



Administrative Approval Action

Case File / Name: ASR-0003-2022
DSLCL - Portsmouth Properties

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Ave, north of Oberlin Road at 2717 Glenwood Avenue.
REQUEST: Development of a vacant 0.586 acre/25,525 sf tract zoned OX-3-PL CU with no right-of-way dedication. A proposed new medical/dental office building, total 6,209 sf of gross area.

Z-34-16 - Glenwood Avenue, West Side (Effective 02/07/17)

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: SPR-0227-2022: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 24, 2022 by JOHN A. EDWARDS & COMPANY.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Sheet PL1.0, the West Elevation's "average" calculation grade # (sum avg.) is recalculated and revised for the west wall plane, per UDO Sec.1.5.7.A.8.
2. Sheet PL1.0 transparency table, the "provided" total transparency square footage calculation listed, for the upper story east wall plane, is recalculated and revised per UDO Sec.1.5.9.B.
3. Coversheet, the applicant revises the zoning narrative response #1 wording, and remove reference to "ASR-SR-62-2017" from the Site Permit Review plans set and zoning conditions narrative responses; the referenced site plan was withdrawn from review.
4. Sheet PL1.0, per UDO Sec.1.5.9.B, on the east elevation, the delineated ground level story, transparency height dimensions (measurement) labels, are revised to show the 8'ft height dimension, per the illustration.
5. On sheet CE2, the build-to table is updated and the 'required' square footage amount is inserted & provided, per the data shown and the transitional yard deductions noted in Sec.1.5.6.C.3.e.



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6. Per UDO Sec.1.5.9.B.4, the entire transparency design note & text is transposed onto the Site Permit Review plans set elevations.
7. All proposed retaining walls and lighting plans are submitted with Site Permit Review plans set and demonstrate height and design compliance with UDO Sec.7.2.8.D, UDO Sec.7.4.1 & UDO Sec.7.1.7.G.
8. On sheet PL1.0, the FFE (finished floor level) are delineated across the entire east elevation wall plane; as well as the building foundation wall is clearly delineated, demonstrating compliance with UDO Sec.7.2.8.E.

Engineering

9. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

10. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
11. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
12. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Transportation

1. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-34-16.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 10, 2025

PORTSMOUTH PROPERTIES

TIER 2 ADMINISTRATIVE SITE REVIEW

ASR-0003-2022

2717 GLENWOOD AVE

RALEIGH, NC 27608



VICINITY MAP
NOT TO SCALE

SITE DATA	
SITE ADDRESS:	2717 GLENWOOD AVE, LOT 1
WAKE COUNTY PIN#:	075922845
OWNER:	PORTSMOUTH PROPERTIES, LLC
ZONING:	OX-3-PL-CU
REFERENCES:	DB 18612, PG 1912 BM 2019, 213
EXISTING ACREAGE:	25,526 SF (0.5880 AC)
AREA TO BE DEDICATED:	0 SF
PROPOSED TOTAL ACREAGE:	25,525 SF (0.5880 AC)
REQUIRED AMENITY AREA:	2,553 SF (0.06 AC) (10%)
PROVIDED AMENITY AREA:	2,852 SF (0.07 AC) (11.1%)
EXISTING USE:	VACANT
PROPOSED USE:	MEDICAL/DENTAL OFFICE
BUILDING AREA:	GROUND FLOOR: 3,104 SF SECOND FLOOR: 3,105 SF TOTAL: 6,209 SF
REQUIRED PARKING:	DENTAL/MEDICAL OFFICE = NO MAX.
PROVIDED PARKING:	31 SPACES (INCLUDING 1 ADA SPACE AND 1 VAN ACCESSIBLE ADA SPACE)
REQUIRED BICYCLE PARKING:	4 SHORT-TERM 4 LONG-TERM
EXISTING IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	14,375 SF (0.33 AC)
BUILDING SETBACKS:	STREET SETBACK: 5' SIDE/REAR SETBACK: 0' or 5'
PRIMARY STREET BUILD-TO:	FRONTAGE LENGTH = 184.2' LENGTH OF BUILDING W/IN BUILD-TO = 86.7' (86.2%) OUTDOOR AMENITY AREA W/IN BUILD-TO = 111.5' (60.5%) TOTAL = 96.7%
PARKING SETBACKS:	STREET SETBACK: 10' SIDE/REAR SETBACK: 0' or 3'
NEIGHBORHOOD TRANSITION:	ZONE A (19' - TYPE 1) REQUIREMENTS: ZONE A (PROTECTIVE YARD): 10' TYPE 1 ZONE B (USE RESTRICTED): 50' ZONE C (HEIGHT AND FORM): 100'

ORINANCE (2017) 968 ZC 740
EFFECTIVE: 02/07/17

Z-34-16 - GLENWOOD AVENUE, WEST SIDE, APPROXIMATELY 200' SOUTH OF EDENBURGH ROAD, BEING WAKE COUNTY PINS 075922845 AND 075922846, APPROXIMATELY .62 ACRES ARE REQUESTED BY SHORY CARRELL, LLC TO BE REZONED FROM RESIDENTIAL-4 (RH4) TO OFFICE MIXED USE-TREE STORES-PARKING LIMITED-CONDITIONAL USE (OX-3-PL-CU).

CONDITIONS DATED: JANUARY 3, 2017
1. NO BUILDING SHALL BE TALLER THAN TWO (2) STORIES AND THIRTY-FIVE FEET (35').
RESPONSE: PROPOSED BUILDING IS TWO (2) STORIES TALL, WITH A BUILDING HEIGHT (AS DEFINED IN UDO SECTION 1.5.2A1) OF THIRTY-FIVE FEET (35'). PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR ADDITIONAL DETAIL.

2. THE FOLLOWING USES ARE PROHIBITED ON THE SUBJECT PROPERTY: DORMITORY, FRATERNITY, SOCIETY, EMERGENCY SHELTER TYPE A, EMERGENCY SHELTER TYPE B, CEMETERY, SCHOOL, COMMUNITY COLLEGE, UNIVERSITY, SCHOOL, PUBLIC OR PRIVATE, (K-12), TELECOMMUNICATION TOWER (250 FT), TELECOMMUNICATION TOWER (250 FT), SPORTS ACADEMY, OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (> 250 SEATS), OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (> 250 SEATS), HELIPORT, SERVING HOSPITALS, HELIPORT, ALL OTHERS, RETAIL SALES, EATING ESTABLISHMENT, AND DETENTION CENTER, JAIL, PRISON.
RESPONSE: THE PROPOSED USE IS OFFICE, WHICH IS A "BY-NIGHT" USE FOR THE OX ZONE, AND IS NOT EXPLICITLY PROHIBITED BY THE ABOVE ZONING CONDITION.

3. ANY SITE PLAN SUBMITTED FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL INCLUDE A WALL TO BE CONSTRUCTED OF MASONRY MATERIALS, 6" IN HEIGHT NO LESS THAN SIX AND ONE-HALF FEET (6.5') AND NO MORE THAN NINE FEET (9'), AND LOCATED NO MORE THAN TEN FEET (10') FROM THE PROPERTY LINE ABUTTING THOSE PARCELS CONVEYED BY THE WAKE COUNTY REGISTER OF DEEDS BOOK 5345, PAGE 347; BOOK 12611, PAGE 1676; BOOK 14001, PAGE 1043; AND BOOK 15039, PAGE 1946; EXCEPT IF A MORE STRINGENT TRANSITIONAL PROTECTIVE YARD IS REQUIRED.

RESPONSE: A RETAINING WALL IS PROPOSED ALONG THE MAJORITY OF THE ABUTTING PROPERTY LINES, WITHIN THE FIRST TEN FEET (10'), WITH AN ADDITIONAL SCREENING WALL HEIGHT ON TOP FOR A TOTAL HEIGHT OF BETWEEN SIX AND ONE-HALF FEET (6.5') AND NINE FEET (9'). THE NEIGHBORHOOD TRANSITIONAL YARD REQUIRED ON THE NORTH, WEST, AND SOUTH BOUNDARIES CONTAINS THE SAME SCREENING WALL REQUIREMENTS, AND IS NOT MORE THAN 184.2' IN LENGTH. PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR ADDITIONAL DETAIL.

4. ANY SITE PLAN SUBMITTED FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL INCORPORATE FULL CUTOFF LIGHTING FOR ALL EXTERIOR AND OUTDOOR LIGHTING AND LIGHTING FIXTURES.
RESPONSE: FULL CUTOFF LIGHTING WILL BE REQUIRED AS PART OF THE CONSTRUCTION DOCUMENT REVIEW PROCESS.

5. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT OR RECORDING OF A SUBDIVISION PLAT, WHICHEVER OCCURS FIRST, A TRANSIT EASEMENT SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN WIDTH) AND LOCATION OF THE EASEMENT ALONG GLENWOOD AVENUE SHALL BE APPROVED BY THE TRANSPORTATION DEPARTMENT AND THE EASEMENT DEED APPROVED BY THE CITY ATTORNEY'S OFFICE.

RESPONSE: PLEASE REFER TO ADMINISTRATIVE SITE REVIEW PLANS SR-62-17 FOR PROPOSED TRANSIT EASEMENT LOCATION.

6. NO DRIVE-THROUGH FACILITY SHALL BE PERMITTED ON THE SUBJECT PROPERTY.
RESPONSE: THE PROPOSED USE IS OFFICE, AND NO DRIVE-THROUGH FACILITY IS REQUIRED OR PROPOSED.

7. NO SITE PLAN FOR NEW DEVELOPMENT ON THE SUBJECT PROPERTY SHALL BE APPROVED WITH PARKING BETWEEN THE PUBLIC RIGHT-OF-WAY AND ANY BUILDING FACADE.
RESPONSE: NO PARKING IS PROPOSED BETWEEN THE PUBLIC RIGHT-OF-WAY AND PROPOSED BUILDING FACADE. ALL PROPOSED PARKING IS TO THE NORTH OR WEST, LOCATED IN THE NEIGHBORHOOD TRANSITIONAL YARD BETWEEN THE BUILDING AND ABUTTING PROPERTIES.

JANUARY 7, 2022
REVISED: AUGUST 24, 2022

OWNER/DEVELOPER:
PORTSMOUTH PROPERTIES LLC
2413 RIDGE ROAD
RALEIGH, NC 27612
Phone: (919) 260-3524
E-mail: semrich@gmail.com

ARCHITECT:
The Redfoot Studio Architecture PC
2515 Saxapahaw Bethlehem Church Road
Graham, NC 27253
Phone: (919) 931-7134
E-mail: richard@redfootstudio.com

LANDSCAPE ARCHITECT:
COALY DESIGN, PC
537 E. MARTIN STREET
RALEIGH, NC 27601
Phone: (919) 539-0012
E-mail: kimberly@coalydesign.com

CIVIL ENGINEER:
JAECO
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL. NO DUMPSTERS PROPOSED AS RECYCLING AND SOLID WASTE WILL BE REMOVED FROM BUILDING AND DISPOSED OFF-SITE AS STATED IN LETTER BELOW.

Portsmouth Properties
2717 Glenwood Avenue
Raleigh, NC 27608

Dear Portsmouth Properties,

The Budd Group appreciates the opportunity to partner with your business to provide solid waste removal and janitorial solutions for your tenants. We believe our relationship will be beneficial and look forward to serving the needs of your business. The Budd Group is able to provide weekly service to your property on 2717. For our conversation, the Budd Group is able to provide weekly service to your property on 2717. Our services will include collection and removal of all trash and recycling from the property and tenants therein.

If you have any additional questions, please call me.

Katie McConnell
Vice President of Business Development
919-830-3730 (C)



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 401 (Raleigh, NC 27601) 919-996-2300

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 12.2.3. Please check the appropriate building types and include the plan checked document when submitting.

Office Use Only: Case # _____ Planner (print) _____
Please review UDO Section 12.2.3, as amended by last change case (C-LL-18) to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input checked="" type="checkbox"/>	Tier Three Site Plan <input type="checkbox"/>	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case # _____	Scoping/Watch plan case # AC09-079-201
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Certificate of Appropriateness # _____	Board of Adjustment # _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Zoning Case # Z-14-18 _____	Administrative Alternate # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic		

GENERAL INFORMATION

Development name: PORTSMOUTH PROPERTIES DENTAL OFFICE
Inside City limits? Yes No
Property address(es): 2717 Glenwood Ave
Site P.I.N. (s): 075922845
Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of a new general building (6248sf) with associated parking

Current Property Owner/Developer Contact Name: Sam Emrich
NOTE: please attach purchase agreement when submitting this form.
Company: Portsmouth Properties LLC Title: _____
Address: 2413 Ridge Rd, Raleigh NC 27612
Phone #: 919-260-3524 Email: semrich@gmail.com
Applicant Name: Jon Callahan Address: 333 Wade Ave, Raleigh, NC 27605
Company: JAECO Address: 333 Wade Ave, Raleigh, NC 27605
Phone #: 919-828-4428 Email: jon_callahan@jaeco.com

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DEVELOPMENT TYPE - SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-PL-CU	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 0.5880 ac	New gross floor area: 6209 sf
# of parking spaces required: No Maximum	Total # of gross (to remain and new): 6209 sf
# of parking spaces proposed: 31	Proposed # of buildings: 1
Overlay District (if applicable): na	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): vacant	
Proposed use (UDO 6.1.4): medical/dental office	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 1.00 Square Feet: 21,780	Proposed Impervious Surface: Acres: 0.33 Square Feet: 14,375
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, please provide: _____
Abundant soils: _____	Flood study: _____
FEMA Map Panel #: _____	Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

# of dwelling units: _____	Total # of hotel units: _____
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: _____	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
I, Jon Callahan - JAECO will serve as the agent regarding this application, and will receive and respond to administrative comments, respond to plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
I, Sam Emrich - Portsmouth Properties will serve as the agent regarding this application, and will receive and respond to administrative comments, respond to plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that the application is subject to the filing calendar and submittable policy, which states applications will expire after 180 days of inactivity.
Signature: Jon Callahan Date: 7/25/22
Printed Name: Jon Callahan

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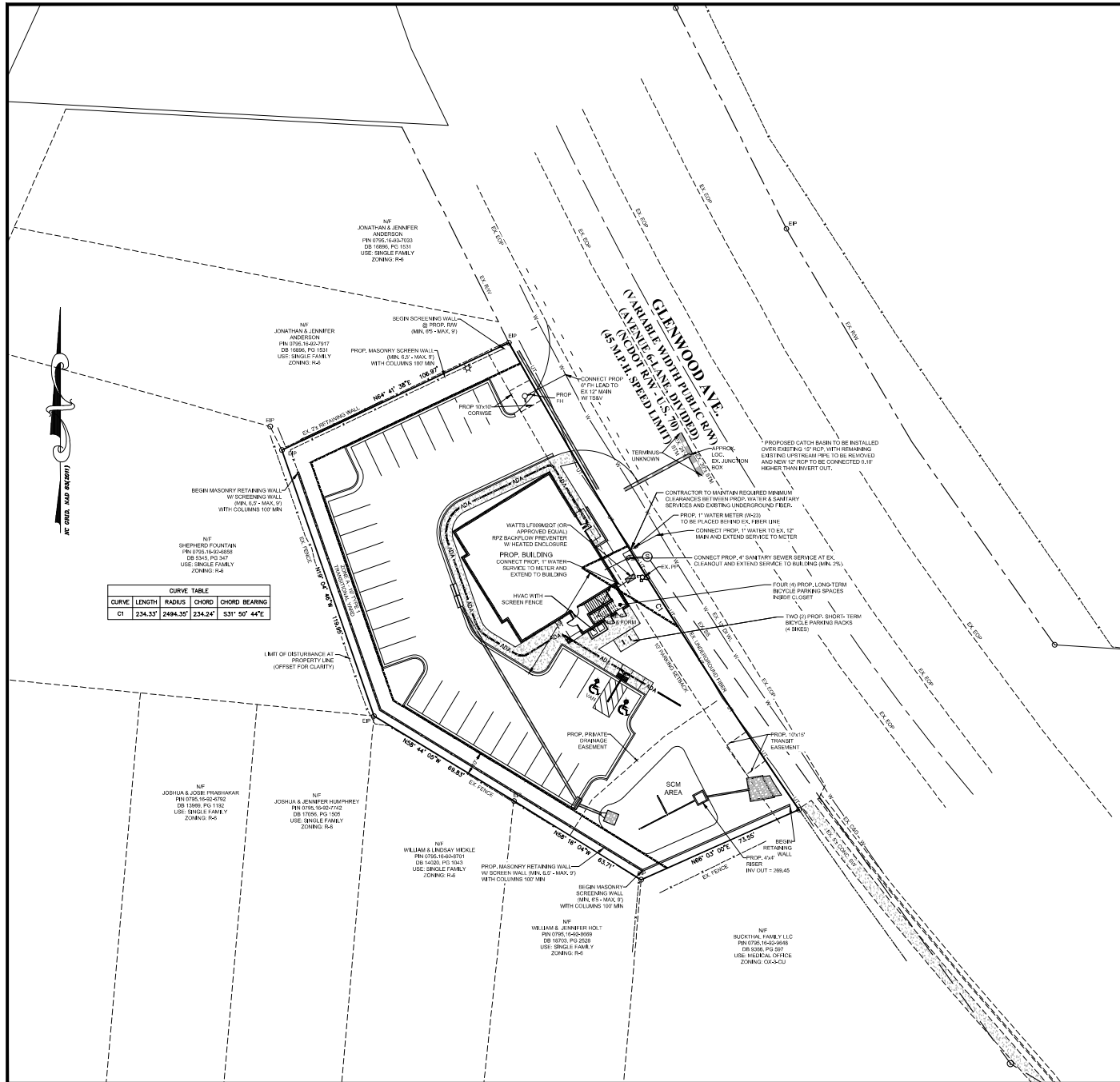
INDEX

- CE-1 EXISTING CONDITIONS AND DEMOLITION PLAN
- CE-2 SITE PLAN
- CE-3 GRADING PLAN & STORMWATER MANAGEMENT PLAN
- CE-4 UTILITY PLAN
- CE-5 FIRE ACCESS AND COVERAGE EXHIBIT
- CE-6 SITE DISTANCE EXHIBIT
- CE-7 SITE DETAILS
- CE-8 STORMWATER DETAILS
- LA-1 PLANNING PLAN
- PL-10 EXTERIOR ELEVATIONS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD83





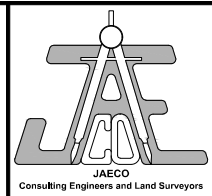
CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C1	234.33'	2494.35'	234.24' 531° 50' 44"E

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA CITY (WATER UTILITY), MARIKUT, EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH INSET THREADS AND WITH A 1/2 INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORP/ID Handbook, current edition)
- Utility separation requirements:
 - A distance of 10' shall be maintained between sanitary sewer & any other or public water supply source such as an impounded reservoir used as a source of drinking water. If impounded treated separation cannot be achieved, sanitary sewer pipe shall be specified as installed to water specifications. However, the minimum separation shall not be less than 25' from a private well & 12' from a public well.
 - When installing water & sewer mains, the horizontal separation between adjacent lines shall be 12'. This separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separation station with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All elevations are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or adjacent sanitary sewer passes over a stormwater, gas, or electric or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 50' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DWP issued a waiver for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings, maintain 15" min. vertical separation of all sanitary sewer & RCP storm drain crossings. When adequate separation cannot be achieved, specify DWP materials & a concrete grade having 6" min. clearance (per CORP/ID details WA-1 & SA-1).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field markings are to be approved by an authorized field office (per City of Raleigh Public Utilities Department prior to construction).
- Contractor shall maintain continuous access for any work requiring within an existing City of Raleigh Utility Easement lowering private property.
- Contractor shall maintain continuous access for sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 30' minimum cover is required on all water mains & sewer force mains, 40' minimum cover is required on all storm water.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in a redevelopment or site reuse otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, top & main & removal of services from ROW or easement per CORP/ID Handbook procedure.
- Install 1/2" copper water services with main located at ROW or within a 50' Easement (see Easement immediately adjacent). NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 1" PVC sewer services @ 1.2% minimum grade with cleanouts located at ROW or easement line & spaced every 75' for first 100' maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi. Backflow valves are required on all sanitary sewer services having building floors more than 10' above the street pavement grade.
- All environmental permits applicable to this project must be obtained from NCEM/D, USACE, and FEMA for any stream buffer, wetland, and floodplain impacts (respectively) prior to construction.
- NCDDOT (Roadway Encasement Agreements are required for any utility work including man extensions a service main within, side or at least ROW that is to be constructed.
- Obtain Interceptor (ID) Water Separator using guidelines & installation specifications shall be approved by the CORP/ID Program Coordinator prior to issuance of a Building Permit. Contact Stephen Collier at (919) 996-2234 or stephen.collier@cityofraleigh.gov for more information.
- Construction control program on basis of scope of health hazard involved as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The developer shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approved. The devices shall be installed & tested both initial and during testing thereafter in accordance with the manufacturer's recommendations on the local construction control program, whichever is more stringent. Contact Joanne Herley at (919) 996-9502 or joanne.herley@cityofraleigh.gov for more information.



JAECO
Consulting Engineers and Land Surveyors
NC License F-2289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 928-4428
Fax: (919) 928-4711
Email: info@jaeco.com
www.jaeco.com

PORTSMOUTH PROPERTIES DENTAL
2717 GLENWOOD AVE.
RALEIGH, NC 27608

PORTSMOUTH PROPERTIES, LLC
2415 RIDGE ROAD
RALEIGH, NC 27612

LEGEND

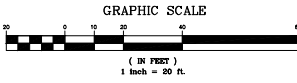
DB	BOOK OF MAPS
DB	DEED BOOK
PAGE	PAGE
N/F	NOT FORMERLY
R/W	RIGHT OF WAY
EP	EXISTING IRON PIPE
EM	EXISTING M&M
EM&M	EXISTING CONCRETE MONUMENT
IRN PIPE	IRON PIPE
M&M	M&M NAL SET
CP	COMPUTER POINT
SS	SANITARY SEWER
SS	SANITARY SEWER CLEAN OUT
WH	MANHOLE
TM	TELEPHONE MANHOLE
TP	ELECTRICAL TRANSFORMER
STBM	STORM GATE BASIN
WC	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
CSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
MW	MONITORING WELL
CATV	CABLE FEDESTAL
FH	FIRE HYDRANT
BRICK	DENOTES BRICK
CONC	DENOTES CONCRETE
XXX	DENOTES ADDRESS
---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SEWER PIPE
---	OVERHEAD POWER
---	GAS LINE
---	EASEMENT LINE
---	WATER LINE
CB	CONCRETE
EP	EXISTING IRON PIPE
EM	EXISTING M&M
EM&M	EXISTING CONCRETE MONUMENT
IRN PIPE	IRON PIPE
M&M	M&M NAL SET
CP	COMPUTER POINT
SS	SANITARY SEWER
SS	SANITARY SEWER CLEAN OUT
WH	MANHOLE
TM	TELEPHONE MANHOLE
TP	ELECTRICAL TRANSFORMER
STBM	STORM GATE BASIN
WC	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
CSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
MW	MONITORING WELL
CATV	CABLE FEDESTAL
FH	FIRE HYDRANT
BRICK	DENOTES BRICK
CONC	DENOTES CONCRETE
XXX	DENOTES ADDRESS

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the installation of water, sewer, and/or gas, as approved in these plans, is responsible for installing the PUBLIC WORKS DEPARTMENT'S (PWP) 1000-000000 and the PUBLIC UTILITIES DEPARTMENT'S (PUD) 1000-000000 in their respective areas prior to beginning any of the construction.

PUBLICURE is ready both City Departments in advance of beginning construction, all work in the issuance of necessary fees, and require contribution of any water or sewer facilities not requested as a result of the notification fee.

IF YOU ARE NOT THE REQUESTOR, INSTALL A DRAINAGE PLAN, HAVE PERMITS MADE ON THE JOB, OR ANY OTHER VIOLENCE OF CITY OF RALEIGH STANDARDS WILL BE ENFORCED. Please Contact Publicure for more information.



UTILITY PLAN

Revisions

Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	07/22/22
2	PER CITY OF RALEIGH COMMENTS	08/24/22

Drawing Scale 1" = 20'

Drawn By TCT

Checked By JRC

Date Issued 01/07/22

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