Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):						
	cation request can be su		lan tier. If assistance determining a Site Plan Tie ne via the <u>Permit and Development Portal</u> . (Note:			
Site Plan Tier: Tie	er Two Site Plan	Tier Thre	ee Site Plan			
	g and Development Ty heck all that apply)	pe	Site Transaction History			
Detached	General		Subdivision case #:			
Attached	Mixed use		Scoping/sketch plan case #:			
Townhouse	Civic		Certificate of Appropriateness #:			
Apartment	Cottage Cou	ırt	Board of Adjustment #: Zoning Case #:			
Tiny house	Frequent Tr	ansit	Design Alternate #:			
Open lot	Developmer	t Option				
		GENERAL I	INFORMATION			
Development name:						
Inside City limits?	Yes No					
Property address(es	s):					
Site P.I.N.(s):						
Please describe the	scope of work. Include a	iny additions,	expansions, and uses (UDO 6.1.4).			
Current Property C	Owner(s):					
Company:			Title:			
Address:						
Phone #:		Email:				
Applicant Name (If	different from owner.	See "who car	n apply" in instructions):			
Relationship to own	er: Lessee or contract	purchaser	Owner's authorized agent Easement holde	:r		
Company: Kimley-H	lorn and Associates, Inc.	Address:				

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Email:						
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.						
	Title:					
Email:						
Address:						
Email:						
	t or contract, Email: Address:					

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)					
SITE DATA	BUILDING DATA				
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):				
Gross site acreage:	Existing gross floor area to be demolished:				
# of parking spaces proposed:	New gross floor area:				
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):				
Overlay District (if applicable):	Proposed # of buildings:				
Existing use (UDO 6.1.4):	Proposed # of stories for each:				
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)				

STORMWATER INFORMATION					
Imperious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):				
Existing (sf) Proposed total (sf)	Existing (sf) Proposed total (sf)				

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS						
Total # of dwelling units:			Total # of hotel bedrooms:			
# of bedroom units: 1br	2br	3br	4br or more			
# of lots:			Is your project a cottage court?	Yes	No	
			A frequent transit development?	Yes	No	

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

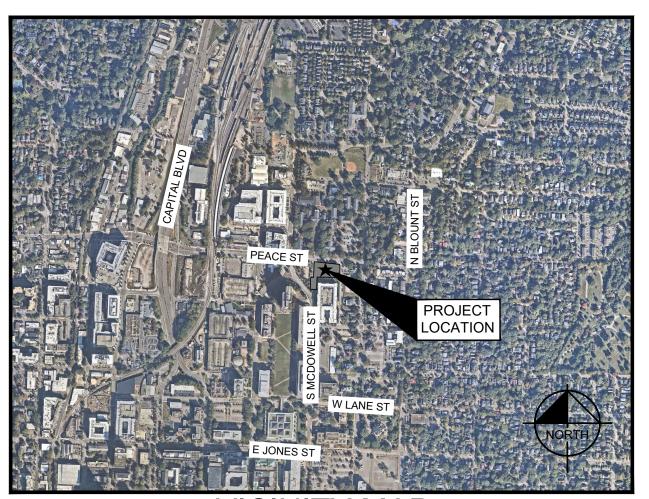
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

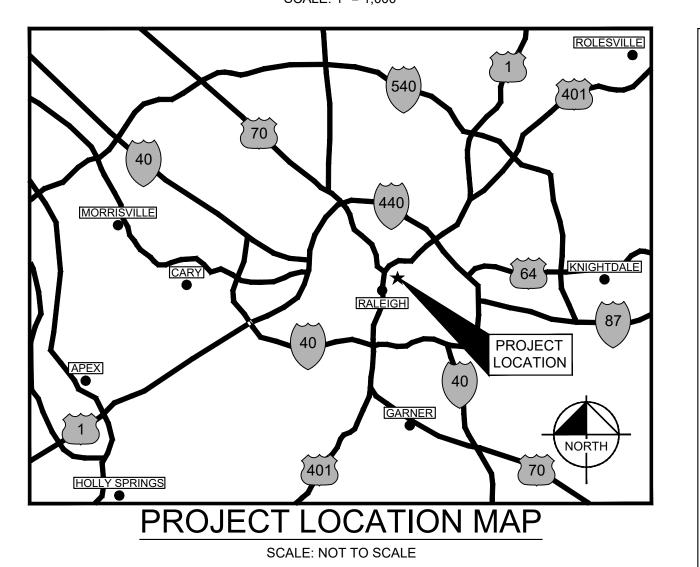
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	thefr	of	Date:
Printed Name:			

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VICINITY MAP



HOLY TRINITY ANGLICAN CHURCH - PHASE 2 PIN: 01704715738

100 EAST PEACE STREET

RALEIGH, NC 27604

A DEVELOPMENT BY:

HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.

REFERENCE DOCUMENTS:

- 1) APPROVED PHASE 1 CONSTRUCTION DOCUMENTS #389886
- 2) APPROVED BLOUNT STREET COMMONS PLANNED DEVELOPMENT #MP-1-06

			ed in Unified Development Ordinude the plan checklist documen	
Office Use Only: Case #	:		Planner (print):	
	n request can be su		in tier. If assistance determining via the Permit and Developme	
Site Plan Tier: Tier Tw	o Site Plan	Tier Three	Site Plan	
Building and	d Development Typ	pe	Site Transac	tion History
(Check	all that apply)			
Detached	✓ General		Subdivision case #:	
Attached	Mixed use		Scoping/sketch plan case #: _	
Townhouse	L Civic		Certificate of Appropriateness Board of Adjustment #:	
Apartment	Cottage Cou	rt	Zoning Case #:	
Tiny house	Frequent Tra		Design Alternate #:	
Open lot	Developmen	t Option		
		GENERAL IN	IFORMATION	
Development name: Holy		2		
	es 🖊 No 🔙			
Property address(es): 10	0 E Peace St, Ra	ileigh, NC 27	7604	
Site P.I.N.(s): 17047157	38			
Please describe the scope	e of work. Include a	ny additions, ε	expansions, and uses (UDO 6.1	.4).
Building expansion wi	th minor site mod	lifications		
building expansion wi	ur minor site mod	modions.		
Current Property Owner	(s): Holy Trinity C	Church of Ra	leigh, Inc.	
Company: Holy Trinity (Title:	
Address: 549 North Blo	unt Street, Ralei	gh, NC 2760	4	
Phone #: 919-833-4202	2 ext.101	Email: athor	npson@htcraleigh.org	
Applicant Name (If diffe	rent from owner. S	ee "who can	apply" in instructions):	
Relationship to owner:	Lessee or contract	purchaser 🔽	Owner's authorized agent	Easement holder

Phone #: 919-653-2976	Email: rich	ard.brown@kimley-horn.com		
NOTE: please attach purchase agreemen	t or contrac	t, lease or easement when submitting this form.		
Developer Contact: Lee Perry				
Company: East West Partners		Title: Senior Managing Partner		
Address: 1450 Environ Way, Chapel Hi	II, NC 2751	17		
Phone #: 919-929-0660	Email: LP	erry@ewpnc.com		
Applicant Name: Richard Brown				
Company: Kimley-Horn and Associates,	Address: 4	21 Fayetteville Street, Suite 600, Raleigh, NC 27601		
Phone #: 919-653-2976	Email: rich	nard.brown@kimley-horn.com		
		PE + SITE DATE TABLE all developments)		
SITE DATA	philoaple (0	BUILDING DATA		
Zoning district(s) (please provide the acreage	e of each):	Existing gross floor area (not to be demolished):		
PD	,	24,274 SF		
Gross site acreage: 1.05 AC		Existing gross floor area to be demolished: N/A		
# of parking spaces proposed: N/A		New gross floor area: 14,463 SF		
Max # parking permitted (7.1.2.C): N/A		Total sf gross (to remain and new): 38,737 SF		
Overlay District (if applicable): N/A		Proposed # of buildings: 1		
Existing use (UDO 6.1.4): Civic - Church		Proposed # of stories for each: 2		
Proposed use (UDO 6.1.4): Civic - Church		Proposed # of basement levels (UDO 1.5.7.A.6) 0		
· · · · · · · · · · · · · · · · · · ·		,,		
S	TORMWAT	ER INFORMATION		
Imperious Area on Parcel(s):	TORMIVIA	Impervious Area for Compliance		
. ,	00.007	(includes ROW):		
Existing (sf) 32,501 Proposed total (sf) 39,867		Existing (sf) 32,501 Proposed total (sf) 39,867		
		Existing (si) 62,001 Proposed total (si) 60,001		
RESIDENTIAL 8	& OVERNIG	HT LODGING DEVELOPMENTS		
Total # of dwelling units:		Total # of hotel bedrooms:		
# of bedroom units: 1br 2br	3br			
# of lots:		Is your project a cottage court? Yes No		
		A frequent transit development? Yes No		

Sheet List Table				
Sheet Number	Sheet Title			
C0.0	COVER SHEET			
C0.1	GENERAL NOTES			
C2.0	DEMOLITION PLAN			
C3.0	SITE PLAN			
C3.1	FIRE APPARATUS AND HOSE LAY PLAN			
C4.0	GRADING AND DRAINAGE PLAN			
C5.0	UTILITY PLAN			
C6.0	SITE DETAILS			
C7.0	UTILITY DETAILS			
L1.0	LANDSCAPE PLAN			
L1.1	PLAY AREA EQUIPMENT (NIC)			
L2.0	LANDSCAPE DETAILS			
A203-A205	EXTERIOR ELEVATIONS			

PROJECT OWNERS & CONSULTANTS

OWNER/DEVELOPER
HOLY TRINITY CHURCH OF RALEIGH, INC.
549 NORTH BLOUNT STREET,
RALEIGH, NC 27604
CONTACT: LEE PERRY
PHONE: (919) 833-4204 EXT. 101
EMAIL: LPERRY@EWPNC.COM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600

RALEIGH, NC 27601

CONTACT: CONNOR LINTON
PHONE: (984) 833-4424

EMAIL: CONNOR.LINTON@KIMLEY-HORN.COM

ARCHITECT

EMAIL: NATHANASIRE@LS3P.COM

CONTACT: NATHAN ASIRE PHONE: (864) 272-1229

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
CONTACT: RICHARD BROWN
PHONE: (919) 653-2976
EMAIL: RICHARD.BROWN@KIMLEY-HORN.COM

SURVEYOR
OWNER
ADDRESS
CONTACT:
PHONE:

NOT FOR MAN TO

SCALE AS SHOWN
DESIGNED BY CDL
DRAWN BY SET

OVER SHEET

PREPARED FOR OLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS, AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER
- ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS
- REFER TO SITE DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- 4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- 6. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY NCDOT AND THE CITY OF RALEIGH INSPECTIONS.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- 8. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND
- AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE, INCLUDING ANY DAMAGE CAUSED BY THE CONTRACTOR. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY
- CONSTRUCTION EASEMENTS MAY BE REQUIRED 10. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.
- 11. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH CITY AND/OR NCDOT INSPECTORS.
- 12. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- 13. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- 14. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP DETAILS).
- 15. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 16. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD
- 17. ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE, AND LOCAL ACCESSIBILITY REQUIREMENTS.
- 18. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- 19. CONTRACTOR MUST INSTALL CONSTRUCTION FENCE AROUND THE PERIMETER OF THE PROPERTY UNTIL THE BUILDING IS SECURE WITH TEMPORARY DOORS AND LOCKS.

TRAFFIC CONTROL NOTES:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.

CITY OF RALEIGH PUBLIC UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
- a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
- b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLES DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49). ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF
- RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE
- . IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. CONTRACTOR TO HAVE INSPECTOR ON-SITE TO WITNESS REMOVAL OR ABANDONMENT AT MAIN.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED **EVERY 75 LINEAR FEET MAXIMUM**
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY
- RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. . NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS &
- SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION. 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED
- BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

UTILITY NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 2. CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SCHEDULE 40 4" PVC SCHEDULE 40
- DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- 4. WATER LINES SHALL BE AS FOLLOWS:
 - 3"-10" DUCTILE IRON PIPE PER AWWA C150
 - ¾" TO 2" TYPE K SOFT COPPER
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET
- 6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
- 7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE)
- 8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- 9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES, AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- 10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- 11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.

15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES AT THE BUILDING

- 12. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS
- 13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

DOES NOT REQUIRE TESTING, CONTACT ENGINEER FOR APPROPRIATE UTILITY TESTING CRITERIA.

- 16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF MUNICIPALITY
- 17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF
- 18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- 22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- 23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- 24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDERS FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- 25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER
- 26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE CRADLE SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- 27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.

STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

- 15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
- LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/AMMULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR NCDOT SPECIFICATION, WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294
- ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- 3. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- 4. ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
- 5.1. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
- 5.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- 5.3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE
- 5.4. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
- 5.5. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
- 5.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 7. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- 8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS.
- 10. THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
- 11. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- 12. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.

LOD

PVC

SSCO

13. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES, RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.

I OW POINT

SSMHSANITARY SEWER MANHOLE

SQUARE FEET

ABBREVIATIONS

CURB INLET CLEANOUT COR CITY OF RALEIGH CONTROL STRUCTURE DROP INLET **DUCTILE IRON PIPE** EXISTING GRADE FXISTING FIRE DEPARTMENT CONNECTION FDC FES FLARED END SECTION FINISHED FLOOR ELEVATION

BOTTOM OF WALL

FINISHED GRADE FLOW LINE HIGH POINT JUNCTION BOX LINEAR FEET LIMITS OF DISTURBANCE

POLYVINYL CHLORIDE PIPE

SANITARY SEWER CLEANOUT

TYPICAL REINFORCED CONCRETE PIPE STORMWATER CONTROL MEASURE

TREE CONSERVATION AREA

TOP OF WALL

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
- 3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR
- 4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL
- DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- 8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER

ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NORTH

- GRADING REQUIREMENTS. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING
- ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT
- AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND. 11. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE
- GRADING PERMIT AND SUBJECT TO A FINE. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- 13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL AND GROUNDCOVER AS APPROPRIATE. REFER TO EROSION CONTROL NOTE 12 FOR ADDITIONAL DETAIL.
- 15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
- 18. CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. 19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND
- EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS. 20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER

DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.

- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS,
- MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE GUTTER FLOW LINE FOR CURB INLETS. 23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS
- 24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN
- 26. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 27. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME

FINE GRADING NOTES (PRIVATE PROPERTY):

- 1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- 2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED
- ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- RETAINING WALL NOTES 1. STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY
- KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS IN THIS PLAN SET. 2. BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO LOW SIDE OF WALL. TOP OF WALL ("TW") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO HIGH SIDE OF WALL. REFER TO GRADING PLANS IN
- THIS PLAN SET FOR ALL TW AND BW ELEVATIONS. 3. RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- ALL REQUIRED BACKFLOW PREVENTER ASSEMBLIES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN. THE IRRIGATION BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

4. THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF RALEIGH

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS.
- GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE. THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE <u>CITY OF RALEIGH INSPECTIONS DEPARTMENT</u>. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, AND CITY OF RALEIGH REQUIREMENTS.
- 10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE CITY OF RALEIGH SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- 16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- 17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY

THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING

- BUILDINGS TO REMAIN, AND EROSION CONTROL. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.

THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION

5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR

AT ALL TIMES.

DEMOLITION NOTES:

- TREE PROTECTION NOTES: 1. THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES. IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING
- TREES AND SHRUBS WHERE POSSIBLE. WHEN ROOT PRUNING IS NECESSARY, USE A TRENCHER TO CUT AREA WHERE APPROPRIATE ROOT PRUNING SHOULD BE PERFORMED. TO PRUNE ROOTS LARGER THAN THE CAPABILITY OF A TRENCHER, USE HAND TOOLS TO OBTAIN A CLEAN CUT. DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO
- PROPOSED CURB AND GUTTER. 3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY
- 4. NO GRUBBING WITHIN TREE PROTECTION ZONE, LEAVE SOIL AND LEAF LITTER UNDISTURBED, SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.

DEMOLITION, GRADING, OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING, OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning

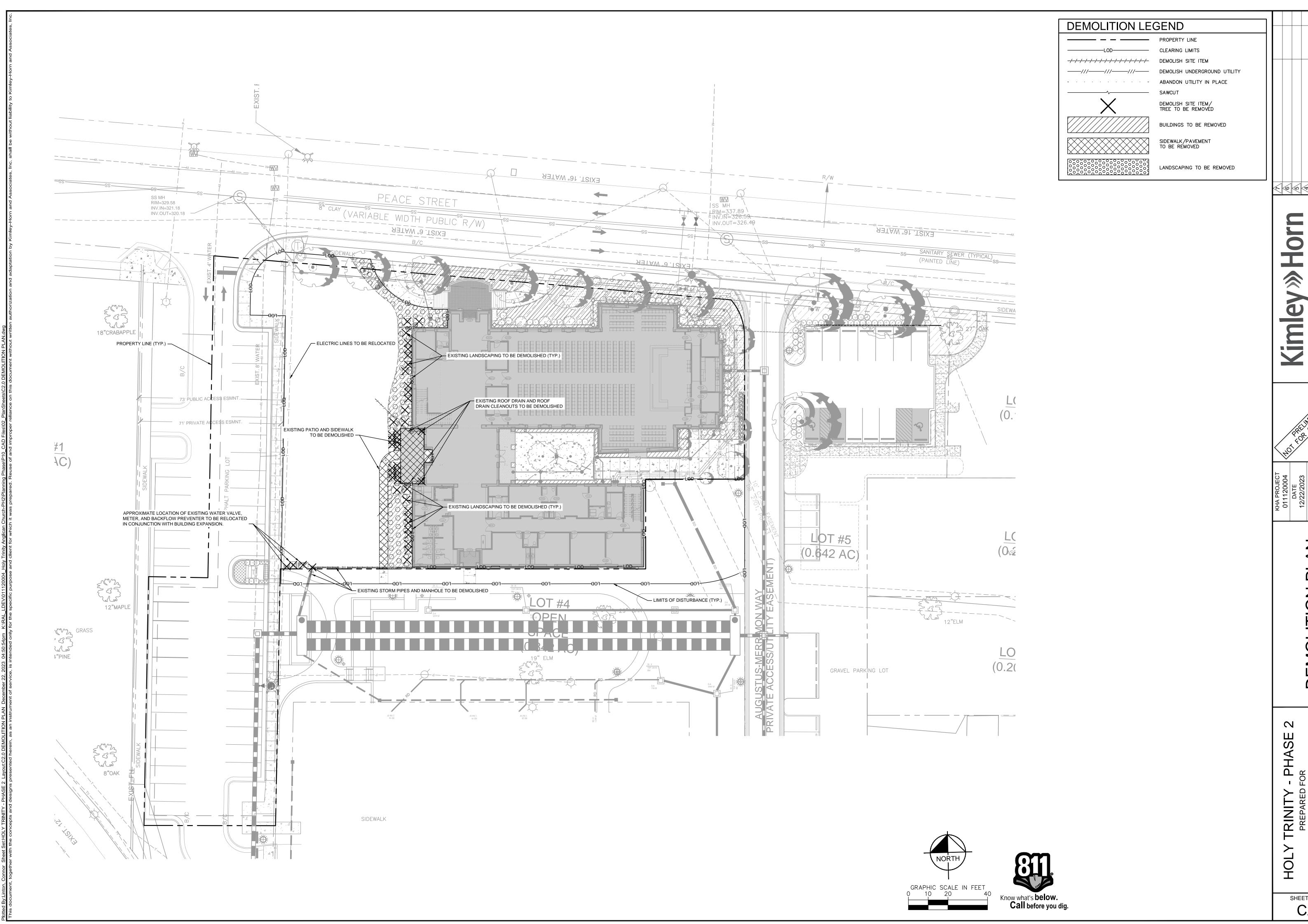
require reinstallation of any water or sewer facilities not inspected

construction, will result in the issuance of monetary fines, and

as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

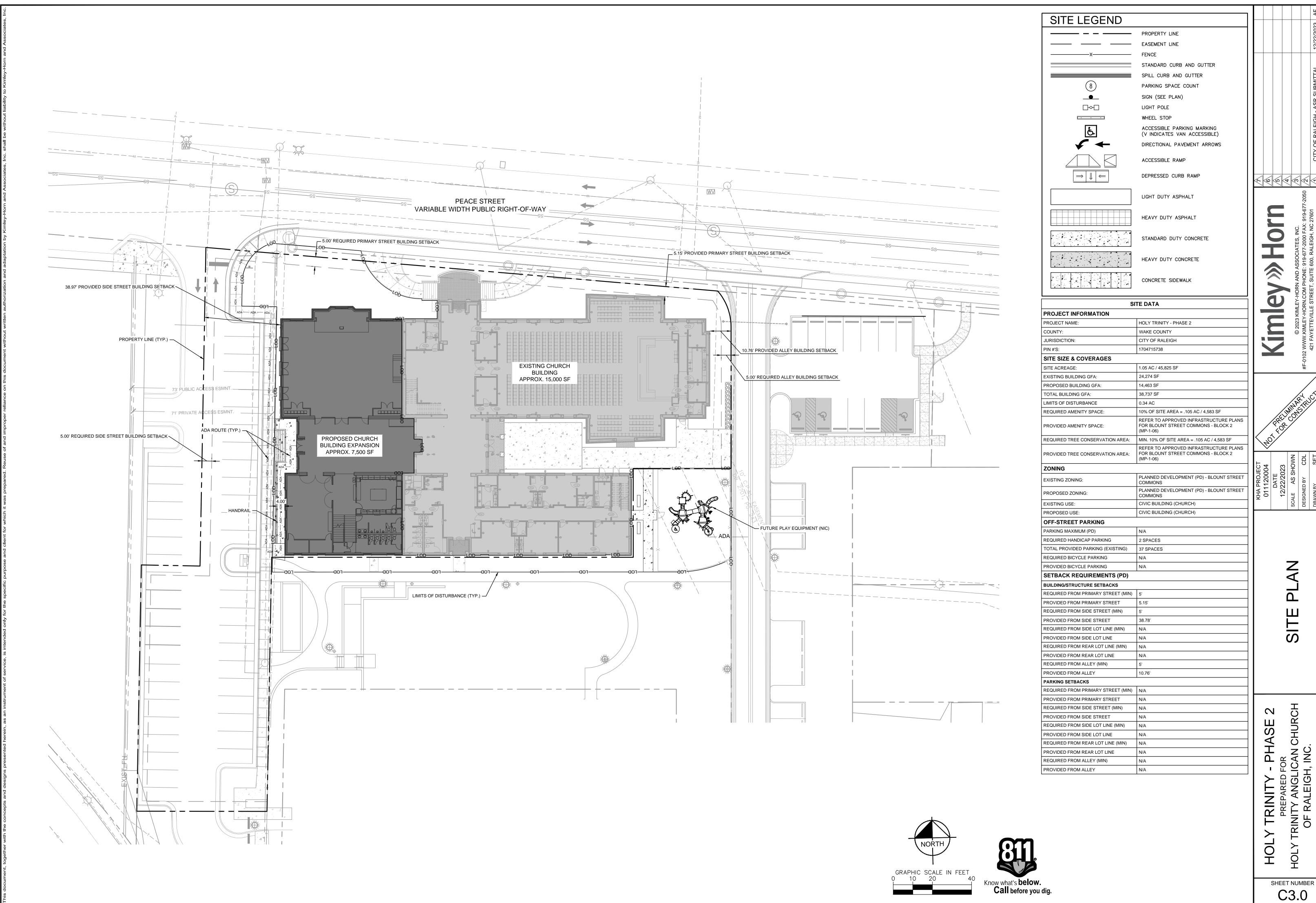
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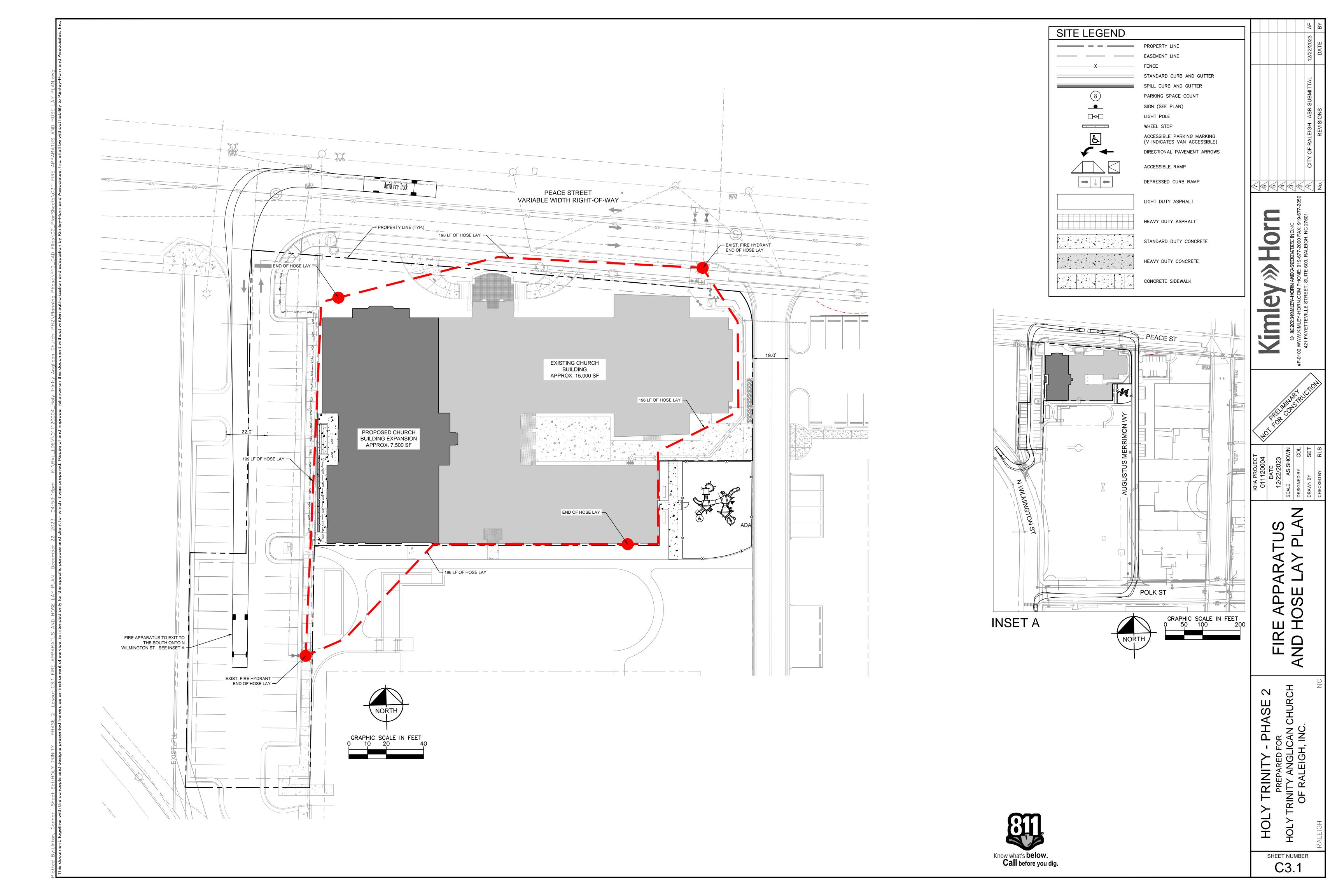


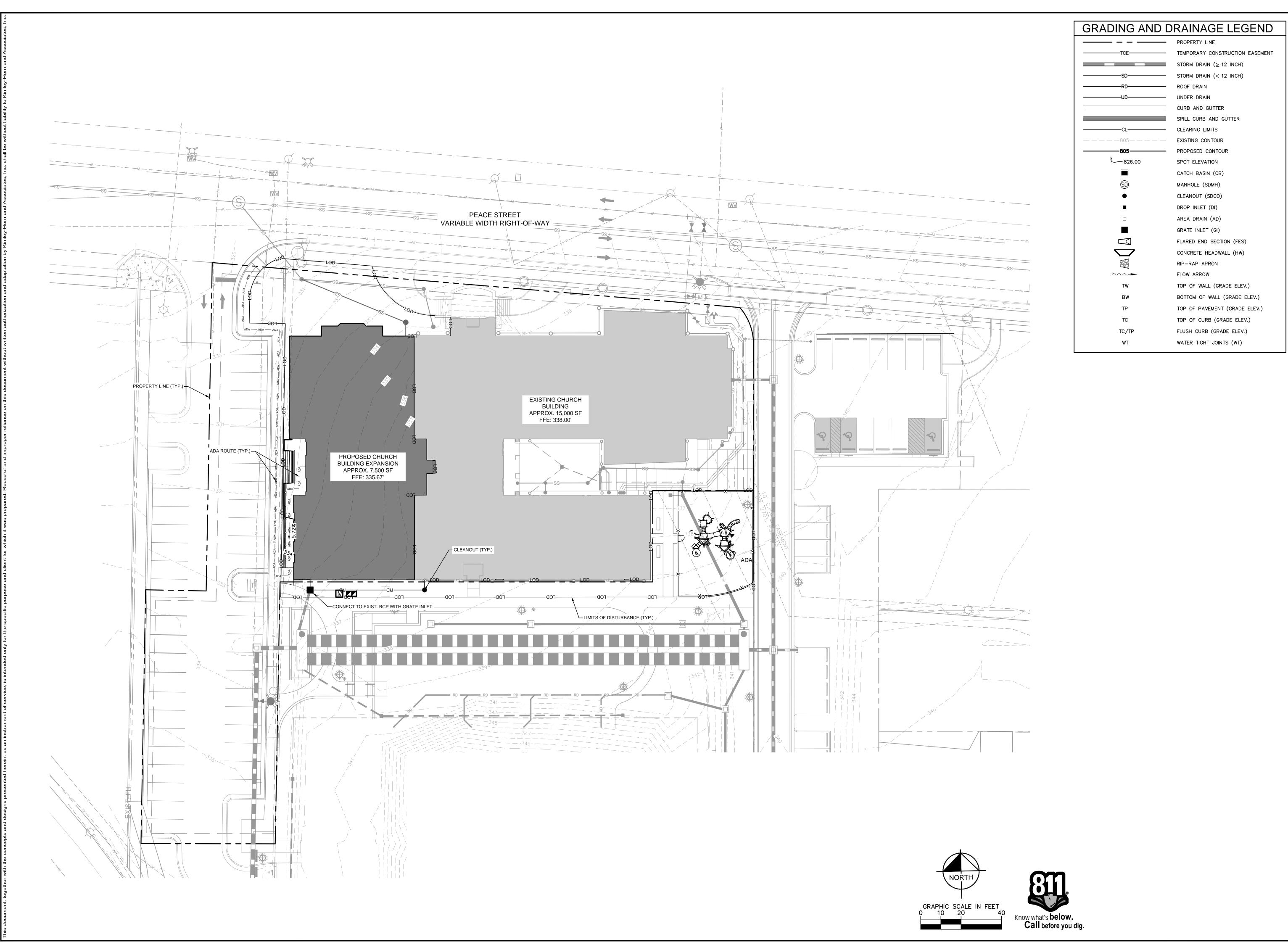
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OF RALEIGH, INC.

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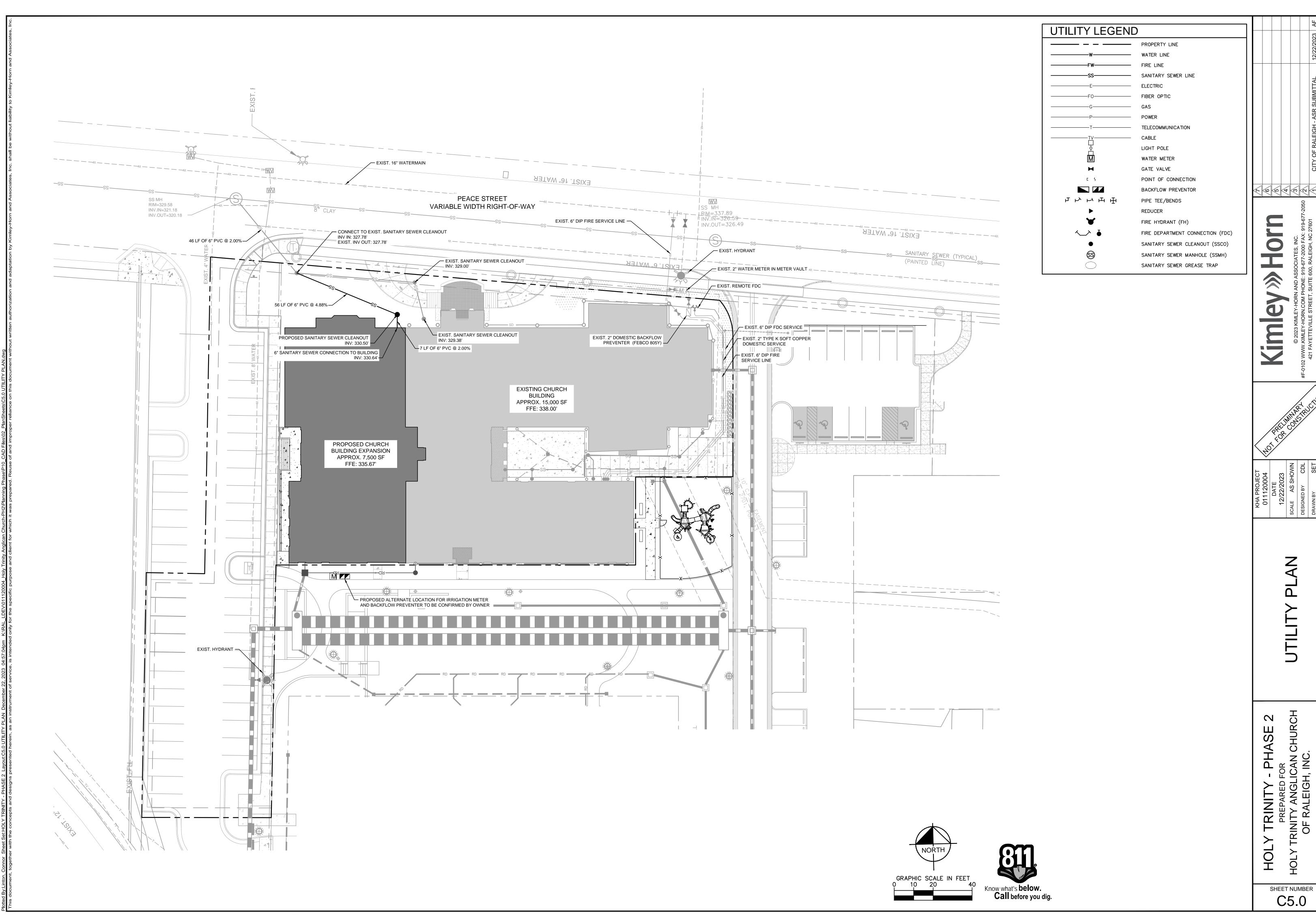
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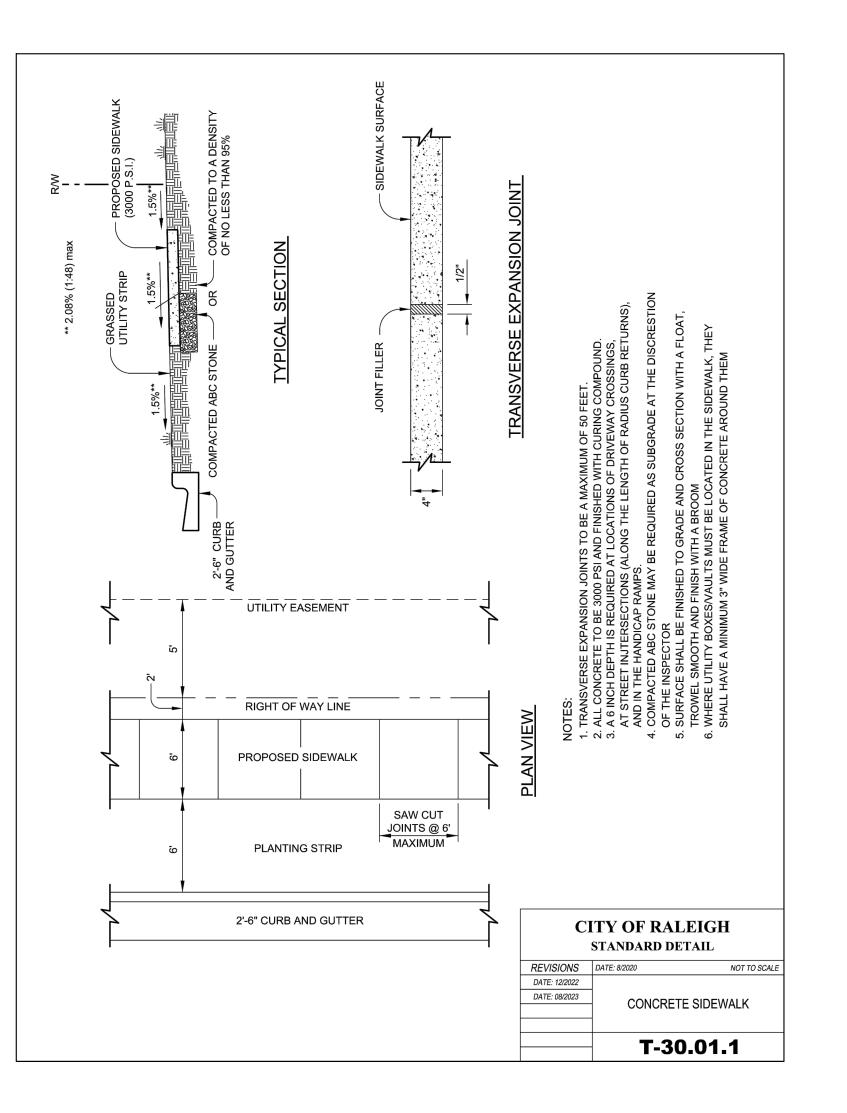
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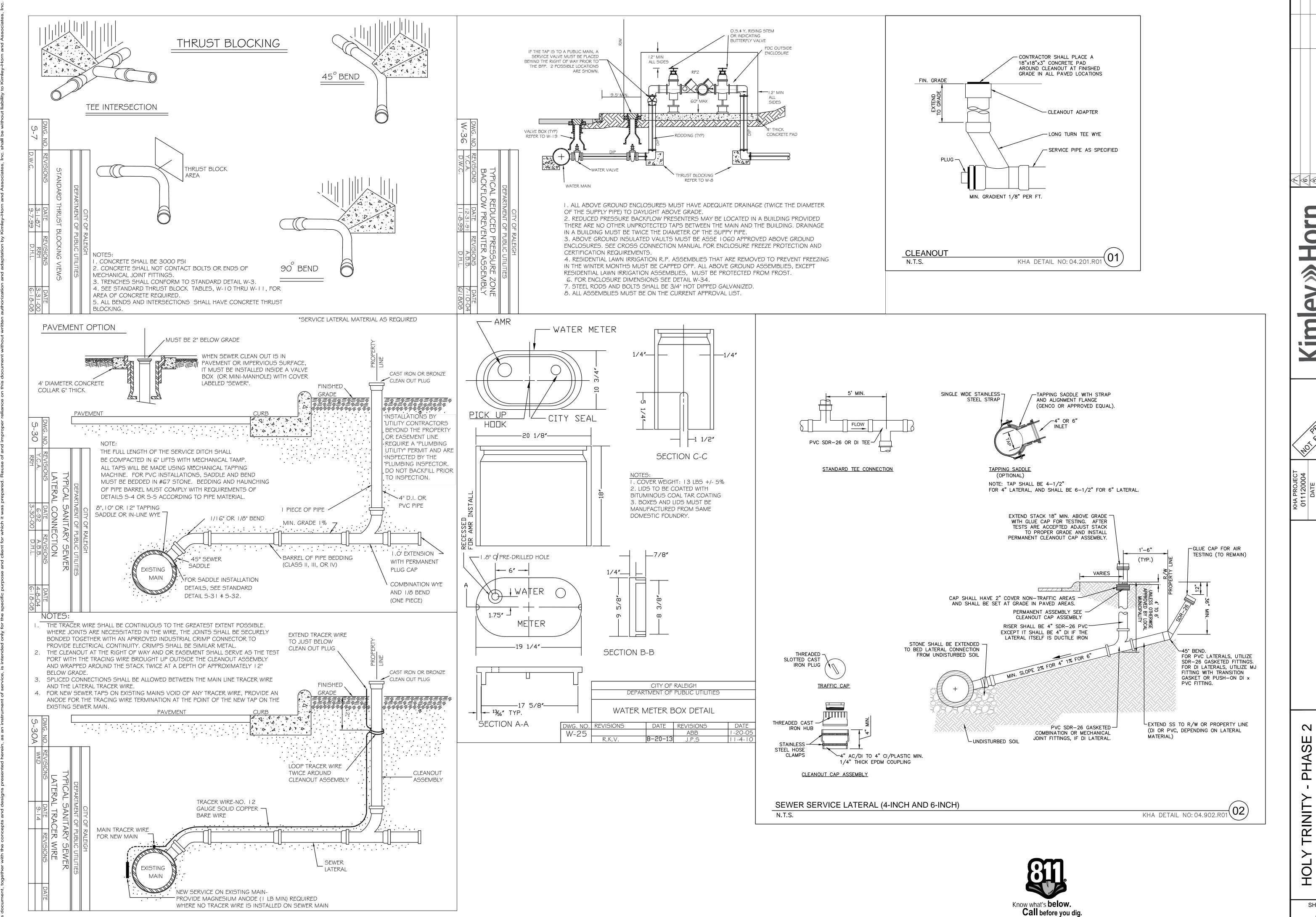
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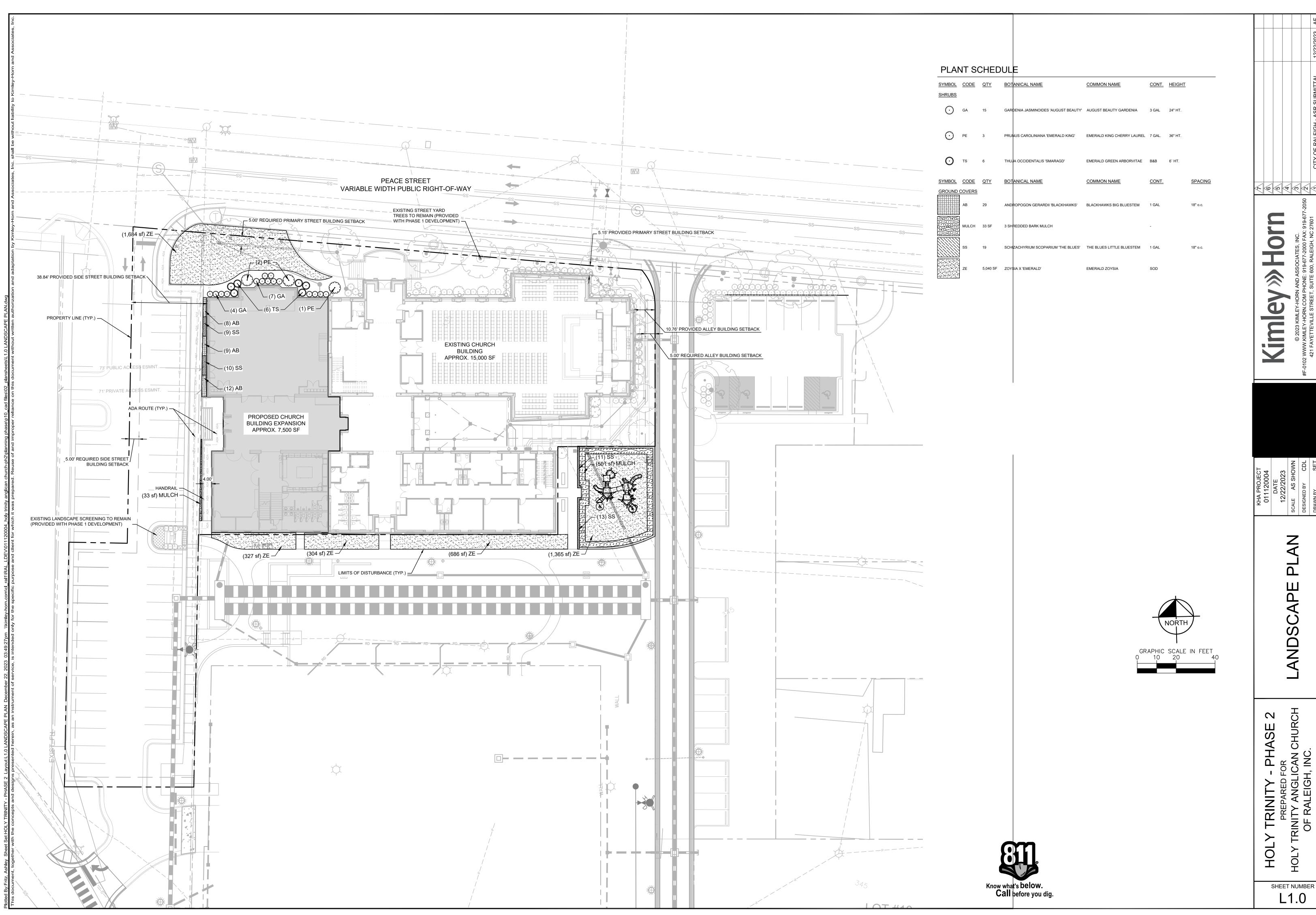
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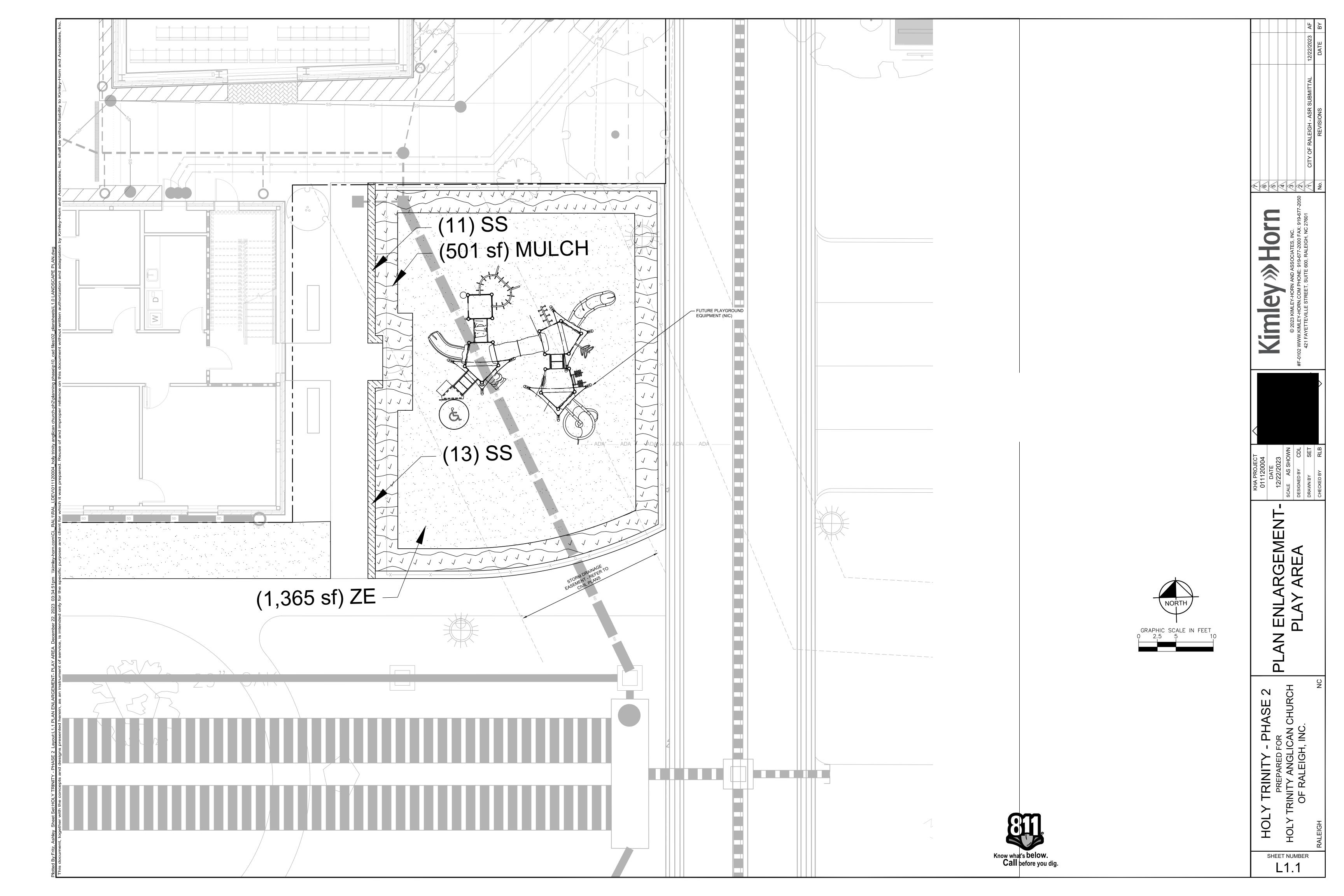
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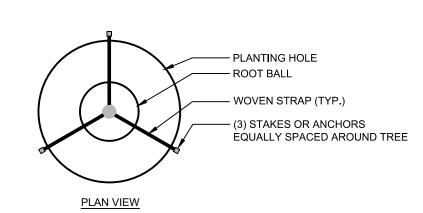
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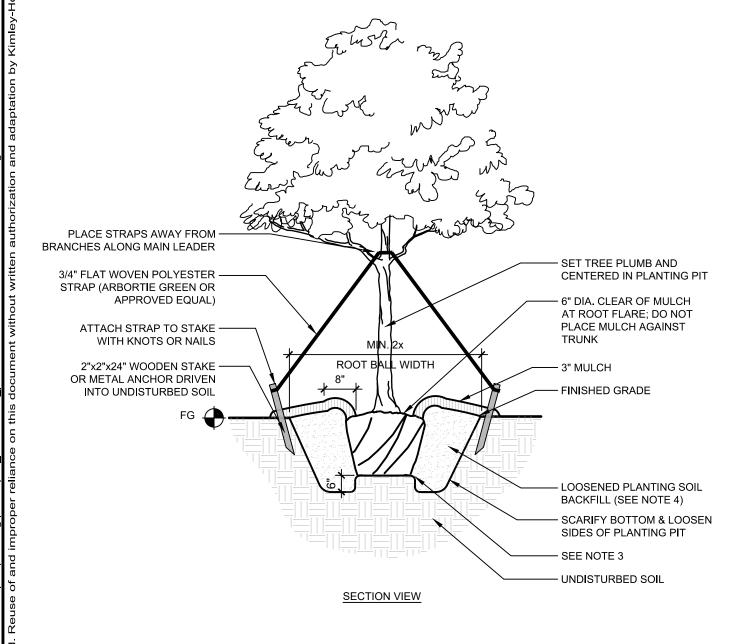
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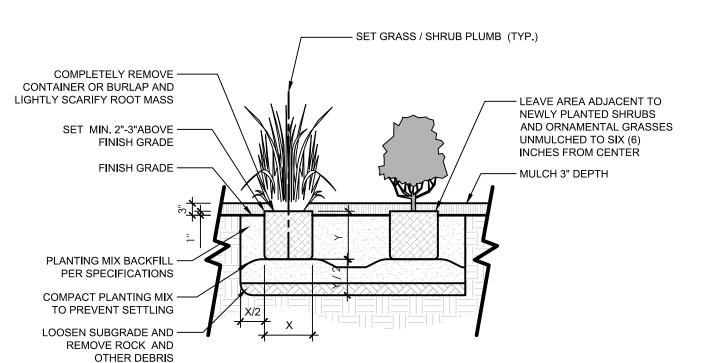




- FOR CONTAINER PLANTS, REMOVE CONTAINER & SCARIFY ROOT MASS PRIOR TO PLANTING. 2. FOR B&B PLANTS. COMPLETELY REMOVE TOP HALF OF WIRE BASKET AND BURLAP MATERIAL:
- REMOVE ALL TWINE, ROPE AND WIRE FROM ROOT BALL.
- 3. SET ROOT BALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 2-3" ABOVE FINISHED GRADE. TAMP SOIL FIRMLY AROUND BOTTOM OF ROOT BALL TO SET TREE PLUMB. 4. DIG & TURN PLANTING SOIL TO REDUCE COMPACTION. LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE THE TREE. DO NOT OVER-COMPACT, MIX COMPOST INTO EACH LIFT OF BACKFILL AS RECOMMENDED IN SOIL REPORT. POUR WATER AROUND ROOT BALL TO SETTLE SOIL, AND
- BACKFILL AS REQUIRED TO MEET REQUIRED FINISHED GRADE. 5. A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE.
- 6. PRUNE TREES ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHES.

STANDARD TREE PLANTING

GROUNDCOVER PLANTING

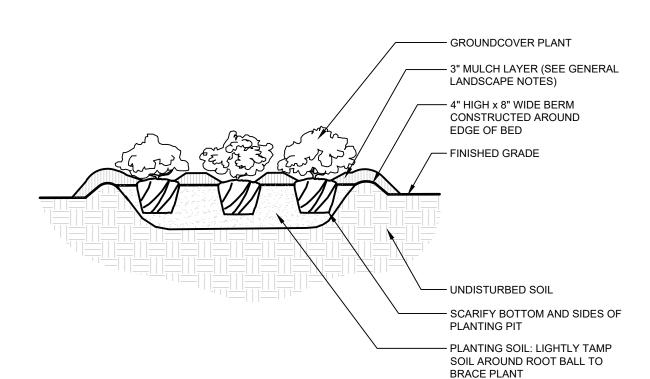


- SHRUB AND ORNAMENTAL GRASS PLANTING NOTES:

 1. ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING. ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
- MULCH TYPE FOR PROJECT: DOUBLE SHREDDED HARDWOOD HARDWOOD DESIGNER MULCH IN DARK BROWN. PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.
- ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT 'AMERICAN STANDARDS FOR STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.)
- SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENCY. SEE PLAN FOR SPACING.

SHRUB AND ORNAMENTAL GRASS PLANTING

SECTION



GROUNDCOVER NOTES:

1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY SPACED VERTICAL CUTS

- 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- 3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER
- 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- 6. ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING -
- 7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE THREE(3) INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
- 8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
- 9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
- 11. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTEE PERIOD.
- 12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
- 13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURRENT CITY OF RALEIGH STANDARD TO A DEPTH OF THREE (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
- 16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION
- 17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- 18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- 19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- 20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (LDO). FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- 22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL
- 23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GE0TEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.

SOIL AMENDMENT NOTES:

- 1. SOIL INSTRUCTIONS FOR ALL NEW PLANTING AREAS (INCLUDING SEED AREAS) AT PREVIOUSLY PAVED LOCATIONS: REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS. FOR ALL AREAS TO RECEIVE TREES. SHRUBS. GROUNDCOVERS. AND / OR ORNAMENTAL GRASSES: THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 12" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. FOR ALL AREAS TO RECEIVE SOD AND / OR SEED; THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 3" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS.
- 2. SOIL INSTRUCTIONS FOR ALL EXISTING PLANTING AREAS (NOT PREVIOUSLY PAVED LOCATIONS): THE CONTRACTOR SHALL TAKE A MINIMUM OF FOUR (4) SAMPLES THROUGHOUT THE PROJECT SITE AND SHALL SUBMIT THEM TO BE TESTED TO A CERTIFIED SOIL TESTING AGENCY. THE CONTRACTOR SHALL AMEND ALL EXISTING SOIL WITHIN EXISTING DISTURBED PLANTING AREAS PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM. AREAS TO RECEIVE SOD SHALL BE AMENDED TO A DEPTH OF 3" MINIMUM.

EXISTING SITE TREE AND SHRUB MAINTENANCE NOTES:

- 1. LIMB TREES ON SITE TO A MINIMUM HEIGHT OF 8', MEASURED FROM ADJACENT GRADE OF STREET, PAVING, OR LANDSCAPE AREA.
- 2. PRUNE SHRUBS WITHIN VEHICLE SIGHT DISTANCE TRIANGLES TO A MAXIMUM HEIGHT OF 30" FROM GRADE OF ADJACENT STREET PER LDO SECTION 16-8.
- 3. CROWN CLEANING AND ELEVATION PRUNING SHALL BE COMPLETED FOR ALL EXISTING CANOPY TREES BY ISC CERTIFIED ARBORIST. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH PROJECT LANDSCAPE ARCHITECT, OWNER, CITY ARBORIST, AND PROJECT ARBORIST PRIOR TO ENGAGING IN ANY PRUNING ACTIVITIES.

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Call before you dig.



2 WEST WASHINGTON STREET STE 600 **GREENVILLE, SOUTH CAROLINA 29601**

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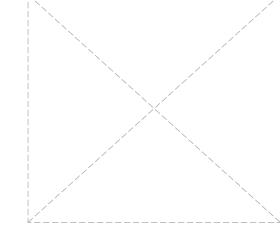
SCHEMATIC DESIGN

GRAND MANOR ASPHALT SHINGLES TO MATCH EXIS PHASE 2 EAVE 27' - 4" PRE-FIN. ALUM. HALF-ROUND GUTTERS AND ROUND DOWNSPOUTS TO MATCH EXIS -CLAD WINDOWS TO MATCH EXIS -CAST STONE WINDOW SILLS TO MATCH EXIS -SECOND FLOOR 16' - 0" PAINTED BRICK TO MATCH EXIS -IRON AND GLASS CANOPY IRON RAILINGS AT RAMP, STAIRS, TERRACE CAST STONE WATERTABLE TO MATCH EXIS EXISTING FIRST

FLOOR
O'-0"
LOWER FLOOR
-2' - 4"

WEST SIDEWALK
-5' - 6" WEST ELEVATION

1/8" = 1'-0"



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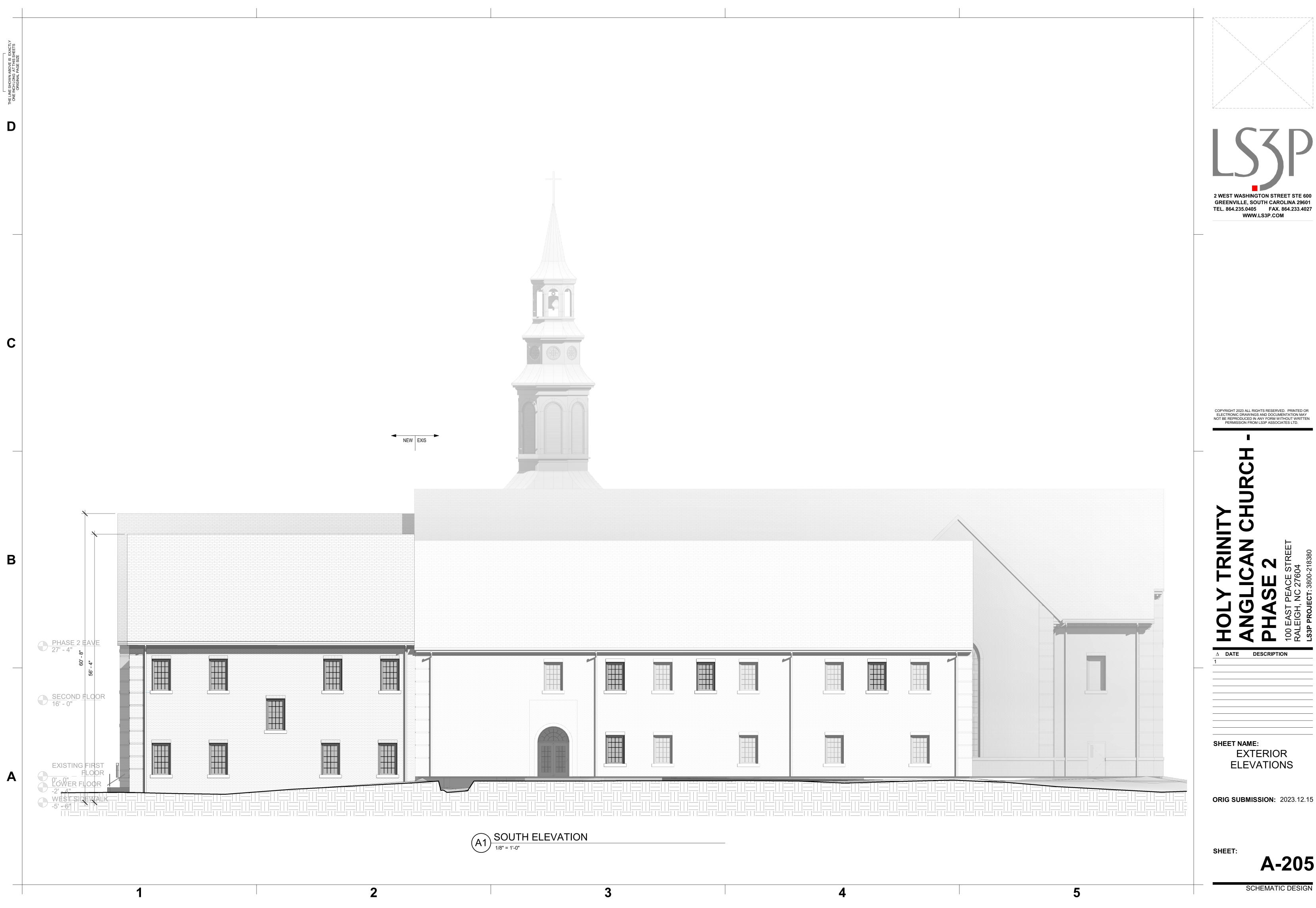
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