SET CHECKED BY RLB	 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050 421 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601	PRELIMINARY NOT FOR CONSTRUCTION	CITY OF RALEIGH - ASR SUBMITTAL	REVISIONS	DATE
			No.	No.	No.
HOLY TRINITY - PHASE 2 PREPARED FOR HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.			RALEIGH NC		
SHEET NUMBER C4.0			AF 12/22/2023		

Plotted By: linton, Connor. Sheet: Set: HOLY TRINITY - PHASE 2. Layout: C7.0 UTILITY DETAILS - December 22, 2023. 04:58:20pm. K:\RAL\LEVA\1120004-Holy Trinity Anglican Church-PH2-Planning_Phase\PH2-CAD_Files\02-Plan\Sheet\K7.0 UTILITY DETAILS.dwg
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DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-7				
D.W.C.		9-7-99	D.H.L.	6-18-08

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36				
D.W.C.		11-8-99	D.H.L.	6/18/08

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30				
R.R.T.		3-30-00	D.H.L.	4-18-05

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30A				
W.V.D.		9-14	REVISIONS	

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25				
R.K.V.		8-20-13	J.P.S.	11-4-10

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25				
R.K.V.		8-20-13	J.P.S.	11-4-10

DATE: 12/22/2023

BY: AF

REVISIONS: CITY OF RALEIGH - ASR SUBMITTAL

No. 1

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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY

NOT FOR CONSTRUCTION

KHA PROJECT: 011120004

DATE: 12/22/2023

SCALE: AS SHOWN

DESIGNED BY: CDL

DRAWN BY: SET

CHECKED BY: RLB

UTILITY DETAILS

HOLY TRINITY - PHASE 2

PREPARED FOR

HOLY TRINITY ANGLICAN CHURCH

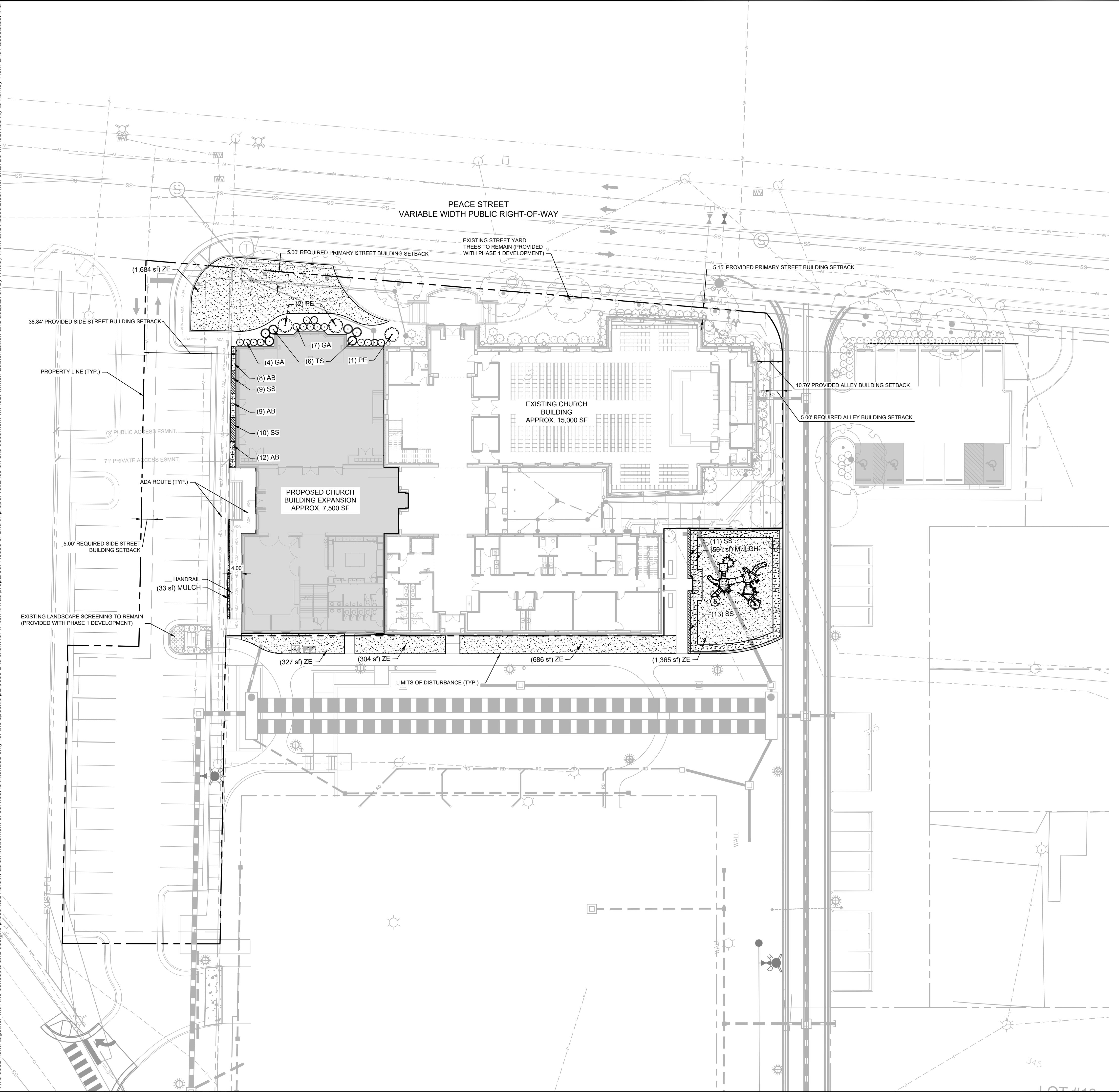
OF RALEIGH, INC.

RALEIGH, NC

SHEET NUMBER: C7.0

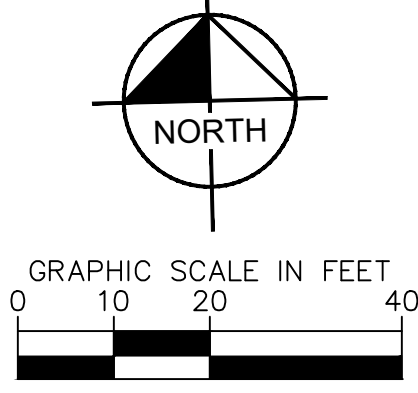


Plotted By: Fritz, Ashley. Sheet Set: HOLY TRINITY - PHASE 2. Layout: L1.0 LANDSCAPE PLAN. December 22, 2023. 03:49:27pm. \\kimley-horn.com\d\all\RAL_DEV\01120004_holy trinity anglican church\p2\planning phase\p10_cad files\02_plansheets\L1.0 LANDSCAPE PLAN.dwg
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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
SHRUBS						
○	GA	15	GARDENIA JASMINOIDES 'AUGUST BEAUTY'	AUGUST BEAUTY GARDENIA	3 GAL	24" HT.
○	PE	3	PRUNUS CAROLINIANA 'EMERALD KING'	EMERALD KING CHERRY LAUREL	7 GAL	36" HT.
○	TS	6	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6 B&B	6' HT.
GROUND COVERS						
■	AB	29	ANDROPOGON GERARDII 'BLACKHAWKS'	BLACKHAWKS BIG BLUESTEM	1 GAL	18" o.c.
■	MULCH	33 SF	3 SHREDDED BARK MULCH			
■	SS	19	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL	18" o.c.
■	ZE	5,040 SF	ZOYSIA X 'EMERALD'	EMERALD ZOYSIA	SOD	



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DATE
12/22/2023

SCALE AS SHOWN

DESIGNED BY CDL

DRAWN BY SET

CHECKED BY RLE

LANDSCAPE PLAN

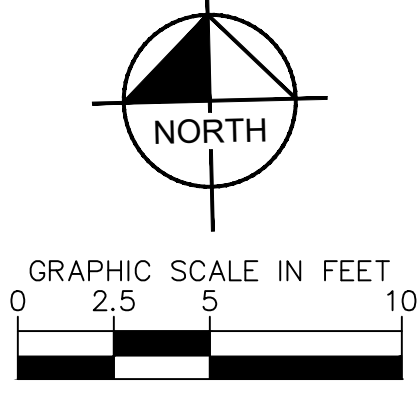
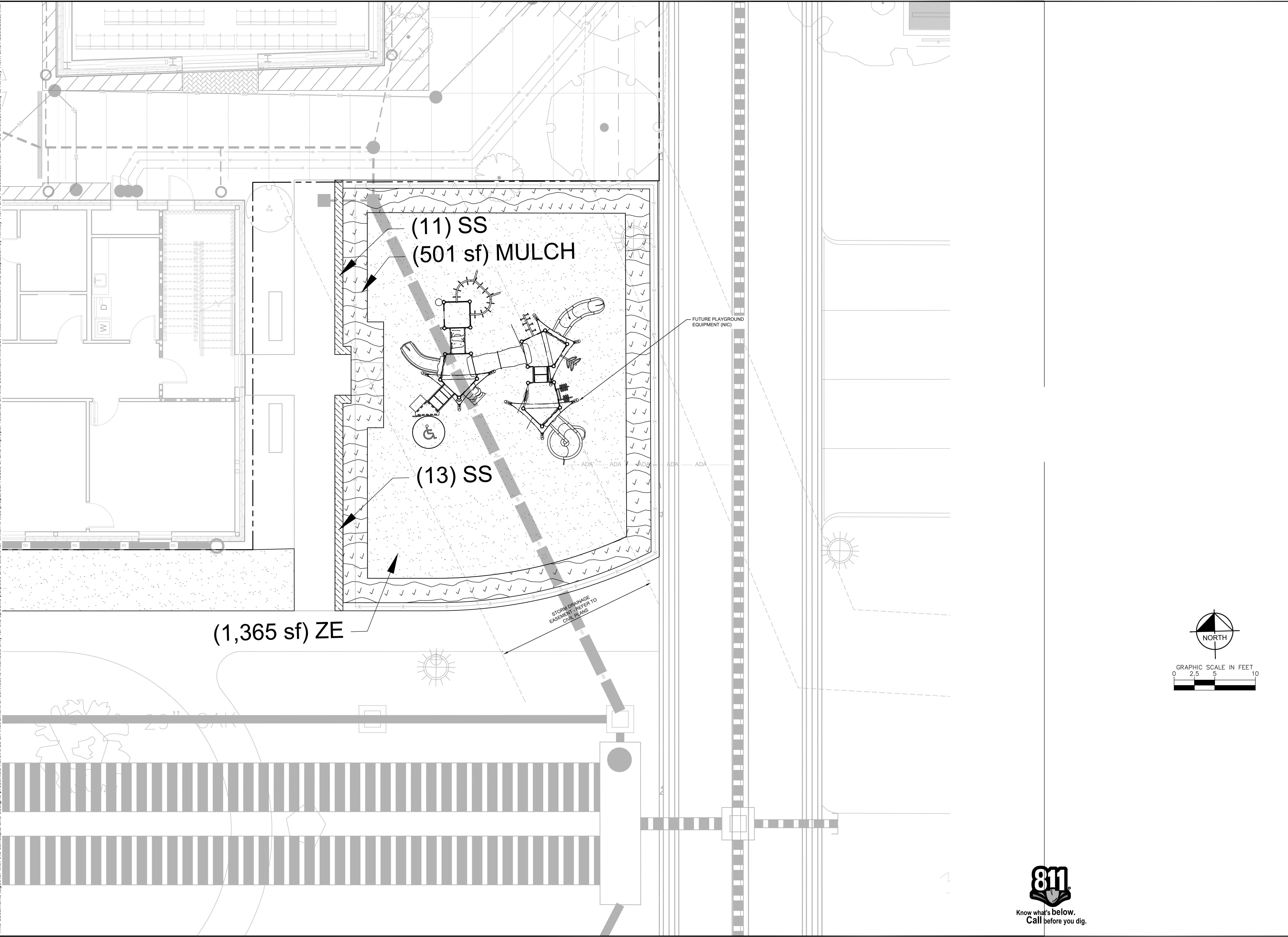
HOLY TRINITY - PHASE 2
 PREPARED FOR
 HOLY TRINITY ANGLICAN CHURCH
 OF RALEIGH, INC.

NC

RALEIGH

SHEET NUMBER
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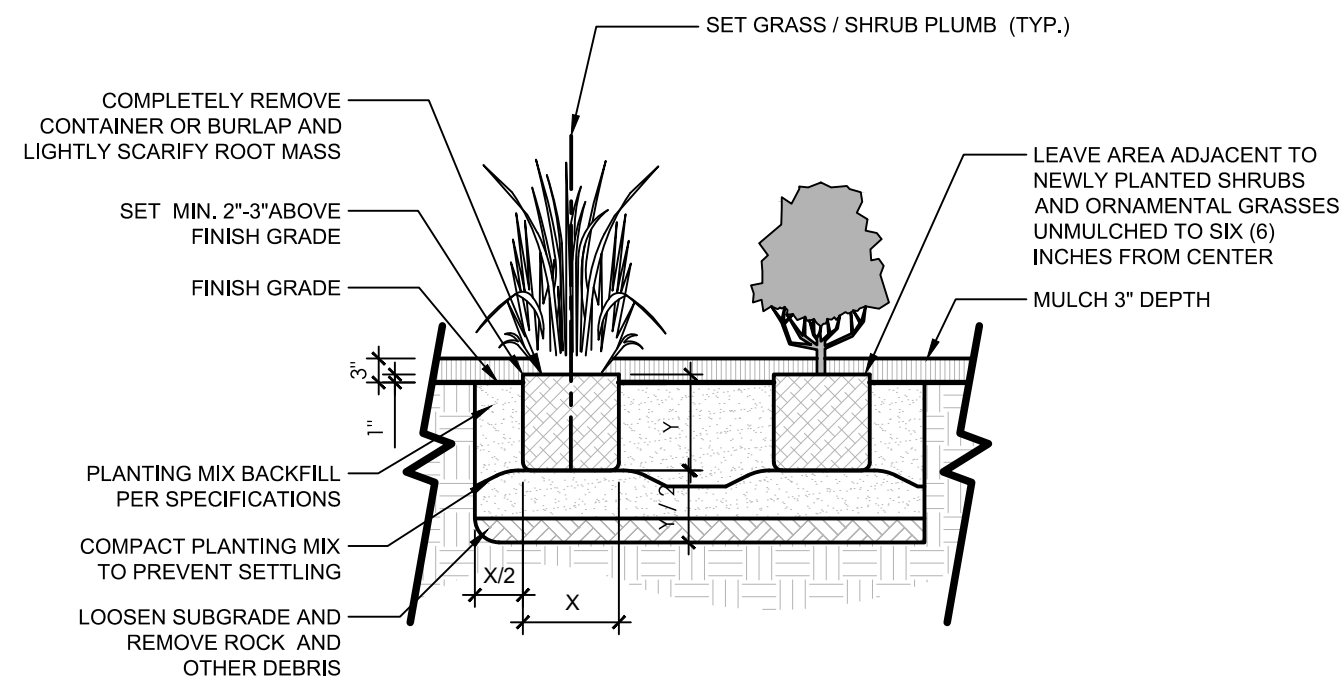
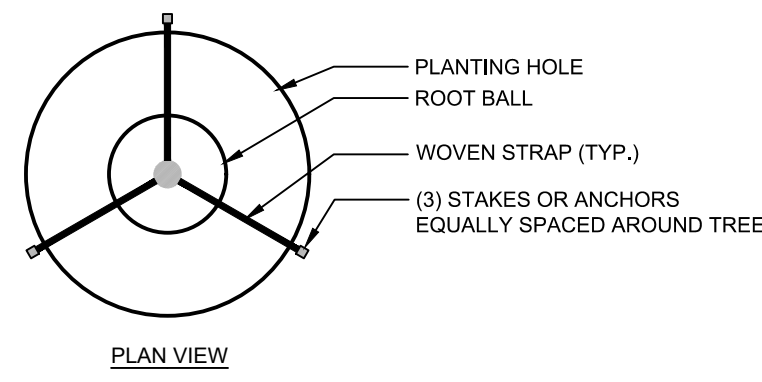
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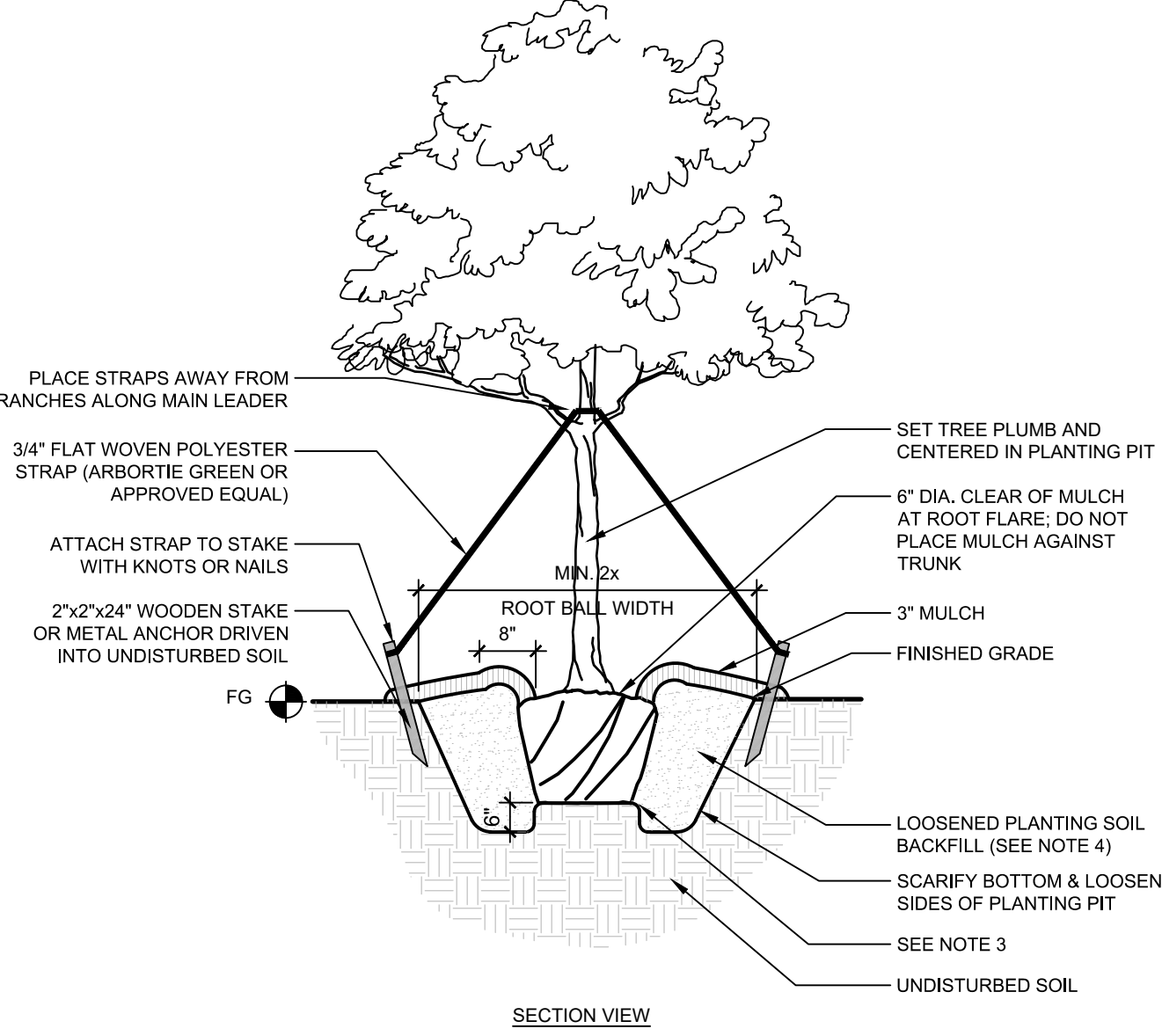
HOLY TRINITY - PHASE 2 PREPARED FOR HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.		RALEIGH NC
PLAN ENLARGEMENT - PLAY AREA		
KHA PROJECT 011120004	DATE 12/22/2023	SCALE AS SHOWN
DESIGNED BY CDL	SET FILE	CHECKED BY FILE
Kimley»Horn <small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601</small>		CITY OF RALEIGH - ASR SUBMITTAL
No.	REVISIONS	DATE
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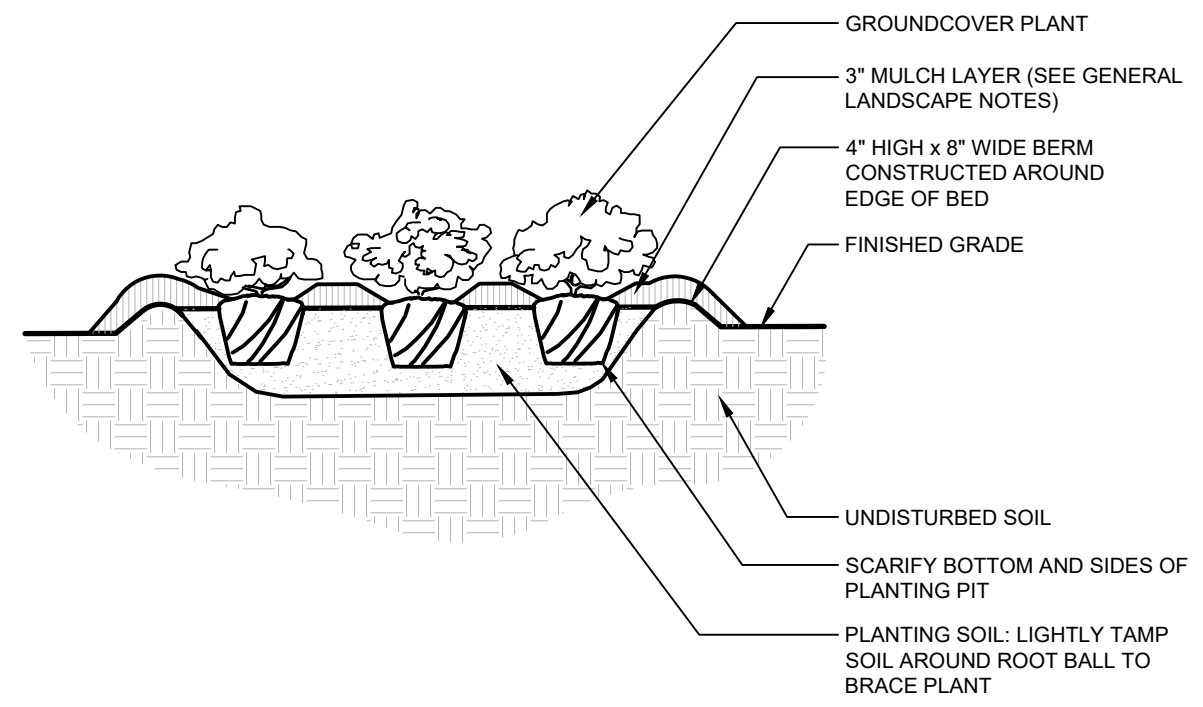
- SHRUB AND ORNAMENTAL GRASS PLANTING NOTES:**
1. ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 2. ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
 3. MULCH TYPE FOR PROJECT: DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
 4. PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.
 5. ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN (A.A.N.).
 6. SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENCY.
 7. SEE PLAN FOR SPACING.

2 SHRUB AND ORNAMENTAL GRASS PLANTING
 1/2" = 1'-0" SECTION



- TREE PLANTING NOTES:**
1. FOR CONTAINER PLANTS, REMOVE CONTAINER & SCARIFY ROOT MASS PRIOR TO PLANTING.
 2. FOR B&B PLANTS, COMPLETELY REMOVE TOP HALF OF WIRE BASKET AND BURLAP MATERIAL. REMOVE ALL TWINE, ROPE AND WIRE FROM ROOT BALL.
 3. SET ROOT BALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 2.3" ABOVE FINISHED GRADE. TAMP SOIL FIRMLY AROUND BOTTOM OF ROOT BALL TO SET TREE PLUMB. DIG & TURN PLANTING SOIL TO REDUCE COMPACTION. LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE THE TREE. DO NOT OVER-COMPACT. MIX COMPOST INTO EACH LIFT OF BACKFILL AS RECOMMENDED IN SOIL REPORT. POUR WATER AROUND ROOT BALL TO SETTLE SOIL, AND BACKFILL AS REQUIRED TO MEET REQUIRED FINISHED GRADE.
 5. A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE.
 6. PRUNE TREES ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHES.

1 STANDARD TREE PLANTING
 1/2" = 1'-0" SECTION



- GROUNDCOVER NOTES:**
1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY SPACED VERTICAL CUTS

3 GROUNDCOVER PLANTING
 1/2" = 1'-0" SECTION

- GENERAL LANDSCAPE NOTES:**
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 6. ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
 7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE THREE(3) INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
 8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
 9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
 10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
 11. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
 12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
 13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURRENT CITY OF RALEIGH STANDARD TO A DEPTH OF THREE (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
 16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
 17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
 20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (LDO). FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
 22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
 23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.
- SOIL AMENDMENT NOTES:**
1. SOIL INSTRUCTIONS FOR ALL NEW PLANTING AREAS (INCLUDING SEED AREAS) AT PREVIOUSLY PAVED LOCATIONS: REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS FOR ALL AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES. THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 12" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. FOR ALL AREAS TO RECEIVE SOD AND / OR SEED: THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 3" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS.
 2. SOIL INSTRUCTIONS FOR ALL EXISTING PLANTING AREAS (NOT PREVIOUSLY PAVED LOCATIONS): THE CONTRACTOR SHALL TAKE A MINIMUM OF FOUR (4) SAMPLES THROUGHOUT THE PROJECT SITE AND SHALL SUBMIT THEM TO BE TESTED TO A CERTIFIED SOIL TESTING AGENCY. THE CONTRACTOR SHALL AMEND ALL EXISTING SOIL WITHIN EXISTING DISTURBED PLANTING AREAS PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM. AREAS TO RECEIVE SOD SHALL BE AMENDED TO A DEPTH OF 3" MINIMUM.
- EXISTING SITE TREE AND SHRUB MAINTENANCE NOTES:**
1. LIMB TREES ON SITE TO A MINIMUM HEIGHT OF 8', MEASURED FROM ADJACENT GRADE OF STREET, PAVING, OR LANDSCAPE AREA.
 2. PRUNE SHRUBS WITHIN VEHICLE SIGHT DISTANCE TRIANGLES TO A MAXIMUM HEIGHT OF 30" FROM GRADE OF ADJACENT STREET PER LDO SECTION 16-8.
 3. CROWN CLEANING AND ELEVATION PRUNING SHALL BE COMPLETED FOR ALL EXISTING CANOPY TREES BY ISC CERTIFIED ARBORIST. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH PROJECT LANDSCAPE ARCHITECT, OWNER, CITY ARBORIST, AND PROJECT ARBORIST PRIOR TO ENGAGING IN ANY PRUNING ACTIVITIES.



KHA PROJECT		011120004		DATE		12/22/2023		SCALE		AS SHOWN		DESIGNED BY		CDL		DRAWN BY		SET		FILE			
HOLY TRINITY - PHASE 2		PREPARED FOR		HOLY TRINITY ANGLICAN CHURCH		OF RALEIGH, INC.		RALEIGH		NC		SHEET NUMBER		L2.0		REVISIONS		CITY OF RALEIGH - ASR SUBMITTAL		12/22/2023		AF	
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THE LINE SHOWN ABOVE IS EXACTLY ONE INCH LONG AT THIS SHEETS ORIGINAL PAPER SIZE

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A1 NORTH ELEVATION
1/8" = 1'-0"

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LS3P

2 WEST WASHINGTON STREET STE 600
GREENVILLE, SOUTH CAROLINA 29601
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**HOLY TRINITY
ANGLICAN CHURCH -
PHASE 2**

100 EAST PEACE STREET
RALEIGH, NC 27604
LS3P PROJECT: 3800-218380

Δ	DATE	DESCRIPTION
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Δ	DATE	DESCRIPTION

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ORIG SUBMISSION: 2023.12.15

SHEET:
A-203

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**HOLY TRINITY
ANGLICAN CHURCH -
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100 EAST PEACE STREET
RALEIGH, NC 27604
LS3P PROJECT: 3800-218380

Δ	DATE	DESCRIPTION
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**EXTERIOR
ELEVATIONS**

ORIG SUBMISSION: 2023.12.15

SHEET:
A-204

SCHEMATIC DESIGN

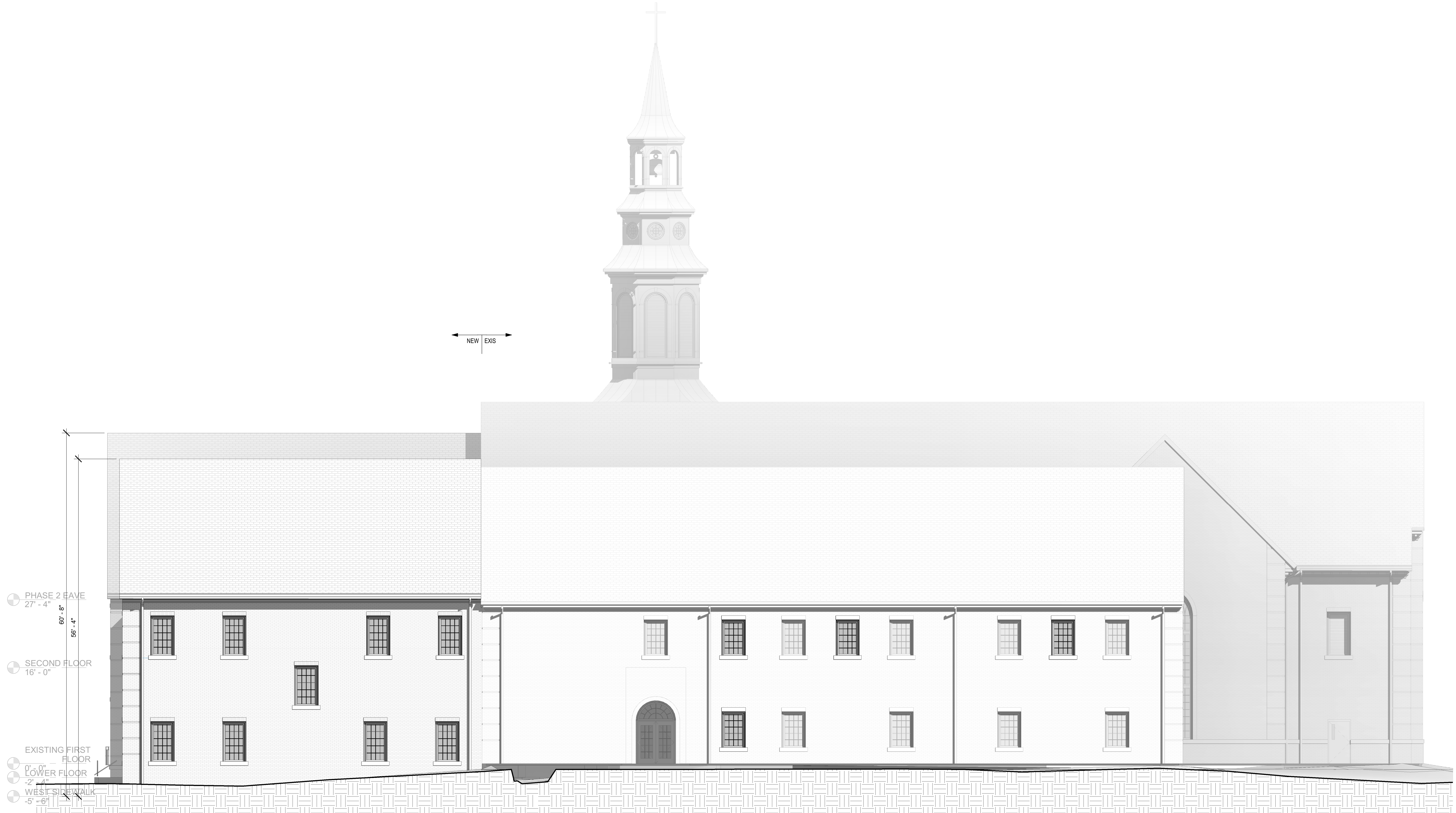
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(A1) SOUTH ELEVATION
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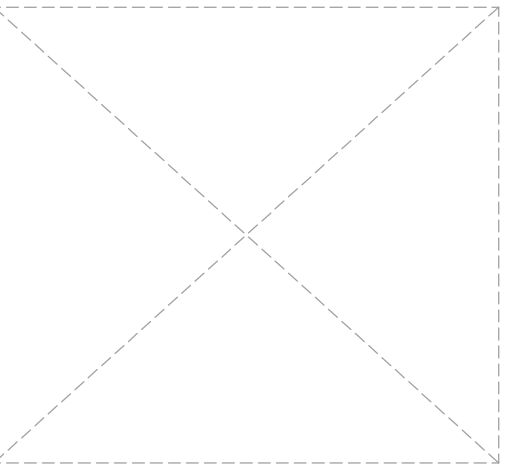
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100 EAST PEACE STREET
RALEIGH, NC 27604
LS3P PROJECT: 3800-218380

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ORIG SUBMISSION: 2023.12.15

SHEET:
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