



Administrative Approval Action

Case File / Name: ASR-0003-2020
Greystone Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The two parcel site of 9.26 acres composed of two lots to be recombined is zoned RX-3-PL CU and NX-3-CU (Z-5-16) is located on the southwest side of Rock Quarry Road at the intersection of Rock Quarry Road and Keyser Street at 5020 Rock Quarry Road.

REQUEST: A three building apartment complex consisting of 90 units and 120,793 square feet of gross floor area with associated parking and infrastructure.

A Design Alternate (A-43-19) was approved for this project on 5/13/19 approving a 33,500' variance from the maximum block perimeter (8.3.2 A)

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 13, 2021 by Triangle Site Design, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Recordation of development intensity selection is required as per zoning condition Z-5-16, #3.

Engineering

2. Street light locations to be reviewed and approved by the City of Raleigh Transportation Department
3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval. This will include any updates to the pavement striping, marking, signage, tapers and easements

Public Utilities

4. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater



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5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	Transit Easement Required
<input checked="" type="checkbox"/>	Engineering

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A cross access agreement among the lots identified as PINs 1722920676, 1722827822, 1722925791 and 1722930078 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. The plan proposes traffic signal easements as coordinated with the design team of the traffic signal and will have to be approved by NCDOT and COR.
6. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
8. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Transportation

9. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.4373 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. A recombination map shall be recorded, combining the existing lots as shown on the preliminary plan.
2. A demolition permit shall be obtained.

Engineering

3. A public infrastructure surety for 11 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along Rock Quarry Road.
10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. All street lights and street signs required as part of the development approval are installed.



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3. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 11, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alyson Bailey Taylor Date: 06/14/2021
Development Services Dir/Designee

Staff Coordinator: Michael Walters

CONSULTANT:
TRIANGLE SITE DESIGN, PLLC
4024 BARRETT DR, STE 101
RALEIGH, NC 27609
(919) 551-4511
LICENSE #0-0619
mbrown@trianglesitedesign.com



OWNER/DEVELOPER:
ROCK QUARRY, LLC
ATTN: DANE SAMBICK
4944 WINDY HILL DRIVE
RALEIGH, NC 27609
(919) 802-3670
d.sambick@rockquarryllc.com

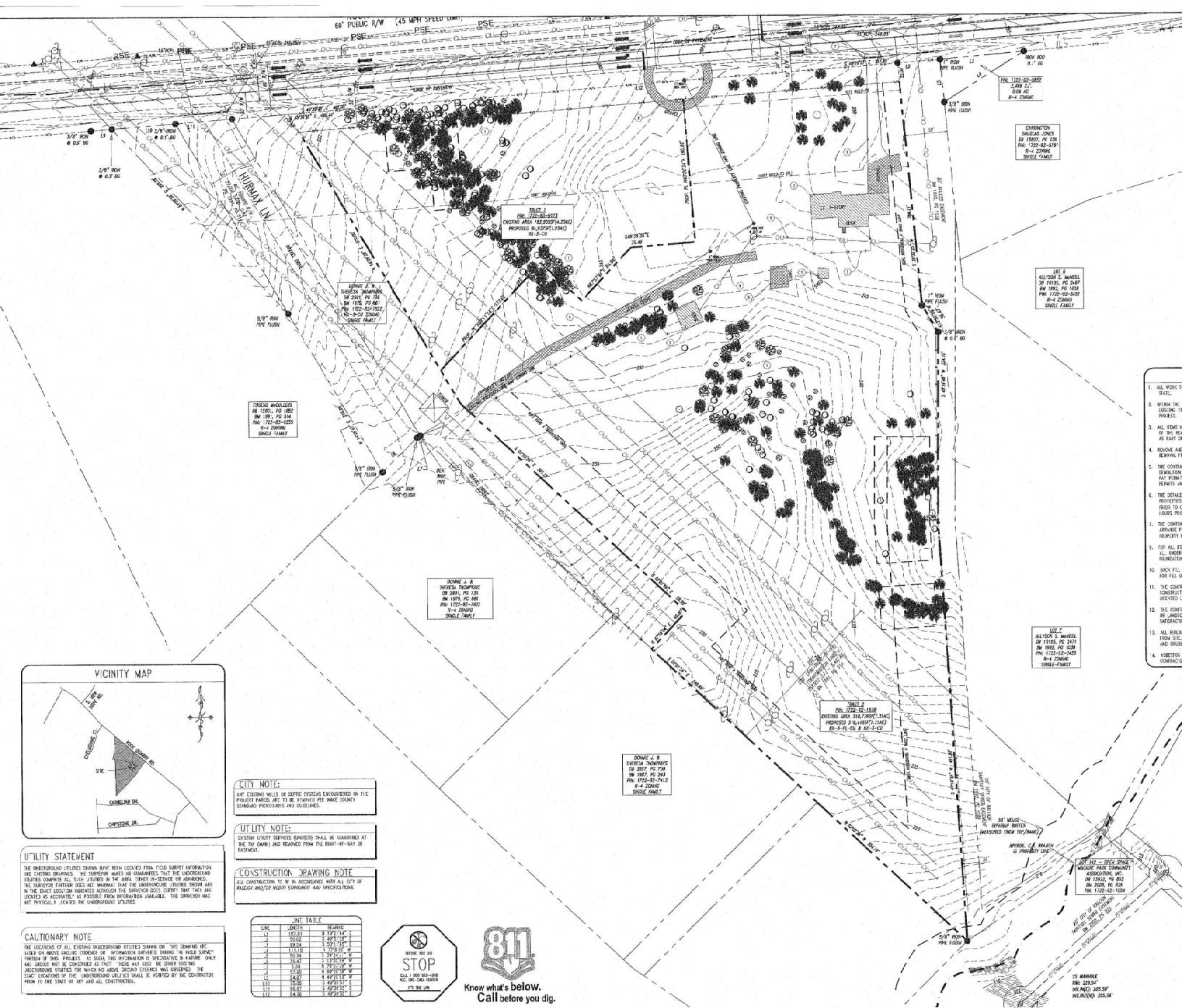
Greystone Apartments
Rock Quarry Road
Raleigh, NC Wake County
ASR-003-2020

This document, together with its concepts and designs presented herein, is the intellectual property of Triangle Site Design, PLLC. It is intended only for the specific project and client which it was prepared for and improper reliance on this document will result in written or verbal representations or Triangle Site Design, PLLC shall be liable for any damages resulting from its use.

SECTION	DATE	REVISION
Site Plan	7/15/20	Initial
Site Plan	7/15/20	REVISED
Site Plan	7/15/20	REVISED
Site Plan	7/15/20	REVISED

Drawn by: Checked by: Approved by:
Project No.: Subject:
Date: September 21, 2020

EXISTING CONDITIONS PLAN
Sheet No.: D1.0
Graphic Scale: 1 in = 50 ft



GREYSTONE APARTMENTS 510 ROCK QUARRY ROAD RALEIGH, NC

Planting Plan

Consultants

Professional Seals

Date issued:	Scale
8.21.20	1:50'

By:
KJS
Drawn by:
KJS
Checked by:
KJS

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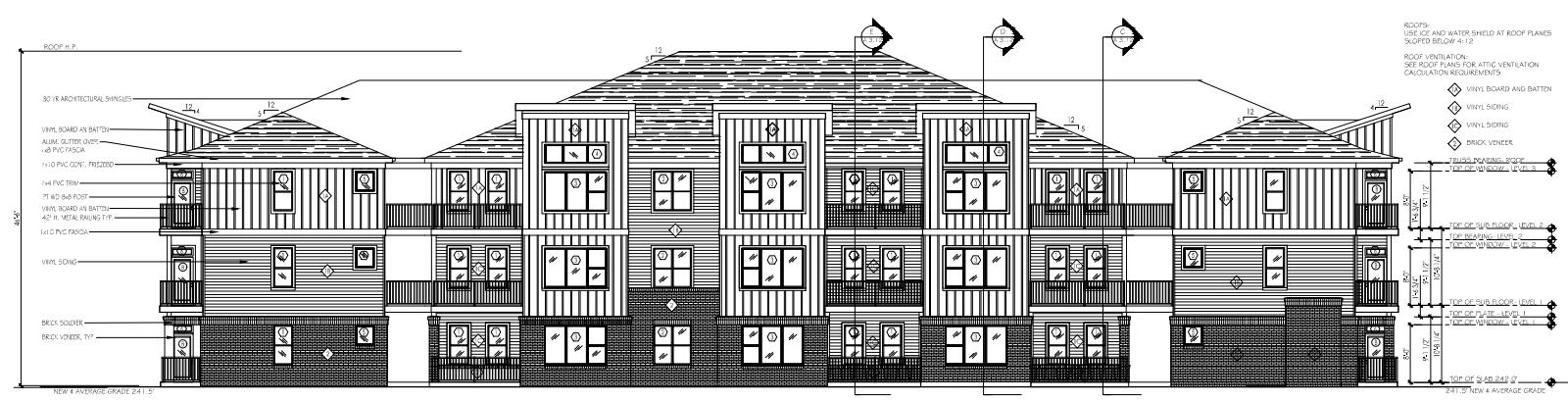
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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 These plans have been reviewed for general compliance with applicable codes. This Intake Reviewer, and authorization for construction is not to be construed to represent total compliance with all applicable codes and regulations. The Intake Reviewer and the City of Raleigh are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization is not a permit, nor shall it be construed to permit any variation of City, State, or Federal Law. All construction must be done in accordance with the City of Raleigh Building Code. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

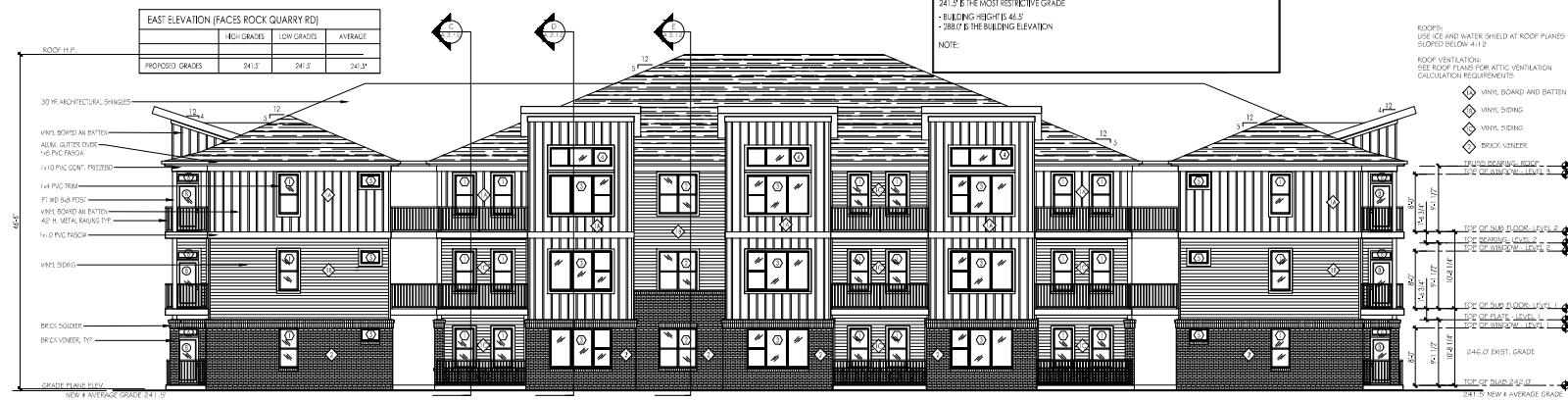
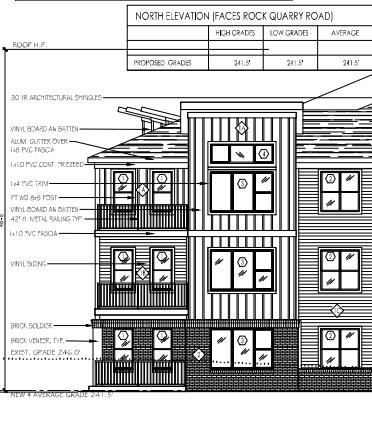
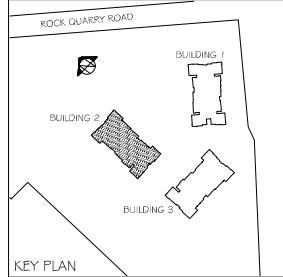
For the proposed uses have been reviewed for general compliance with applicable codes. This Intake Reviewer, and authorization for construction is not to be construed to represent total compliance with all applicable codes and regulations. The Intake Reviewer and the City of Raleigh are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization is not a permit, nor shall it be construed to permit any variation of City, State, or Federal Law. All construction must be done in accordance with the City of Raleigh Building Code. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval



ELEVATION NOTES

- SEE ROOF PLANS FOR ROOF SLOPE INFORMATION.
- ALL PROPOSED GRADE IS SLOPED AWAY FROM BUILDING. SEE CIVIL DRAWINGS.
- COORDINATE LOCATION OF DOWNSPOUT WITH ROOF PLANS.
- ALL EXTERIOR FINISH COLORS TO BE SELECTED BY THE OWNER.
- SEE SHEET A9.01 FOR DOOR TYPES.
- SEE SHEET A9.01 FOR WINDOW TYPES.
- PROVIDE ALUMINUM GUARDRAIL AT BALCONIES & OTHER AREAS INDICATED ON DRAWINGS. MPT. AREA MUST BE 10' O.C. MAX. THRU BOLTED TO FLOOR JOISTS. FINAL DESIGN TO BE DETERMINED BY OWNER.
- CAREFULLY ALIGN MECHANICAL DRYVANT VENTS ON EXTERIOR WHERE POSSIBLE. PAINT TO MATCH ADJACENT MATERIAL COLOR.
- VERM BRICK KNOBLOCK & SILL HEIGHTS IN THE FIELD. ADJUST AS REQUIRED TO WORK WITH SELECTED BRICK SIZE & COURFING.



MOST RESTRICTIVE GRADE CHART (BASED ON ELEVATIONS FACING ROCK QUARRY RD)				
	NORTH	SOUTH	EAST	FINAL AVEG.
PROPOSED GRADES	241.5'	241.5'	241.5'	241.5'

241.5' IS THE MOST RESTRICTIVE GRADE
 - BUILDING HEIGHT IS 4.5'
 - 388.0' IS THE BUILDING ELEVATION

NOTE:

3 | WEST ELEVATION
A2.12 | SCALE 1/8" = 1'-0"

ROOFS:
 USE ICE AND WATER SHIELD AT ROOF PLANES
 SLOPED BELOW 4:12

ROOF VENTILATION:
 SEE ROOF PLANS FOR ATTIC VENTILATION
 CALCULATION REQUIREMENTS

- ◆ VINYL BOARD AND BATTEN
- ◆ VINYL SIDING
- ◆ VINYL SIDING
- ◆ BRICK VENEER

TRIM POLE/PIPE, 1/2"

TOP OF SUB-FLOOR, LEVEL 1

TOP OF PLATE, LEVEL 1

TOP OF WDL, LEVEL 1

TOP OF SUB-FLOOR, LEVEL 2

TOP OF PLATE, LEVEL 2

TOP OF WDL, LEVEL 2

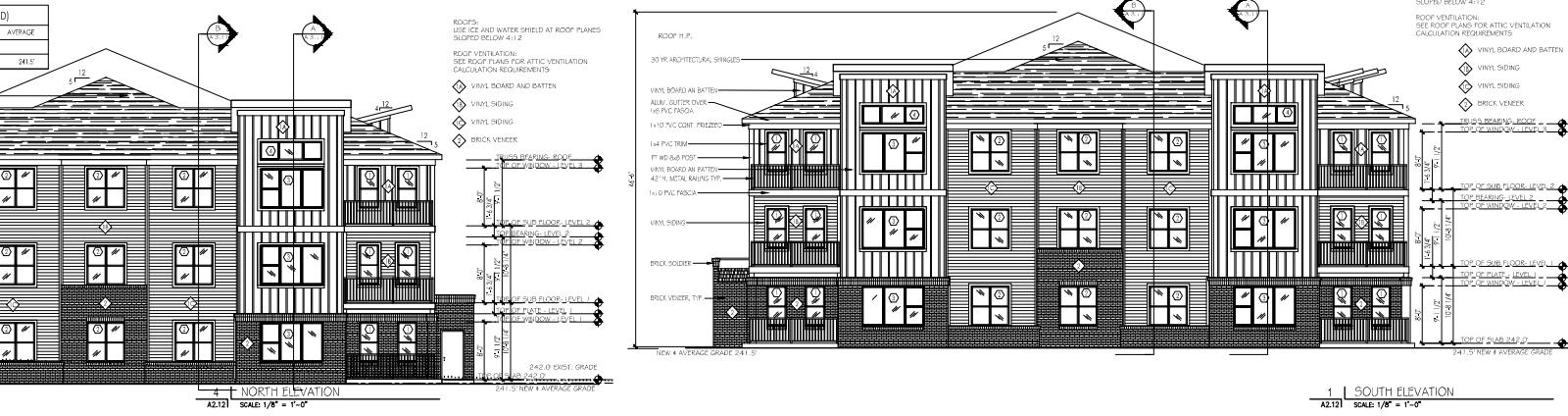
246.0' EXIST. GRADE

TOP OF SUB-FLOOR, LEVEL 3

TOP OF PLATE, LEVEL 3

TOP OF WDL, LEVEL 3

241.5' NEW & AVERAGE GRADE



2 | EAST ELEVATION
A2.12 | SCALE 1/8" = 1'-0"

ROOFS:
 USE ICE AND WATER SHIELD AT ROOF PLANES
 SLOPED BELOW 4:12

ROOF VENTILATION:
 SEE ROOF PLANS FOR ATTIC VENTILATION
 CALCULATION REQUIREMENTS

- ◆ VINYL BOARD AND BATTEN
- ◆ VINYL SIDING
- ◆ VINYL SIDING
- ◆ BRICK VENEER

TRIM POLE/PIPE, 1/2"

TOP OF SUB-FLOOR, LEVEL 1

TOP OF PLATE, LEVEL 1

TOP OF WDL, LEVEL 1

TOP OF SUB-FLOOR, LEVEL 2

TOP OF PLATE, LEVEL 2

TOP OF WDL, LEVEL 2

TOP OF SUB-FLOOR, LEVEL 3

TOP OF PLATE, LEVEL 3

TOP OF WDL, LEVEL 3

241.5' NEW & AVERAGE GRADE

1 | SOUTH ELEVATION
A2.12 | SCALE 1/8" = 1'-0"

CORPORATE SEAL

PROFESSIONAL SEAL

DATES:
7 April 2021

DESIGNED BY:
BLJ
DRAWN BY:
BLJ
CHECKED BY:
SCALE:

PROJECT NUMBER:
D-04

EXTERIOR
ELEVATIONS
BUILDING 2

GREYSTONE APARTMENTS
ROCK QUARRY RD - BLDG 2
RALEIGH, NORTH CAROLINA 27616

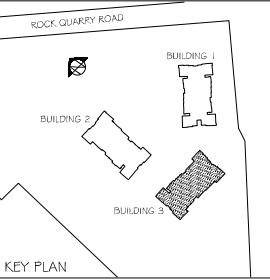
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractor shall remain responsible for full compliance with all applicable City, State, and Federal Laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State, or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This aspect of the electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Roblin Development Agreement

ELEVATION NOTES

- SEE ROOF PLANS FOR ROOF SLOPE INFORMATION.
 - ALL ADJACENT GRADE TO SLOPES AWAY FROM BUILDING. SEE CIVIL DRAWINGS.
 - COORDINATE LOCATION OF DOWNS-SPROUT WITH ROOF PLANS.
 - ALL EXTERIOR PAINT COLORS TO BE SELECTED BY THE OWNER.
 - SEE SHEET A-30-1 FOR DOOR TYPES.
 - SEE SHEET A-30-1 FOR WINDOW TYPES.
 - PROVIDE #24 HIGH GUARANATI AT BALCONIES & OTHER AREAS IDENTIFIED ON DRAWINGS. W.P.T. 4X4 POST 8'-0" O.C. MAX. THRU BOX TO HIDE ROOFLINE JOISTS. FINAL DESIGN TO BE DETERMINED BY OWNER.
 - CAREFULLY ALIGN MECHANICAL DUCT VENTS UPON EXTERIOR WHERE POSSIBLE. PART TO MATCH ADJACENT MATERIAL COLOR.
 - VERIFY BRICK ROW COCKS IN THE FIELD. ADJUST AS REQUIRED TO WORK WITH SELECTED BRICK SIZE & COURSHING.



1 | WEST ELEVATION
A2.13 | SCALE: 1/8" = 1'-0"

**GREYSTONE APARTMENTS
ROCK QUARRY RD- BLDG 3
RAE EIGHT NORTH CAROLINA 27761**

DATES:
7 April 202

DESIGNED BY:
BLJ
DRAWN BY:
BLJ
CHECKED BY:
BLJ
SCALE:
- - -
PROJECT NUMBER:

SCALE:

PROJECT NUMBER:
17-014

BUILDING 3

A2.1:

12.10