

ASR-0003-2019

DEVELOPMENT SERVICES



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: <u>Mike Walters</u>	
Building Type		Site Transaction History	
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: Willow Creek North Ridge			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es):			
Site P.I.N.(s): 4747003830 <u>171711325</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. This project will construct a small amenity building/leasing office along with outdoor spaces for residents of Willow Creek North Ridge. Accessory parking will also be constructed. This plan is in keeping with MP-4-16 The Lakes PD approved by the City of Raleigh.			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: North Ridge Apts LLC		Title:	
Address: 11710 Bowman Green Drive, Reston VA 20190-3501			
Phone #: 703-214-1498		Email: brady@willowcreekpartners.co	
Applicant Name: John T. Neel			
Company: Gay and Neel, Inc.		Address: 1260 Radford Street, Christiansburg VA 24073	
Phone #: 540-381-6011		Email: jneel@gayandneel.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 25.41	New gross floor area: 4500 sq. ft.
# of parking spaces required: 21	Total sf gross (to remain and new): 4500
# of parking spaces proposed: 24	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Multi-Unit Living	
Proposed use (UDO 6.1.4): Multi-Unit Living + Amenity Bldg	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>John T. Neel</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Matthew D. Brady</u>	Date: 6-17-2019
Printed Name: Matthew D. Brady	

# WILLOW CREEK NORTH RIDGE APARTMENT LEASING AND FITNESS BUILDING

LAKE HILL DRIVE, CITY OF RALEIGH

NORTH CAROLINA 27609

CASE # ASR-0003-2019

MP-4-16 THE LAKES MASTER PLAN

### DEVELOPMENT SERVICES

#### Administrative Site Review Application

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Office Use Only: Transaction #:	Planning Coordinator:
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
Site Transaction History	
Subdivision transaction #:	
Sketch transaction #:	
Certificate of Appropriateness #:	
Board of Adjustment #:	
Zoning Case #:	
Administrative Alternate #:	

#### GENERAL INFORMATION

Development name: Willow Creek North Ridge  
Inside City limits?  Yes  No  
Property address(es):

Site P.I.N. (s): 171711325

Please describe the scope of work. Include any additions, expansions, and change of use.

This project will construct a small amenity building/leasing office along with outdoor spaces for residents of Willow Creek North Ridge. Accessory parking will also be constructed. This plan is in keeping with MP-4-16 The Lakes PD approved by the City of Raleigh.

Current Property Owner/Developer Contact Name:

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Email: brady@willowcreekpartners.com

Applicant Name: John T. Neel

Address: 1260 Radford Street, Christiansburg VA 24073

Phone #: 540-381-6011

Email: jneel@gayandneel.com

#### DEVELOPMENT TYPE + SITE DATE TABLE

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0
Gross site acreage: 25.41	Existing gross floor area to be demolished: 0
# of parking spaces required: 21	New gross floor area: 4235 sq. ft.
# of parking spaces proposed: 24	Total sq gross (to remain and new): 4235
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Multi-Unit Living	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Multi-Unit Living + Amenity Bldg	

#### STORMWATER INFORMATION

Existing Impervious Surface: Acres: 19.44 Square Feet: 846,815	Proposed Impervious Surface: Acres: 19.52 Square Feet: 857,815
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: Flood stu: FEMA Map Panel #:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wells <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

#### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: # of bedroom units: 1br: 2br: 3br: 4br or more:	Total # of hotel units:
# of lots: Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No	

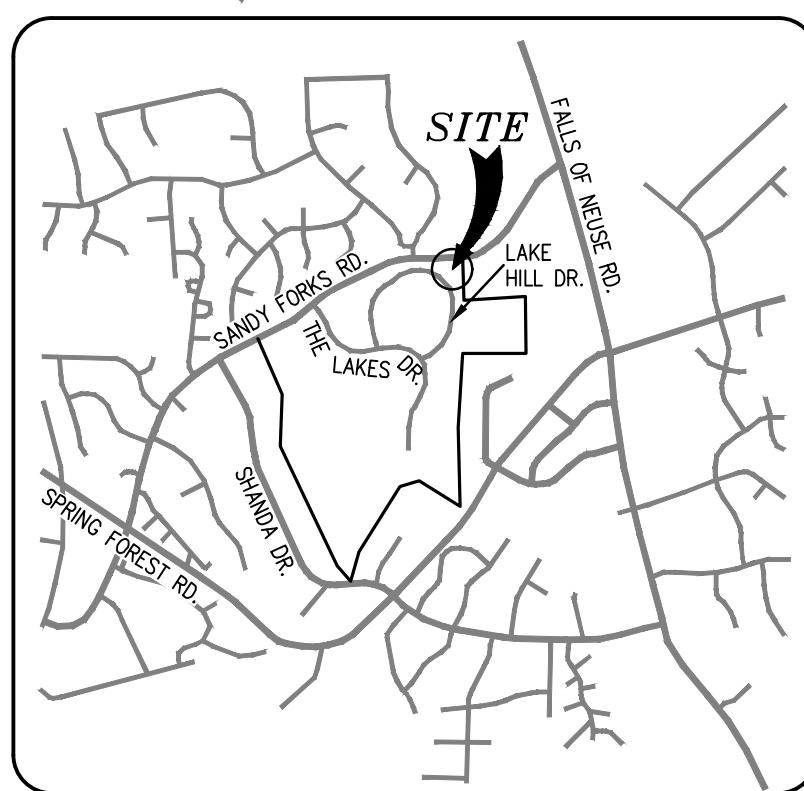
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In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate John T. Neel to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: John T. Neel Date: 6-17-2019  
Printed Name: Matthew D. Brady



VICINITY MAP:

SCALE: 1"=±1500'

#### SHEET INDEX

SHEET #	SHEET TITLE
C0-01	COVER SHEET
C0-02	GENERAL NOTES
C1-01	EXISTING CONDITIONS AND DEMOLITION PLAN
C1-02	OVERALL SITE PLAN
C2-01	SITE LAYOUT AND DIMENSION PLAN
C2-02	SIGHT DISTANCE PLAN
C2-03	SITE DETAILS
C3-01	GRADING AND STORM PLAN
C3-02	STORM DETAILS
C4-01	UTILITY PLAN
C4-02	UTILITY DETAILS
C6-01	LANDSCAPE PLAN
C6-02	TREE CONSERVATION AREA PLAN
C7-01	BUILDING ELEVATIONS
C7-02	BUILDING ELEVATIONS

#### LEGEND:

---2100---	PROPERTY LINE	TELE PED	EXISTING TELEPHONE PEDESTAL
---1200---	EXISTING 2' CONTOURS	GM	EXISTING GAS VALVE
---90.56---	PROPOSED 2' CONTOURS	GM	EXISTING GAS METER
x 90.56	EXISTING SPOT ELEVATION	LP	EXISTING LIGHT POLE
x 90.56	PROPOSED SPOT ELEVATION	WH	EXISTING WELL
x 90.56	PROPOSED TOP CURB ELEVATION	WH	DRILL HOLE
x 90.56	PROPOSED BOTTOM CURB ELEVATION	WH	EXISTING FIRE HYDRANT
==8"S==	EXISTING SANITARY SEWER	WH	PROPOSED FIRE HYDRANT
==6"W==	PROPOSED SANITARY SEWER	WH	PROPOSED FIRE HYDRANT LABEL
==6"W==	EXISTING WATERLINE	WH	EXISTING WATER VALVE
==W==	PROPOSED WATERLINE	WH	PROPOSED WATER VALVE AND REDUCER
==24"==	EXISTING STORM SEWER	WM	EXISTING WATER METER
==24"==	PROPOSED STORM SEWER	WM	PROPOSED WATER METER
----	EXISTING EDGE OF PAVEMENT	WM	EXISTING SEWER CLEANOUT
SEE PAVEMENT LEGEND FOR TYPE	PROPOSED PAVEMENT	WM	PROPOSED SEWER CLEANOUT
----	EXISTING BUILDING	WM	EXISTING SEWER MANHOLE
----	PROPOSED BUILDING	WM	PROPOSED SAN. SEW. STRUCTURE LABEL
---	EXISTING OVERHEAD ELECTRIC	WM	PROPOSED STRM. SEW STRUCTURE LABEL
---	EXISTING BURIED ELECTRIC	WM	EXISTING SHRUB
---	EXISTING BURIED CABLE TV LINE	WM	EXISTING TREE
---	EXISTING GAS LINE	WM	PROPOSED TREE
---	EXISTING BURIED TELEPHONE LINE	WM	EXISTING SIGN
---	EXISTING FENCE LINE	WM	PROPOSED SIGN
---	EXISTING TREELINE	WM	BORE HOLE/TEST PIT
---	BENCHMARK LOCATION	WM	CONTROL POINT
---	TO BE REMOVED	WM	IRON ROD FOUND
		WM	IRON ROD SET
		WM	PROPERTY CORNER

#### ABBREVIATION LEGEND:

A/C	AIR CONDITIONER	LB.	POUND
A.L.	APPROXIMATE LOCATION	L.S.A.	LANDSCAPED AREA
ALT.	ALTERNATE	M.	METER
APPROX.	APPROXIMATE	M.B.L.	MINIMUM BUILDING LINE
A.V.G.	AVERAGE	MAG.	MASTERCLEAR
B.M.	BENCHMARK	MAX.	MAXIMUM
BC	BOTTOM OF CURB	MB	MALE BOX
BLVD.	BULEVARD	MH	MANHOLE
BSMT	BASEMENT	MI	MILE
BW	BOTTOM OF WALL	MIN.	MINIMUM
C.F.	CUBIC FEET	MN.	MONUMENT
C.I.	CURB INLET	MTL.	METAL
C.M.U.	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
C.V.	CHECK VALVE	N.S.	NORFOLK & SOUTHERN
C.Y.	CUBIC YARD	N.T.S.	NOT TO SCALE
CAL.	CALIPER	N/F	NOW OR FORMERLY
CATV	CABLE TELEVISION	NBL	NORTHBOUND LANE
CHD	CHORD	NO./#	NUMBER
CHRD	CORRUGATED METAL PIPE	NRV	NEW RIVER VALLEY
CO	CLEAN-OUT	O.D.	OUTSIDE DIAMETER
CO.	COUNTY	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
CONC.	CONCRETE	OH	OVERHEAD
CRK.	CREEK	OHE	OVERHEAD ELECTRIC
D.B.	DEED BOOK	PLAT BOOK	PLAT BOOK
D.E.	DRAINAGE EASEMENT	P.U.	PUBLIC UTILITY
D.I.	DROP INLET	P.U. & D.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
D.I.P.	DUCTILE IRON PIPE	P.U.E.	PUBLIC UTILITY EASEMENT
D.S.	DOWN SPOUT	PE	POLYETHYLENE
DECOD.	DECODIOUS	PEDEST.	PEDESTAL
DEG.	DEGREES	PROP.	PROPOSED
DET.	DETAIL	PSI	POUNDS PER SQUARE INCH
DFC	DRAINFIELD CORNER	PVC	POLYVINYLCHLORIDE
DI.	DROP INLET	P.V.M.T	PAVEMENT
DIA.	DIAMETER	R.	RADIUS
DIST.	DISTRICT	R.R.	RAILROAD
DR.	DRAWING	R/W	RIGHT-OF-WAY
DWG	DRAWING	RCP	RENFORCED CONCRETE PIPE
DWLG	DRAWING	RD.	ROAD
E.L.	EDGE OF GRAVEL	REF.	REFERENCE
E.P.	EDGE OF PAVEMENT	REQ'D	REQUIRED
E.A.	EASTBOUND LANE	RET.	RETAINING
ELEV.	ELEVATION	REV.	REVISION
ESMT.	EASEMENT	R.O.	ROUTE
EVG.	EVERGREEN	R.W.	RAILWAY
EXIST.	EXISTING	S.D.	STORM DRAIN
EXT.	EXTENSION	SOL	STORM DRAIN LEFT
F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY	SDR	STORM DRAIN RIGHT
F.H.	FIRE HYDRANT	S.F.	SQUARE FEET
F.I.R.M.	FLOOD INSURANCE RATE MAP	SCH	SCHEDULE
F/L	FINISH FLOOR	SHT	SHEET
FT	FOOT	SPEC.	SPECIFICATION
FND	FOUND	SPK	SPRINKLER
FR	FRAME	SSEW	SANITARY SEWER
FT.	FEET	SSMH	SANITARY SEWER MANHOLE
G.M.	GAS METER	ST.	STREET
G.V.	GALLONS PER MINUTE	STA.	STATION
GNI	GAY AND NEEL, INC.	STD.	STANDARD
GPW	GALLONS PER MINUTE	STY.	STORY
GRAV.	GRAVEL	SWM	STORMWATER MANAGEMENT FACILITY
GRD	GROUND	SWM	STORMWATER MANAGEMENT FACILITY
HP	HIGH POINT	TER	TO BE REMOVED
H.U.D.	HOUSING AND URBAN DEVELOPMENT	TC	TOP OF CURB/CONCRETE
H.V.C.	HANDICAPPED	TCP	TERRA COTTA PIPE
HCR	HANDICAPPED RAMP	TDR	TOP OF BANK
HDP	HIGH DENSITY POLYETHYLENE PIPE	TOS	TOP OF SLOPE
HDR	HANDICAPPED RAMP	TOW	TOP OF WALL
HRE	HANDICAPPED RAMP	TYP.	TYPICAL
HS	HANDICAPPED RAMP	U.G.	UNDERGROUND
HWD	HEADWALL	U.P.	UTILITY POLE
I.D.	INSIDE DIAMETER	U.S.	UNITED STATES
IN	INCH	W.B.	WELDED WIRE FABRIC
INST.	INSTRUMENT	W.F.F.	WELDED WIRE FABRIC
INT.	INTERSECTION		

ENGINEERING • LAND PLANNING • SURVEYING  
1260 Radford Street  
Christiansburg, Virginia 24073  
Phone: (540) 381-6011  
Fax: (540) 381-2773  
Email: info@gayandneel.com  
Web: www.gayandneel.com

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### WILLOW CREEK NORTH RIDGE APARTMENT LEASING AND FITNESS BUILDING

CITY OF RALEIGH, NORTH CAROLINA

#### REVISIONS

NO.	COMMENTS	DATE

#### PROJECT TEAM

ROLE	NAME
PROJECT MANAGER	JOHN T. NEEL, PE
DESIGNER	MATTHEW P. TOMLINSON, PE
DESIGNER	MBL/HH

#### ISSUE DATE

11/27/2019

#### GNI JOB NO.

2898.0

#### SHEET TITLE

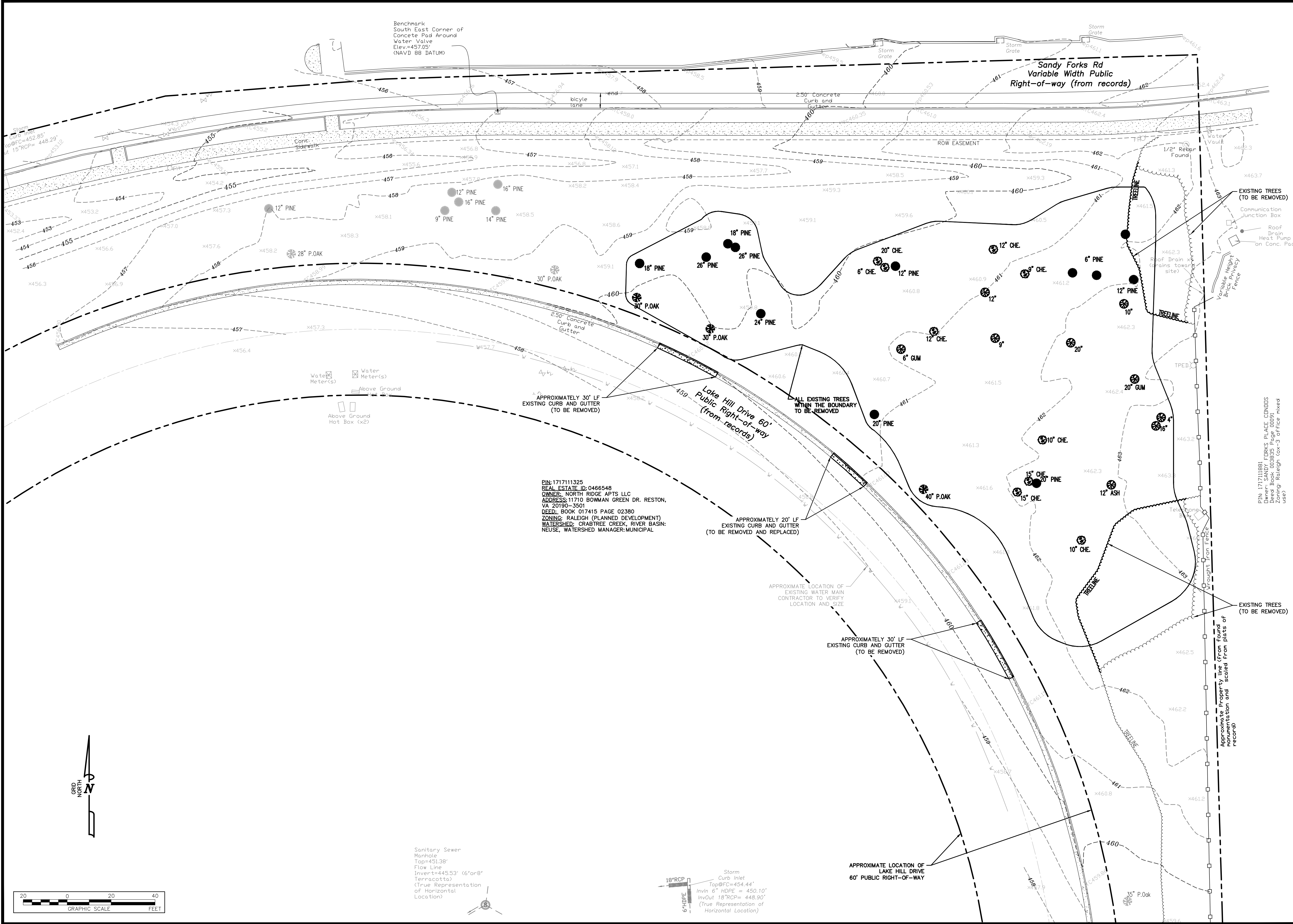
COVER SHEET

#### SHEET NUMBER

C0-01



X:\Drawings\2898\2898-ENGINEERING\DesignPlans\Sheets\2898.3\_Sht\_C1\_Demo\_Plan.dwg  
 C-101 EXISTING CONDITIONS AND DEMOLITION PLAN, 11/27/2019 10:33:51 AM, Mister, DWG To PDF, pc3, 1:1



PIN: 171711325  
 REAL ESTATE ID: 0466548  
 OWNER: NORTH RIDGE APTS LLC  
 ADDRESS: 11710 BOWMAN GREEN DR. RESTON, VA 20190-3501  
 DEED: BOOK 017415 PAGE 02380  
 ZONING: RALEIGH (PLANNED DEVELOPMENT)  
 WATERSHED: CRABTREE CREEK, RIVER BASIN:  
 NEUSE, WATERSHED MANAGER: MUNICIPAL



Sanitary Sewer Manhole  
 Top=451.38'  
 Flow Line  
 Invert=445.53' (6' or 8' Terracotta)  
 (True Representation of Horizontal Location)

Storm Water Inlet  
 Top@FC=454.44'  
 Invert 6" HDPE = 450.10'  
 Invert 18" RCP = 448.90'  
 (True Representation of Horizontal Location)

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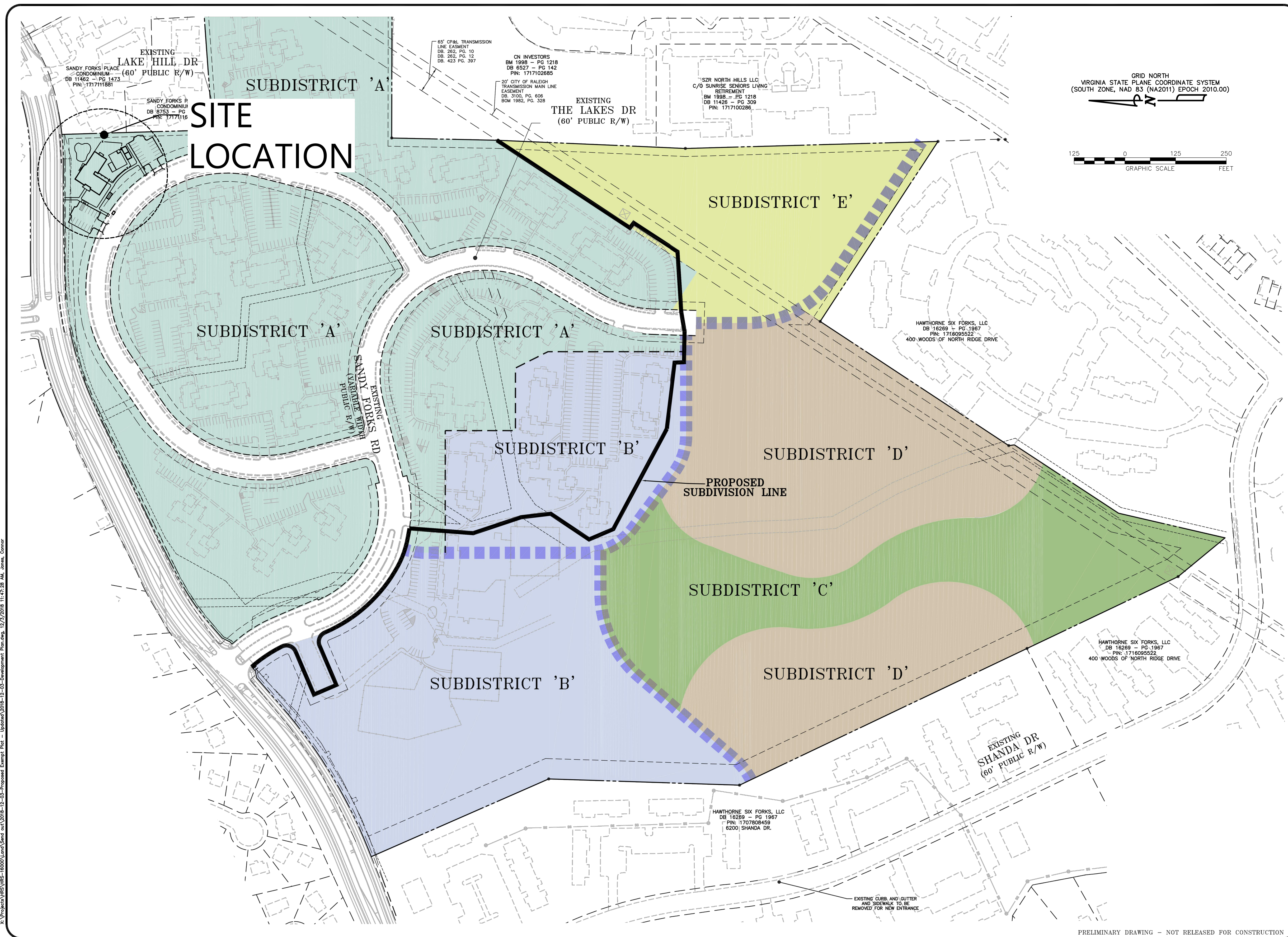
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**WILLOW CREEK  
 NORTH RIDGE APARTMENT  
 LEASING AND FITNESS BUILDING**  
 CITY OF RALEIGH, NORTH CAROLINA

REVISIONS		
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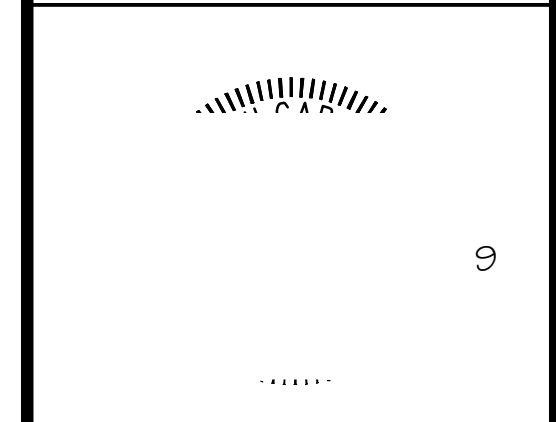
PROJECT TEAM	
PIC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBLJHN
ISSUE DATE	
11/27/2019	
GNI JOB NO.	
2898.0	
SHEET TITLE	
EXISTING CONDITIONS AND DEMOLITION PLAN	
SHEET NUMBER	
C1-01	





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**WILLOW CREEK  
 NORTH RIDGE APARTMENT  
 LEASING AND FITNESS BUILDING**  
 CITY OF RALEIGH, NORTH CAROLINA



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PROJECT TEAM	
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PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBLHN

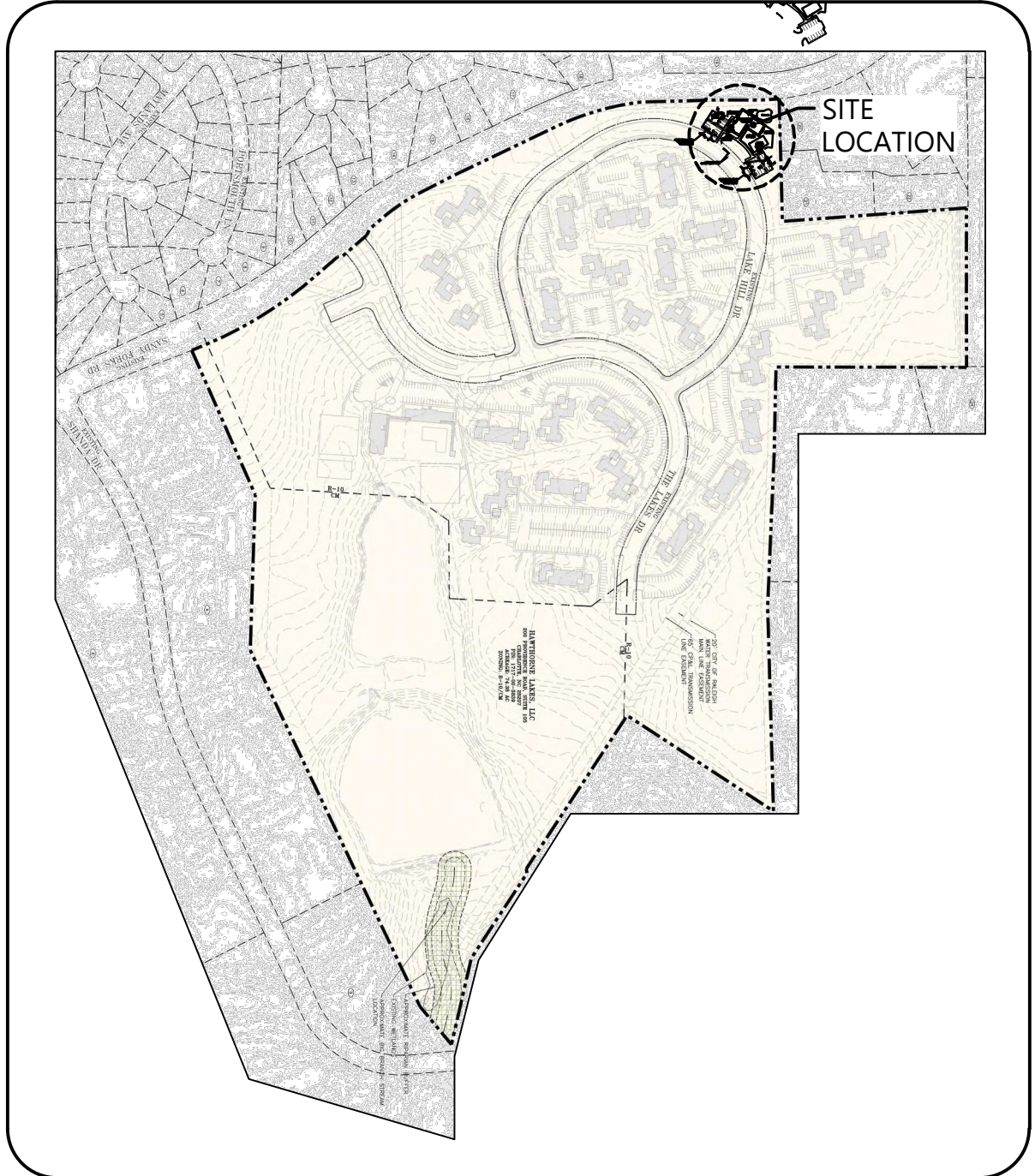
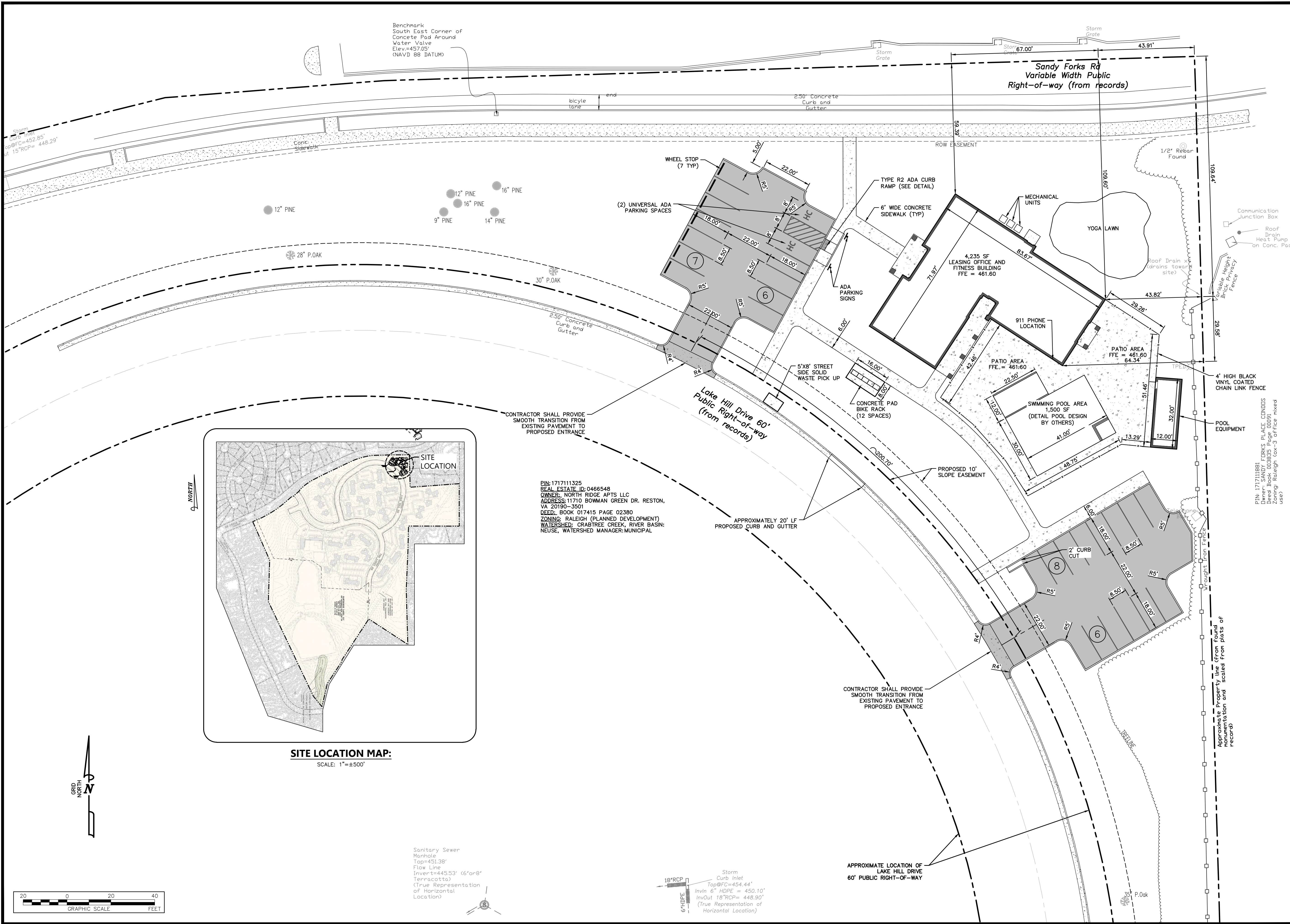
ISSUE DATE	11/27/2019
GNI JOB NO.	2898.0

SHEET TITLE  
**OVERALL SITE PLAN**

SHEET NUMBER	C1-02
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 C2-01 SITE LAYOUT AND DIMENSION PLAN, 11/27/2019 10:34:02 AM, Miesler, DWG To PDF, pcd, 1, 1



PIN: 171711325  
 REAL ESTATE ID: 0466548  
 OWNER: NORTH RIDGE APTS LLC  
 ADDRESS: 11710 BOWMAN GREEN DR. RESTON, VA 20190-3501  
 DEED: BOOK 017415 PAGE 02380  
 ZONING: RALEIGH (PLANNED DEVELOPMENT)  
 WATERSHED: CRABTREE CREEK, RIVER BASIN  
 NEUSE, WATERSHED MANAGER: MUNICIPAL

Sanitary Sewer Manhole  
 Top=451.38'  
 Flow Line Invert=445.53' (6" or 8" Terracotta)  
 (True Representation of Horizontal Location)

Storm Curb Inlet  
 Top@FC=454.44'  
 In@In 6" HDPE = 450.10'  
 In@Out 18" RCP = 448.90'  
 (True Representation of Horizontal Location)

PIN: 171711881  
 FFBKS PLACE CINDDS  
 DEED: BOOK 003835 PAGE 0090  
 ZONING: RALEIGH (OX-3 OFFICE MIXED USE)

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CITY OF RALEIGH, NORTH CAROLINA

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GNI JOB NO.	
2898.0	
SHEET TITLE	
SITE LAYOUT AND DIMENSION PLAN	
SHEET NUMBER	
C2-01	

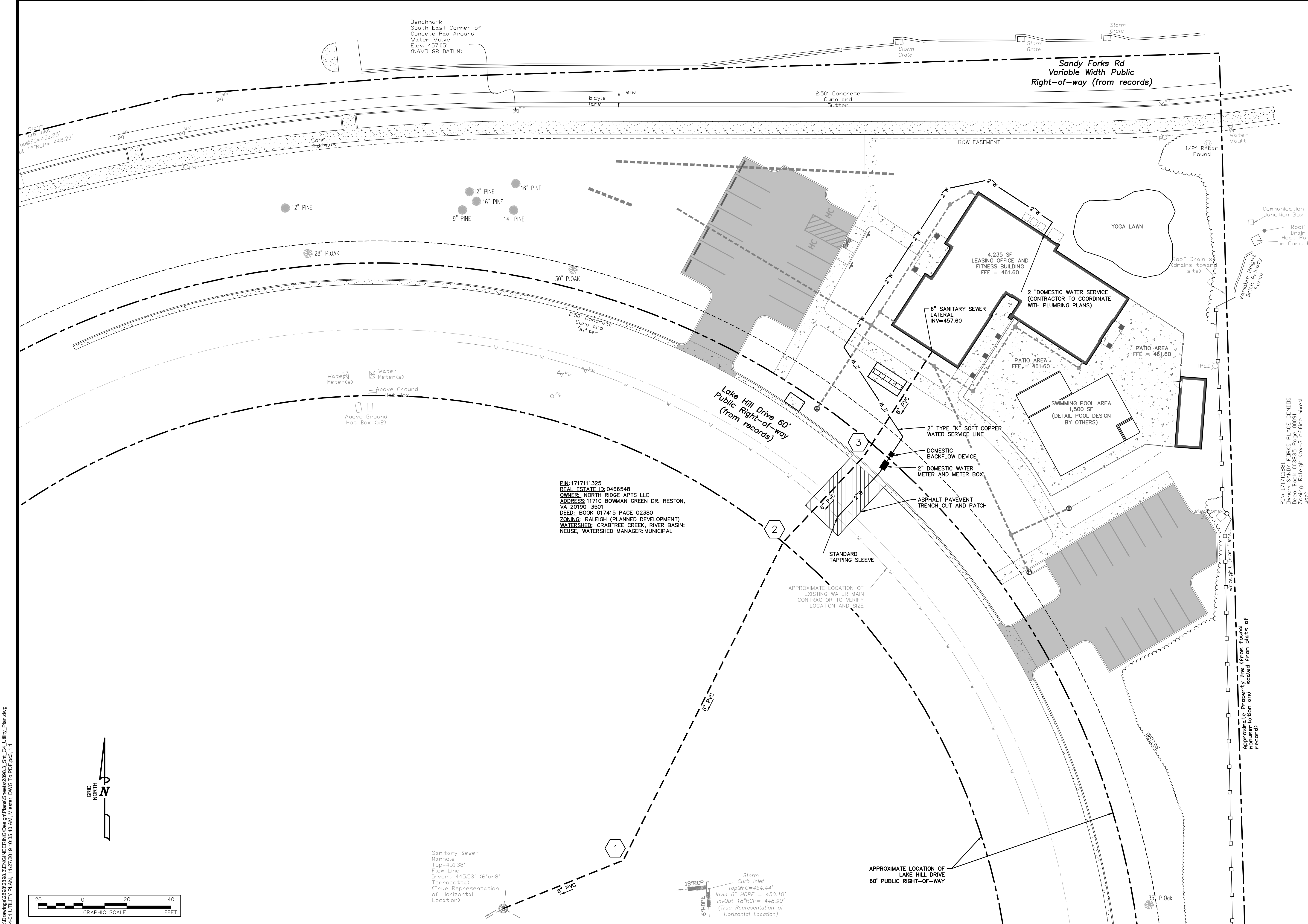


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**WILLOW CREEK  
 NORTH RIDGE APARTMENT  
 LEASING AND FITNESS BUILDING**

CITY OF RALEIGH, NORTH CAROLINA

PIN: 171711881, FEEBOOK PLACE, CUNDISS  
 Deed Book 003835 Page 0099  
 Zoning: Raleigh (ex-3 Office mixed use)



PIN: 171711325  
 REAL ESTATE ID: 0466548  
 OWNER: NORTH RIDGE APTS LLC  
 ADDRESS: 11710 BOWMAN GREEN DR. RESTON, VA 20190-3501  
 DEED: BOOK 017415 PAGE 02380  
 ZONING: RALEIGH (PLANNED DEVELOPMENT)  
 WATERSHED: CRABTREE CREEK, RIVER BASIN:  
 NEUSE, WATERSHED MANAGER: MUNICIPAL

APPROXIMATE LOCATION OF EXISTING WATER MAIN CONTRACTOR TO VERIFY LOCATION AND SIZE

APPROXIMATE LOCATION OF LAKE HILL DRIVE 60' PUBLIC RIGHT-OF-WAY

Sanitary Sewer Manhole  
 Top=451.38'  
 Flow Line  
 Invert=445.53' (6" or 8" Terracotta)  
 (True Representation of Horizontal Location)

Storm Curb Inlet  
 Top@FC=454.44'  
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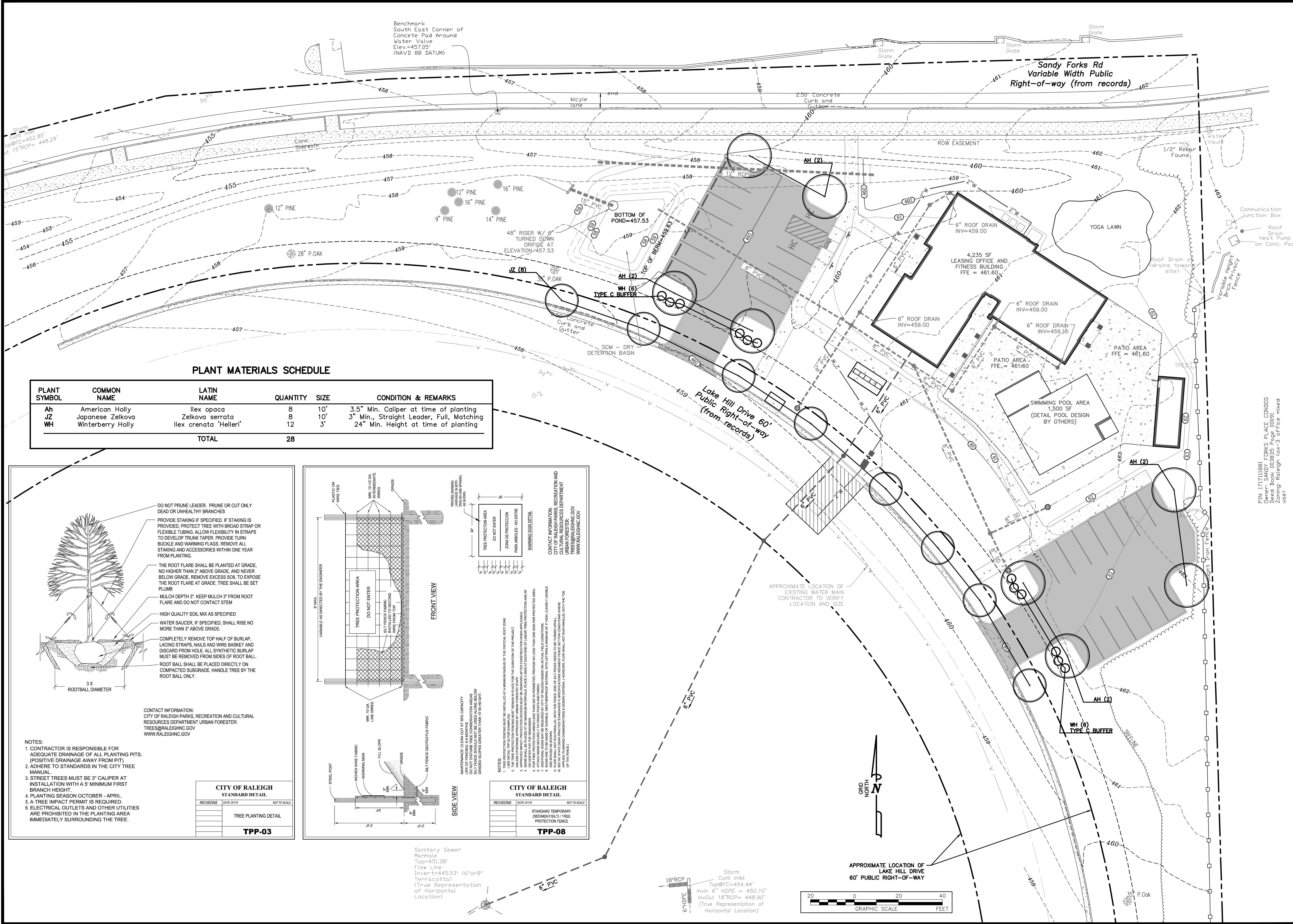


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 C4-01 UTILITY PLAN, 1/27/2019 10:35:40 AM, Mester, DWG To PDF.pc3, 1:1

REVISIONS		
NO.	COMMENTS	DATE

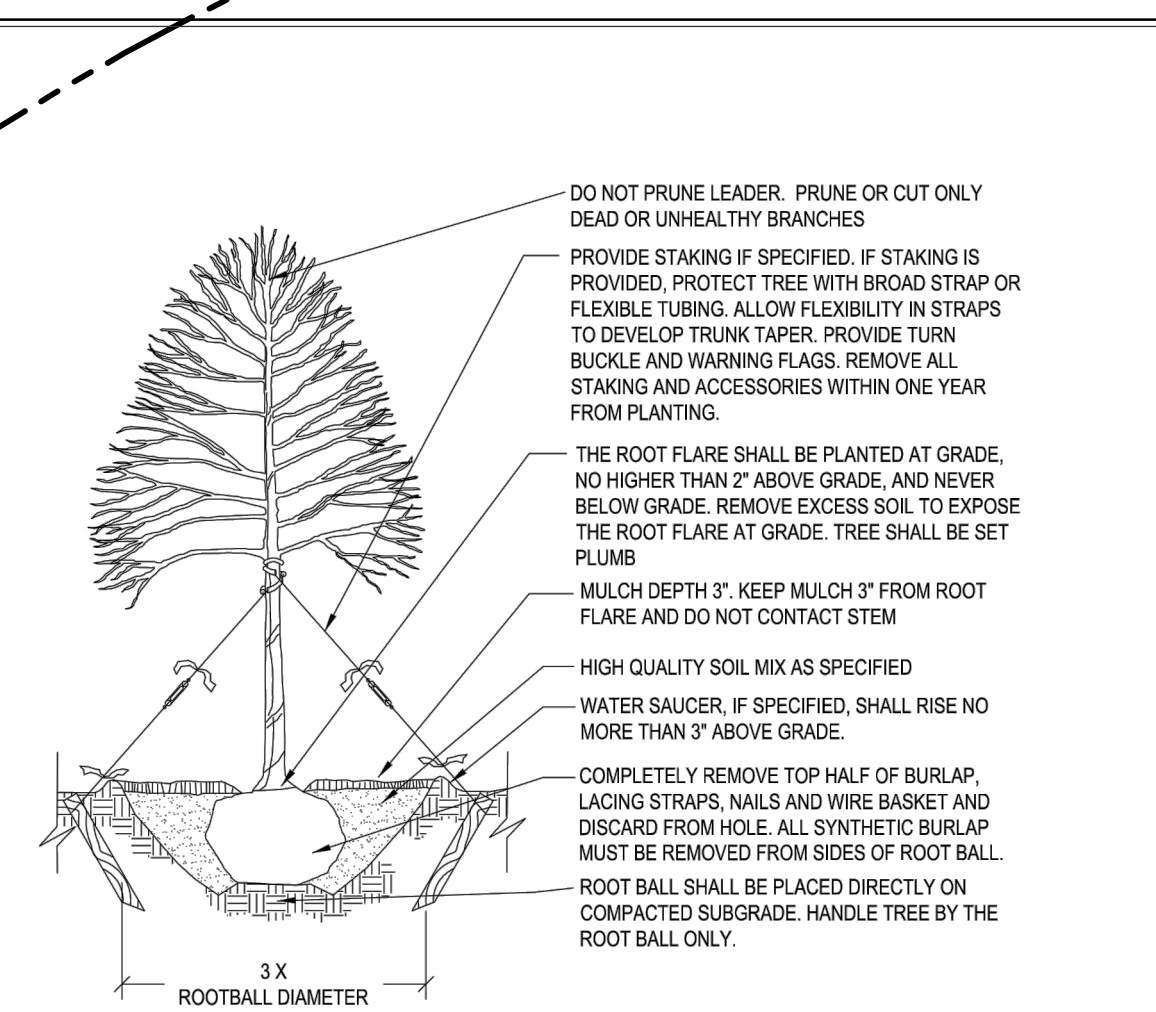
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PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBLHN
ISSUE DATE	
11/27/2019	
GNI JOB NO.	
2898.0	
SHEET TITLE	
UTILITY PLAN	
SHEET NUMBER	
C4-01	





**PLANT MATERIALS SCHEDULE**

PLANT SYMBOL	COMMON NAME	LATIN NAME	QUANTITY	SIZE	CONDITION & REMARKS
Ah	American Holly	Ilex opaca	8	10'	3.5" Min. Caliper at time of planting
JZ	Japanese Zelkova	Zelkova serrata	8	10'	3" Min., Straight Leader, Full, Matching
WH	Winterberry Holly	Ilex crenata 'Helleri'	12	3'	24" Min. Height at time of planting
<b>TOTAL</b>			<b>28</b>		

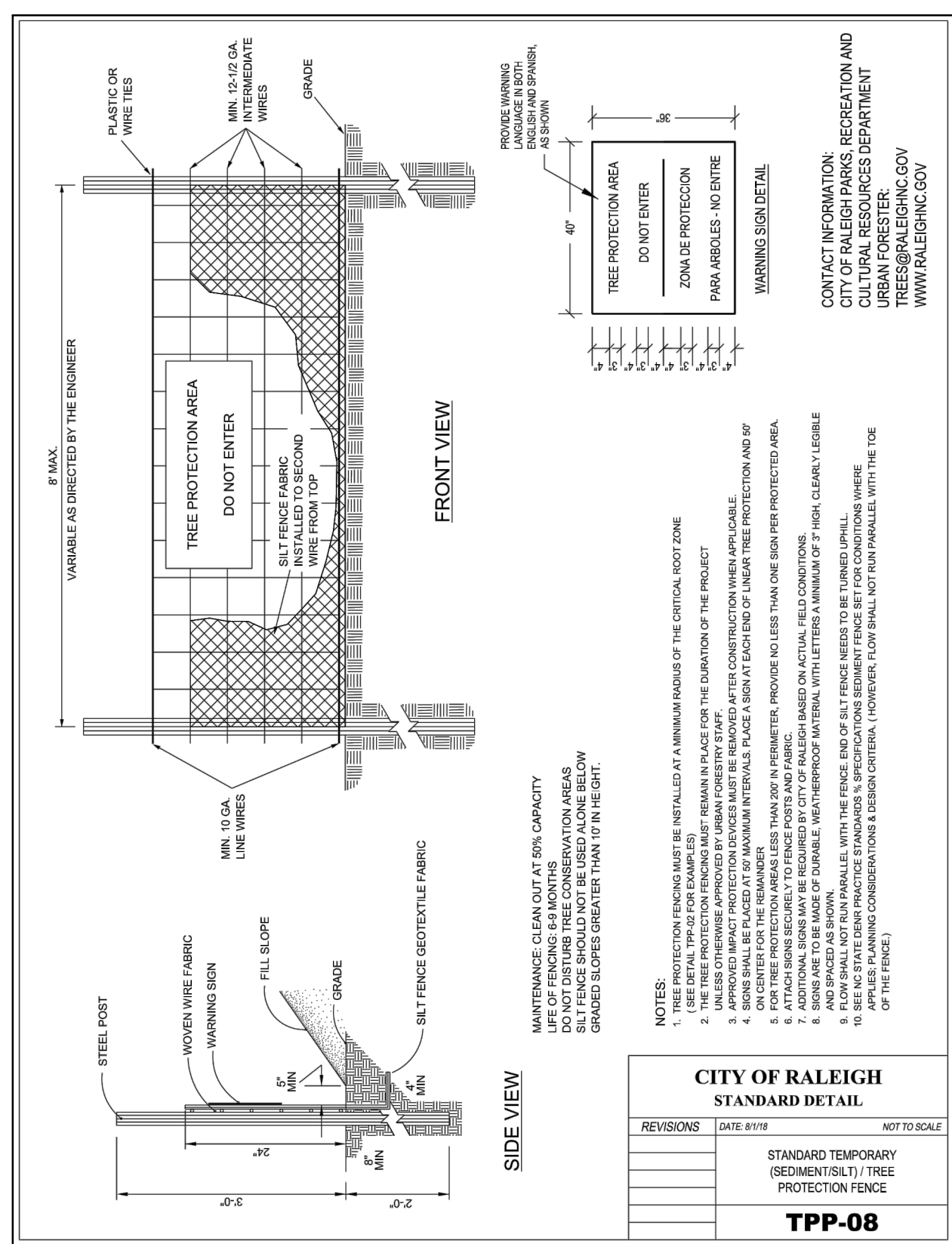


CONTACT INFORMATION:  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
 RESOURCES DEPARTMENT / URBAN FORESTER:  
 TREES@RALEIGHNC.GOV  
 WWW.RALEIGHNC.GOV

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
  - PLANTING SEASON OCTOBER - APRIL.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH STANDARD DETAIL	
REVISIONS	DATE BY/IF

TREE PLANTING DETAIL  
**TPP-03**



CITY OF RALEIGH STANDARD DETAIL	
REVISIONS	DATE BY/IF

STANDARD TEMPORARY (SEDIMENT/SILT) / TREE PROTECTION FENCE  
**TPP-08**

Sanitary Sewer Manhole  
 Top=451.38'  
 Flow Line Invert=445.53' (6" or 8" Terracotta)  
 (True Representation of Horizontal Location)

Storm Curb Inlet  
 Top@FC=454.44'  
 Invert 6" HDPE = 450.10'  
 Invert 18" RCP = 448.90'  
 (True Representation of Horizontal Location)



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**WILLOW CREEK  
 NORTH RIDGE APARTMENT  
 LEASING AND FITNESS BUILDING**

CITY OF RALEIGH, NORTH CAROLINA

PIN: 17711881; EPCOS PLACE; CINDIS  
 DESK: 1003835; PAPER: 0009  
 Zoning: Raleigh (ox-3 office mixed use)

REVISIONS		
NO.	COMMENTS	DATE

PROJECT TEAM	
PI	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBL/HH
ISSUE DATE	
11/27/2019	
GNI JOB NO.	
2898.0	
SHEET TITLE	
LANDSCAPE PLAN	
SHEET NUMBER	
C6-01	



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C7-01 BUILDING ELEVATIONS: 11/27/2019 9:01:52 AM, Miesler, DWG TO PDF, pcd, 1:1



**PRELIMINARY FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH RIDGE APARTMENTS - LEASING OFFICE / FITNESS**  
RALEIGH, NORTH CAROLINA

**PRELIMINARY FRONT ELEVATION**

DATE  
6-14-19

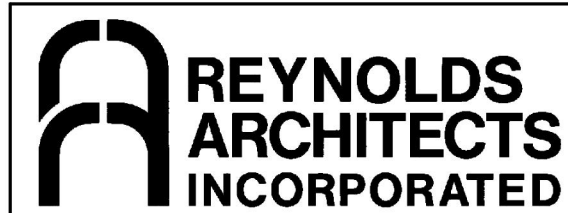
PROJECT  
1829

1



**PRELIMINARY RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH RIDGE APARTMENTS - LEASING OFFICE / FITNESS**  
RALEIGH, NORTH CAROLINA

**PRELIMINARY RIGHT SIDE ELEVATION**

DATE  
6-14-19

PROJECT  
1829

2



**GAY AND NEEL, INC.**  
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**WILLOW CREEK  
NORTH RIDGE APARTMENT  
LEASING AND FITNESS BUILDING**

CITY OF RALEIGH, NORTH CAROLINA

**REVISIONS**

NO.	COMMENTS	DATE

**PROJECT TEAM**

PIC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBL/HN

**ISSUE DATE**

11/27/2019

**GNI JOB NO.**

2898.0

**SHEET TITLE**

BUILDING ELEVATIONS

**SHEET NUMBER**

C7-01



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C7-02 BUILDING ELEVATIONS - 11/27/2019 9:01:45 AM - Miesler, DWG TO PDF, pcd, 1:1



WORST CASE AVERAGE GRADE (460.96)

**PRELIMINARY LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



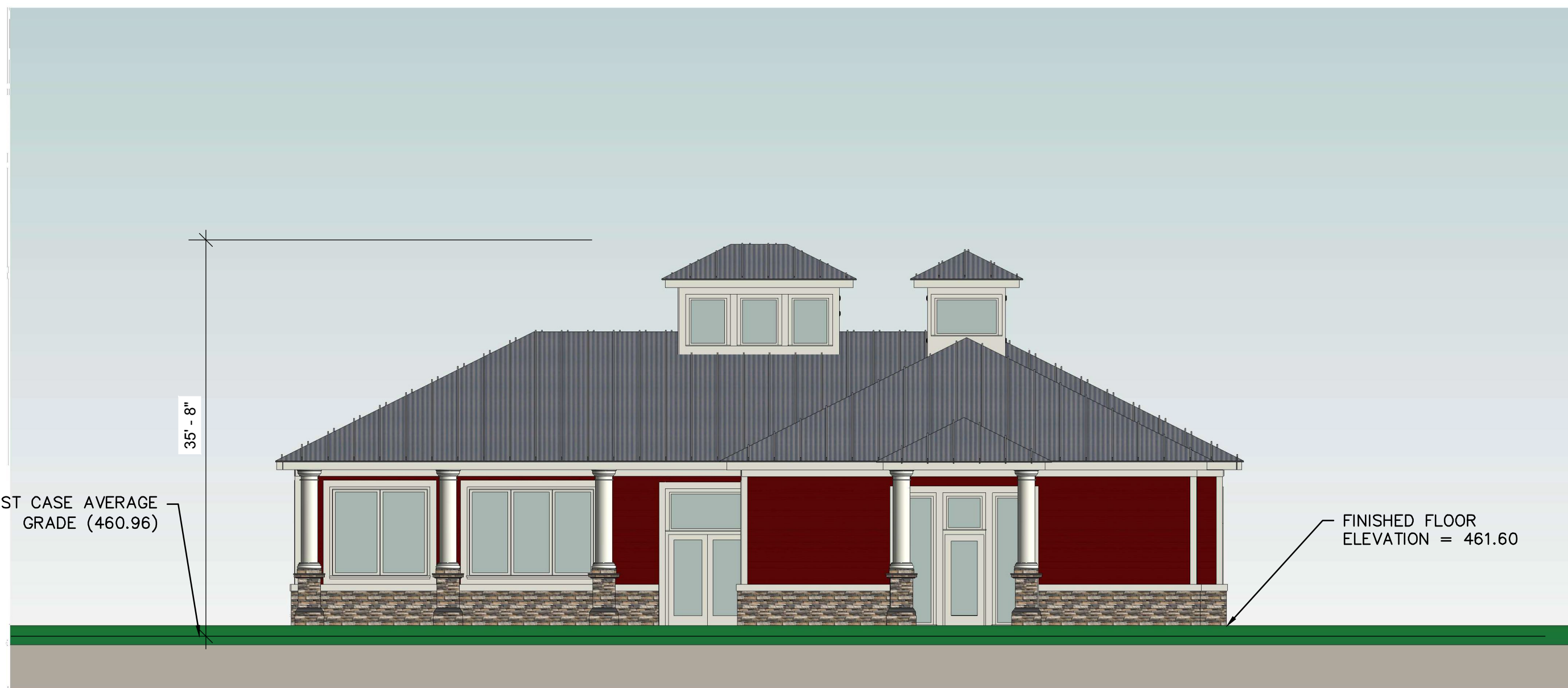
**NORTH RIDGE APARTMENTS - LEASING OFFICE / FITNESS**  
RALEIGH, NORTH CAROLINA

**PRELIMINARY LEFT ELEVATION**

DATE  
6-14-19

3

PROJECT  
1829



WORST CASE AVERAGE GRADE (460.96)

**PRELIMINARY REAR ELEVATION**

SCALE: 1/4" = 1'-0"

FINISHED FLOOR ELEVATION = 461.60



**NORTH RIDGE APARTMENTS - LEASING OFFICE / FITNESS**  
RALEIGH, NORTH CAROLINA

**PRELIMINARY REAR ELEVATION**

DATE  
6-14-19

4

PROJECT  
1829



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**WILLOW CREEK  
NORTH RIDGE APARTMENT  
LEASING AND FITNESS BUILDING**

CITY OF RALEIGH, NORTH CAROLINA

**REVISIONS**

NO.	COMMENTS	DATE

**PROJECT TEAM**

PIC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	MBL/HN

**ISSUE DATE**

11/27/2019

**GNI JOB NO.**

2898.0

**SHEET TITLE**

BUILDING ELEVATIONS

**SHEET NUMBER**

C7-02