



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Southern Gateway Office Building

Inside City limits? Yes No

Property address(es): 3510 Olympia Dr., Raleigh, NC

Site P.I.N.(s): 1702216969

Please describe the scope of work. Include any additions, expansions, and change of use.
The site is an existing parking lot / out parcel for an existing shopping center. The project proposes removing some of the existing paving to create space for an office building to be placed in the center of the site. In addition, paving will be removed in order to create planting areas. The remaining paving will be sealed and striped for use for parking as a part of the office building use.

Current Property Owner/Developer Contact Name: Tae Park
NOTE: please attach purchase agreement when submitting this form.

Company: JJJT Investments, LLC Title: Managing Partner

Address: 421 Chapanoke Rd., Suite 113, Raleigh, NC 27603

Phone #: 919 868-5667 Email: tparkif@hotmail.com

Applicant Name: Tae Park

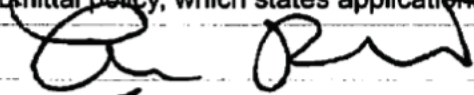
Company: JJJT Investments, LLC Address: 421 Chapanoke Rd., Suite 113, Raleigh, NC 27603

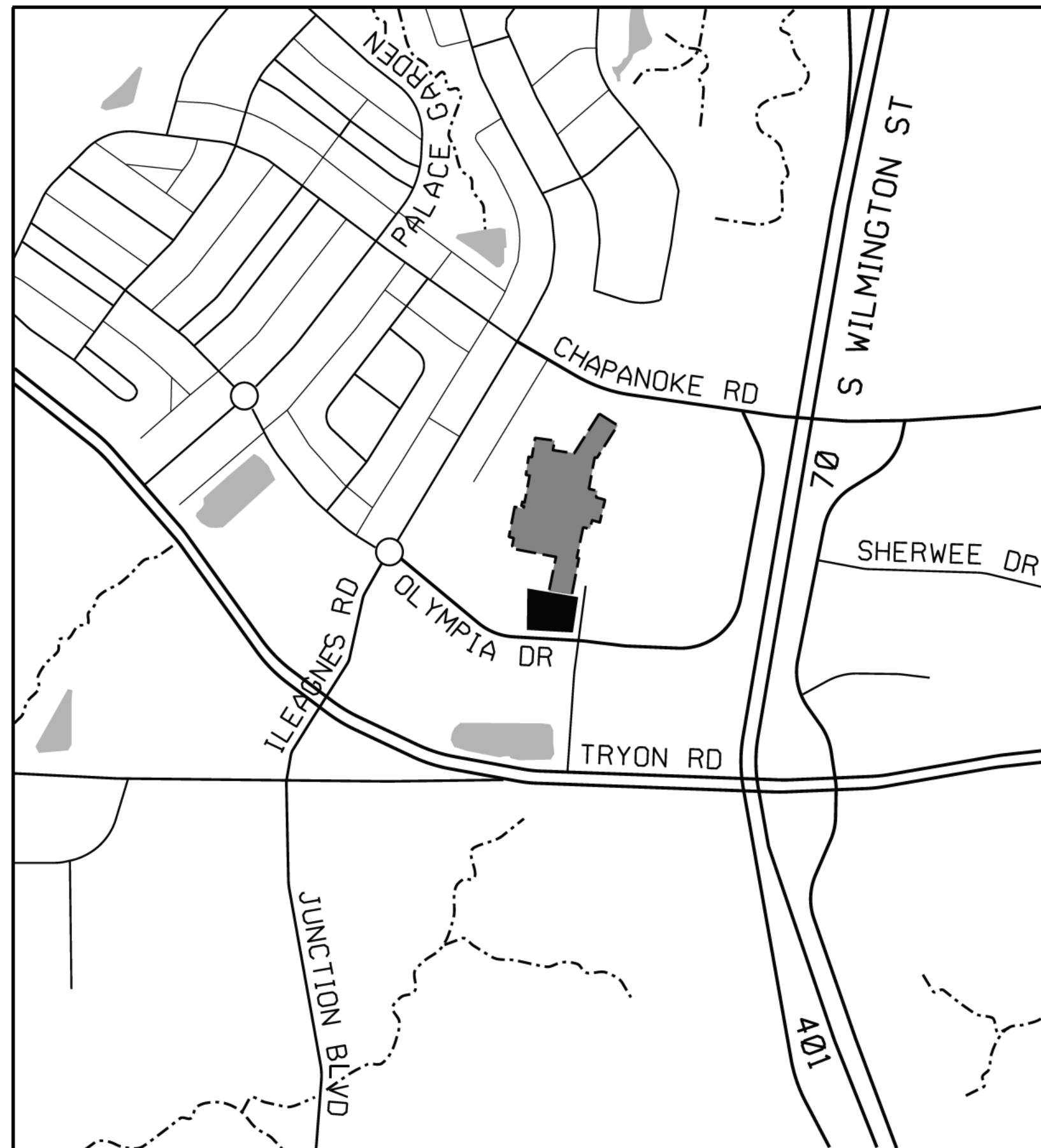
Phone #: 919 868-5667 Email: tparkif@hotmail.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 0.718 acres	New gross floor area: 11,720 SF
# of parking spaces required: 29	Total sf gross (to remain and new): 11,720 SF
# of parking spaces proposed: 41	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): parking lot - commercial	
Proposed use (UDO 6.1.4): office	

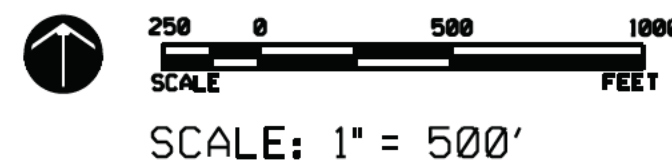
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>0.644</u> Square Feet: <u>28,049 SF</u>	Proposed Impervious Surface: Acres: <u>0.523</u> Square Feet: <u>22,795 SF</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.</p>	
<p>I hereby designate <u>Alison A Pockat, ASLA</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p>	
<p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: <u>1-8-2021</u>
Printed Name: <u>ALISE POKKAT</u>	



VICINITY MAP



RALEIGH PLAN NUMBER:

LIST OF DRAWINGS		
SEQ. NO.	DWG. NO.	TITLE
1	CO-0	COVER SHEET
2	EC-1	EXISTING CONDITIONS PLAN
3	SP-1	SITE DEMOLITION
4	SP-2	SITE STAKING PLAN
5	SP-3	GRADING & EROSION CON.
6	SP-4	SITE PLANTING PLAN
7	UT-1	SITE UTILITIES PLAN
8	UT-2	UTILITY DETAILS
9	D-1	SITE DETAILS 1
10	D-2	SITE DETAILS 2
11	A101	FLOOR PLANS
12	A102	ELEVATIONS

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH &/OR NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

A TREE IMPACT FEE IS REQUIRED WHEN PLOT PLANS ARE SUBMITTED FOR BUILDING PERMIT IN ORDER TO PLANT TREES IN THE PUBLIC RIGHT OF WAY.

SOUTHERN GATEWAY OFFICE BUILDING

3510 OLYMPIA DR.
RALEIGH, NORTH CAROLINA

OWNER:
JJJT INVESTMENTS, LLC
421 CHAPANOKE RD.
SUITE 113
RALEIGH, NC 27603

CONTACT: TAE PARK
PHONE - 919 868-5667

SITE DATA

ADDRESS: 3510 OLYMPIA DR., RALEIGH
PIN #: 1702-21-6969 ACREAGE: 0.718
BM 2017, PG 152 LOT 10
DB 012694, PG 00468

ZONING: CX-3
LAND CLASS: COMMERCIAL CURRENT USE - PARKING LOT

WATERSHED: SWIFT CREEK
NEUSE RIVER BASIN
CLASSIFIED AS SWIFT CREEK WATER SUPPLY WATERSHED

TRANSIT ORIENTED DISTRICT - CP-2B-19, 11/6/2019
CORE TRANSIT AREA

FUTURE LAND USE - COMMUNITY MIXED USE

PROPOSED USE - OFFICE
PROPOSED THREE STORY OFFICE BUILDING - 11,720 SF
PARKING REQUIRED - 29 SPACES
PARKING PROVIDED - 41 SPACES

THE SITE IS A DEVELOPMENT OF LOT 10 -
JJJT IMPROVEMENTS LLC

TOTAL SURFACE AREA FOR LOT = 31,283 SF, 0.718 ACRES
EXISTING IMPERVIOUS SURFACE AREA FOR LOT = 28,049 SF
PERCENT IMPERVIOUS (EXISTING COND.) FOR LOT 10 = 89.66%

PROPOSED USE IMPERVIOUS SURFACE AREA - 22,795 SF
TOTAL REDUCTION IN IMPERVIOUS SURFACE AREA - 5,254 SF
PERCENT IMPERVIOUS (PROPOSED COND.) FOR LOT 10 = 72.87%

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STORMWATER INFORMATION

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Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

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I hereby designate _____ to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: _____ Date: 1-8-2021
Printed Name: TAE PARK

ALISON A. POKKAT, ASLA
LANDSCAPE ARCHITECT
LAND PLANNER
(919) 363-4415
106 STEEPBANK DRIVE
CARY, NC 27518

DESIGNED: AAP
DRAWN:
APPROVED:

SOUTHERN GATEWAY OFFICE BUILDING
3510 OLYMPIA DR., RALEIGH NC
JJJT INVESTMENTS, LLC
421 CHAPANOKE RD, SUITE 113
RALEIGH, NC 27603

SCALE: NTS
DATE: MARCH 3, 2020

SHEET NO. 1
COVER SHEET
CO-1

SEQUENCE NO. 1 OF 12

SITE DATA:

3510 OLYMPIA DR., RALEIGH
 PIN #: 1702216969
 ZONING: CX-3
 TOTAL SITE AREA = 31,283 SF - 0.718 AC
 CURRENT USE: PARKING
 EXISTING IMPERVIOUS SURFACE
 AREA = 28,049 SF - 0.644 AC
 PROPOSED USE: OFFICE
 TWO STORY WITH A ROOF TERRACE -
 4,057 SF FOOTPRINT
 TOTAL SQUARE FOOTAGE = 11,720 SF OFFICE
 PARKING REQ. = 1 / 400 SF = 29 SPACES
 PARKING PROVIDED = 41 SPACES
 PROPOSED IMPERVIOUS SURFACE AREA
 = 22,795 SF

ASPHALT PAVING NOTES:

1. IN AREAS WHERE THE EXISTING ASPHALT IS SPIDER WEB CRACKED, CUT OUT DAMAGED ASPHALT, RESTORE DAMAGED OR MISSING SUB-BASE AND REPLACE ASPHALT .
2. THOROUGHLY CLEAN ASPHALT AND ABRASE THE EXISTING STRIPING - REMOVE 90% OF STRIPING. PROVIDE A SEAL COAT TO THE ENTIRE PARKING LOT AT A RATE OF .09 - .15 GAL / SY.
3. PROVIDE 4" WIDE PARKING STALL STRIPING USING SOLID LINES WITH WHITE PAINT - METHYL METHACRYLATE - CONFORM TO AASHTO M 248, TYPE F.

STAKING NOTES:

1. WRITTEN DIMENSIONS PREVAIL OVER GRAPHIC. DO NOT SCALE DRAWINGS UNLESS OTHERWISE NOTED.
2. TYPICAL RADII FOR PAVING:
 DRIVE / CURB RADII - 5'
 WALK INTERSECTION RADII - 3'
3. DIMENSIONS ARE MEASURED TO THE BACK OF CURB, EDGE OF PAVING AND THE OUTSIDE FACE OF BUILDING.
4. THE SURVEYOR SHALL CHECK THE BUILDING LAYOUT FOR THE PROPER SETBACK FROM THE PROPERTY LINES, EASEMENTS, AND SETBACKS. UPON THE DISCOVERY OF ANY DISCREPANCY, THE CONTRACTOR MUST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
5. SEE THE ARCHITECTURAL PLAN FOR THE EXACT BUILDING DIMENSIONS.
6. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH OF TRAVEL ON ALL ROADWAYS AND DRIVEWAYS.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE BY CONSTRUCTION OPERATIONS. DAMAGE TO ANY ITEMS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO INSTALL NEW WORK AND PATCH TO MATCH EXISTING PAVING AS REQUIRED.
9. CONSTRUCTION PERSONNEL VEHICLE PARKING SHALL BE AT A LOCATION DESIGNATED BY THE OWNER.
10. CONTRACTOR SHALL MAINTAIN SITE CLEAN AND CLEAR OF ALL WASTE CONSTRUCTION DEBRIS.
11. CONTRACTOR'S STAGING AREA LOCATION SHALL BE DESIGNATED BY THE OWNER. THIS AREA SHALL BE ENCLOSED BY TEMPORARY FENCING AND MAINTAINED IN A NEAT CLEAN MANNER.
12. CONTRACTOR SHALL PROVIDE PROFESSIONALLY PAINTED SIGNS TO REDIRECT VEHICULAR AND PEDESTRIAN TRAFFIC DISRUPTED BY CONSTRUCTION OPERATIONS.
13. OWNER TO DEDICATE 2 ADDITIONAL FEET OF RIGHT OF WAY ALONG THE ENTIRE FRONTAGE OF OLYMPIA DR.
14. A FEE-IN-LIEU WILL BE REQUIRED FOR A 6' WALK AND 5 STREET TREES FOR THE FRONTAGE OF OLYMPIA DR.



ALISON A. POCKAT, ASLA
 LANDSCAPE ARCHITECT
 LAND PLANNER
 (919) 363-4415
 106 STEEPBANK DRIVE
 CARY, NC 27518

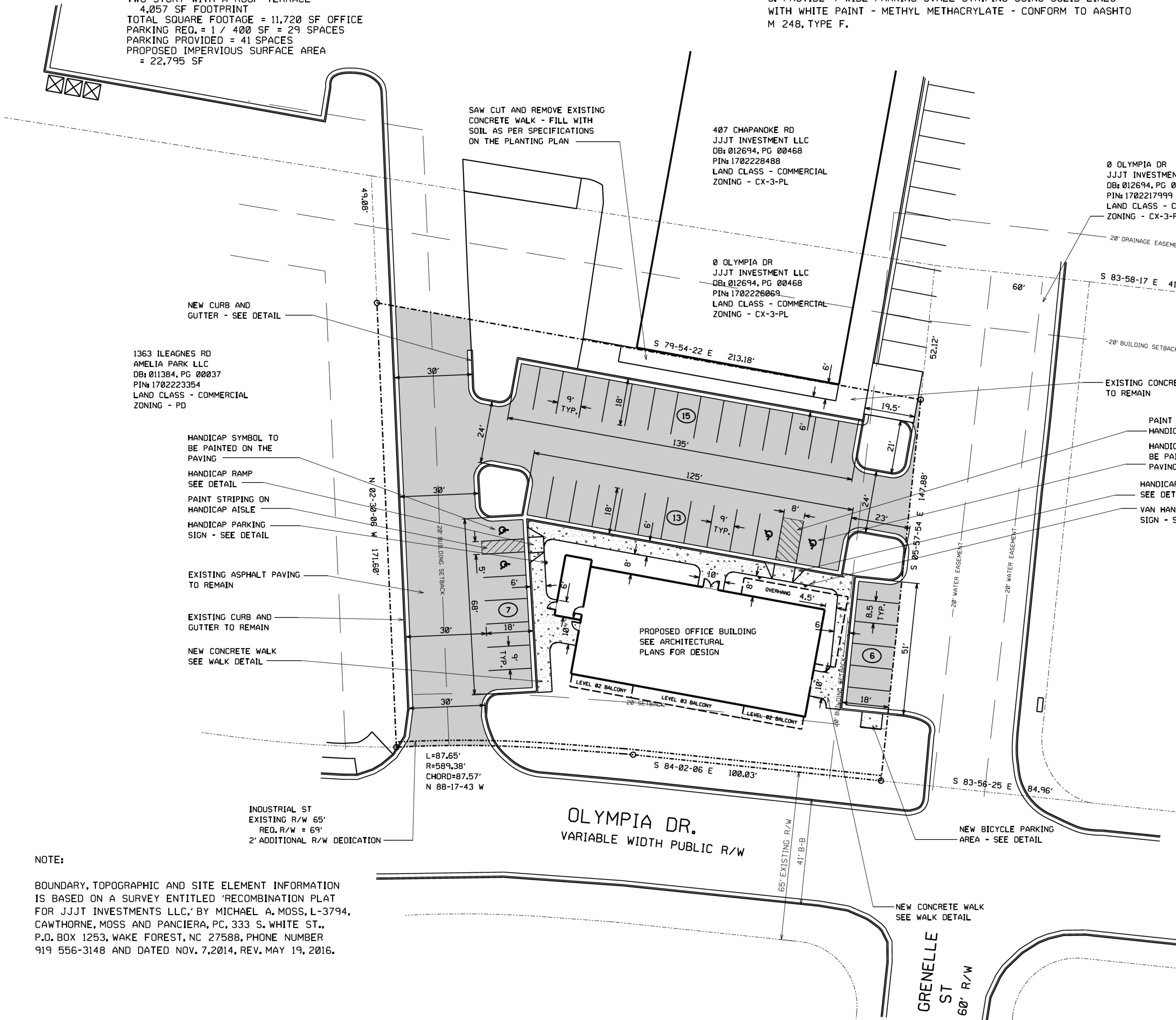
DESIGNED:
 DRAWN:
 APPROVED:

SOUTHERN GATEWAY OFFICE
 3510 OLYMPIA DR., RALEIGH, NC
 JJJT INVESTMENTS, LLC
 421 CHAPANOKE RD., SUITE 113
 RALEIGH, NC 27603

SCALE: 1" = 20'
 DATE: MARCH 3, 2020
 SHEET NO. 1

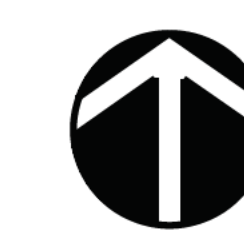
STAKING
 SP-2

SEQUENCE NO. 4 OF 12

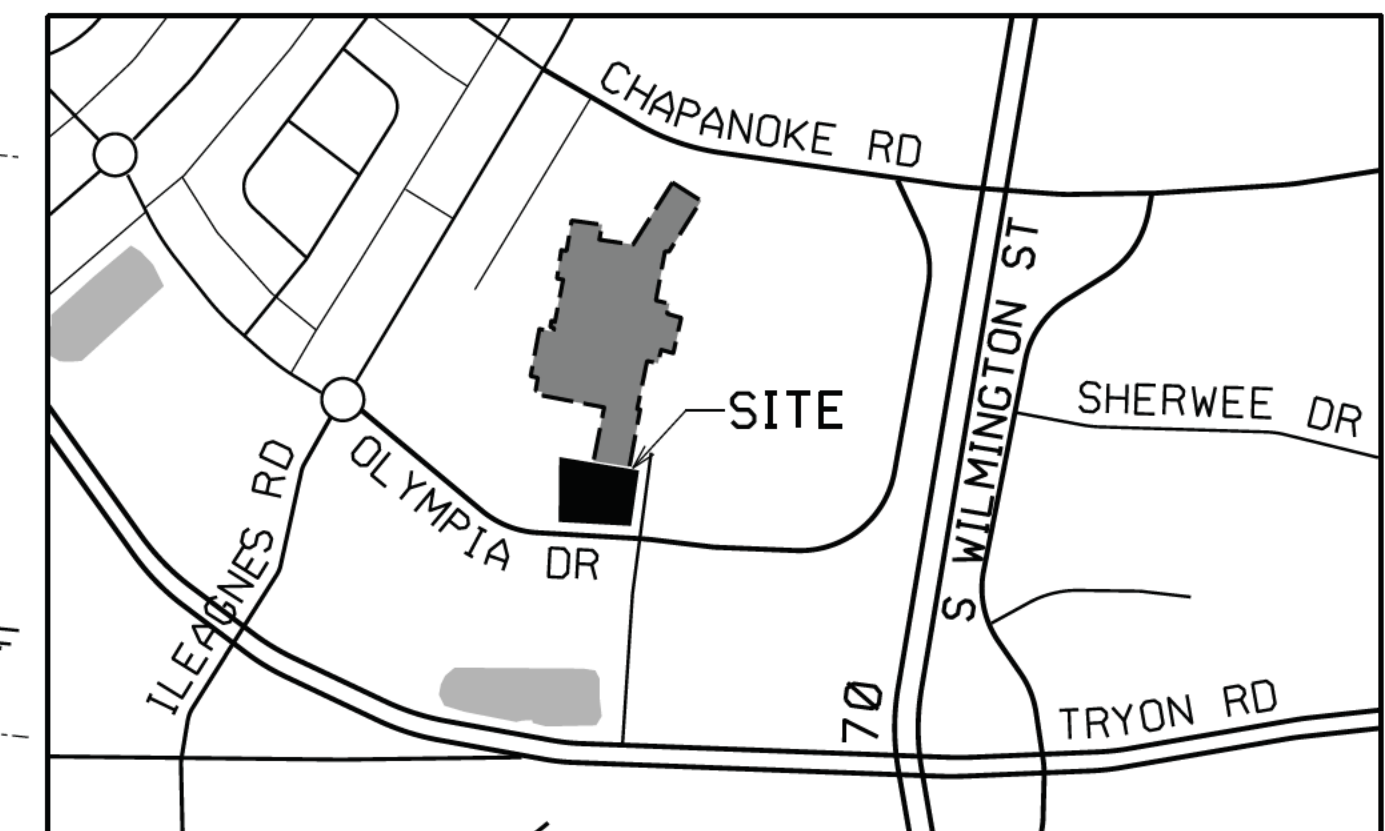


LEGEND:

- NEW CONCRETE CURB & GUTTER
SEE DETAIL
- CONCRETE WALK WITH TURN-
DOWN CURB - SEE DETAIL
- NUMBER OF PARKING SPACES
PER BAY



SCALE: 1" = 20'



VICINITY MAP

SCALE: 1" = 500'

NOTE:
 BOUNDARY, TOPOGRAPHIC AND SITE ELEMENT INFORMATION IS BASED ON A SURVEY ENTITLED 'RECOMBINATION PLAT FOR JJJT INVESTMENTS LLC,' BY MICHAEL A. MOSS, L-3794, CAWTHORNE, MOSS AND PANCIERA, PC, 333 S. WHITE ST., P.O. BOX 1253, WAKE FOREST, NC 27588, PHONE NUMBER 919 556-3148 AND DATED NOV. 7, 2014, REV. MAY 19, 2016.

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS

-  CONCRETE
-  METAL WALL PANEL, GRAY
-  MASONRY
-  WOOD PANELING
-  PERFORATED METAL PANELING
-  METAL WALL PANEL, LIGHT GRAY

BUILDING ELEVATION	TOTAL AREA SF PER LEVEL	TOTAL AREA OF TRANSPARENCY	CALCULATED TRANSPARENCY PERCENTAGE PER LEVEL
NORTH			
LEVEL 01	1760	887	50%
LEVEL 02	1876	957	51%
LEVEL 03	1876	942	50%
WEST			
LEVEL 01	771	519	67%
LEVEL 02	964	556	58%
LEVEL 03	960	493	47%
SOUTH			
LEVEL 01	1760	1470	84%
LEVEL 02	1873	1267	68%
LEVEL 03	1891	1122	59%
EAST			
LEVEL 01	632	526	83%
LEVEL 02	801	528	66%
LEVEL 03	819	509	62%

CLIENT

ADDRESS: RALEIGH, NORTH CAROLINA 27601

DESIGNERS: IBI Group CIVIL ENGINEERS

ISSUES

REV	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

KEYPLAN

CONSULTANTS

SEAL

PRIME CONSULTANT

IBI GROUP
421 Fayetteville Street, Suite 1600
Raleigh, NC 27601, USA
tel 919 851 4211
ibi@ibi.com

PROJECT

PROJECT NO: 123337 GATEWAY PROJECT NO: 00000

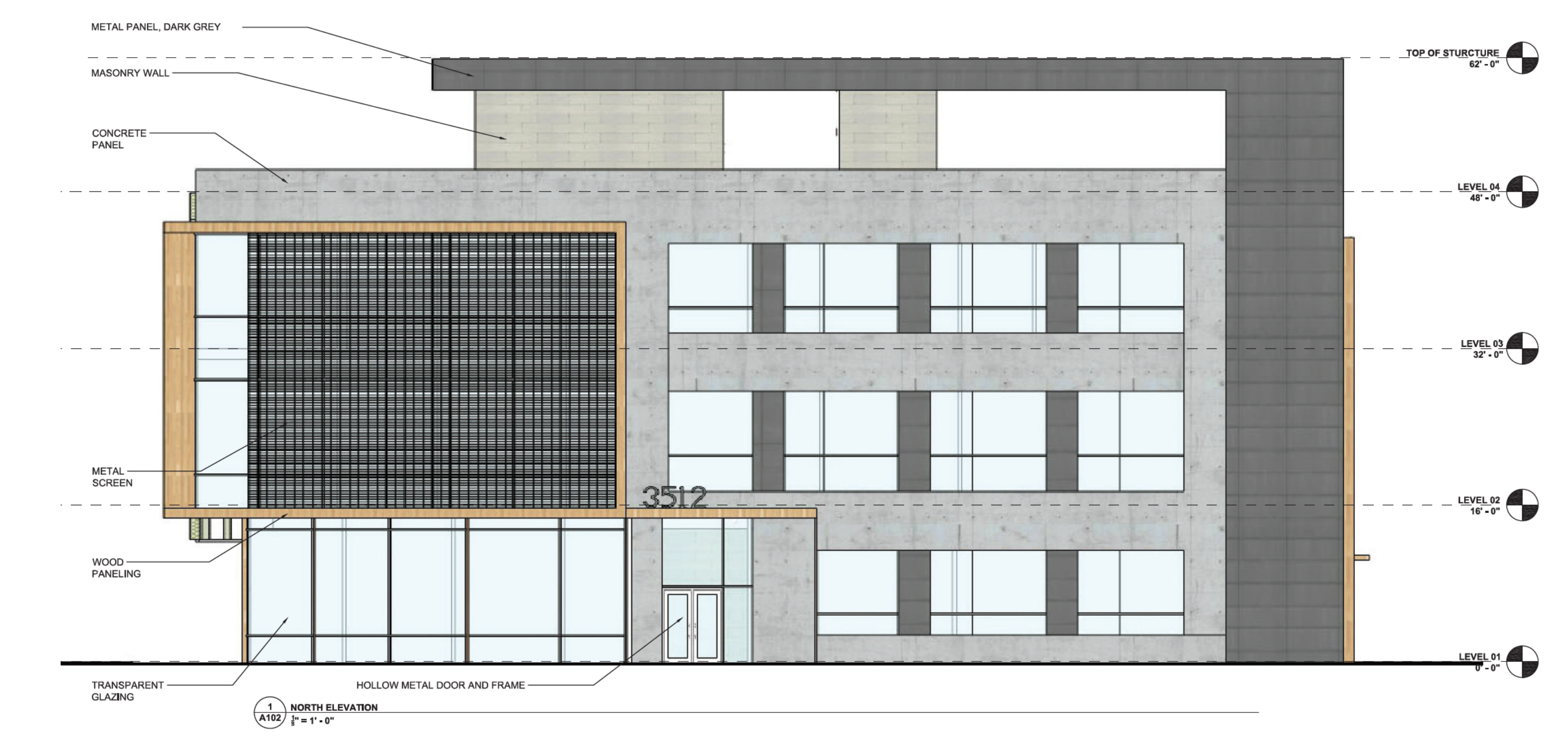
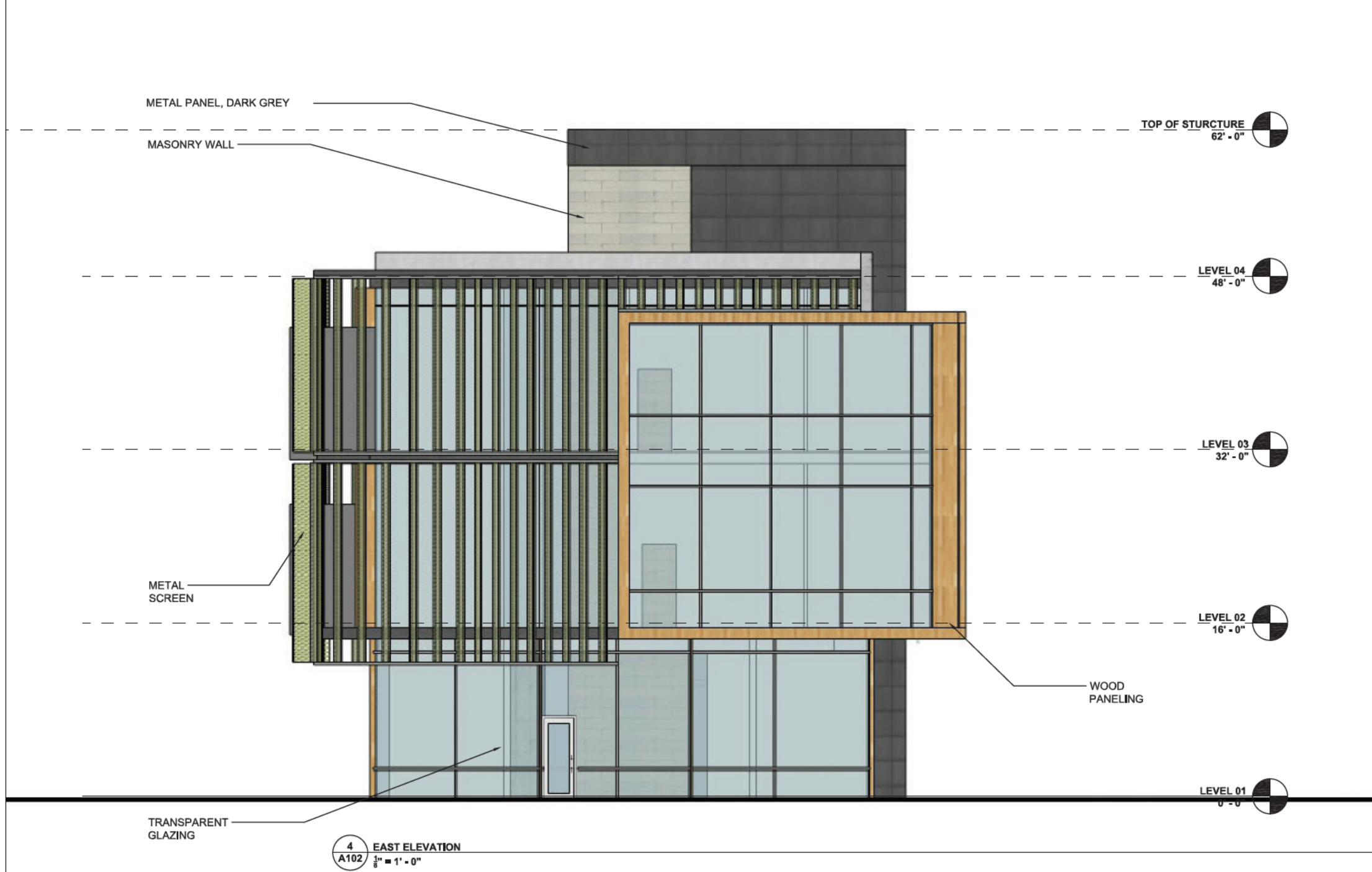
DRAWN BY: PMM CHECKED BY: CHK

PROJECT MGR: PMM APPROVED BY: APR

SCALE: 1/8" = 1'-0" DATE: 08/18/20

SHEET TITLE: BUILDING ELEVATIONS

SHEET NUMBER: A102 REV: -



4/17/2018 2:22:54 PM