

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE**(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

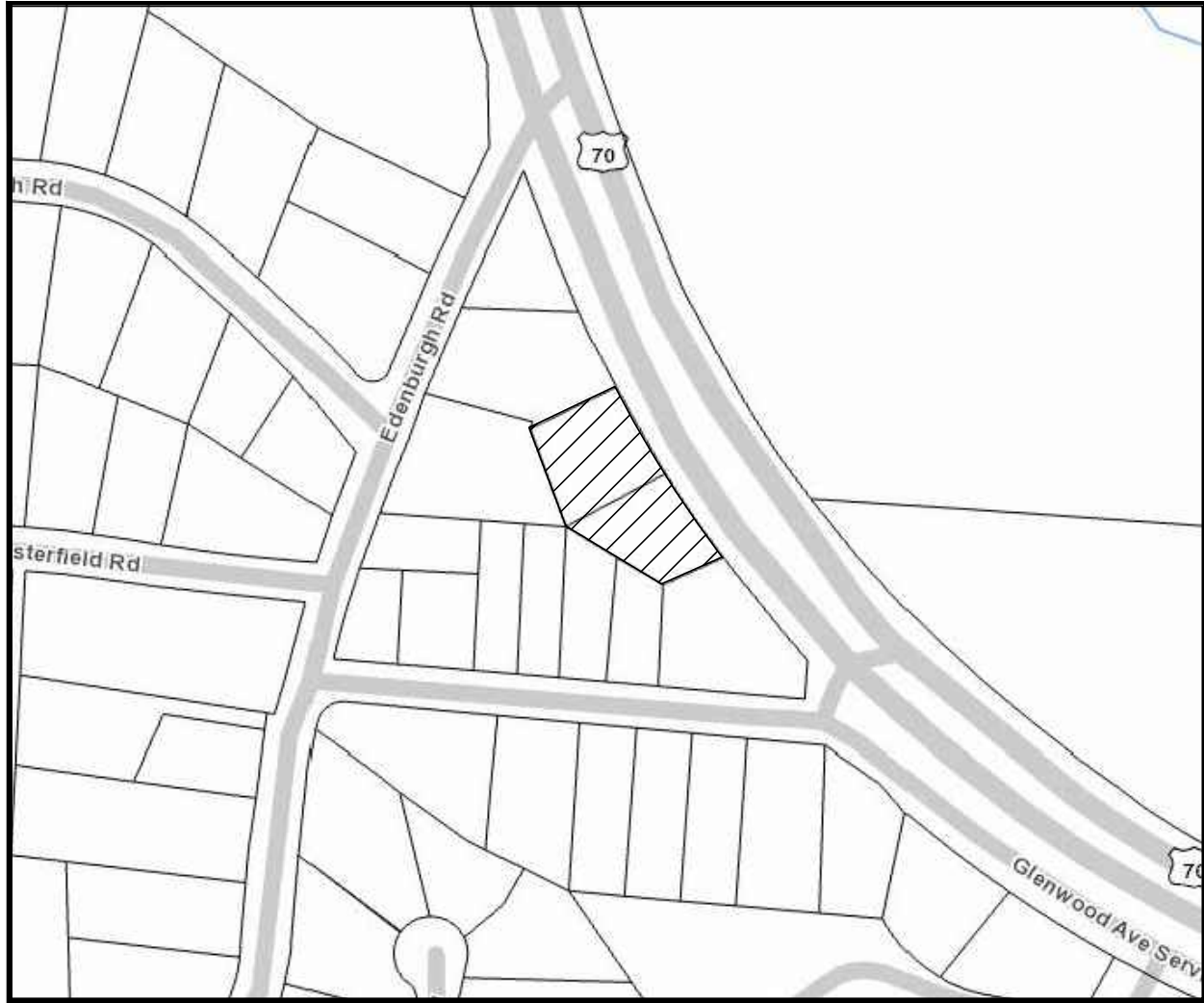
SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date:
Printed Name:	



VICINITY MAP
NOT TO SCALE

SITE DATA

	LOT 1
SITE ADDRESS:	2717 GLENWOOD AVE.
WAKE COUNTY PIN#:	0795928845
OWNER	PORTSMOUTH PROPERTIES, LLC
ZONING:	OX-3-PL-CU
REFERENCES:	DB 18612, PG 1912 BM 2018, 213
EXISTING ACREAGE:	25,525 SF (0.5860 AC)
AREA TO BE DEDICATED:	0 SF
PROPOSED TOTAL ACREAGE:	25,525 SF (0.5860 AC)
REQUIRED AMENITY AREA:	2,553 SF (0.06 AC) (10%)
PROVIDED AMENITY AREA:	2,852 SF (0.07 AC) (11.1%)
EXISTING USE:	VACANT
PROPOSED USE:	MEDICAL/DENTAL OFFICE
BUILDING AREA:	GROUND FLOOR: 3,104 SF SECOND FLOOR: 3,105 SF TOTAL: 6,209 SF
REQUIRED PARKING: DENTAL/MEDICAL OFFICE = NO MAX.	DENTAL/MEDICAL OFFICE = NO MAX.
PROVIDED PARKING:	31 SPACES (INCLUDING 1 ADA SPACE AND 1 VAN ACCESSIBLE ADA SPACE)
REQUIRED BICYCLE PARKING:	4 SHORT-TERM 4 LONG-TERM
EXISTING IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	14,375 SF (0.33 AC)
BUILDING SETBACKS	STREET SETBACK: 5' SIDE/REAR SETBACK: 0' or 6'
PRIMARY STREET BUILD-TO: 50% AT 5' - 100' OR 35% WITH OUTDOOR AMENITY AREA OPTION (1.5.6.C.4.)	FRONTAGE LENGTH = 184.2' LENGTH OF BUILDING W/IN BUILD-TO = 66.7' (36.2%) OUTDOOR AMENITY AREA W/IN BUILD-TO = 111.5' (60.5%) TOTAL = 96.7%
PARKING SETBACKS	STREET SETBACK: 10' SIDE/REAR SETBACK: 0' or 3'
NEIGHBORHOOD TRANSITION:	ZONE A (10' - TYPE 1) REQUIREMENTS: A WALL 6.5 TO 9' (PROVIDED) 4 SHADE TREES/100' (PROVIDED) 3 UNDERSTORY TREES/100' (PROVIDED) 40 SHRUBS/100' (PROVIDED)

ORDINANCE (2017) 688 ZC 740
EFFECTIVE: 02/07/17

Z-34-16 – GLENWOOD AVENUE, WEST SIDE, APPROXIMATELY 280' SOUTH OF EDENBURGH ROAD, BEING WAKE COUNTY PINS 0795928870 AND 0795928809. APPROXIMATELY .62 ACRES ARE REQUESTED BY EMORY CAMPBELL, LLC TO BE REZONED FROM RESIDENTIAL-6 (R-6) TO OFFICE MIXED USE-THREE STORIES-PARKING LIMITED-CONDITIONAL USE (OX-3-PL-CU).

CONDITIONS DATED: JANUARY 3, 2017

- NO BUILDING SHALL BE TALLER THAN TWO (2) STORIES AND THIRTY-FIVE FEET (35').

RESPONSE: PROPOSED BUILDING IS TWO (2) STORIES TALL, WITH A BUILDING HEIGHT (AS DEFINED IN UDO SECTION 1.5.7.A.1) OF THIRTY-FIVE FEET (35'). PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR ADDITIONAL DETAIL.

- THE FOLLOWING USES ARE PROHIBITED ON THE SUBJECT PROPERTY: DORMITORY, FRATERNITY, SORORITY, EMERGENCY SHELTER TYPE A, EMERGENCY SHELTER TYPE B, CEMETERY, COLLEGE, COMMUNITY COLLEGE, UNIVERSITY, SCHOOL, PUBLIC OR PRIVATE (K-12); TELECOMMUNICATION TOWER (<250 FT); TELECOMMUNICATION TOWER (>250 FT); SPORTS ACADEMY; OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (< 250 SEATS); OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (> 250 SEATS); HELIPORT, SERVING HOSPITALS; HELIPORT, ALL OTHERS; RETAIL SALES; EATING ESTABLISHMENT; AND DETENTION CENTER, JAIL, PRISON.

RESPONSE: THE PROPOSED USE IS OFFICE, WHICH IS A "BY-RIGHT" USE FOR THE OX ZONE, AND IS NOT EXPLICITLY PROHIBITED BY THE ABOVE ZONING CONDITION.

- ANY SITE PLAN SUBMITTED FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL INCLUDE A WALL TO BE CONSTRUCTED OF MASONRY MATERIALS, OF A HEIGHT NO LESS THAN SIX AND ONE-HALF FEET (6.5') AND NO MORE THAN NINE FEET (9'), AND LOCATED NO MORE THAN TEN FEET (10') FROM THE PROPERTY LINE ABUTTING THOSE PARCELS CONVEYED IN THE WAKE COUNTY REGISTER OF DEEDS BOOK 5345, PAGE 347; BOOK 13251, PAGE 1676; BOOK 14020, PAGE 1043; AND BOOK 15039, PAGE 1946; EXCEPT IF A MORE STRINGENT TRANSITIONAL PROTECTIVE YARD IS REQUIRED.

RESPONSE: A RETAINING WALL IS PROPOSED ALONG THE MAJORITY OF THE ABUTTING PROPERTY LINES, WITHIN THE FIRST TEN FEET (10'), WITH AN ADDITIONAL SCREENING WALL HEIGHT ON TOP FOR A TOTAL HEIGHT OF BETWEEN SIX AND ONE-HALF FEET (6.5') AND NINE FEET (9'). THE NEIGHBORHOOD TRANSITIONAL YARD REQUIRED ON THE NORTH, WEST, AND SOUTH BOUNDARIES CONTAINS THE SAME SCREEN WALL REQUIREMENTS, AND IS NOT MORE RESTRICTIVE. PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR ADDITIONAL DETAIL.

- ANY SITE PLAN SUBMITTED FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL INCORPORATE FULL CUTOFF LIGHTING FOR ALL EXTERIOR AND OUTDOOR LIGHTING AND LIGHTING FIXTURES.

RESPONSE: FULL CUTOFF LIGHTING WILL BE REQUIRED AS PART OF THE CONSTRUCTION DOCUMENT REVIEW PROCESS.

- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT OR RECORDING OF A SUBDIVISION PLAT, WHICHEVER OCCURS FIRST, A TRANSIT EASEMENT SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH AND 20 FEET IN WIDTH) AND LOCATION OF THE EASEMENT ALONG GLENWOOD AVENUE SHALL BE APPROVED BY THE TRANSPORTATION DEPARTMENT AND THE EASEMENT DEED APPROVED BY THE CITY ATTORNEY'S OFFICE.

RESPONSE: PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR PROPOSED TRANSIT EASEMENT LOCATION.

- NO DRIVE-THROUGH FACILITY SHALL BE PERMITTED ON THE SUBJECT PROPERTY.

RESPONSE: THE PROPOSED USE IS OFFICE, AND NO DRIVE-THROUGH FACILITY IS REQUIRED OR PROPOSED.

- NO SITE PLAN FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL BE APPROVED WITH PARKING BETWEEN THE PUBLIC RIGHT-OF-WAY AND ANY BUILDING FACADE.

RESPONSE: NO PARKING IS PROPOSED BETWEEN THE PUBLIC RIGHT-OF-WAY AND PROPOSED BUILDING FACADE. ALL PROPOSED PARKING IS TO THE NORTH OR WEST, LOCATED IN THE NEIGHBORHOOD TRANSITIONAL YARD, BETWEEN THE BUILDING AND ABUTTING PROPERTIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

PORTSMOUTH PROPERTIES

TIER 2 ADMINISTRATIVE SITE REVIEW

ASR-0003-2022

2717 GLENWOOD AVE

RALEIGH, NC 27608

JANUARY 7, 2022
REVISED: AUGUST 24, 2022

OWNER/DEVELOPER:

PORTSMOUTH PROPERTIES LLC

2413 RIDGE ROAD
RALEIGH, NC 27612
Phone: (919) 260-3524
E-mail: semrich@gmail.com

ARCHITECT:

The Redfoot Studio Architecture PC

2515 Saxapahaw Bethlehem Church Road
Graham, NC 27253
Phone: (919) 931-7134

E-mail: richard@redfootstudio.com

LANDSCAPE ARCHITECT:

COALY DESIGN, PC

537 E. MARTIN STREET
RALEIGH, NC 27601
Phone: (919) 539-0012
E-mail: kimberly@coalydesign.com

CIVIL ENGINEER:

JAECO

Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL. NO DUMPSTERS PROPOSED AS RECYCLING AND SOLID WASTE WILL BE REMOVED FROM BUILDING AND DISPOSED OFF-SITE AS STATED IN LETTER BELOW.

Portsmouth Properties
2717 Glenwood Avenue
Raleigh, NC 27608

Dear Portsmouth Properties,

The Budd Group appreciates the opportunity to partner with your business to provide solid waste removal and janitorial solutions for your tenants. We believe our relationship will be beneficial and we look forward to serving the needs of your business. Per our conversation, The Budd Group is able to provide weekly service to your property on 2717 Glenwood Avenue. Our services will include collection and removal of all trash and recycling from the property and tenants therein.

If you have any additional questions, please call me.

Katie McConnell
Vice President of Business Development
919.630.3730 (C)



Administrative Site Review Application

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input checked="" type="checkbox"/>	Tier Three Site Plan <input type="checkbox"/>
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: SCOPE-0079-2021
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: Z-34-16
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: PORTSMOUTH PROPERTIES DENTAL OFFICE		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 2717 Glenwood Ave		
Site P.I.N.(s): 0795928845		
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of a new general building (6248sf) with associated parking		
Current Property Owner/Developer Contact Name: Sam Emrich		
NOTE: please attach purchase agreement when submitting this form.		
Company: Portsmouth Properties LLC		Title: _____
Address: 2413 Ridge Rd, Raleigh NC 27612		
Phone #: 919-260-3524		Email: semrich@gmail.com
Applicant Name: Jon Callahan		
Company: JAECO		Address: 333 Wade Ave, Raleigh, NC 27605
Phone #: 919-828-4428		Email: jon_callahan@jaeco.com

Page 1 of 2

REVISION 02.19.21

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-PL-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage: 0.5860 ac	Existing gross floor area to be demolished: 0
# of parking spaces required: No Maximum	New gross floor area: 6209 sf
# of parking spaces proposed: 31	Total sf gross (to remain and new): 6209 sf
Overlay District (if applicable): n/a	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): medical/dental office	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.33 Square Feet: 14,375
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br	4br or more
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Jon Callahan - JAECO</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Jon Callahan</u>	Date: 7/25/22
Printed Name: Jon Callahan	

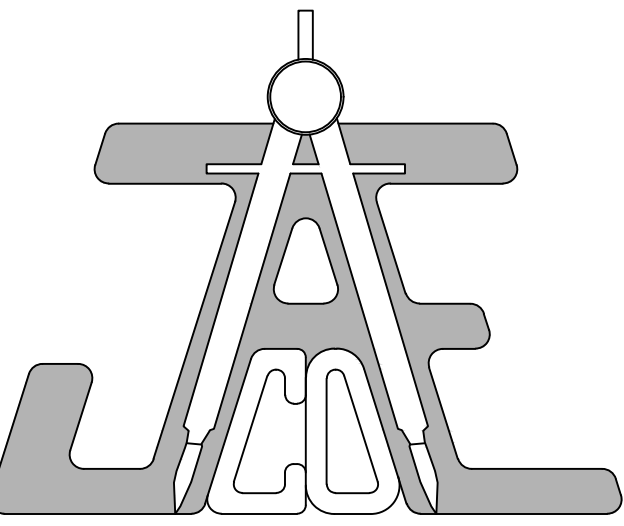
Page 2 of 2

REVISION 02.19.21

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INDEX

- CE-1 EXISTING CONDITIONS AND DEMOLITION PLAN
- CE-2 SITE PLAN
- CE-3 GRADING PLAN & STORMWATER MANAGEMENT PLAN
- CE-4 UTILITY PLAN
- CE-5 FIRE ACCESS AND COVERAGE EXHIBIT
- CE-6 SITE DISTANCE EXHIBIT
- CE-7 SITE DETAILS
- CE-8 STORMWATER DETAILS
- LA-1 PLANTING PLAN
- PL1.0 EXTERIOR ELEVATIONS



JAECO
Consulting Engineers and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com



8/24/22

Project

PORTSMOUTH PROPERTIES DENTAL
2717 GLENWOOD AVE.
RALEIGH, NC 27608

Client

PORTSMOUTH PROPERTIES, LLC
2413 RIDGE ROAD
RALEIGH, NC 27612

LEGEND	
BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NARY STREET
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
TMH	TELEPHONE MANHOLE
TF	ELECTRICAL TRANSFORMER
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
WW	MONITORING WELL
CAV	CABLE PEDESTAL
FH	FIRE HYDRANT
BRICK	DENOTES BRICK
CONCRETE	DENOTES CONCRETE
XXX	DENOTES ADDRESS

---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SEWER LINE
---	OVERHEAD POWER
---	GAS LINE
---	EASEMENT LINE
---	WATER LINE
---	LP
---	WV
---	SSMH
---	GW
---	MW
---	CP
---	TP
---	GV

Drawing Title

SITE PLAN

Revisions		
Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	07/22/22
2	PER CITY OF RALEIGH COMMENTS	08/24/22

Drawing Scale 1" = 20'

Drawn By TCT

Checked By JRC

Date Issued 01/07/22

CE-2

3 of 12

BUILD TO CALCULATIONS

PL FRONTAGE REQUIRES 50% BUILD TO BETWEEN 5-100'

FRONTAGE IS REDUCED TO 184.2' DUE TO REQUIRED TRANSITIONAL PROTECTIVE YARD (UDO 1.5.6 C.3.e)
PROPOSED BUILDING WIDTH IN BUILD TO ZONE - 68.7'
BUILDING MAKES UP 36.2% (35% MIN UDO 1.5.6 C.4.)
PROPOSED AMENITY AREA WIDTH IN BUILD TO ZONE - 111.5'

TOTAL BUILDING + AMENITY = 178.2' (96.7%)

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0079-2021) AND ARE APPROXIMATE.
- EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0079-2021).

CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TRANSPORTATION NOTES:

- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
- HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
- SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
- ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
- ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
- UNLESS OTHERWISE SHOWN, TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 25'.

HATCH LEGEND

PROPOSED AMENITY AREA

PROPOSED AMENITY AREA (ADA ACCESSIBLE)

AMENITY AREA

REQUIRED AREA2,553 SF (0.06 AC)
PROPOSED AREA2,862 SF (0.06 AC)
REQUIRED PEDESTRIAN/ADA AREA (50%)1,426 SF
PROVIDED PEDESTRIAN/ADA AREA1,545 SF

PROPOSED IMPERVIOUS CALC.

TOTAL ON-SITE AREA25,525 SF
PROPOSED PERVIOUS AREA11,150 SF
PROPOSED IMPERVIOUS AREA14,375 SF

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-5540 at least twenty-four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL. NO DUMPSTERS PROPOSED AS RECYCLING AND SOLID WASTE WILL BE REMOVED FROM BUILDING AND DISPOSED OFF-SITE AS STATED IN LETTER BELOW.

Portsmouth Properties
2717 Glenwood Avenue
Raleigh, NC 27608

Dear Portsmouth Properties,

The Budd Group appreciates the opportunity to partner with your business to provide solid waste removal and janitorial solutions for your tenants. We believe our relationship will be beneficial and we look forward to serving the needs of your business.

Per our conversation, The Budd Group is able to provide weekly service to your property on 2717 Glenwood Avenue. Our services will include collection and removal of all trash and recycling from the property and tenants therein.

If you have any additional questions, please call me.

Katie McConnell
Vice President of Business Development
919.630.3730(C)



N/F
JONATHAN & JENNIFER
ANDERSON
PIN 0795.16-92-7917
DB 16896, PG 1531
USE: SINGLE FAMILY
ZONING: R-6

N/F
JONATHAN & JENNIFER
ANDERSON
PIN 0795.16-92-7917
DB 16896, PG 1531
USE: SINGLE FAMILY
ZONING: R-6

PROP. MASONRY SCREEN WALL
(MIN. 6.5' - MAX. 9')
WITH COLUMNS 100' MIN

BEGIN MASONRY RETAINING WALL
W/ SCREENING WALL
(MIN. 6.5' - MAX. 9')
WITH COLUMNS 100' MIN

N/F
SHEPHERD FOUNTAIN
PIN 0795.16-92-6893
DB 5345, PG 347
USE: SINGLE FAMILY
ZONING: R-6

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	234.33'	2494.35'	234.24'	S31° 50' 44"E

LIMIT OF DISTURBANCE AT
PROPERTY LINE
(OFFSET FOR CLARITY)

N/F
JOSHUA & JOSIE PRABHAKAR
PIN 0795.16-92-6792
DB 13969, PG 1192
USE: SINGLE FAMILY
ZONING: R-6

N/F
JOSHUA & JENNIFER HUMPHREY
PIN 0795.16-92-7742
DB 17056, PG 1505
USE: SINGLE FAMILY
ZONING: R-6

N/F
WILLIAM & LINDSAY MICKLE
PIN 0795.16-92-8701
DB 14020, PG 1043
USE: SINGLE FAMILY
ZONING: R-6

PROP. MASONRY RETAINING WALL
(MIN. 6.5' - MAX. 9')
WITH COLUMNS 100' MIN

BEGIN MASONRY
SCREENING WALL
(MIN. 6.5' - MAX. 9')
WITH COLUMNS 100' MIN

N/F
WILLIAM & JENNIFER HOLT
PIN 0795.16-92-8669
DB 18703, PG 2528
USE: SINGLE FAMILY
ZONING: R-6

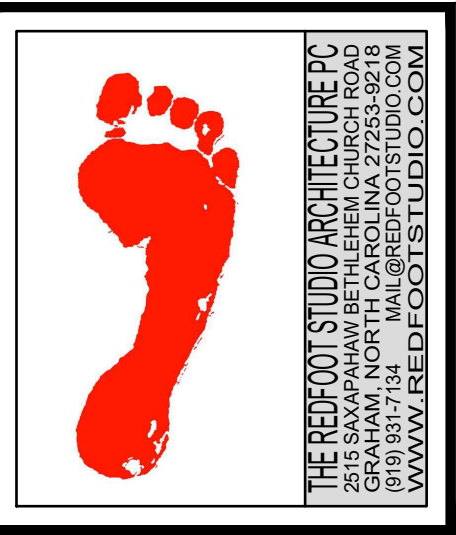
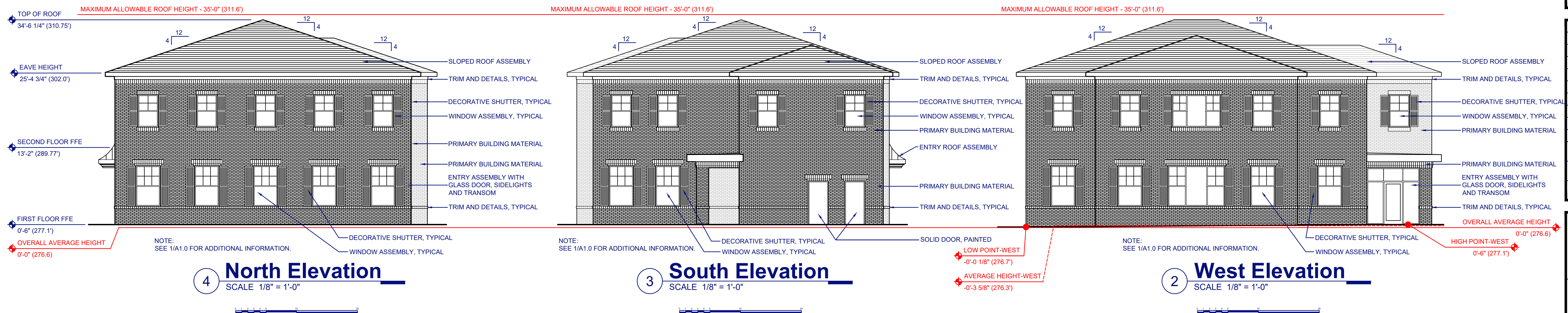
N/F
BUCKTHAL FAMILY LLC
PIN 0795.16-92-8648
DB 9386, PG 597
USE: MEDICAL OFFICE
ZONING: OX-3-CU

AVERAGE GRADE CALCULATION						
		IMPROVED GRADE				AVG
		Front		Rear*		
	PRIMARY STREET FRONTAGE	LOW	HIGH	LOW	HIGH	
Building	Glenwood Ave	275.50	277.10	276.70	277.10	276.60

* Where property slope increases to the rear, building height is measured from the average post development grade of the front and rear wall plane.

- Per Section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.



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**PORTSMOUTH PROPERTIES
DENTAL BUILDING**
2717 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27608



CORPORATE STAMP

ARCHITECT'S STAMP

No	Rev./Submissons	Date
	PLANNING	01/07/22
	PLANNING	07/19/22
	PLANNING	08/26/22

SCALE AS NOTED	PROJECT NO 210701
DESIGNED RSR	DATE 26 AUG 22
DRAWN RSR	CHECKED RSR

BUILDING ELEVATIONS

DRAWING NO

PL1.0

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