



# Administrative Approval Action

Case File / Name: ASR-0002-2024  
DSLCL - Holy Trinity - Phase 2

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 1.05 acre parcel is located across from William Peace University at 100 East Peace Street. The site is also north of Polk Street, east of North Wilmington Street, and west of North Blount Street. The property is zoned PD (MP-1-06), with a small portion also located in a general historic overlay district for North Blount Street (HOD-G). It is located in Comprehensive Plan designated Frequent Transit Area.

**REQUEST:** The project proposes a 2-story, 14,559 square foot addition to the existing 24,274 square foot building for Holy Trinity Anglican Church, for a total 38,833 square feet of gross floor area. Existing landscaping, sidewalk and a patio will be demolished or removed in the area where the addition will be constructed. The project does not utilize the frequent transit development option.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 26, 2024 by Kimley-Horn.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Prior to approval, plan set shall include building elevations that meet all standards, including maximum height for the PD (MP-1-06).

### Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**



# HOLY TRINITY ANGLICAN CHURCH - PHASE 2

## PIN: 01704715738

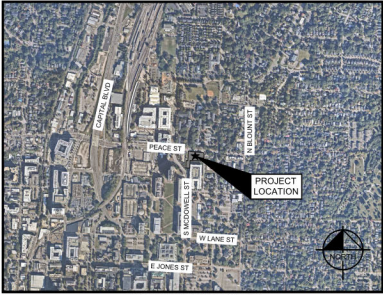
### ASR-0002-2024

100 EAST PEACE STREET  
RALEIGH, NC 27604

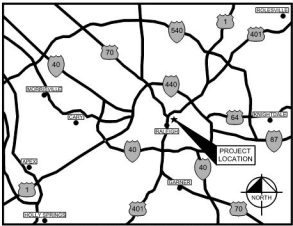
A DEVELOPMENT BY:  
HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.

**REFERENCE DOCUMENTS:**

- APPROVED PHASE 1 CONSTRUCTION DOCUMENTS #389886
- APPROVED BLOUNT STREET COMMONS PLANNED DEVELOPMENT #MP-1-06



VICINITY MAP  
SCALE: 1" = 1,000'



PROJECT LOCATION MAP  
SCALE: NOT TO SCALE

**PROJECT OWNERS & CONSULTANTS**

**OWNER/DEVELOPER**  
HOLY TRINITY CHURCH OF RALEIGH, INC.  
549 NORTH BLOUNT STREET,  
RALEIGH, NC 27604  
CONTACT: LEE PERRY  
PHONE: (919) 833-2024  
EMAIL: LPERRY@HTCRAI.ORG

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27604  
CONTACT: RICHARD BROWN, P.L.A.  
PHONE: (919) 833-2076  
EMAIL: RICHARD.BROWN@KIMLEY-HORN.COM

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27604  
CONTACT: CONNOR LINTON, P.E.  
PHONE: (919) 833-2076  
EMAIL: CONNOR.LINTON@KIMLEY-HORN.COM

**SURVEYOR**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27604  
CONTACT: ROB BAUMGARTNER, P.S.  
PHONE: (919) 833-2076  
EMAIL: ROB.BAUMGARTNER@KIMLEY-HORN.COM

**ARCHITECT**  
SESP  
CONTACT: NATHAN ASBIE  
PHONE: (919) 212-1224  
EMAIL: NATHAN.ASBIE@SESP.COM

**Administrative Site Review Application**

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	<b>Building and Development Type</b> (Check all that apply)	<b>Site Transaction History</b>
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit <input type="checkbox"/> Development Option	Subdivision case #: _____ Scoping/sketch plan case #: <u>SCOPE-0128-2023</u> Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: <u>Z-29-2006 / MP-1-06</u> Design Alternate #: _____

**GENERAL INFORMATION**

Development name: Holy Trinity - Phase 2  
 Inside city limits? Yes  No   
 Property address(es): 100 E Peace St, Raleigh, NC 27604  
 Site P.I.N.(s): 1704715738  
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 Building expansion with minor site modifications.  
 Current Property Owner(s): Holy Trinity Church of Raleigh, Inc.  
 Company: Holy Trinity Church of Raleigh, Inc. Title: \_\_\_\_\_  
 Address: 549 North Blount Street, Raleigh, NC 27604  
 Phone #: 919-833-4202 ext. 101 Email: athompson@htcraleigh.org  
**Applicant Name (if different from owner. See "who can apply" in instructions):**  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
 Company: Kimley-Horn and Associates, Inc. Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601

Phone #: 919-653-2976 Email: richard.brown@kimley-horn.com  
**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**  
 Developer Contact: Lee Perry  
 Company: East West Partners Title: Senior Managing Partner  
 Address: 1450 Erwin Way, Chapel Hill, NC 27517  
 Phone #: 919-929-0660 Email: LPerry@ewpnc.com  
 Applicant Name: Richard Brown  
 Company: Kimley-Horn and Associates Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601  
 Phone #: 919-653-2976 Email: richard.brown@kimley-horn.com

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 24,274 SF	Existing gross floor area to be demolished: N/A	
Gross site acreage: 1.05 AC		New gross floor area: 14,559 SF	
# of parking spaces proposed: N/A		Total # of gross (to remain and new): 38,833 SF	
Max # parking permitted (7.1.2.C): N/A		Proposed # of buildings: 1	
Overlay District (if applicable): N/A		Existing use (UDO 6.1.4): Civic - Church	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Civic - Church		Proposed use (UDO 6.1.4): Civic - Church	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 32,367 Proposed total (sf) 39,871	Existing (sf) 32,367 Proposed total (sf) 39,871

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	A frequent transit development? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Continue to Applicant Signature Block on Page Three.

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
--	EXISTING CONDITIONS SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	FIRE APPARATUS AND HOSE LAY PLAN
C4.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	SITE DETAILS
C7.0	UTILITY DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A203-A205	EXTERIOR ELEVATIONS

NO.	REVISIONS	DATE
1	REVISED PER CITY COMMENTS	6/26/2024
2	DESIGN DEVELOPMENT	6/30/2024
3	REVISED PER CITY COMMENTS	6/19/2024
4	CITY OF RALEIGH - ASB SUBMITTAL	12/22/2023

**Kimley-Horn**  
 6204 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: (919) 833-2076 FAX: (919) 833-2076  
 # 0102 WWW.KIMLEY-HORN.COM

PRELIMINARY  
NOT FOR CONSTRUCTION

DATE	SCALE	DESIGNED BY	CHECKED BY
12/22/2023	AS SHOWN	DRB	RJB
DATE	SCALE	DESIGNED BY	CHECKED BY

HOLY TRINITY - PHASE 2  
 PREPARED FOR  
 HOLY TRINITY ANGLICAN CHURCH  
 OF RALEIGH, INC.  
 RALEIGH, NC

SHEET NUMBER  
C0.0

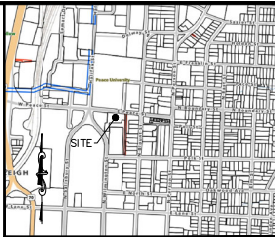
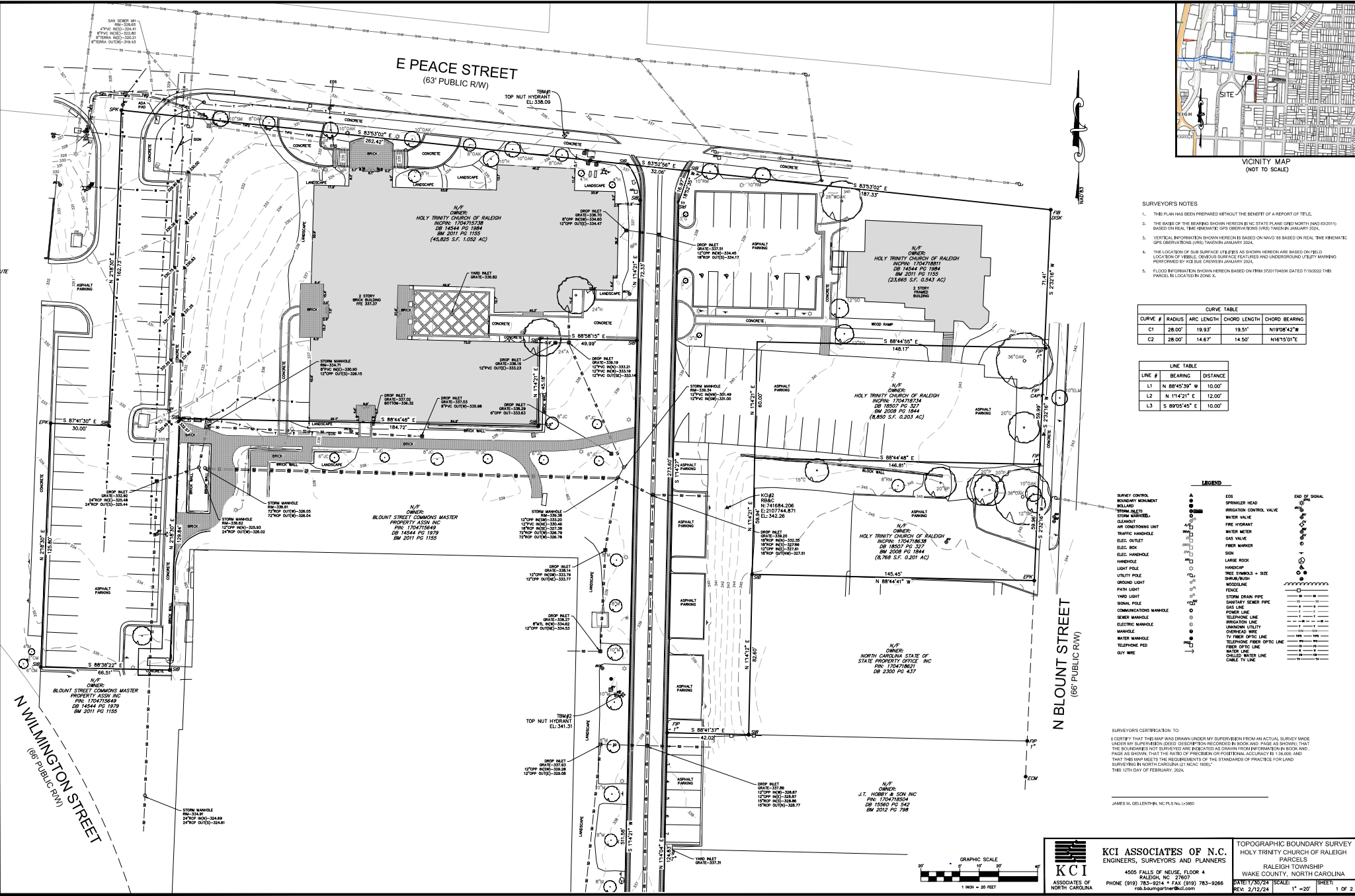
**NOTE**

E PEACE STREET IS AN AVENUE 4-LANE DIVIDED (UDO SECTION 8.5.6B). THIS STREET TYPOLGY HAS A REQUIRED RIGHT-OF-WAY WIDTH OF 109'. BOC OF 66', 1' MS, 6' SW + PS, 5' BL, AND 3.5' BUFFER. HOWEVER, THE MP-1-06 STAFF REPORT DOCUMENT STATES THAT THE MASTER PLAN RECOGNIZES THE HISTORICAL CHARACTER OF THE STREET DESIGN IN THE PLAN AREA AND ESTABLISHES A UNIFORM 66' RIGHT-OF-WAY WIDTH ON ALL PUBLIC STREETS. 3' OF RIGHT-OF-WAY WAS DEDICATED ALONG E PEACE ST AS A PART OF MP-1-06 AS DOCUMENTED IN BM2008 PGS 1844. PER EMAIL FROM KEVIN KIDD DATED 6/26/2024 NO ADDITIONAL RIGHT-OF-WAY DEDICATION WILL BE REQUIRED.



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC BOUNDARY SURVEY OBTAINED ON 02/15/2024 BY KCI ASSOCIATES OF N.C., 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC, 27606. PHONE: (919) 793-9214. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION. REPORTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.





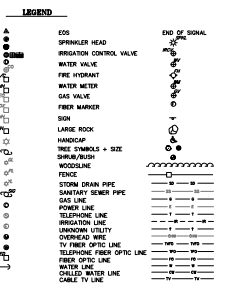
- SURVEYOR'S NOTES**
1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A REPORT OF TITLE.
  2. THE BASES OF THE BEARING SHOWN HEREIN ARE THE STATE PLANE GRID NORTH (NAD 83) BASED ON REAL TIME KINEMATIC GPS OBSERVATIONS (RTK) TAKEN IN JANUARY 2024.
  3. VERTICAL INFORMATION SHOWN HEREIN IS BASED ON NAVD 83 BASED ON REAL TIME KINEMATIC GPS OBSERVATIONS (RTK) TAKEN IN JANUARY 2024.
  4. THE LOCATION OF SURFACE UTILITY LINES AS SHOWN HEREIN ARE BASED ON FIELD LOCATION OF VISIBLE ABOVE-GROUND SURFACE FEATURES AND UNDERGROUND UTILITY MARKING PERFORMED BY KIC BLUE CREWS IN JANUARY 2024.
  5. FLOOD INFORMATION SHOWN HEREIN IS BASED ON FIRM 37207000K DATED 7/15/2022 THIS PARCEL IS LOCATED IN ZONE X.

**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	28.00'	19.93'	19.93'	N19°08'42"W
C2	28.00'	14.67'	14.50'	N16°15'01"E

**LINE TABLE**

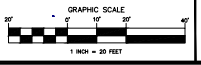
LINE #	BEARING	DISTANCE
L1	N 89°45'54" W	10.00'
L2	N 14°23'1" E	12.00'
L3	S 89°05'44" E	10.00'



**SURVEYOR'S CERTIFICATION**

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN) THAT THE SURFACE NOT SURVEYED ARE PREPARED AS DRAWN FROM INFORMATION IN BOOK AND PAGE AS SHOWN THAT THE RATE OF PRECISION OF POSITIONAL ACCURACY IS 1:30,000 AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA IN ACCORDANCE WITH THE 12TH DAY OF FEBRUARY, 2024.

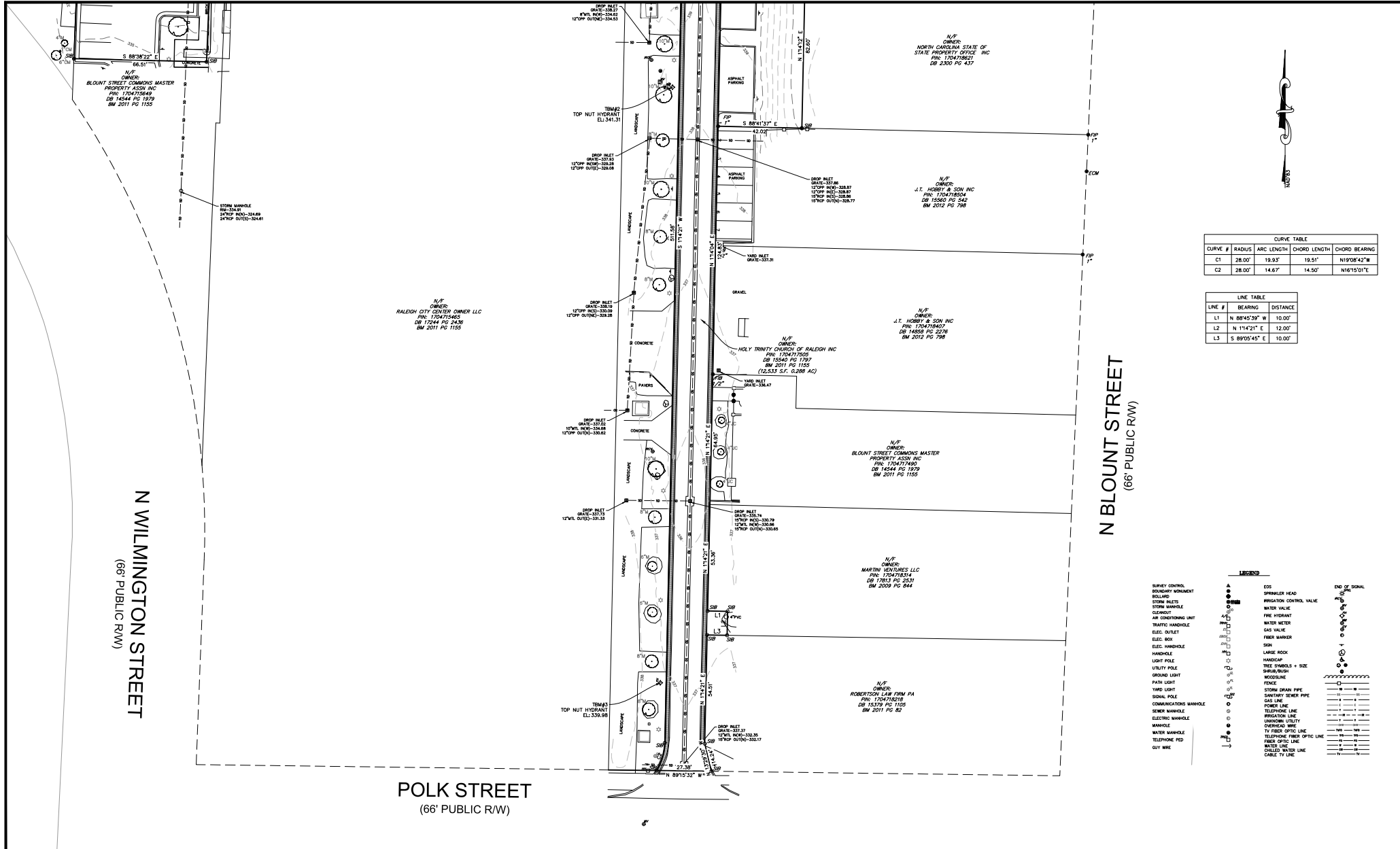
JAMES M. GELLENTHIN, NC PLS No. L-1880



**KCI ASSOCIATES OF N.C.**  
 ENGINEERS, SURVEYORS AND PLANNERS  
 4555 FALLS OF NEUSE, FLOOR 4  
 RALEIGH, NC 27607  
 PHONE (919) 783-7214 • FAX (919) 783-7266  
 rob.baumgartner@kci.com

**TOPOGRAPHIC BOUNDARY SURVEY**  
 HOLY TRINITY CHURCH OF RALEIGH  
 PARCELS  
 RALEIGH TOWNSHIP  
 WAKE COUNTY, NORTH CAROLINA  
 DRAWN 7/27/24 SCALE: 1" = 20'  
 REV: 3/12/24

1 OF 2



N WILMINGTON STREET  
(66' PUBLIC R/W)

N BLOUNT STREET  
(66' PUBLIC R/W)

POLK STREET  
(66' PUBLIC R/W)

CURVE TABLE

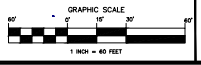
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	28.00'	19.93'	19.51'	N19°08'42" E
C2	28.00'	14.67'	14.50'	N16°15'01" E

LINE TABLE

LINE #	BEARING	DISTANCE
L1	N 89°45'39" W	10.00'
L2	N 17°42'1" E	12.00'
L3	S 89°55'45" E	10.00'

LEGEND

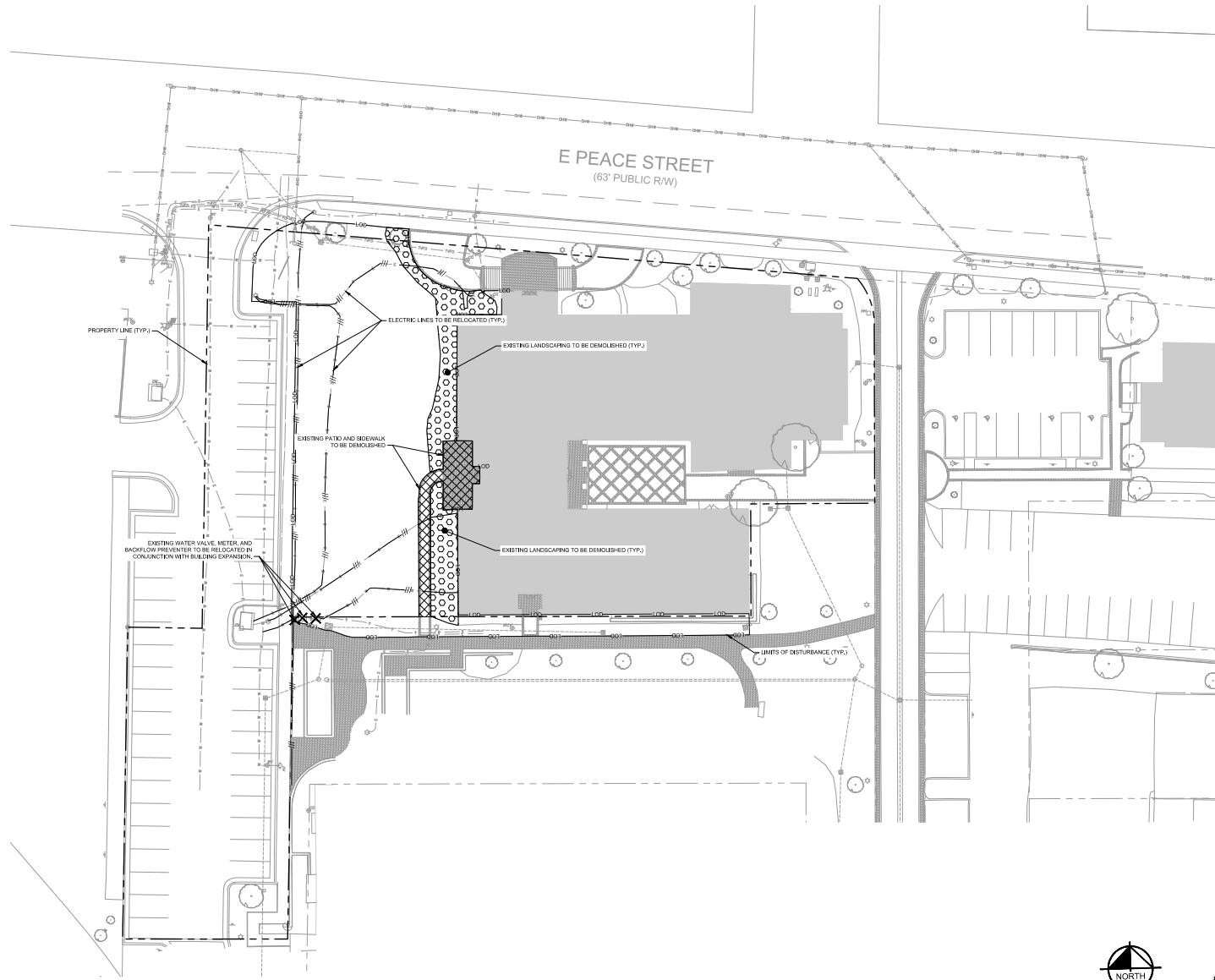
	SURVEY CONTROL		EGS		END OF SIGNAL
	BOUNDARY MONUMENT		SPRINKLER HEAD		INFLOW CONTROL VALVE
	BOLLARD		WATER VALVE		FIRE HYDRANT
	STORM MANHOLE		WATER METER		GAS VALVE
	CLEARCUT		AIR CONDITIONING UNIT		ELEC. OUTLET
	TRAFFIC MANHOLE		ELEC. BOX		ELEC. MANHOLE
	HANDHOLE		LARGE ROCK		HANDICAP
	LIGHT POLE		UTILITY POLE		TREE SYMBOL + SIZE
	GROUND LIGHT		PATH LIGHT		STORM SEWER PIPE
	SANITARY SEWER PIPE		GAS LINE		POWER LINE
	TELEPHONE LINE		IRRIGATION LINE		LANDLINE UTILITY
	ELECTRIC MANHOLE		MANHOLE		FIBER OPTIC LINE
	WATER MANHOLE		TELEPHONE PED		CABLES WATER LINE
	GUY WIRE				CABLE TV LINE



**KCI ASSOCIATES OF N.C.**  
ENGINEERS, SURVEYORS AND PLANNERS  
4555 FALLS OF NEUSE, FLOOR 4  
RALEIGH, NC 27607  
PHONE (919) 783-3214 • FAX (919) 783-9266  
FOB.BAUMGARTNER@KCI.COM

TOPOGRAPHIC BOUNDARY SURVEY  
HOLY TRINITY CHURCH OF RALEIGH  
PARCELS  
RALEIGH TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA  
DATE: 7/25/24 SCALE: 1" = 20'  
REV: 2/7/24 SHEET: 1 OF 2

Drawn by: KIMLEY-HORN ASSOCIATES, INC. (KHA) PROJECT NO. 2023-001. DESIGN DATE: 12/22/2023. SCALE: AS SHOWN. THIS PLAN IS THE PROPERTY OF KIMLEY-HORN ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN ASSOCIATES, INC. FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY THE CONTRACT. © 2023 KIMLEY-HORN ASSOCIATES, INC. ALL RIGHTS RESERVED.



**DEMOLITION LEGEND**

	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	ABANDON UNDERGROUND UTILITY
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	DEMOLISH SITE ITEM / TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK / PAVEMENT TO BE REMOVED
	LANDSCAPING TO BE REMOVED

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 # 6102 WWW.KIMLEY-HORN.COM PHONE: 919.487.5000 FAX: 919.487.5000  
 421 FAYETTEVILLE STREET SUITE 600 RALEIGH, NC 27601

**PRELIMINARY  
NOT FOR CONSTRUCTION**

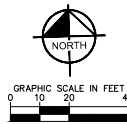
**DEMOLITION PLAN**

KHA PROJECT NO.	2023-001
DATE	12/22/2023
SCALE	AS SHOWN
DRAWN BY	CDL
CHECKED BY	SET
DATE	12/22/2023
BY	AF

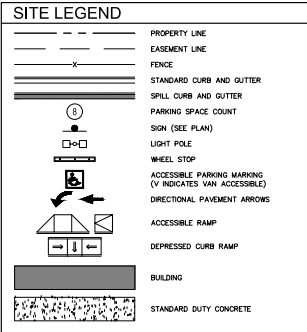
**HOLY TRINITY - PHASE 2  
 PREPARED FOR  
 HOLY TRINITY ANGLICAN CHURCH  
 OF RALEIGH, INC.**

NC

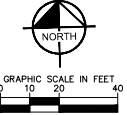
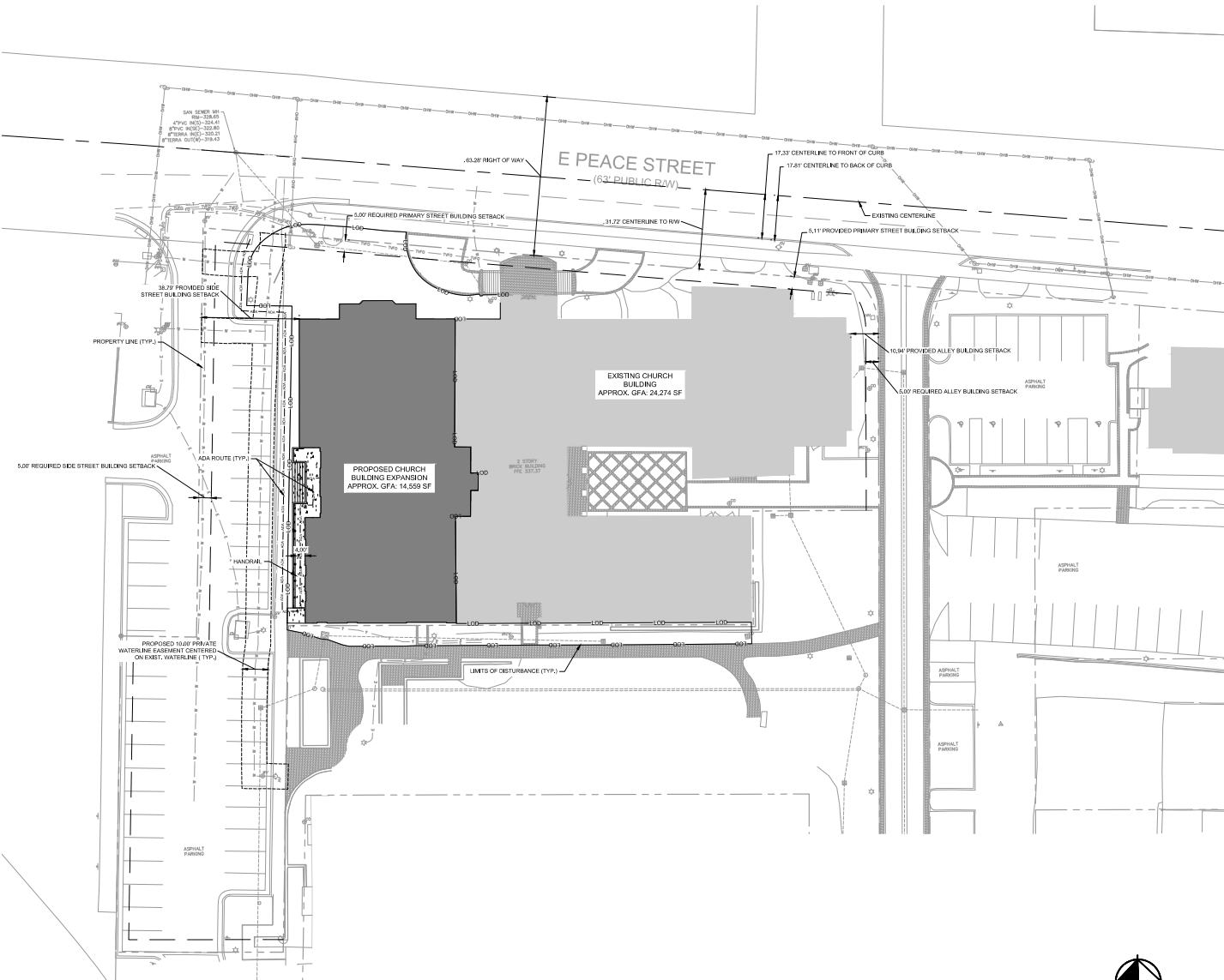
SHEET NUMBER  
**C2.0**



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC BOUNDARY SURVEY OBTAINED ON 03/23/2024 BY KCI ASSOCIATES OF N.C., 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC 27609. PHONE: (919) 758-9434. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DELETED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



SITE DATA	
<b>PROJECT INFORMATION</b>	
PROJECT NAME	HOLY TRINITY - PHASE 2
COUNTY	WARRE COUNTY
JURISDICTION	CITY OF RALEIGH
PN Y'S	1704715738
<b>SITE SIZE &amp; COVERAGES</b>	
SITE ACROSS	1.05 AC 145,825 SF
EXISTING BUILDING GFA	24,274 SF
PROPOSED BUILDING GFA	14,559 SF
TOTAL BUILDING GFA	38,833 SF
MAXIMUM BUILDING HEIGHT	55'
PROPOSED BUILDING HEIGHT	47'-2"
LIMITS OF DISTURBANCE	1,028 AC
REQUIRED AMENITY SPACE	10% OF SITE AREA = 105 AC 14,583 SF
REQUIRED AMENITY SPACE	REFER TO APPROVED INFRASTRUCTURE PLANS FOR BLOUNT STREET COMMONS - BLOCK 2 (MP-1-95)
REQUIRED TREE CONSERVATION AREA	MIN. 10% OF SITE AREA = 105 AC 14,583 SF
PROVIDED TREE CONSERVATION AREA	REFER TO APPROVED INFRASTRUCTURE PLANS FOR BLOUNT STREET COMMONS - BLOCK 2 (MP-1-95)
<b>ZONING</b>	
EXISTING ZONING	PLANNED DEVELOPMENT (PD) - BLOUNT STREET COMMONS
PROPOSED ZONING	PLANNED DEVELOPMENT (PD) - BLOUNT STREET COMMONS
EXISTING USE	CIVIC BUILDING (CHURCH)
PROPOSED USE	CIVIC BUILDING (CHURCH)
<b>OFF-STREET PARKING</b>	
PARKING MAXIMUM (PD)	N/A
REQUIRED HANDICAP PARKING	2 SPACES
TOTAL PROVIDED PARKING (EXISTING)	37 SPACES
REQUIRED BICYCLE PARKING	N/A
PROVIDED BICYCLE PARKING	N/A
<b>SETBACK REQUIREMENTS (PD)</b>	
<b>BUILDING SETBACKS</b>	
REQUIRED FROM PRIMARY STREET (MIN)	5'
PROVIDED FROM PRIMARY STREET	5.17'
REQUIRED FROM SIDE STREET (MIN)	5'
PROVIDED FROM SIDE STREET	38.78'
REQUIRED FROM SIDE LOT LINE (MIN)	N/A
PROVIDED FROM SIDE LOT LINE	N/A
REQUIRED FROM REAR LOT LINE (MIN)	N/A
PROVIDED FROM REAR LOT LINE	N/A
REQUIRED FROM ALLEY (MIN)	5'
PROVIDED FROM ALLEY	10.70'
<b>PARKING SETBACKS</b>	
REQUIRED FROM PRIMARY STREET (MIN)	N/A
PROVIDED FROM PRIMARY STREET	N/A
REQUIRED FROM SIDE STREET (MIN)	N/A
PROVIDED FROM SIDE STREET	N/A
REQUIRED FROM SIDE LOT LINE (MIN)	N/A
PROVIDED FROM SIDE LOT LINE	N/A
REQUIRED FROM REAR LOT LINE (MIN)	N/A
PROVIDED FROM REAR LOT LINE	N/A
REQUIRED FROM ALLEY (MIN)	N/A
PROVIDED FROM ALLEY	N/A



Know what's below.  
Call before you dig.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAHIC BOUNDARY SURVEY OBTAINED ON 05/23/2024 BY KCI ASSOCIATES OF N.C., 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC 27609. PHONE: (919) 798-8844. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPicted OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

REV.	DATE	REVISIONS
01	05/20/24	RELEASED PER CITY COMMENTS
02	06/20/24	DESIGN DEVELOPMENT
03	08/20/24	REVISED PER CITY COMMENTS
04	11/20/24	CITY OF RALEIGH - ASB SUBMITTAL
05	12/22/2023	AF

**Kimley-Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
#6102 WWW.KIMLEY-HORN.COM PHONE: 919.477.7000 FAX: 919.477.2000  
621 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY  
NOT FOR CONSTRUCTION

**SITE PLAN**

HOLY TRINITY - PHASE 2  
PREPARED FOR  
HOLY TRINITY ANGLICAN CHURCH  
OF RALEIGH, INC.

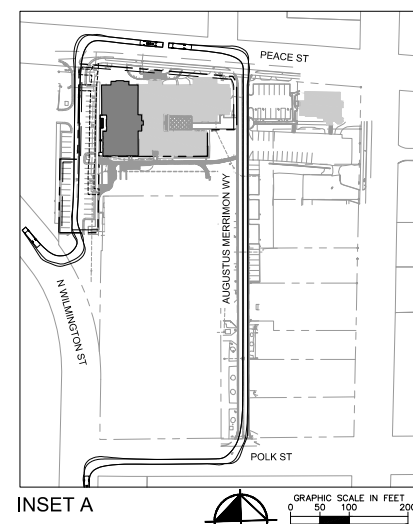
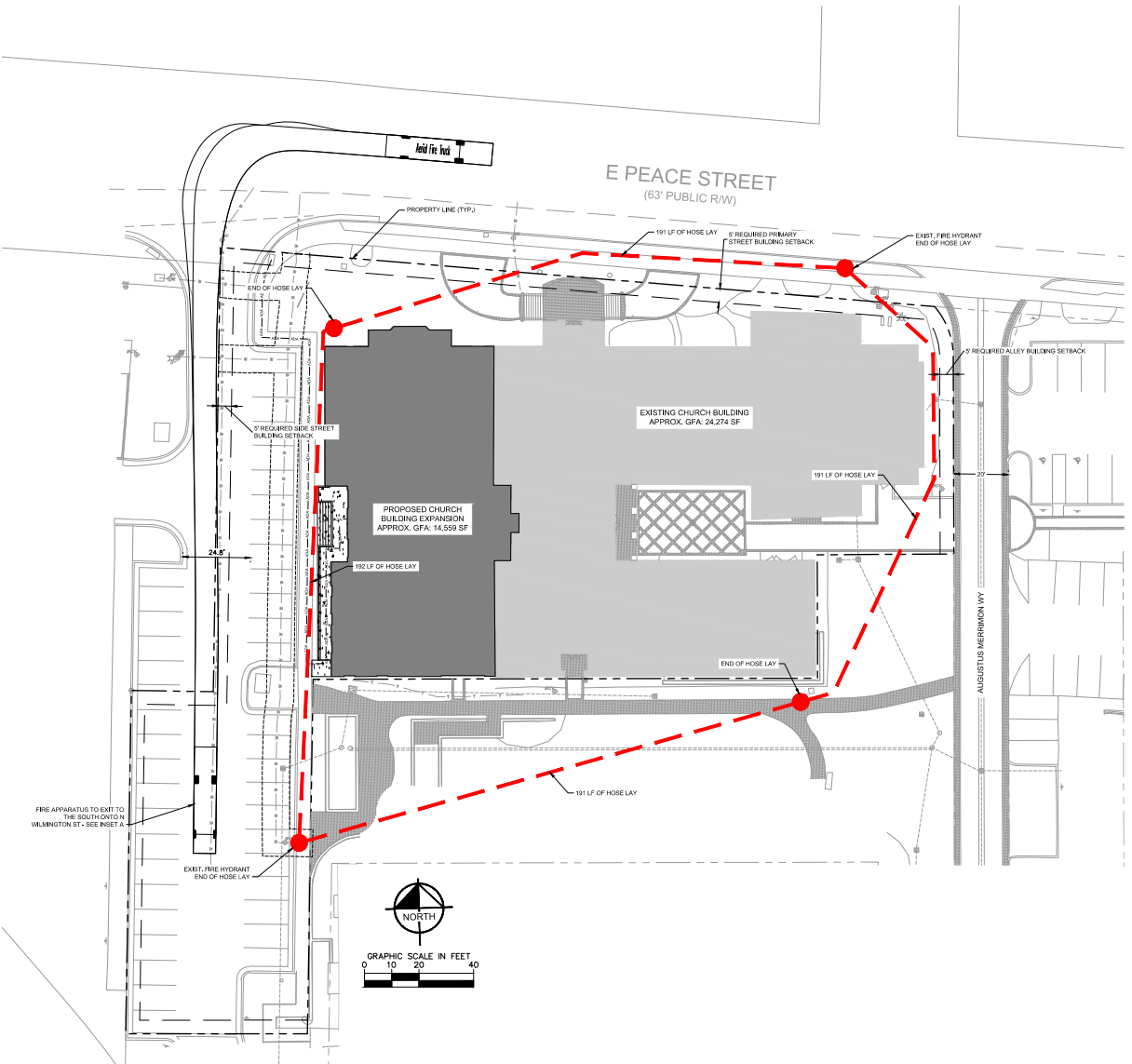
PROJECT NO. 1704715738  
DATE: 12/22/2023  
SCALE: AS SHOWN  
DESIGNED BY: CCL  
DRAWN BY: BEM  
CHECKED BY: RLB

SHEET NUMBER  
**C3.0**

Prepared by: [Name] Design: [Name] Checked: [Name] Date: 12/22/2023  
 Plot Title: HOLY TRINITY - PHASE 2 - SITE PLAN  
 File Path: P:\Projects\2023\1704715738\1704715738\_05\_SitePlan.dwg  
 User: [Name] Date Plotted: 12/22/2023 10:00 AM  
 Plot Scale: 1/4" = 10'-0"  
 Paper Size: 11" x 17" (Portrait)  
 Plot Range: Viewport 1 (100%)  
 External Plots: No  
 Plot Style: Default.ctb  
 Plot Device: HP DesignJet T1300PS (PCL6)  
 Print Range: Plot Area  
 Scale: As Shown  
 Date Plotted: 12/22/2023 10:00 AM  
 User: [Name]



Project: 2024-05-03-5494 - Holy Trinity - Phase 2 - Apparatus and Hose Lay Plan - June 26, 2024 - 05:03:54pm - [www.kimley-horn.com](http://www.kimley-horn.com)  
 User: jason@kimley-horn.com  
 Project Path: \\server\projects\2024\2024-05-03-5494 - Holy Trinity - Phase 2 - Apparatus and Hose Lay Plan  
 File Path: \\server\projects\2024\2024-05-03-5494 - Holy Trinity - Phase 2 - Apparatus and Hose Lay Plan\Drawings\2024-05-03-5494 - Holy Trinity - Phase 2 - Apparatus and Hose Lay Plan.dwg  
 Plot Date: 6/26/2024 10:58:11 AM  
 Plot Scale: 1/8" = 1'-0"  
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 Plot Range: Extents  
 Plot Color: Black  
 Plot Lineweight: 0.20  
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 Plot Title: 2024-05-03-5494 - Holy Trinity - Phase 2 - Apparatus and Hose Lay Plan



**SITE LEGEND**

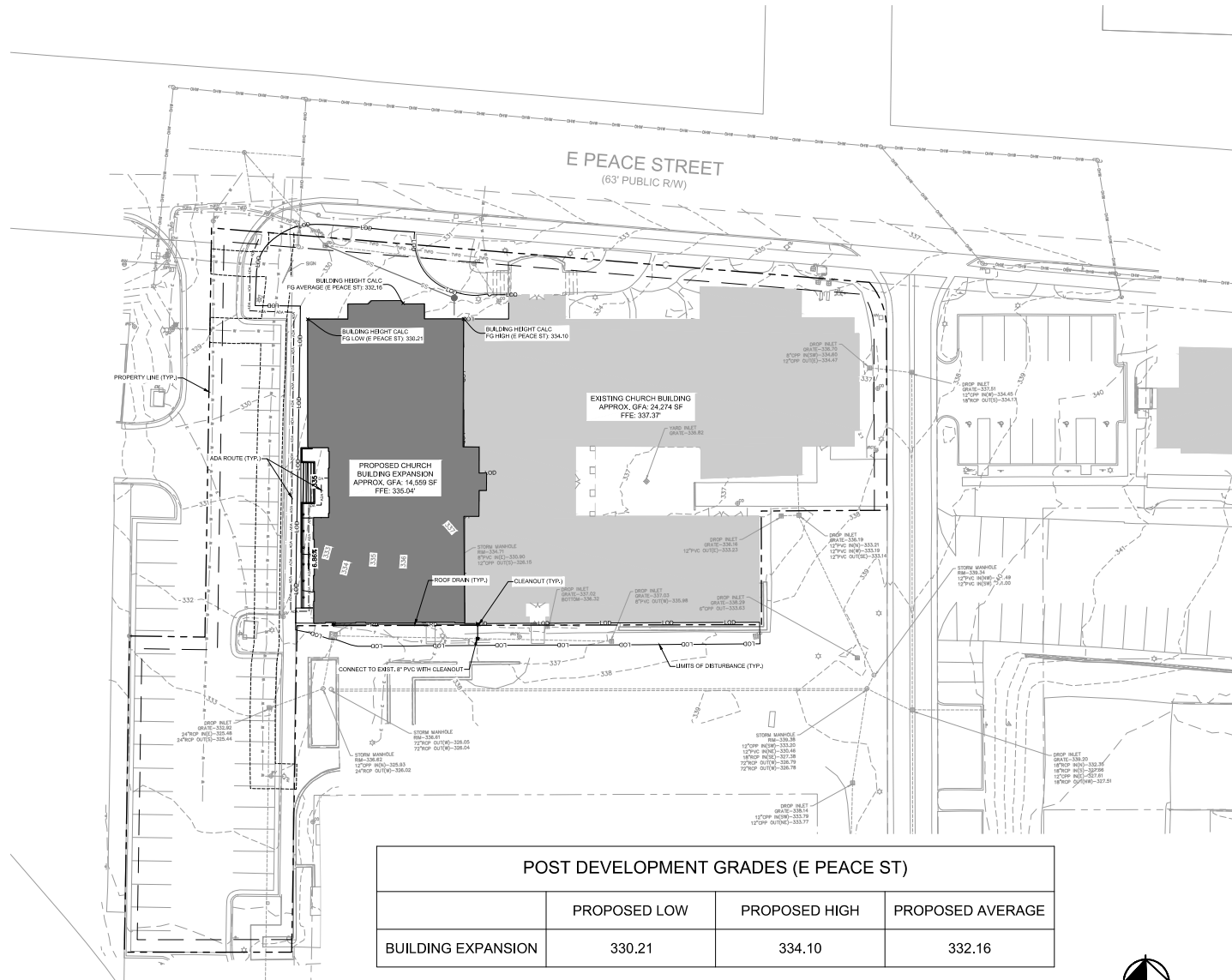
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	BUILDING
	STANDARD DUTY CONCRETE

 © 2024 KIMLEY-HORN AND ASSOCIATES, INC. #6102 WWW.KIMLEY-HORN.COM PHONE: 919-447-2000 FAX: 919-447-2006 421 FAYETTEVILLE STREET SUITE 600, RALEIGH, NC 27601	REVISIONS NO. DATE BY
	REVISIONS NO. DATE BY
	REVISIONS NO. DATE BY
	REVISIONS NO. DATE BY
PRELIMINARY NOT FOR CONSTRUCTION	RIA PROJECT DT DATE 12/22/2023 SCALE AS SHOWN DESIGNED BY CDR DRAWN BY SET CHECKED BY RLB
<b>HOLY TRINITY - PHASE 2</b> PREPARED FOR HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.	NC
SHEET NUMBER <b>C3.1</b>	RALEIGH

Know what's below.  
 Call before you dig.

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A  
 TOPOGRAPHIC BOUNDARY SURVEY OBTAINED ON 03/23/2024 BY KCI  
 ASSOCIATES OF N.C., 4506 FALLS OF NEUSE ROAD, SUITE 400,  
 RALEIGH, NC 27609. PHONE: (919) 783-8434. CONTRACTOR SHALL BE  
 RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION.  
 DELETED OR NOT PRIOR TO CONSTRUCTION AND REPORT  
 POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

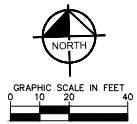
DRAWN BY: J. HARRIS, DATE: 12/22/2023, PROJECT: HOLY TRINITY ANGLICAN CHURCH, 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC 27609, PHONE: (919) 758-8414, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, IDENTIFYING OR NOT, PRIOR TO CONSTRUCTION AND REPORTING POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



POST DEVELOPMENT GRADES (E PEACE ST)			
	PROPOSED LOW	PROPOSED HIGH	PROPOSED AVERAGE
BUILDING EXPANSION	330.21	334.10	332.16

### GRADING AND DRAINAGE LEGEND

- PROPERTY LINE
- - - - - TEMPORARY CONSTRUCTION EASEMENT
- TCE
- SD STORM DRAIN (2: 12 INCH)
- RD STORM DRAIN (< 12 INCH)
- UD UNDER DRAIN
- CURB AND GUTTER
- SPILL CURB AND GUTTER
- CL CLEARING LIMITS
- EXISTING CONTOUR
- 805 PROPOSED CONTOUR
- 826.00 SPOT ELEVATION
- CATCH BASIN (CB)
- MANHOLE (SDMH)
- CLEANOUT (SDCO)
- DROP INLET (DI)
- AREA DRAIN (AD)
- GRATE INLET (GI)
- ▭ FLARED END SECTION (FES)
- ▭ CONCRETE HEADWALL (HW)
- ▭ RP-RAP APRON
- FLOW ARROW
- TW TOP OF WALL (GRADE ELEV.)
- BW BOTTOM OF WALL (GRADE ELEV.)
- TP TOP OF PAVEMENT (GRADE ELEV.)
- TC TOP OF CURB (GRADE ELEV.)
- TC/TP FLUSH CURB (GRADE ELEV.)
- WT WATER TIGHT JOINTS (WT)



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HOLY TRINITY - PHASE 2  
 PREPARED FOR  
 HOLY TRINITY ANGLICAN CHURCH  
 OF RALEIGH, INC.

RALEIGH NC

**GRADING AND DRAINAGE PLAN**

PRELIMINARY  
 NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS
1	12/22/2023	AS SHOWN
2	12/22/2023	AS SHOWN
3	12/22/2023	AS SHOWN
4	12/22/2023	AS SHOWN
5	12/22/2023	AS SHOWN

PROJECT NO. 23-0001

DATE: 12/22/2023

SCALE: AS SHOWN

DESIGNED BY: JCH

DRAWN BY: JCH

CHECKED BY: JCH

REVISIONS PER CITY COMMENTS

DESIGN DEVELOPMENT

REVISED PER CITY COMMENTS

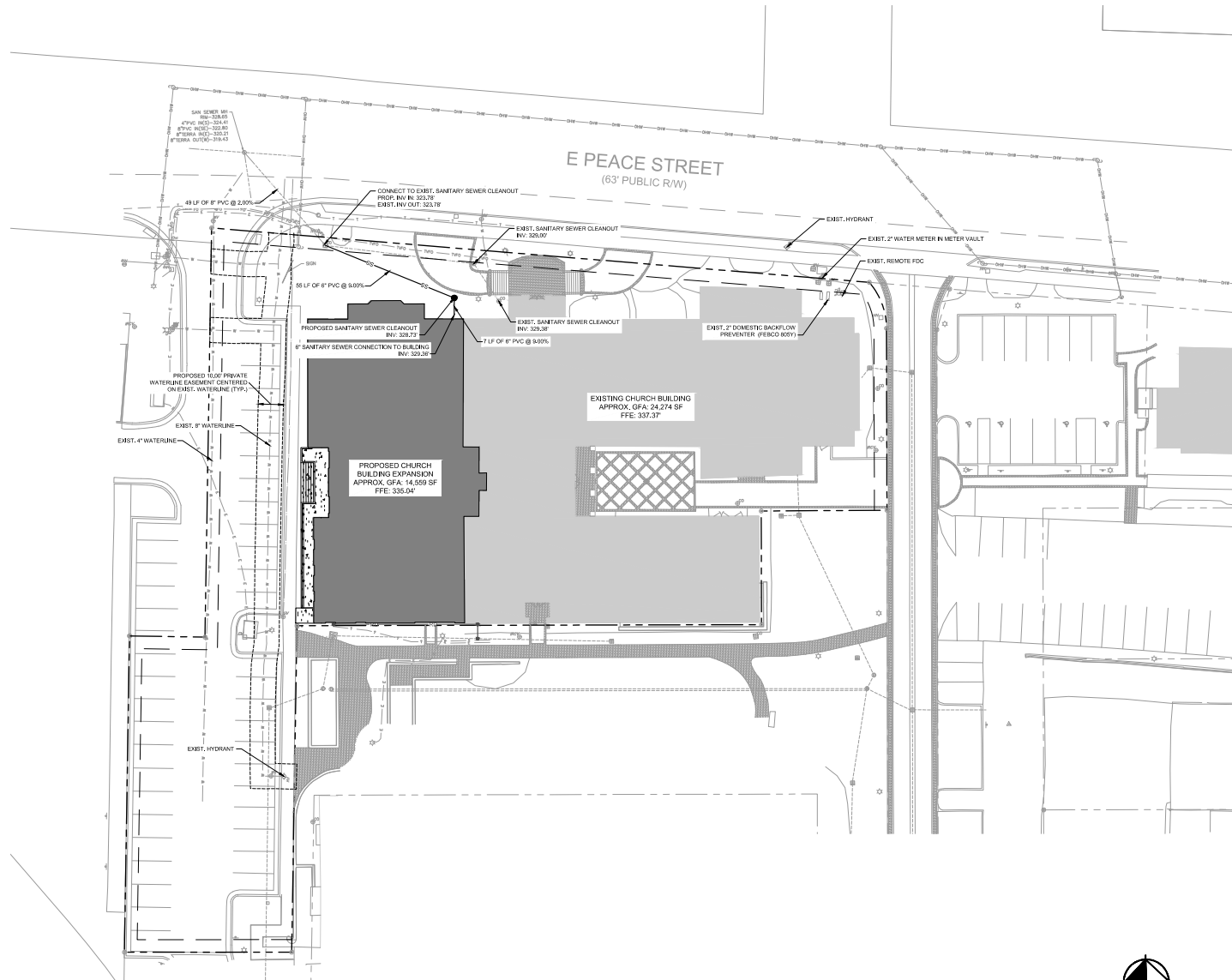
CITY OF RALEIGH - ASR SUBMITTAL

**Kimley-Horn**

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 #102 WWW.KIMLEY-HORN.COM PHONE: (919) 758-8414 FAX: (919) 758-8414  
 421 FAYETTEVILLE STREET SUITE 600, RALEIGH, NC 27601

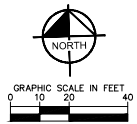
SHEET NUMBER  
**C4.0**

DRAWN BY: KIMLEY-HORN, INC. (KHI) PROJECT NO.: 2024-0010-001 DATE: 12/22/2023  
 CHECKED BY: KHI PROJECT NO.: 2024-0010-001 DATE: 12/22/2023  
 DESIGNER: KHI PROJECT NO.: 2024-0010-001 DATE: 12/22/2023  
 APPROVED BY: KHI PROJECT NO.: 2024-0010-001 DATE: 12/22/2023  
 ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
 ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.  
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UTILITY LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
—	CABLE
⊕	LIGHT POLE
⊕	WATER METER
⊕	GATE VALVE
⊕	POINT OF CONNECTION
⊕	BACKFLOW PREVENTOR
⊕	PPE TEE/BENDS
⊕	REDUCER
⊕	FIRE HYDRANT (FH)
⊕	FIRE DEPARTMENT CONNECTION (FDC)
⊕	SANITARY SEWER CLEANOUT (SSCO)
⊕	SANITARY SEWER MANHOLE (SSMH)
⊕	SANITARY SEWER GREASE TRAP

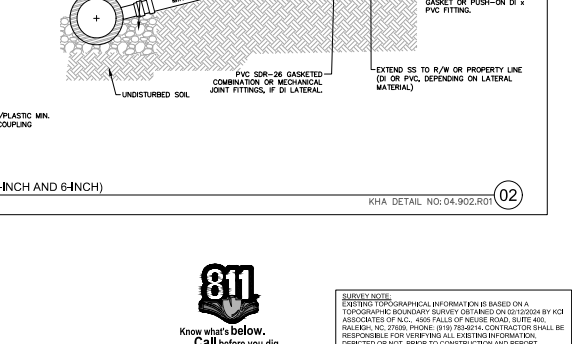
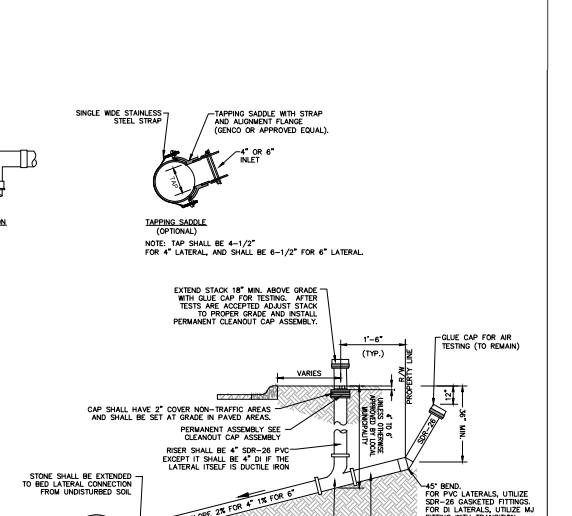
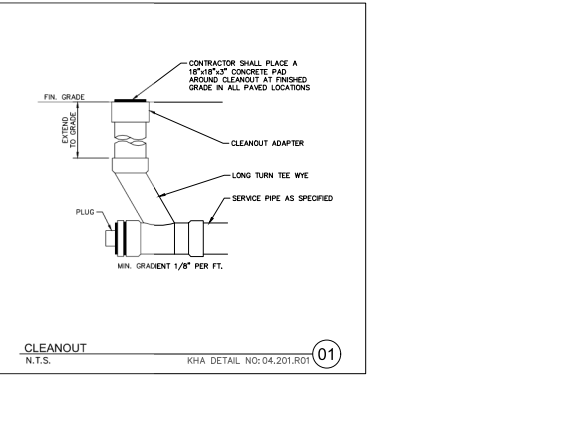
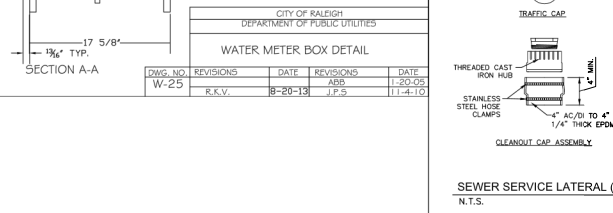
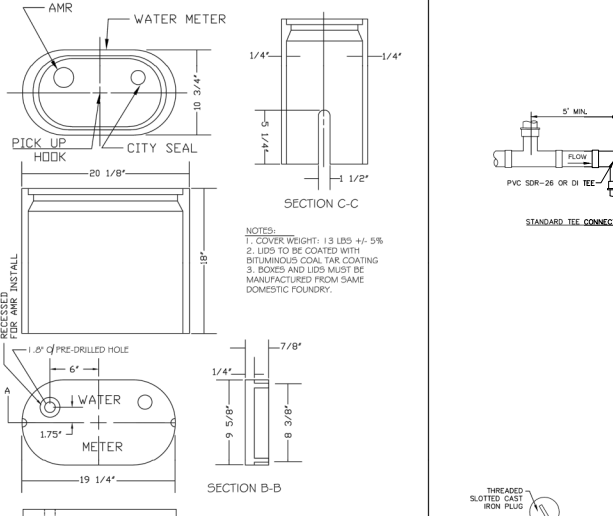
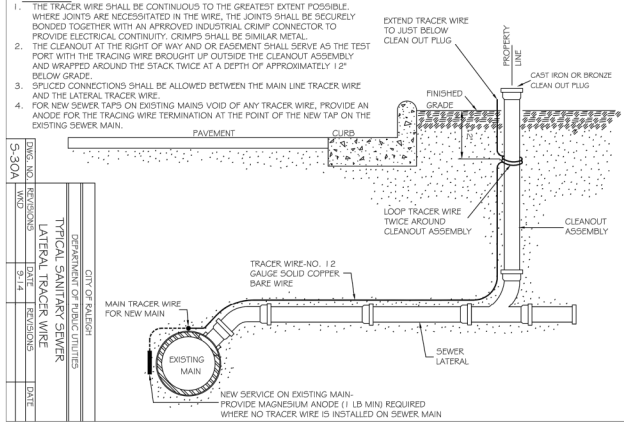
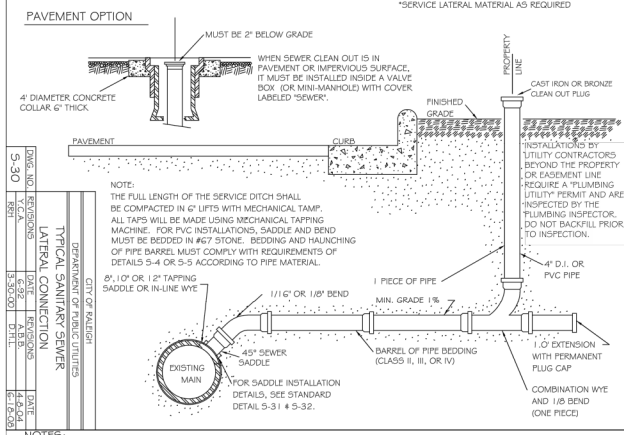
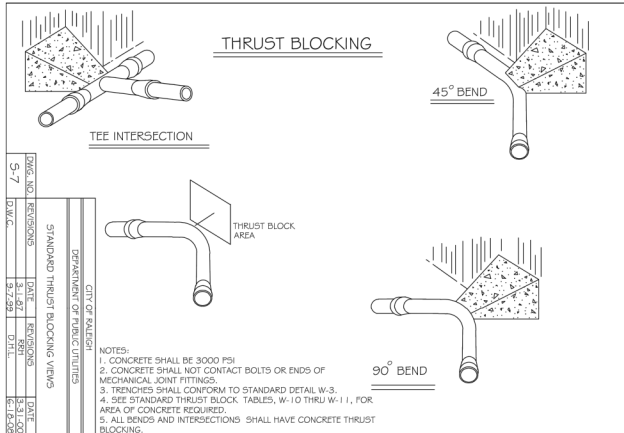
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		REVISED PER CITY COMMENTS	4/19/2024	CDL
		CITY OF RALEIGH - ASR SUBMITTAL	12/22/2023	AF
<b>HOLY TRINITY - PHASE 2</b> PREPARED FOR <b>HOLY TRINITY ANGLICAN CHURCH</b> OF RALEIGH, INC.		R/A PROJECT DATE: 12/22/2023 SCALE: AS SHOWN DESIGNED BY: CDL DRAWN BY: SET CHECKED BY: RLD	PRELIMINARY NOT FOR CONSTRUCTION	
<b>UTILITY PLAN</b>		SHEET NUMBER <b>C5.0</b>		
RALEIGH, NC		DATE		



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 RALEIGH, NC, 27609. PHONE: (919) 758-8434. CONTRACTOR SHALL BE  
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NO.	DATE	REVISIONS
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50	08/20/24	CDL

**Kimley Horn**

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 #6102 WWW.KIMLEY-HORN.COM PHONE: 919-847-2000 FAX: 919-847-2006

**PRELIMINARY NOT FOR CONSTRUCTION**

**UTILITY DETAILS**

**HOLY TRINITY - PHASE 2**

PREPARED FOR  
**HOLY TRINITY ANGLICAN CHURCH**  
 OF RALEIGH, INC.

RALEIGH, NC

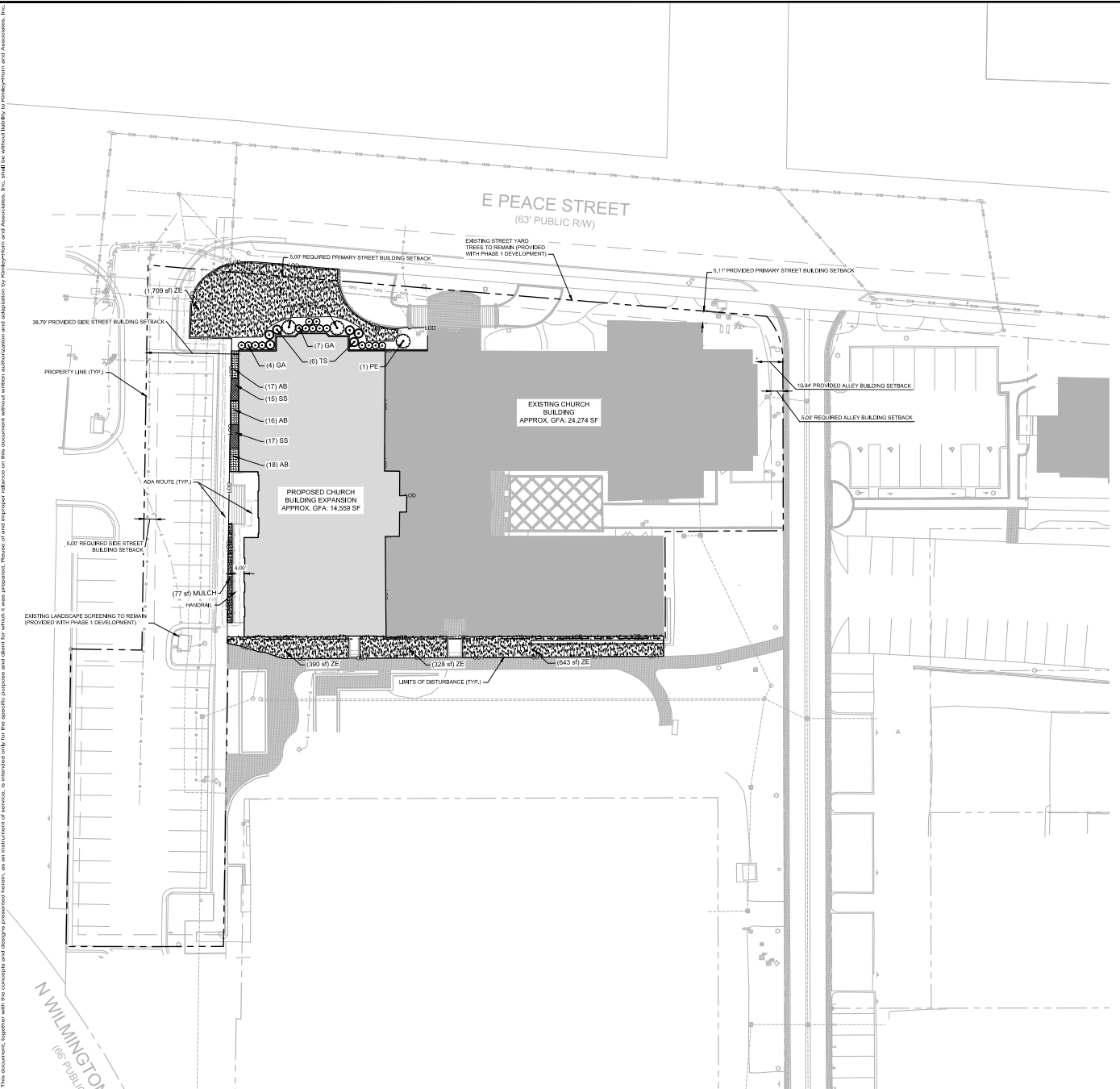
SHEET NUMBER  
**C7.0**



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**PLANT SCHEDULE**

SYMBOL	CODE	QTY.	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
<b>PERENNIALS</b>						
⊙	GA	16	GARDENIA JASMINEKES INJUST BEAUTY	AUGUST BEAUTY GARDENIA	3 GAL	36" HT.
⊙	PE	3	PRUNUS CAROLINIANA EMERALD HUNT	EMERALD KING CHERRY LAUREL	7 GAL	30" HT.
⊙	TS	6	THUJA OCCIDENTALIS SHARADZ	EMERALD GREEN ARBOVITAE	588	8 FT.

SYMBOL	CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>GRASSES/COVERS</b>						
▒	AB	51	ANDROPOGON GERARDI BLACKGRASSES	BLACKGRASS BIG BLUESTEM	1 GAL	18" x 48"
▒	MULCH	77 SF	3 SHREDED BARK MULCH		-	
▒	SE	33	SCHENKYRIUM SCOPARIUM THE BLUESE	THE BLUE LITTLE BLUESTEM	1 GAL	18" x 48"
▒	ZE	3,060 SF	ZOVISA X EMERALD	EMERALD ZOVISA	300	

RELEASED PER CITY COMMENTS: 03/29/2024 CDL
REVISIONS

DESIGN DEVELOPMENT: 04/02/2024 CDL
NO.

REVISED PER CITY COMMENTS: 04/19/2024 CDL
NO.

CITY OF RALEIGH - ASB SUBMITTAL: 12/22/2023 AF
DATE

# Kimley Horn

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 # 6102 WWW.KIMLEY-HORN.COM PHONE: 919.953.3000 FAX: 919.947.5200  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

NHA PROJECT UTILITY DATE: 12/22/2023  
 SCALE: AS SHOWN  
 REVISIONS: CDL, SET  
 DRAWN BY: [blank]  
 CHECKED BY: [blank]

## LANDSCAPE PLAN

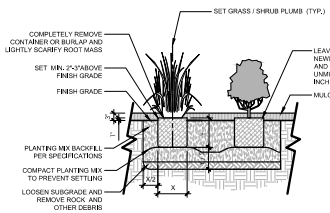
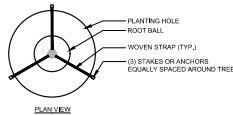
### HOLY TRINITY - PHASE 2 PREPARED FOR HOLY TRINITY ANGLICAN CHURCH OF RALEIGH, INC.

RALEIGH NC

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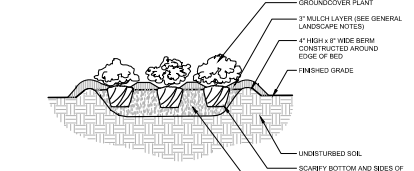
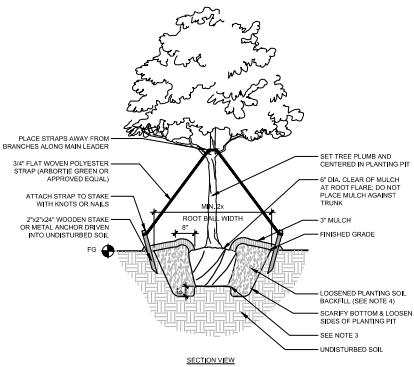
SHEET NUMBER **L1.0**

DRAWN BY: JACOB M. BROWN, LICENSED LANDSCAPE ARCHITECT, NO. 12003, 2020. DESIGN: JACOB M. BROWN, LICENSED LANDSCAPE ARCHITECT, NO. 12003, 2020. CHECKED BY: JACOB M. BROWN, LICENSED LANDSCAPE ARCHITECT, NO. 12003, 2020. DATE: 12/22/2023. PROJECT: HOLY TRINITY ANGLICAN CHURCH, 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC 27609. PHONE: (919) 754-1114. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, REPORTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



- SHRUB AND ORNAMENTAL GRASS PLANTING NOTES:**
1. ALL PLANT MATERIAL, INCLUDING MULCH, BED PREPARATION, AND STAKING.
  2. ALL PLANTING BEDS SHALL RECEIVE 2" THICK LAYER OF MULCH.
  3. MULCH TYPE FOR PROJECT: DOUBLE SHREDDED HARDWOOD HARDWOOD DESIGNER MULCH IN DARK BROWN.
  4. PLANT MATERIAL, INCLUDING MULCH, SHALL OBTAIN TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANTING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.
  5. ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAJN).
  6. SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENCY.
  7. SEE PLAN FOR SPACING.

**2 SHRUB AND ORNAMENTAL GRASS PLANTING**



- TREE PLANTING NOTES:**
1. FOR CONTAINER PLANTS, REMOVE CONTAINER & SCARIFY ROOT MASS PRIOR TO PLANTING.
  2. FOR B&B PLANTS, COMPLETELY REMOVE TOP HALF OF WIRE BASKET AND BURLAP MATERIAL.
  3. REMOVE ALL TWINE, ROPE AND WIRE FROM ROOT BALL.
  4. SET ROOT BALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 2" ABOVE FINISHED GRADE. TAMP SOIL BENEATH AND AROUND ROOT BALL TO SET TREE PLUMB.
  5. DIG & TURN PLANTING SOIL TO REDUCE COMPACTION. LIGHTLY TAMP SOIL AROUND ROOT BALL IN 2" LIFTS TO BRACE THE TREE. DO NOT OVERCOMPACT. MIX COMPOST TO EACH LIFT OR BACKFILL AS RECOMMENDED IN SOIL REPORT. POUR WATER AROUND ROOT BALL TO SETTLE SOIL AND BACKFILL AS REQUIRED TO MEET REFINISHED GRADE.
  6. IF 2" HIGH, 1/2" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE.
  7. PRUNE TREES ONLY AS NEEDED TO REMOVE DEAD OR BROWN BRANCHES.

**1 STANDARD TREE PLANTING**

- GROUND COVER NOTES:**
1. SPLIT PLANT ROOTS WITH 3-3 EQUALLY SPACED VERTICAL CUTS

**3 GROUND COVER PLANTING**

**GENERAL LANDSCAPE NOTES:**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z90.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE THREE(3) INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE BEGINNING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
11. THE CONTRACTOR SHALL COMPLETELY WARRANT ALL PLANT MATERIAL, FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURRENT CITY OF RALEIGH STANDARD TO A DEPTH OF THREE (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDOD). FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDISE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.

**SOIL AMENDMENT NOTES:**

1. SOIL INSTRUCTIONS FOR ALL NEW PLANTING AREAS (INCLUDING SEED AREAS) AT PREVIOUSLY PAVED LOCATIONS: REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE, AND CONSTRUCTION DEBRIS. FOR ALL AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 12" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOIL ANALYSIS. FOR ALL AREAS TO RECEIVE SOIL AND / OR SEED: THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 3" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS.
2. SOIL INSTRUCTIONS FOR ALL EXISTING PLANTING AREAS (NOT PREVIOUSLY PAVED LOCATIONS): THE CONTRACTOR SHALL TAKE A MINIMUM OF FOUR (4) SAMPLES THROUGHOUT THE PROJECT SITE AND SHALL SUBMIT THEM TO BE TESTED TO A CERTIFIED SOIL TESTING AGENCY. THE CONTRACTOR SHALL AMEND ALL EXISTING SOIL WITHIN EXISTING DISTURBED PLANTING AREAS PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM. AREAS TO RECEIVE SOIL SHALL BE AMENDED TO A DEPTH OF 3" MINIMUM.

**EXISTING SITE TREE AND SHRUB MAINTENANCE NOTES:**

1. LIMB TREES ON SITE TO A MINIMUM HEIGHT OF 8', MEASURED FROM ADJACENT GRADE OF STREET, PAVING, OR LANDSCAPE AREA.
2. PRUNE SHRUBS WITHIN VEHICLE SIGHT TRIANGLES TO A MAXIMUM HEIGHT OF 30" FROM GRADE OF ADJACENT STREET PER LDD SECTION 164.
3. CROWN CLEANING AND ELEVATION PRUNING SHALL BE COMPLETED FOR ALL EXISTING CANOPY TREES BY ISO-CERTIFIED ARBORIST. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH PROJECT LANDSCAPE ARCHITECT, OWNER, CITY ARBORIST, AND PROJECT ARBORIST PRIOR TO ENGAGING IN ANY PRUNING ACTIVITIES.

REVISED PER CITY COMMENTS	08/03/2024	CDL
DESIGN DEVELOPMENT	04/20/2024	CDL
REVISED PER CITY COMMENTS	01/20/2024	CDL
CITY OF RALEIGH - ASB SUBMITTAL	12/22/2023	AF
REVISIONS		

**Kimley Horn**  
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 #6102 WWW.KIMLEY-HORN.COM PHONE: 919-477-2000 FAX: 919-477-2000  
 421 FIVEVILLE STREET SUITE 600, RALEIGH, NC 27601

ISSUE PROJECT UTILITY PLAN	DATE	SCALE	AS SHOWN	CDL	SET	REL
	12/22/2023					
DESIGNED BY	CDL	CHECKED BY	AF	DATE		
DRAWN BY	AF	CHECKED BY	REL			

**LANDSCAPE DETAILS**

**HOLY TRINITY - PHASE 2**  
 PREPARED FOR  
**HOLY TRINITY ANGLICAN CHURCH**  
 OF RALEIGH, INC.  
 RALEIGH, NC



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC BOUNDARY SURVEY OBTAINED ON 03/20/2024 BY KCI ASSOCIATES OF NC, 4506 FALLS OF NEUSE ROAD, SUITE 400, RALEIGH, NC 27609. PHONE: (919) 754-1114. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, REPORTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SHEET NUMBER  
**L2.0**