

Administrative Approval Action

Case File / Name: ASR-0002-2024 DSLC - Holy Trinity - Phase 2

LOCATION:	This 1.05 acre parcel is located across from William Peace University at 100 East Peace Street. The site is also north of Polk Street, east of North Wilmington Street, and west of North Blount Street. The property is zoned PD (MP-1-06), with a small portion also located in a general historic overlay district for North Blount Street (HOD-G). It is located in Comprehensive Plan designated Frequent Transit Area.
REQUEST:	The project proposes a 2-story, 14,559 square foot addition to the existing 24,274 square foot building for Holy Trinity Anglican Church, for a total 38,833 square feet of gross floor area. Existing landscaping, sidewalk and a patio will be demolished or removed in the area where the addition will be constructed. The project does not utilize the frequent transit development option.
DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:	N/A
FINDINGS:	City Administration finds that this request, with the below conditions of

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 26, 2024 by Kimley-Horn.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to approval, plan set shall include building elevations that meet all standards, including maximum height for the PD (MP-1-06).

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



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Public Utilities

 A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications. FYI, it may be appropriate to record the private easement by deed instead of a plat. If this is the appropriate format and other trades do not require a plat, Raleigh Water would not require the plat.

Urban Forestry

2. A major encroachment is required to be approved that includes the street trees and their maintenance.

The following are required prior to issuance of building occupancy permit:

Stormwater

- 1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 7, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

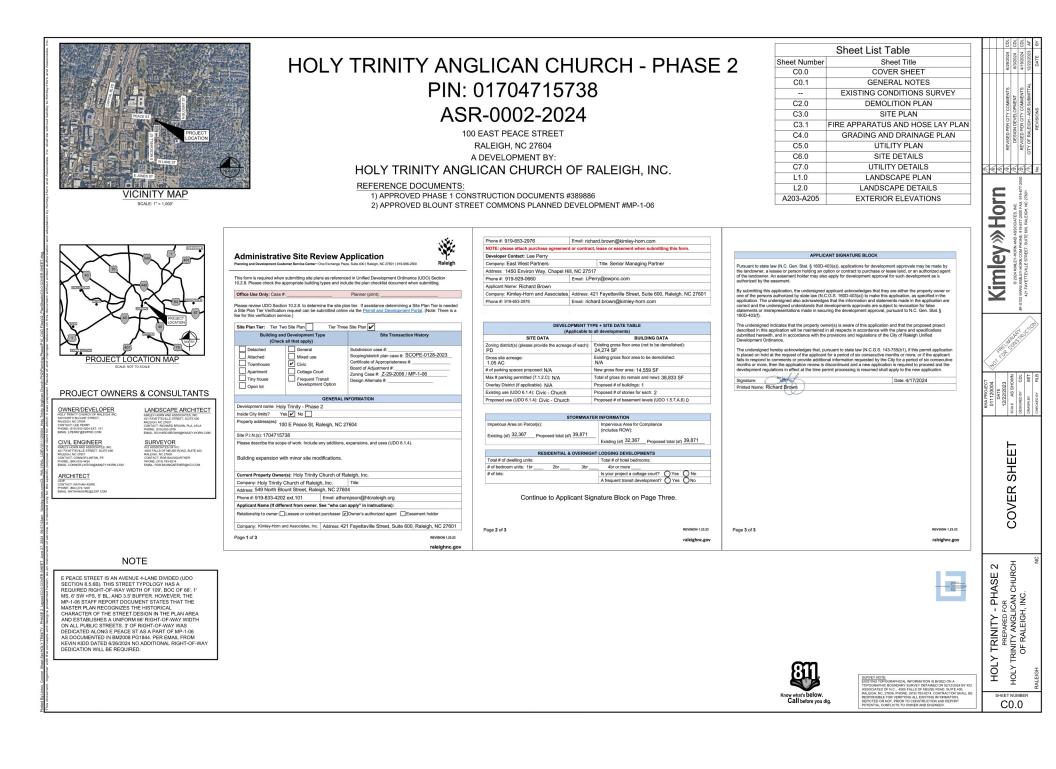
I hereby certify this administrative decision.

Keegan McDonald

Date: 08/07/2024

Signed: _

Development Services Dir/Designee Staff Coordinator: Jessica Gladwin



GENERAL NOTES:

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BULCING CIMENCIONE BULCING UTUTY ENTRANCE LOCATIONS, MO EXACT LOCATIONS AND DIMENSIONS OF EAT PROPRES, PAMIES CONVENTIS, GAVIEL, RASIA JALICENTTO BULCING WALLS, UTUTY ENTRANCE LOCATIONS, AND EQLARGS IN BULCING SIDEWALSS, ANY DEGREPANCES FOUND BETWEEN THE BULCING AND COLL PLANS SHALL BE INMEDITLEY REPORTED TO THE ENVIREME

- ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- REFER TO SITE DETAIL SHEETS. FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING, REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.

5. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY NCDOT AND THE CITY OF RALEIGH INSPECTIONS.

- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION
- THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE. INCLUDING ANY DAMAGE CAUSED BY THE CONTRACTOR.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OGTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
- 10. CONTRACTOR AGREES TO REPAIR MAY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE INCOOT AND THE CITY OF RALEIGH. 1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH CITY AND/OR NODOT INSPECTORS
- 12. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- 13. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CUR8 OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE NORTH DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP DETAILS).
- 15. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED
- 16. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS, ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE, AND LOCAL ACCESSIBILITY REQUIREMENTS.
- 18. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- 18. CONTRACTOR MUST INSTALL CONSTRUCTION FENCE AROUND THE PERIMETER OF THE PROPERTY UNTIL THE BUILDING IS SECURE WITH TEMPORARY DOORS AND LOCKS.

TRAFFIC CONTROL NOTES:

- REFER TO MANUAL ON UNFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR: DETALS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE INCOOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", INCOOT "ROADWAY STANDARD DRAWING MANUAL" AND THE INCOOT SUPPLEMENT TO THE MUTCO.

CITY OF RALEIGH PUBLIC UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).

- DIAMETER. LAWAELER. O WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STELE. ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERIALS SPECIFICATIONS.
- d) 5/0 MNMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER. O MANTAN 16 MIN. VERTICAL SEPARATION AT ALL WATERMAN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24 MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHEVED, SEPECIFUP DIM ATERNALS & A CONCRETE CARACLE HAVING OF MIN, CLEARMANCE (PER CORPUD DETALS WHAT & SHAT SANITARY AND A SANITARY SEWER A SANITARY SEWER AND A SANITARY AND A SANITARY
- ALL OTHER UNDERGROUND UTLITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION
- NEUNEM. MY NECESSARY FELD REVERIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PUAN AGR PROFILE BY THE CITY OF RALEBA FRAIL UTILIES DEPARTMENT RIGHT TO CONSTRUCTION. CONTRACTOR SHALL MAINTAN CONTINUOUS WITH & SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PRALET. ANY NECESSARY SERVICE INTERNATIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE MOTION TO HE CITY OF REVENUE UTILIES DEPARTMENT.
- 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE
- ANNO. If In Exploring the second sec
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR PEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI, BACKWATER VALVES ARE REQUIRED ON ALL SANTARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0" ABOVE THE INEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARWA BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK [INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUT FOR PROGRAM COORDINATOR PROOF TO ISSUARCE OF A BULDING PERMIT. CONTACT THE BEASLEY AT (\$19) 9562334 OR THOUTH JESALEVIGRALEGING.GOV FOR MORE INFORMATION.

- UTILITY NOTES: 1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES 2. CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE. 3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR36 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SCHEDULE 40 4" PVC SCHEDULE 40 UCITLE IRON PIPE PER XMWA C150 AND XMWA C151 4. WATER LINES SHALL BE AS FOLLOWS :
- 3" 10" DUCTILE IRON PIPE PER AWWA C150 2" TO 2" TYPE K SOFT COPPER
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET
- 6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS WATER AND SEWER MAINS SHALL BE KEPT TEN (10) APART (PARALLEL) OR WHEN CROSSING 18' VERTICAL CLEARANCE (OUTSIDE EDGE OF PPE TO OUTSIDE EDGE OF PPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0 COVER ON ALL WATERLINES
- 10. LINES UNDERGROUND SHALL BE INSTALLED. INSPECTED AND APPROVED BEFORE BACKFILLING
- 11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.L
- 12. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS
- 13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES 14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES
- 15. REFER TO ARCHITECTURAL DRAWINGS FOR THE IN LOCATION AND ELEVATION OF ALL UTILITIES AT THE BUILDING.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTLITY DEPARTMENT WITH RECARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF MUNICIPALITY DOES NOT RECOME TESTING, CONTACT ENSINGER FOR APPROPRIME UTLITY TESTING CATERIA.
- THE CONTRACTOR IS RECORDALY CAUTONICD THAT THE LOCATION AND/OR ELEVATION OF DURING UTLINES AS REVEAL ON THERE PORSE READ ON RECORDS OF THE WORKS OF THIS CONSERVED. AND WHERE PORSELIES UNBASERVENTES THEN IN THE RELEA. THE NOTATION IS NOT TO BE RELED ON AS BRIDE SACET OR COMPLETE THE CONTRACTS AND MUST CALL THE MOREOVER DURING AND THE WORKS THE UNBASERVENT AND ADDRESS AND AD
- APPROPRI UTILITIES. 18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTLITIES CHARTED OR UNCHA CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS 21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- 22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- 23. ALL SANTARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- 24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDERS FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- WHEN A WATER MAIN CROSSES OVER A SEVER MAIN. THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. F WATER MAIN MUST GO UNDER THE SEVERE MAIN, BOTH LINES MUST BE OF DUCITLE IRON FOR A DISTANCE OF TEN FRE EITHER SIDE OF THE CROSSING WITH TARUEV, BROW VERTICAL SEPARATION. FLE CROSSING OF OTHER UNDERGROUDOR REQUERES A MINIMAL OF TINUEV, INCHES OF VERTICAL SEPARATION, ALL DISTANCES ARE MASJRED FROM OUTSDE DAMIN
- 26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE RON OR ENCASED IN CONCRETE, A MINIQUIM & CONCRETE CRADLE SHALL BE POURED BETWEENT HE TWO, DISTANCES ARE MEASURED FORM OUTSDE COMMETER TO OUTSDE DUMIETRS
- 27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING, FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.

DRAINAGE:

- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED: 15" DIAMETER AND LARGER: RCP, CLASS II PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS. LESS THAN 19 'DIAMETER: PVG SCHEDULE 40 OR HDPC - AASHTO DESIGNATION M22 TYPE S, M24 TYPE S AND MP747 TYPE S, M00TH INTERIORIAMULAR EXTERIOR, ONLY PERMITTED WHEN PEROFEALLY INDECATED OR THE CONSTRUCTION PROVINGS PIPE SHALL BE INSTALLED IN ACCOMMACE WITH PERMIX-PATIENTERS INSTALLATION QUECILIES OR INCOM SECOND SCHEDUNG TO MANY AND AND PERMITSION AND FITTINGS SHALL CONFORM TO ASHTO M22 AND M24.
- ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD. ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- UNDERGROUND UTLITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
- 5.1. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
- 5.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FLITERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS
- 5.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT 8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERTIFICAM INVERTIN TO INVERTIOUT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC, SHALL MEET THE RECURREMENTS OF THE LATEST ECITION OF THE NORTH CARCUNA DEPARTMENT OF TRANSPORTATION STANDARD DETALS AND SPECIFICATIONS.
- 10. THIS PLAN DETAILS PIPES UP TO SFT FROM THE BUILDING FACE. REFER TO DRAMINGS BY OTHERS FOR BUILDING CONNECTIONS CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
- 11. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
- 12. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESS
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. BM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE MOTED.



- GRADING
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

DEMOLITION NOTES:

TREE PROTECTION NOTES:

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Know what's below

Call before you dig.

1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE

CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTRY MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICASE STANDARDS FROM THE NORTH CARGUNA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDMENT CONTROL RESOLUTIONS.

THE CONTINUED BHALL FROMDE GROUND COVER ON DEBIGNATED AREAS AND SLOPES GREATER THAN 31 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTENENTS SHALL PROVIDE GROUND COVER IN 1 DAYS ON ALL OTHER AREAS FOLLOWING CONTENTION OF ANY PHASE OF GRADING. TREAMMERT GROUDD COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHATER) FOLLOWING COVERTION OF ANY PHASE OF GRADING.

DURING CONSTRUCTION OF THE PROJECT, SOUL STOCKTLES AND BORROW AREAS SHALL BE STABILED OR PROTECTED WITH SEMMENT TARAPPON LIEASINGT, THE CONTRACTOR RESPONSED FOR THE TEMPORARY PROTECTION AND PRIMAMENT STABLIZATION OF ALL SOL STOCKTLES ON SITE AS WELL AS BORROW AREAS AND SOL INTERTIDUALLY TRANSPORTED FORCE THE PROJECT STR.

SEDIMENT BASINS AND TRAPS, PERIMETER CIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FRAT STEP IN ANY LANDOLISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERRECT AVED OR FUELC ROADS PROVIDIONS SHALL BE MADE TO MININGE THE TRANSPORT OF SEDEMANT IN VEHICLA. THACANG CON'D INE AVAID SURFACE MANNERS ESTIMATION TO THE DO TO FORCE THE TRANSPORT OF SEDEMANT IN VEHICLE AND THE TO THE AVAID SURFACE AND THE THE DO TO FORCE TO A SEDEMANT ON THE LE READOUTE HOM THE ROADS IN VEHICLE SURFACE AND TRANSPORTED TO A SEDEMANT CONTROL DEPOSAL AREA. STREET WASHING SHALL BE ALLOVED ONLY AFTER SEDEMANT IS REMOVED IN THIS MANNER.

ALL TEMPORARY EROSION AND SEIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINL SITE STABLIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER MEEDED AND APPROVAL HAS BEEN OSTINICE PROM THE <u>CITYO CARLIGH INSPECTIONS EDUARTIMET</u>. THAPPED SEIMENT AND THE OSTINBED SOL, MEAS RESULTED RICH THE CENDERIZATION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABLED TO PREVENT FUNTIERE REOSON AND SEGMENTATION.

ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL OUALITY SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, U.S. SOL CONSERVATION SERVICE, AND CITY OF RALEICH REQUERENTS.

THE CONTRACTOR BIAL DECENTY AND CONTRUCTES' MANTAIN ALL EROSON CONTROL DENDES AND STRUCTURES TO MANAZE EROSON TO MANAZE ACCOUNT AND CONTROL STRUCTURES CONTACT WITH THE EROSON CONTROL, INSPECTOR SO THAT PERDOIC INSPECTORS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTOR.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

STABLIZATION IS THE BEST FORM OF ERGIGIN CONTROL. ALL DETURGED MEAS WHICH ARE NOT OTHERWEE STADLIZED SHALE FOR POLICE AND SEEDIDS THEOREMENT OF DETURGED MEASTLY IN ACCORDINGE WITH THE CITY OF PALIFICH SEDIMENT CONTROL REGULATIONS, PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCOUPTINGE.

CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.

WHEN A GRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.

ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION, INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.

DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

STABLIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY ATTER INSTALLATION

THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE DWINER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAN, AND ERGISION CONTROL.

SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES. THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONTINUE AS OF START OF WORK.

WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.

ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.

6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LNES, IN ADDITION TO THOSE THAT RECEIVE TREESHRUB PROTECTION BARRERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.

3 SOLI DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND STURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY MOUTON, GRADNO, OR CONSTRUCTION BEDINS, AND NOT REMOVED LINTL FAMIL INSPECTION.

NO GRUBBING WITHIN TREE PROTECTION ZONE, LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH, RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING, OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTL AFTER CONSTRUCTION.

SUMMY MODE: DISTRIBUT MODE: DISTRIBUT ON CORPORATION IS BASED ON A TOPOCORPHC BOUNDARY DISTANSED ON CONSIGNA-SSCOMTE OF NO. 4, 595 FALLS OF REUSE ROAD, SUITE A RALEDA, N.C. 27600, PHONE (919) 784.8214. CONTRACTOR S BESPONSBLE FOR VERTING ALL INSTITUS INFORMATION, CEPTOTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OMNER AND ESONEES.

VINEN ROOT FRUNKUE BRCEESSARY, LUEE A TRENCHER TO CUIT AREA WHERE APPROPRIATE ROOT PRUMING SHOLL PERFORMED. TO PRUME ROOTS HARDER THAN THE CAMPALITY OF A TRENCHER, LUE HAND TOLGS TO GOTANA A C, CUIT, DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT PROPOSED CUER AND GUTTER.

ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.

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GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION DETALS.

- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CON TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRA
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR ACCREGATE BASE COURSE ELEVATIONS TO BE COMPLETED LINDER THE CONTRACT.
- 10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- 12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERINT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITES AND ALL TERMS AND CONDITIONS IN THE STATE OR MINICIPAL GRANDER AND FOR THE ADMINISTRY FOR THIS PROJECT.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOL AND GROUNDCOVER AS APPROPRIATE, REFER TO EROSION CONTROL NOTE 12 FOR ADDITIONAL DETAIL.
- CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED
- THE CONTRACTOR IS RESPONSED. FOR THE DESIGN AND IMPLEMENTATION OF ALL PRETTING, SHORING SHOULD, AND SPECIAL EXCANATION MEASURES RESPONSED TO MEET COSK, EDERAL, STATA MA LOCAL, RECLANDOR PARSIANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSED. ITY FOR THE DISCINCTI STUDIATEL, SHOT THESE.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE. CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS. ALL FLL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.

ALL FOUNDATION AND UTLITY EXCAVATION SHALL BE INSPECTED BY A QUALFED GEOTECHNOAL REPRESENTATIVE TO DETERMINE WIETHER UNSUTTABLE MATERIAL MART BE REMOVED. ALL UNDERMARE MATTER SHALL BE REMOVED FOUNDATIONS PROPERTIES.

GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMPOSITE UNFORESEEN CONDITIONS, STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CONTRER OF DROP NLETS. MANHOLES AND JUNCTION DOXES, MAD THE MIDPOINT OF THE GUTTER FLOW UNF FOR CURB NLETS.

23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE FLANS.

ALL AREAS WITH 2-1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.

PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED

STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS IN THIS PLAN SET.

BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINSHED GROUND ADJACENT TO LOW SIDE OF WALL TOP OF WALL ("TW") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO HIGH SIDE OF WALL, REFER TO GRADING PLANS IN THIS PLAN SET FOR ALL TW AND BW ELEVATIONS

THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPLICITEDANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OR RALEND HUGLIC UTILIES DEPARTMENT REQUIRED BACKLOW PREVENTER.

ALL REQUIRED BACKPLOW PREVENTER ASSEMBLIES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEMINTO SERVICE.

THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEICH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

ATTENTION CONTRACTORS The <u>Construction Constructor</u> responsible for the extension of water, server, and/or reuse, as approved in these plans, is responsible counting the Public Works Department at (<u>1919)96-249</u> and the Public Utilities Department at (<u>1919)96-249</u> at least institution for barry prior to beginning any of their construction.

 $\label{eq:product} \frac{Failure}{C} to notify both City Departments in advance of beginning construction, will result in the issuance of <u>monetary fines</u> and require reinstallation of any water or sever facilities not inspect as a result of this notification failure.$

Failure to coll for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsie, or any other Violation of City of Raidigh Standards will result in a <u>Fine and Possible Exclusion</u> from future work in the City of Raidigh.

5. THE IRRIGATION BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

3. RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2-8" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME

24 EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT

UTILITIES.

RETAINING WALL NOTES:

BACKFLOW PREVENTION NOTES:

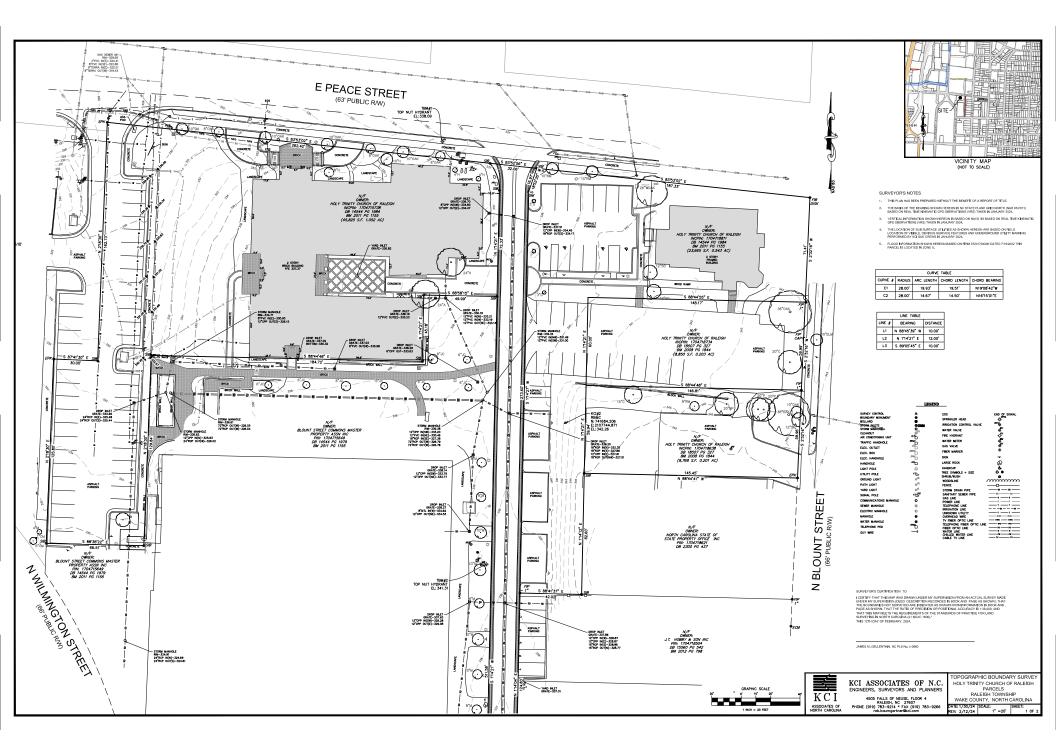
FINE GRADING NOTES (PRIVATE PROPERTY):

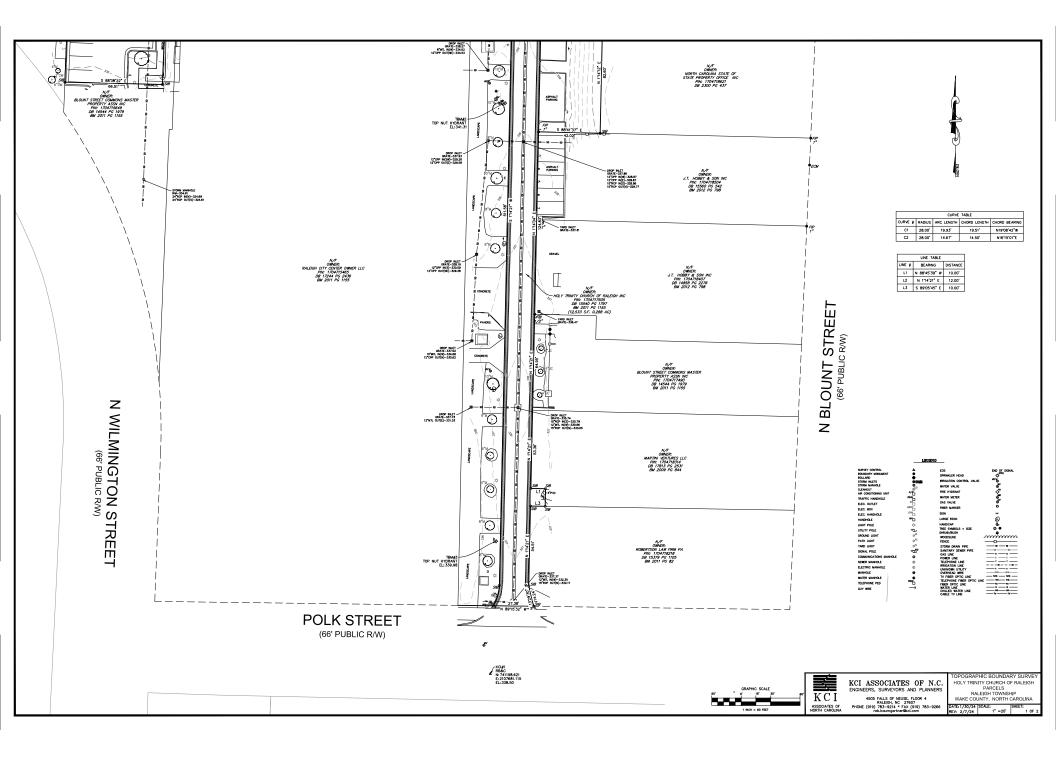
ALL OUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

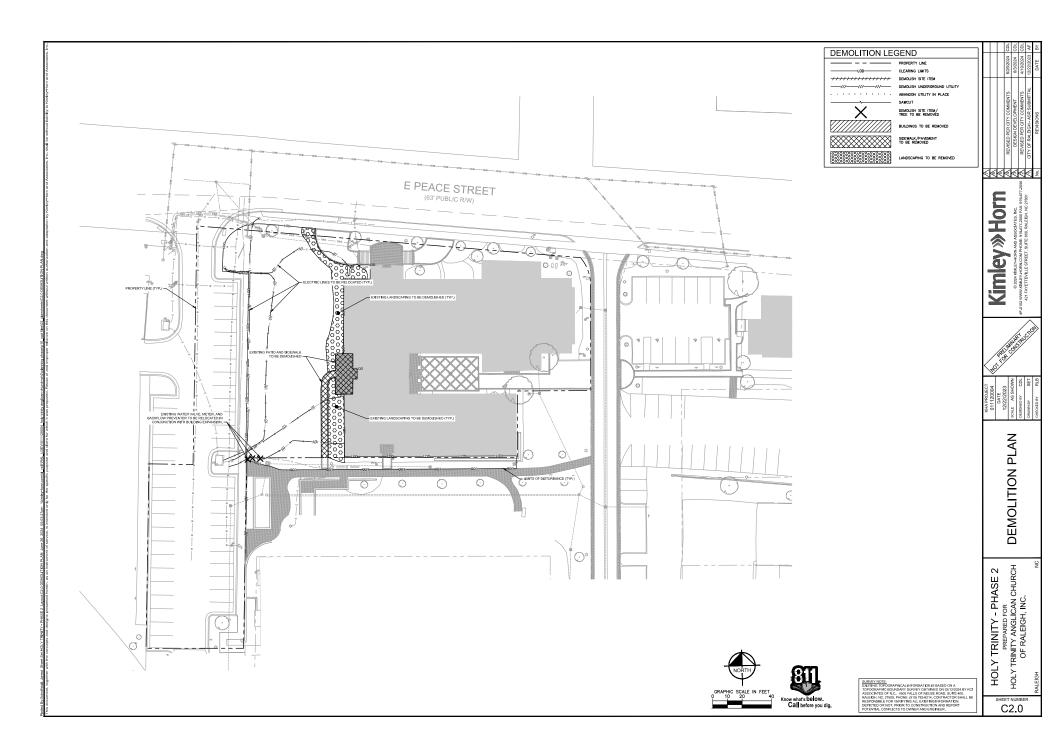
SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONG TUDINAL SLOPE

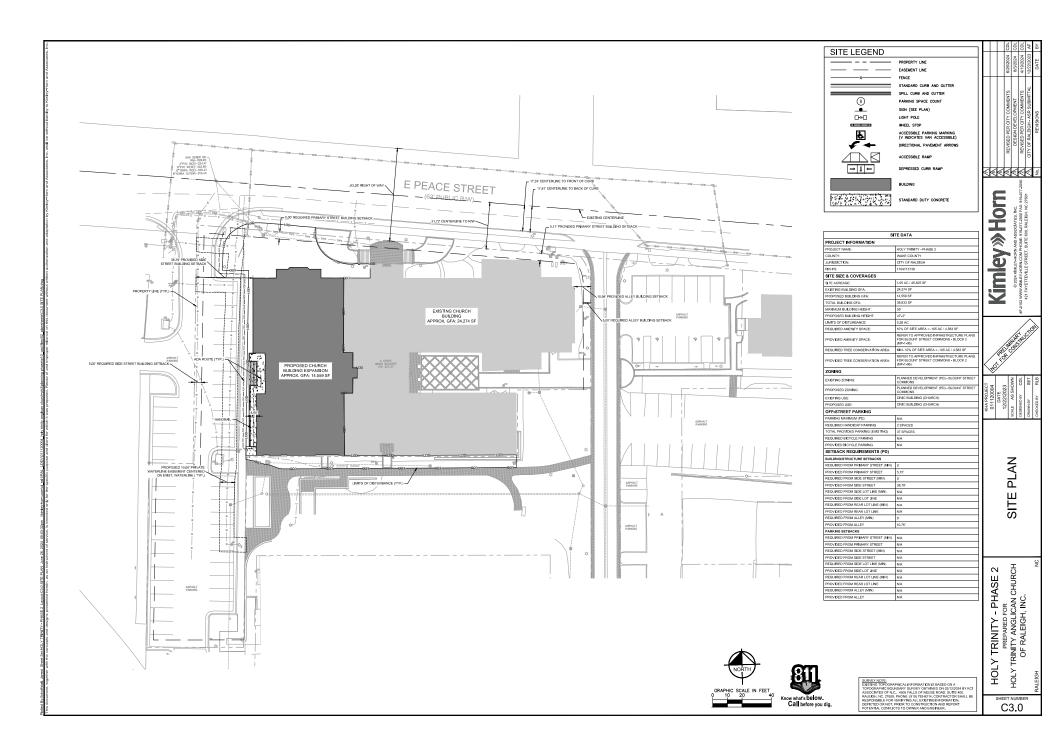
ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

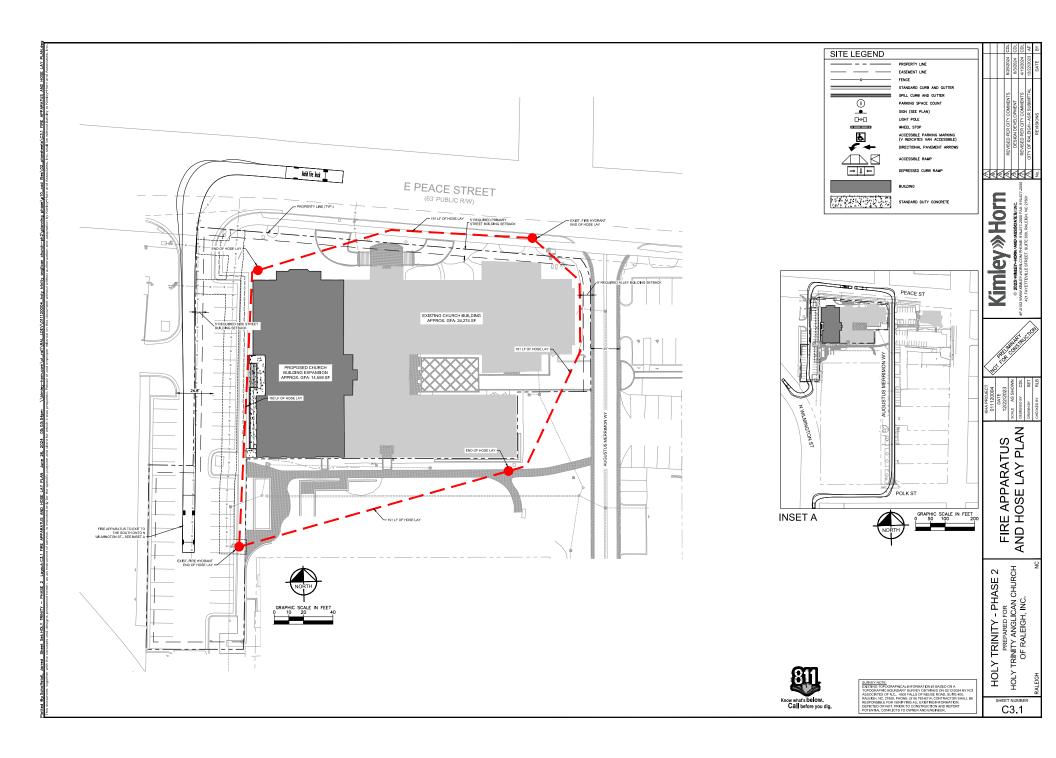
SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS

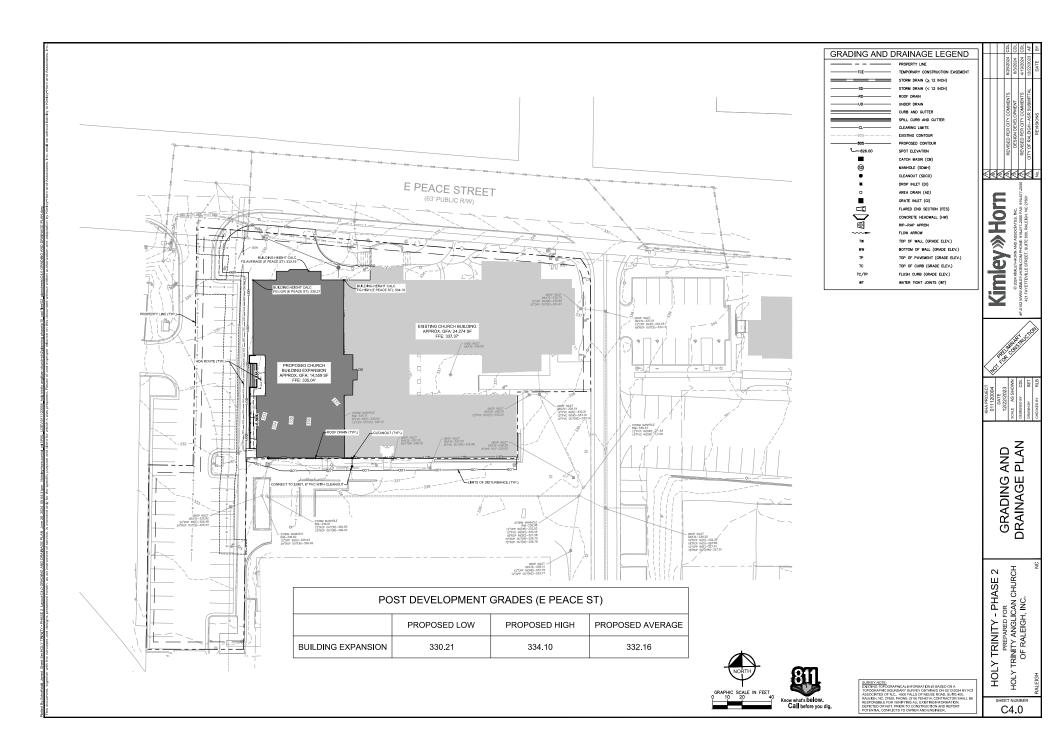


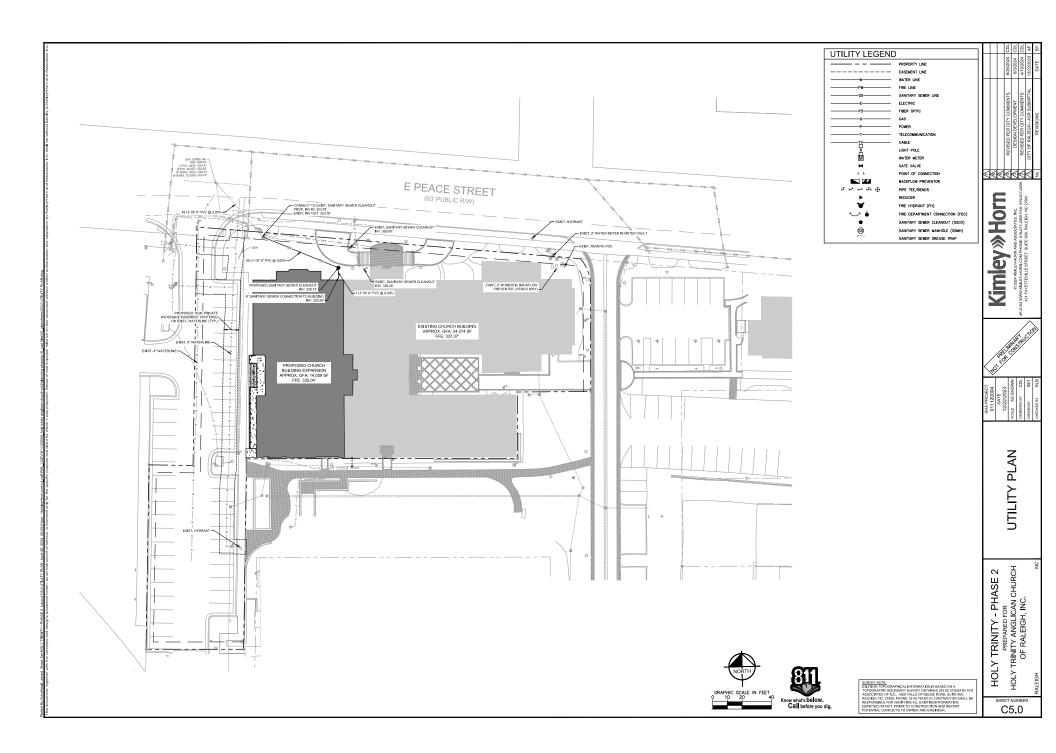


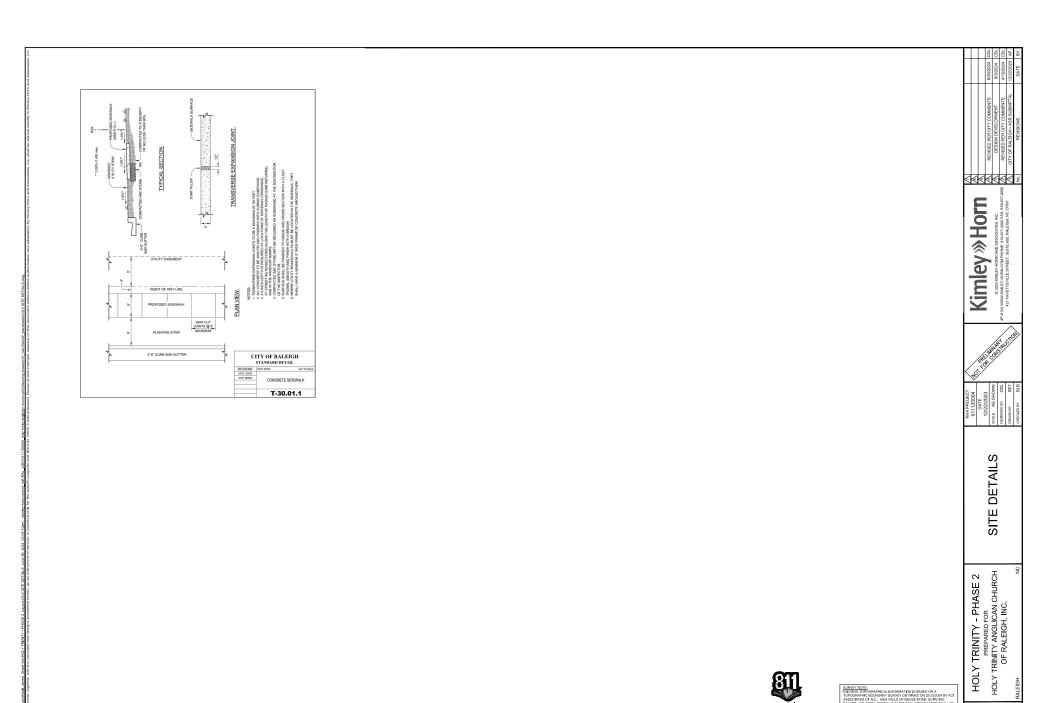








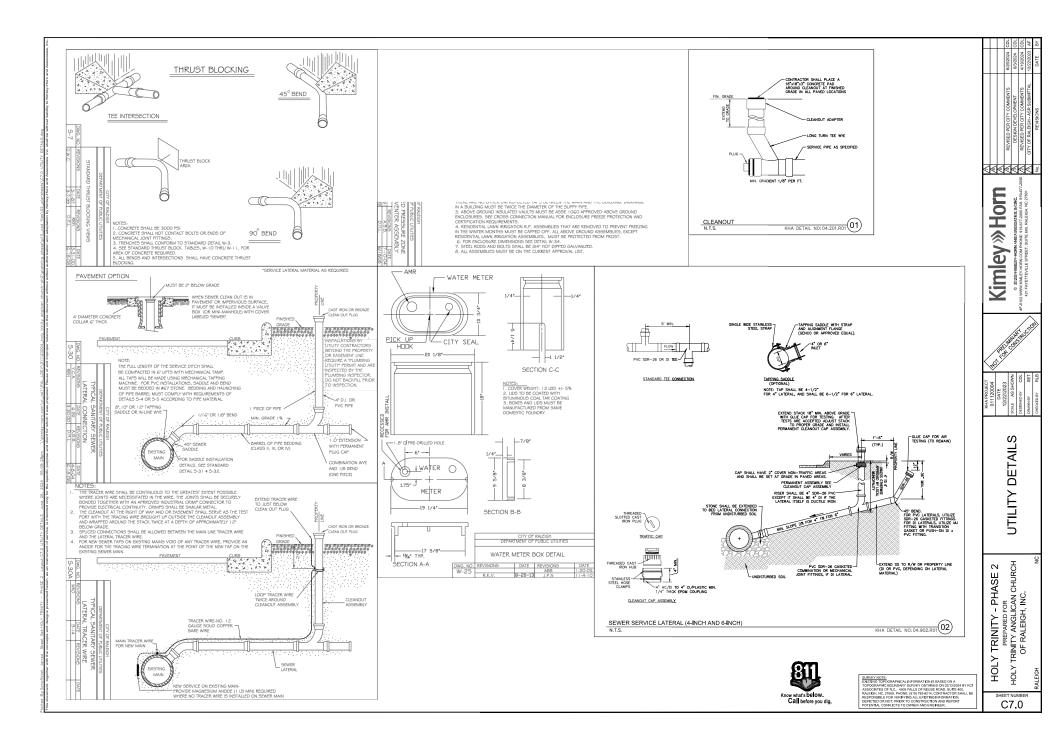


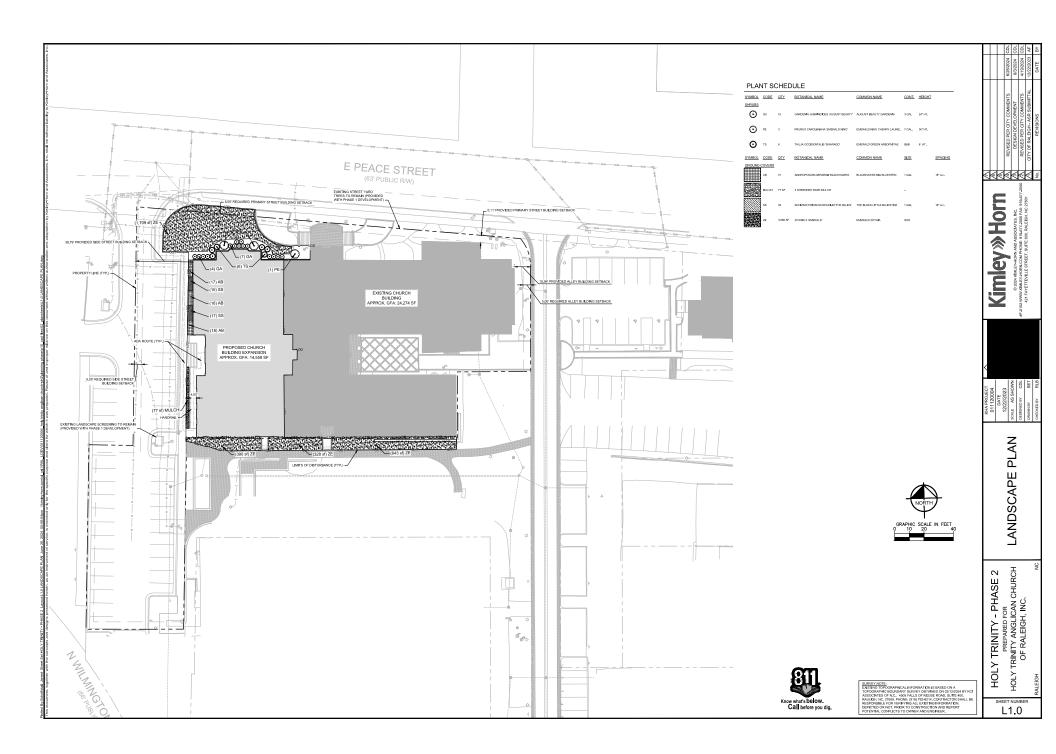


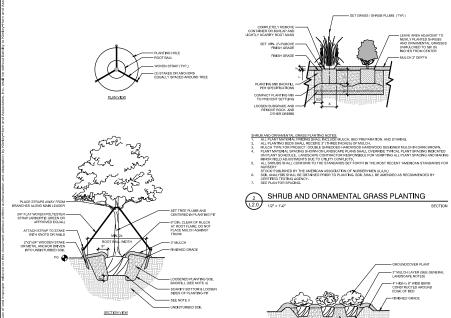


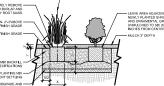
RALEIGH

SHEET NUMBER







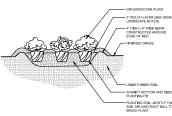


SET GRASS / SHRUB PLUMB (TYP.)

SECTION

NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYNWN (A.A.N.) SOCIA MANLYSS SHALLEE OBYNNED PRIOR TO PLANTING, SOL, SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENY.





- THEFT PAYMENT MITTER 1. CORD DIAMENTA ANTES, REXXVE CONTANER & BLANFY ROOT MASS HIDR TO PAYMENT 2. CORD BR AVAITS CORPETER VIEWER TO PAY AND THE MARKET AND BRIAN PAYMENT 3. CORD BR AVAITS CORPETER TO THE SEGMENT AND THE PAYMENT AND THE PAYMENT 4. CORD THE PAYMENT AND THE PAYMENT AND THE PAYMENT AND THE PAYMENT 4. CORD THE PAYMENT SECTOR TO RESULT COMMUNITY AND THE PAYMENT AND THE PAYMENT 4. CORD THE PAYMENT SECTOR TO RESULT COMMUNITY AND THE PAYMENT AND THE PAYMENT 4. CORD THE PAYMENT SECTOR TO RESULT COMMUNITY AND THE PAYMENT AN

1 STANDARD TREE PLANTING

- 3" MULCH LAYER (SEE GENERAL LANDSCAPE NOTES) SCARIFY BOTTOM AND SIDES OF PLANTING PIT
 - PLANTING SOL: LIGHTLY TAMP SOL AROUND ROOT BALL TO BRACE DI ANT
- GROUNDCOVER NOTES: 1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY SPACED VERTICAL CUTS

GROUNDCOVER PLANTING 3 L2.0

1/2* = 1'-0*

- GENERAL LANDSCAPE NOTES: 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. 3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- 5 ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS
- ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8 (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI 250.1 STANDARDS FOR HEIGHT OF BRANCHING-STREET TREES.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE THREE(3) INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
- 8. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTLITES AND SHALLS YOUD MUNCE TO ALL UTLITES DURING THE CONTRACTOR THE SHORT THE ADD SHALLS YOUD MUNCE TO ALL UTLITES DURING THE CONTRACTOR THE SHORT MUNCE ADD SHALLS YOU ADD SHALLS AND ALL ADD SHALLS AND ADD SHALLS AND ADD SHALLS ADD SHORT SHALLS YOU ADD SHALLS AND ADD SHALLS AND ADD SHALLS AND ADD SHALLS ADD SHORT ADD SHALLS AND ADD SHALLS AND
- 9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFINS ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DESCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTAINTIAL COMPLETION.
- 11. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTINITIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE ON AT THE END OF THE WARRANTEE PERIOD.
- THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1 WEEK IN ADVANCE TO SOFIDULE STAKING.
- 13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) ANALU BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REGUREMENTS FOR PLANT MATERIAL.
- 15. ALL PLAYTING GEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREEDED HARDWOOD MULCH HARDWO
- 16. LOCATIONS OF EXISTING BURKED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CLAITING OF UTILITY LINES AND ADJACEMENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- 19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- 20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHIKUBS THAT WILL MEET BOTH MINIMUM SEA NO SPACINO FOR TREE MON THE RAUGH UNITIED DEVELOPMENT FORMANCE (LOD) FALLINE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL SCOPARIZE ISSUMCE OF FRAL CERTIFICATE OF OCCUPANCY, CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT TAREFAIL.

22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING, GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.

SOIL AMENDMENT NOTES:

2. Sola heriter/thes/sola_lability.com/the/ada_sola_ter/ter/back/sola_lability.com/ter/back/sola_la

EXISTING SITE TREE AND SHRUE MAINTENANCE NOTES: 1. LINE TREES ON SITE TO A MAINTENANCE NOTES: A MASURED FROM ADJACENT GRADE OF STREET, PAVING, 2. PAULE SHRUE WITH VERLES LES AND TO STANCE TRANSQUES TO A MAXIMUM HEILHT OF 30° FROM GRADE OF ADJACENT STREET FREI TO STATUTO STANCE TRANSQUES TO A MAXIMUM HEILHT OF 30° FROM GRADE OF ADJACENT STREET FREI TO STATUTO STATUTO AND ADJACENT OF ALL DRIVING OLIMPY TREES BY DRIVEN SHRUE SHRUE TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STREET FREI TO STATUTO SHILL SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT SCHOLD AND FREI ADJACENT STRUE SCHOLD AND FREI ADJACENT SCHOLD A



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