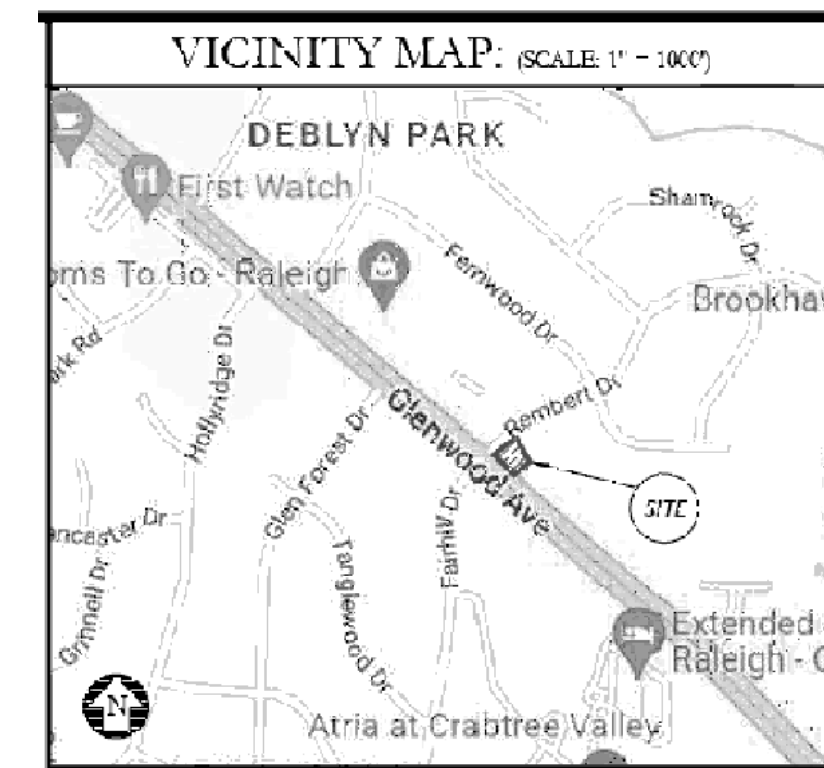


GLENWOOD APARTMENTS

5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

CASE #ASR-0003-2023



OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
christlaxx@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGNS
david@payattedesigns.com
919.615.1247

CIVIL/STRUCTURAL ENGINEER:
CARTER ENGINEERING &
CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
CARTER ENGINEERING &
CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	Subdivision case #: ASR-0003-2023
<input type="checkbox"/> Attached	Scoping/sketch plan case #: na
<input type="checkbox"/> Apartment	Certificate of Appropriateness #: na
<input type="checkbox"/> Townhouse	Board of Adjustment #: na
<input type="checkbox"/> Tiny house	Zoning Case #: na
<input type="checkbox"/> Cottage Court	Design Alternate #: na
<input type="checkbox"/> General	
<input type="checkbox"/> Mixed use	
<input type="checkbox"/> Open lot	
<input type="checkbox"/> Civic	

GENERAL INFORMATION

Development name: 5710 Glenwood
Inside City limits? Yes No

Property address(es):
5710 Glenwood Raleigh, NC 27612
Site P.I.N.(s): 0796051272

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Construction of one building with 26 units with: grade level parking; electric, water and sewer utilities; site lighting; amenity space; and, stormwater management.

Current Property Owner(s): Smithers Equity Group LLC
Company: Smithers Equity Group LLC Title: CEO
Address: 2016 Betsy Place High Point NC 27603
Phone #: 608-385-3420 Email: christlaxx@gmail.com

Applicant Name (if different from owner. See "who can apply" in instructions): Johnney Griffith
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Smithers Equity Group LLC Address: 4662 Pool Circle Drive Raleigh, NC

Phone #: _____ Email: _____

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Johnney Griffith
Company: Johlco Contracting Title: Owner
Address: 4662 Pool Circle Drive Raleigh, NC
Phone #: 919-369-7240 Email: johnnygriffith2@gmail.com
Applicant Name: Johnney Griffith
Company: _____ Address: _____
Phone #: 919-369-7240 Email: _____

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-4 Frequet Transit Area	Existing gross floor area (not to be demolished): 0 - none existing
Gross site acreage: 1.24	Existing gross floor area to be demolished: 0 - none existing
# of parking spaces proposed: 25	New gross floor area: 9,900-sf
Max # parking permitted (7.1.2.C): 2.25/2 bed unit	Total sf gross (to remain and new): 9,900-sf
Overlay District (if applicable): Brookhaven	Proposed # of buildings: 1
Existing use (UDO 6.1.4): residential	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): residential	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) 4575 Proposed total (sf) 27178	Imperious Area for Compliance (includes ROW): Existing (sf) 3762 Proposed total (sf) 27991

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 26	Total # of hotel bedrooms: 0
# of bedroom units: 1br <input checked="" type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date: 12/18/2023
Printed Name: Chris Smith owner/ceo

AFFORDABLE HOUSING (UDO 2.7.1.G.4, 3.7)

THE RENT AND INCOME LIMITS WILL FOLLOW THE AFFORDABLE HOUSING STANDARDS DETERMINED BY THE CITY OF RALEIGH HOUSING & NEIGHBORHOODS DEPARTMENT. AN AFFORDABLE HOUSING DEED RESTRICTION IN A FORM APPROVED BY THE CITY SHALL BE FILED AND RECORDED IN THE PROPERTIES CHAIN OF TITLE BY THE PROPERTY OWNER IN THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO THE PROJECT RECEIVING A CERTIFICATE OF OCCUPANCY. THE PROPERTY OWNER OF DEVELOPMENT APPROVED UNDER THIS SECTION SHALL PROVIDE AN ANNUAL REPORT TO THE CITY TO DEMONSTRATE COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION. THE REPORT SHALL UTILIZE A FORM PRESCRIBED BY THE CITY AND SHALL BE SUBMITTED IN ACCORDANCE WITH A SCHEDULE SET BY THE CITY. AFFORDABLE UNITS USED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE CONSTRUCTED CONCURRENTLY WITH THE PROJECT'S MARKET RATE UNITS.

AFFORDABLE HOUSING - SECT. 2.7.1.G.4 SITE TABLE INFORMATION		
TYPE OF UNITS	No. OF UNITS	CALCULATION
STANDARD HOUSING	23	----
AFFORDABLE HOUSING	3	26 - 12 = 14 14 x 20% = 2.8
TOTAL HOUSING	26	----

SITE INFORMATION

OWNER: SMITHERS EQUITY GROUP, LLC
2016 BETSY PLACE
RALEIGH, NC 27612
0796051272

PIN: 5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

DEED: DB018661 / PG 01793

PARCEL: 1.24-Ac (53.843-sf)
1.23-Ac (53.568-sf) AFTER ROW DEDICATION

CODE: 2019 NORTH CAROLINA BUILDING CODE

ORDINANCE: RALEIGH NORTH CAROLINA
PART 10 UNIFIED DEVELOPMENT ORDINANCE
24th SUPPLEMENT (NOVEMBER 2022)

CODE ENFORCEMENT: CITY OF RALEIGH

ZONING USE: EXISTING: R-4 / 1 SINGLE FAMILY (PREVIOUSLY DEMOLISHED)
PROPOSED: R-4 / 26-UNITS (1 APARTMENT BLDG)

OVERLAY: BROOKHAVEN (SOUTH) NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (NODD)
FREQUENT TRANSIT DEVELOPMENT OPTION (UDO Adt. 2.7)
* NOT WITHIN INFILL AREA

BUILDING SETBACKS: (UDO 2.7.1 FREQUENT TRANSIT DEVELOPMENT APARTMENT)
PRIMARY STREET: 10'
STREET SIDE: 10'
SIDE LOT LINE: 5'
REAR LOT LINE: 25'

BUILDING HEIGHT: 30.9-ft (2.5 STORIES)

PARKING (UDO 7.1.2): 1.5 SPACES PER 1-BEDROOM UNIT (39 SPACES MAX.)
PARKING PROVIDED: 25 TOTAL SPACES

PARKING SETBACKS: (UDO 2.7.1 FREQUENT TRANSIT DEVELOPMENT APARTMENT)
PRIMARY STREET: 10'
STREET SIDE: 10'
SIDE LOT LINE: 0'
REAR LOT LINE: 3'

AMENITY AREA (UDO 1.5.3): 5,384-sf (10% OF LOT)
AMENITY AREA PROVIDED: 6,000-sf MINIMUM CUMULATIVE TOTAL
WESTERN AREA (MAIN) > 2,400-sf
SOUTHERN AREA (TERTIARY) > 750-sf
NORTHEASTERN AREA (SECONDARY) > 2,600-sf
NORTHWESTERN AREA (TERTIARY) > 1,150-sf

OPEN SPACE (UDO 2.4.7, 2.5): N/A (THIS APPLIES TO A CONSERVATION DEVELOPMENT OPTION WHICH IS NOT APPLICABLE FOR THIS DEVELOPMENT)

PROTECTIVE YARD (UDO 7.2.4B): TYPE C3

TREE CONSERVATION (UDO 9.1, 10.2.8B4): NA PER COR URBAN FORESTRY

SURFACE WATER DRAINAGE: STORMWATER SHALL BE RETAINED ON SITE PER THE APPROVED STORMWATER CONTROL PLAN IN ACCORDANCE WITH UDO 9.2 THROUGH 9.5.

RIVER BASIN: NEUSE

WATERSHED: HARE SNIPER CREEK (C, NSW)

IMPERVIOUS (ON-SITE): EXISTING: 3,762-sf (ON-SITE ONLY)
DEMOLISH: 3,762-sf (DRIVEWAY)

PROPOSED: 26,381-sf (ON-SITE)
BUILDING: 10,502-sf
DRIVEWAY: 14,239-sf
SIDEWALK: 1,640-sf

WATER SUPPLY: CITY OF RALEIGH

SEWER SERVICE: CITY OF RALEIGH (UDO 8.7)

DRAWING INDEX:

- CS COVER SHEET
- REF REFERENCE NOTES
- V1.0 SITE SURVEY (JDS CONSULTING)
- C1.0 SITE PLAN
- C1.1 SITE ACCESS PLAN
- C1.2 ROW PRE / POST DEVELOPMENT
- C2.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C4.0 SITE UTILITIES & LIGHTING PLAN
- C4.1 LIGHTING PHOTOMETRIC STUDY
- C5.0 LANDSCAPE PLAN
- C6.0 STORMWATER PRE-DEVELOPMENT
- C6.1 STORMWATER POST-DEVELOPMENT
- C7.0 NOTES & DETAILS
- C7.1 NOTES & DETAILS
- C7.2 NOTES & DETAILS
- C7.3 NOTES & DETAILS
- C7.4 NOTES & DETAILS
- C7.5 NOTES & DETAILS
- C7.6 NOTES & DETAILS
- C7.7 NOTES & DETAILS
- A201 ARCH FRONT ELEVATION (PAYETTE DESIGNS)
- A202 ARCH REAR ELEVATION (PAYETTE DESIGNS)
- A204 ARCH SIDE ELEVATION (PAYETTE DESIGNS)

GLENWOOD APARTMENTS
NEW CONSTRUCTION
 5710 GLENWOOD AVENUE
 RALEIGH, NC 27612
 WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

COVER SHEET



ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS BEEN DESIGNATED AS THE CONTRACTOR FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE WAKE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE WAKE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE WAKE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.K. "JOEY" HOPKINS
SECRETARY

December 11, 2023

Chad Abbott
3E Design & Engineering
2537 E. Lyon Station Rd., Suite 102
Creedmoor, North Carolina 27522

Subject: Planting Permit for 5710 Glenwood Avenue

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for 5710 Glenwood Avenue located in Wake County, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

The following standard provisions are made part of this agreement:

- 1. The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
- 2. The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- 3. Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- 4. Plants to be first class quality of their species.
- 5. A copy of this permit must be on the worksite at all times while the work is being performed.
- 6. All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NCDOT DEPARTMENT OF TRANSPORTATION
DIVISION 5 OFFICE
2612 NORTH DUKE STREET
DURHAM, NC 27704
CS #17-2743

Telephone: (919) 317-4700
Fax: (919) 317-4710
Customer Service: 1-877-568-4968
Website: www.ncdot.gov

Location:
2612 NORTH DUKE STREET
DURHAM, NC 27704

- 7. The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations.
- 8. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
- 9. Two-way traffic shall be maintained at all times.
- 10. No lane of traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.
- 11. NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
- 12. The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.
- 13. The applicant will be required to notify the Roadside Environmental Technician; **Mark Conner** at (919) 816-9290 prior to beginning and after completion of work.
- 14. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- 15. At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
- 16. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
- 17. The applicant is responsible for complying with the Neuse and Tar-Pamlico Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

- 18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michigan's sunace, smooth cone-tower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.
 - 19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.
- If you should need further assistance, please contact Corey Sudderth by phone at 919-317-4700 or by email at csudderth@ncdot.gov.

Sincerely,

Brandon H. Jones, PE
Division Engineer

BHJ/cls

Cc: Corey Sudderth, Roadside Environmental Engineer
File

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
chrissaxx@gmail.com
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GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

LEGEND & NOMENCLATURE

LINETYPES

- X Ex. Fence
- W Ex. Waterline
- SS Ex. Sewerline
- G Ex. Gas
- OHE Ex. Overhead Electric
- T Ex. Telephone
- ISD Ex. Storm Drain
- SF Silt Fence
- LD Limited disturbance
- SD Prop. storm drain
- SS Prop. Sewerline
- G Prop. Gas
- OHE Prop. Overhead Electric
- W Prop. Water
- Extents of Clearing/
New Tree Line
- Existing Tree Line
- Baffles
- Diversion
- Temporary Slope Drain

NOTES SYMBOLS

- CE Construction Entrance/Exit
- DD Temporary Diversion Ditch
- PD Permanent Diversion Ditch
- IP Inlet Protection
- SB Slope Blanket
- SF Silt Fence
- SFO Silt Fence Outlet
- SW Straw Wattle (12" see details)
- TS Temporary Seeding
- PS Permanent Seeding
- TP Tree Protection Fence
- CW Concrete Washout Area
- DW Silt Bag Dewatering
- BM Blanket Matting
- OP Outlet Protection/Plunge Pool

ABBREVIATIONS

- ERB EXISTING REBAR FOUND
- NRB NEW REBAR SET
- EIP EXISTING IRON PIPE OR PIN FOUND
- NIP NEW IRON PIPE OR PIN SET
- ESF EXISTING STONE FOUND
- EAF EXISTING IRON AXLE FOUND
- EMN EXISTING MAGNETIC NAIL FOUND
- NMN NEW MAGNETIC NAIL SET
- ECS EXISTING COTTON SPINDLE SPIKE FOUND
- NCS NEW COTTON SPINDLE SPIKE SET
- ERS EXISTING RAILROAD SPIKE FOUND
- NRS NEW RAILROAD SPIKE SET
- ECM EXISTING CONCRETE MONUMENT FOUND
- NCM NEW CONCRETE MONUMENT SET
- ENL EXISTING NAIL FOUND
- NNL NEW NAIL SET
- CP COMPUTED POINT (NOT ON THE GROUND)
- CPM COMPUTED POINT AT LEANING ECM
- CPP CORRUGATED PLASTIC PIPE
- CL CENTERLINE
- CO CLEAN OUT
- ETB ELECTRIC TRANSFORMER BOX
- FH FIRE HYDRANT
- IV IRRIGATION VALVE
- MBL MINIMUM BUILDING LIMITS
- MHC MANHOLE COVER
- N/F NOW OR FORMERLY
- OHL OVERHEAD UTILITY LINE(S)
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- SSL SANITARY SEWER LINE(S)

SYMBOLS

- Drainage inlet (w/ grate)
- Light Pole
- Water Meter
- Water Valve
- Fire Hydrant
- Straw Wattle
- Silt Fence Outlet
- Inlet Protection (Block & Gravel or Hardware Cloth)
- Outlet Protection/ Plunge Pool Riprap
- Impermeable Liner
- Curb Inlet
- Boltard
- Manhole

SITE NOTES:

- 1. SURVEY DATA AND LOCATIONS PROVIDED BY DALE A. LOVELAKE WITH JDS CONSULTING, DATED NOVEMBER 18, 2021. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- 3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL MAINTAIN ANY EXISTING ACCESS TO ADJACENT RESIDENCES, BUSINESSES AND PROPERTIES AT ALL TIMES.
- 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR CONSTRUCTION.
- 6. ALL STRIPING WITHIN THE ROW SHALL BE THERMOPLASTIC PER DOT STANDARDS UNLESS OTHERWISE NOTED.
- 7. CONTACT 811 PRIOR TO ANY SUBSURFACE WORK.
- 8. OBTAIN FINAL ZONING INSPECTION APPROVAL PRIOR TO USE/OCCUPANCY.

CITY OF RALEIGH TRAFFIC CONTROL AND PEDESTRIAN PLAN (TOPED) NOTES:

- 1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- 3. A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- 4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 5. ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROVIAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM);
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVIAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



REFERENCE NOTES SHEET

REF

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS PREPARED THESE PLANS FOR THE CONTRACTOR'S USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
chrblaxx@gmail.com
608.385.3420

ARCHITECT:
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david@payattedesigns.com
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919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.460.1075

DATE: 11/16/2021. PROJECT: 2503.DW. JDS CONSULTING. 7700 GLENWOOD AVENUE, SUITE 200, RALEIGH, NC 27612



LEGEND

- IPF 1" IRON PIPE (FOUND)
- PROPERTY CORNER (CALCULATED)
- TR 1" 1" TRAILER (TYPE)
- HARDWOOD TREE
- PINE TREE
- CEDAR TREE
- PROPERTY LINE
- ADJOINING PROPERTY LINE (NOT SURVEYED)
- PROPERTY LINE (TO BE REMOVED)
- EDGE OF PAVEMENT
- FEMA FLOOD ZONE LINE
- OVERHEAD WIRE
- UTILITY POLE WITH TRANSFORMER
- 4" X 4" WOOD POST
- TELEPHONE PEDestal
- IRON
- GRAVEL

SURVEY CONTROL/GRID TIE NOTES:

- CLASS OF SURVEY CLASS "A"
- POSITIONAL ACCURACY H = 0.09 V = 0.09"
- TYPE OF GPS FIELD PROCEDURE, RTK NETWORKS (VRS)
- DATE OF GPS SURVEY 11/06/21
- HORIZONTAL DATUM NAD83 (2011) NCSRS
- VERTICAL DATUM NAVD83
- PUBLISHED/FIXED-CONTROL USE
- GEOID MODEL GCRD 18
- CORRECTION FACTOR: 0.00000000
- UNITS U.S. SURVEY FEET
- GPS ANTENNA: SPECTRA PERCISION SP18 (SERIAL# 645020020)
- ADJUSTMENT: REDUNDANT OCCUPATIONS UTILIZING NC VRS NETWORK

SURVEY NOTES

- THE PURPOSE IS THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE PROPERTY LOCATED AT 5710 GLENWOOD AVE., RALEIGH, NC 27612 (PIN 0796-05-1272) HAVING A DEED REFERENCE OF BOOK 1881 PAGE 1753 AND PLAT BOOK 1960 PAGE 174 RECORDED IN THE WAKE COUNTY REGISTER OF DEEDS.
- PROPERTIES SHOWN HEREON ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD THAT WOULD BE REVEALED BY A THOROUGH TITLE SEARCH. THIS EXHIBIT SHOULD NOT BE RELIED UPON AS A COMPLETE RECORD OF ALL EASEMENTS THAT MAY AFFECT THESE PROPERTIES.
- THE UNIT OF MEASUREMENT IS U.S. SURVEY FEET (FT) UNLESS SPECIFICALLY NOTED.
- ALL DISTANCES AND COORDINATES SHOWN HEREON ARE LOCATED; GROUND INFORMATION, UNLESS SPECIFICALLY NOTED AS "GRID".
- ARCS AS CALCULATED BY THE COORDINATE METHOD.
- NO GEODETIC MONUMENTS FOUND WITHIN 2,000 FEET.
- PROPERTY LOCATED IN FLOOD ZONE "AE", AREA DETERMINED TO BE IN THE 1% ANNUAL CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL 1972081700K, EFFECTIVE OCTOBER 19, 2018.
- SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.

CURVE TABLE

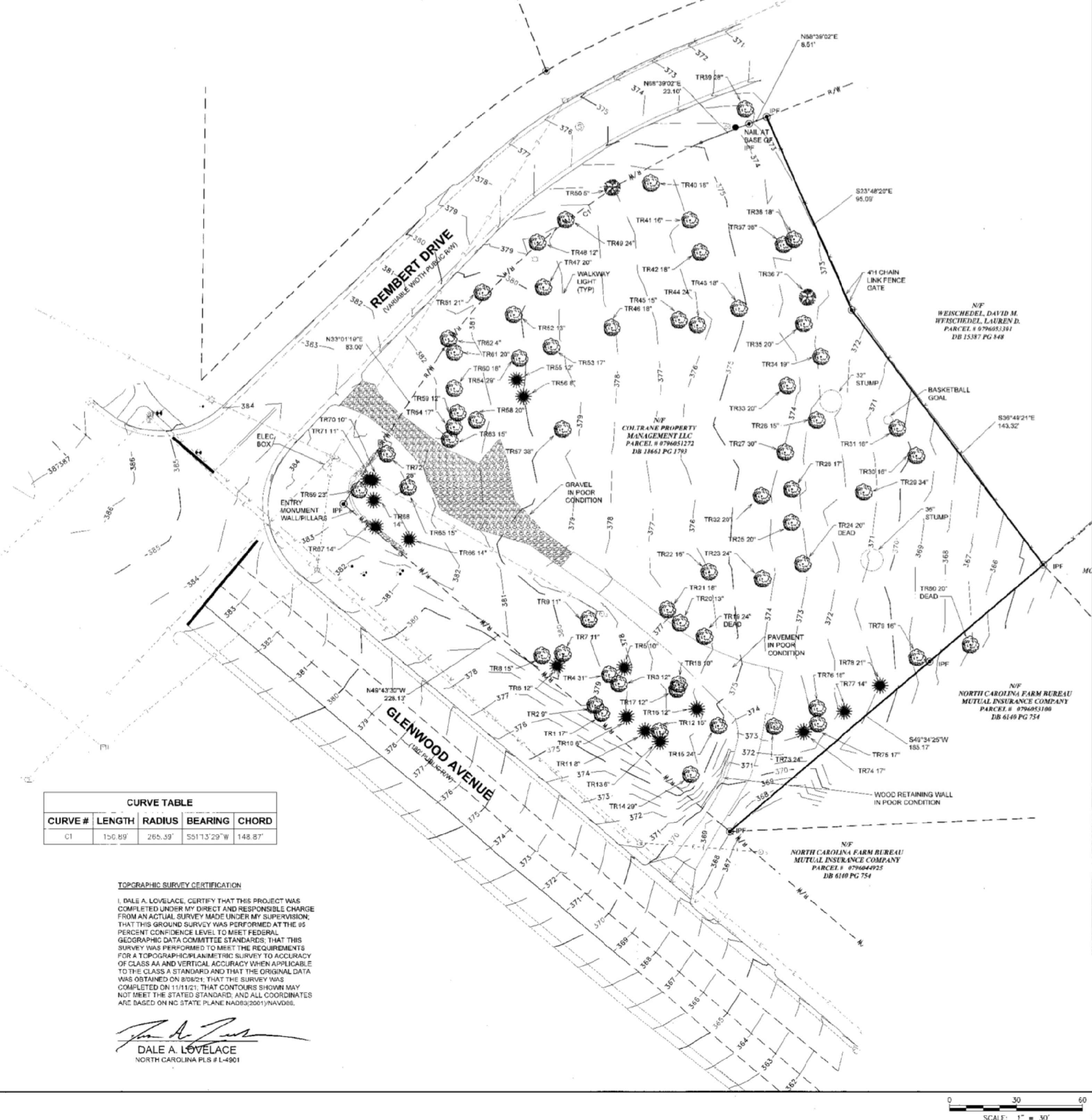
CURVE #	LENGTH	RADIUS	BEARING	CHORD
C1	156.89	265.39'	S51°13'29"W	148.87'

TOPOGRAPHIC SURVEY CERTIFICATION

I, DALE A. LOVELACE, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO ACCURACY OF CLASS AA AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD AND THAT THE ORIGINAL DATA WAS OBTAINED ON 8/25/21; THAT THE SURVEY WAS COMPLETED ON 11/16/21; THAT CONTOURS SHOWN MAY NOT MEET THE STATED STANDARDS; AND ALL COORDINATES ARE BASED ON NC STATE PLANE NAD83(2011) NAVD83.

DALE A. LOVELACE
NORTH CAROLINA PLS # L-4801

SITE SURVEY



SITE DATA:

CURRENT OWNER: COLTRANE PROPERTY MANAGEMENT, LLC

SITE ADDRESS: 5710 GLENWOOD AVE. RALEIGH, NC 27612

PIN: 0796-05-1272

AREA: 53,840 SQ. FT. = 1.23 ACRES

ZONING: RALEIGH R-4

WATERSHED: N/A

WATERSHED OVERLAY DISTRICT: N/A

OTHER OVERLAY DISTRICT: NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (NCO)

SETBACKS: PRIMARY STREET 20' SIDE STREET 10' SIDE LOT (RESIDENTIAL INFIL.) RULES APPLY DEC. 22.7 OF RALEIGH LDO)

EXISTING IMPROVEMENTS: 3,969 SQ. FT. = 7.19%

MAX ALLOWABLE: 30% IN R-4

BOUNDARY AND TOPOGRAPHIC SURVEY

PROPERTY OF: COLTRANE PROPERTY MANAGEMENT, LLC

PIN: 0796-05-1272 DB 18661 PG 1753 - PG 1860 PG 174

HOUSE CREEK TOWNSHIP - WAKE COUNTY NORTH CAROLINA

JDS Consulting
JDS CONSULTING, LLC. 7700 GLENWOOD AVENUE, SUITE 200, RALEIGH, NC 27612 (919) 460-1075
LICENSED PROFESSIONAL SURVEYOR (NO. 11522)

SURVEYOR CERTIFICATE

I, DALE A. LOVELACE, CERTIFY THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. IDEED DESCRIPTION RECORDED IN BOOK 1881 AT PAGE 174 AND PLAT BOOK 1960 PAGE 1753 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES. DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS REFERENCED HEREIN; THAT RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1: 10,000 OR GREATER; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 66-1603), THIS 15TH DAY OF NOVEMBER, 2021.

SITE SURVEY

DATE: 11/16/2021 REVISION: 0

SHEET # 1 OF 1 JDS#SRV2100C655

DRAWN BY: DAL CHECKED BY: COM

GLENWOOD APARTMENTS

NEW CONSTRUCTION

5710 GLENWOOD AVENUE

RALEIGH, NC 27612

WAKE COUNTY

MULTI-FAMILY CONSTRUCTION

REVIEW NO.: 1

CEC PROJECT NO.: 2512018RS

PROJECT DATE: DECEMBER 2022

DESIGN DRAWING: SOC

REVISIONS

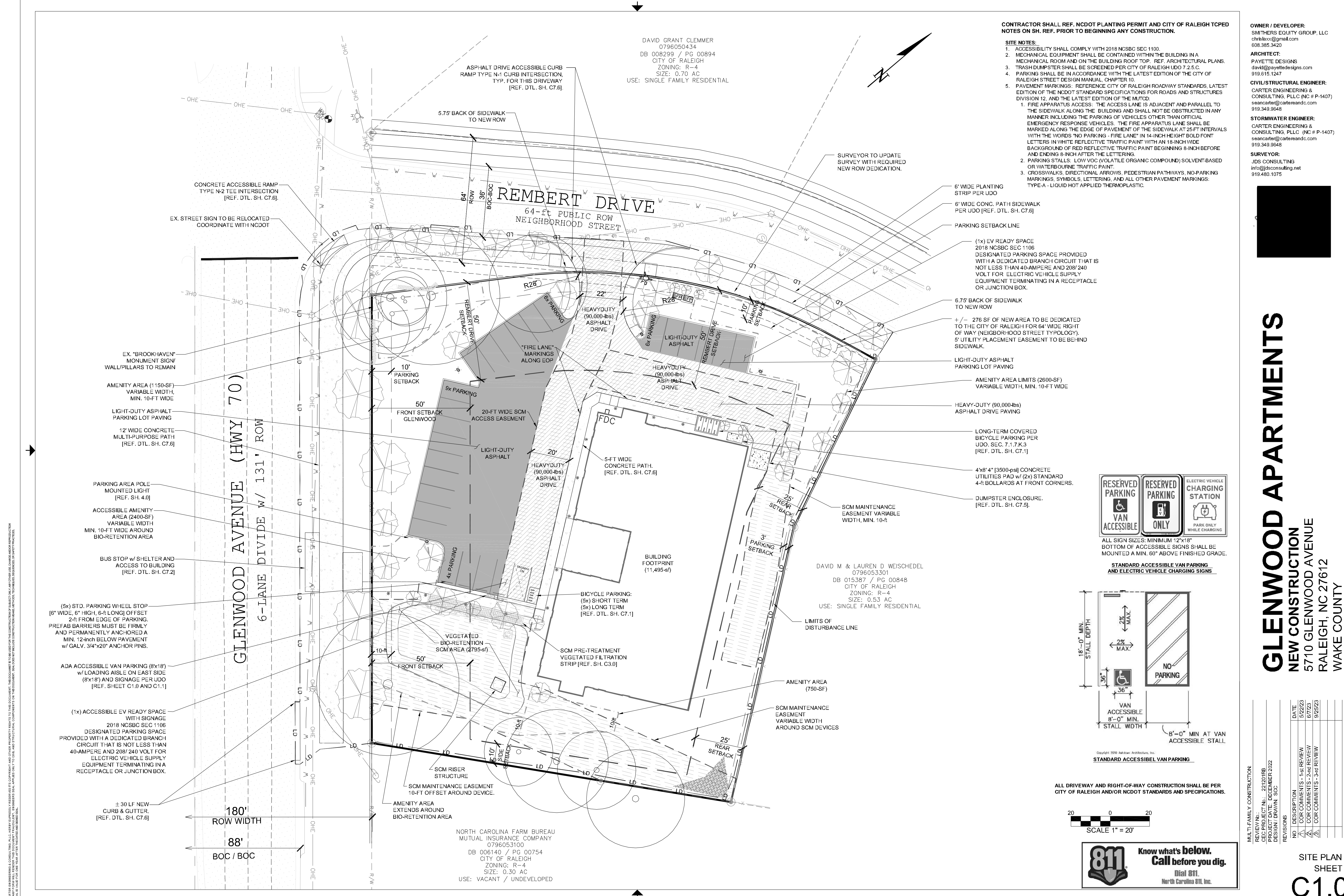
NO	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

811 Know what's below. Call before you dig. Dial 811. North Carolina 811, Inc.

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SITE SURVEY SHEET

V1.0



DAVID GRANT CLEMMER
0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

CONTRACTOR SHALL REF. NCDOT PLANTING PERMIT AND CITY OF RALEIGH TPCD NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.

- SITE NOTES:**
- ACCESSIBILITY SHALL COMPLY WITH 2018 NCSBC SEC 1100.
 - MECHANICAL EQUIPMENT SHALL BE CONTAINED WITHIN THE BUILDING IN A MECHANICAL ROOM AND ON THE BUILDING ROOF TOP. REF. ARCHITECTURAL PLANS.
 - TRASH DUMPSTER SHALL BE SCREENED PER CITY OF RALEIGH UDO 7.2.5.C.
 - PARKING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF RALEIGH STREET DESIGN MANUAL, CHAPTER 10.
 - PAVEMENT MARKINGS. REFERENCE CITY OF RALEIGH ROADWAY STANDARDS, LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES DIVISION 12, AND THE LATEST EDITION OF THE MUTCD.
 - FIRE APPARATUS ACCESS: THE ACCESS LANE IS ADJACENT AND PARALLEL TO THE SIDEWALK ALONG THE BUILDING AND SHALL NOT BE OBSTRUCTED IN ANY MANNER INCLUDING THE PARKING OF VEHICLES OTHER THAN OFFICIAL EMERGENCY RESPONSE VEHICLES. THE FIRE APPARATUS LANE SHALL BE MARKED ALONG THE EDGE OF PAVEMENT OF THE SIDEWALK AT 25-FT INTERVALS WITH THE WORDS "NO PARKING - FIRE LANE" IN 14-INCH HEIGHT BOLD FONT LETTERS IN WHITE REFLECTIVE TRAFFIC PAINT WITH AN 18-INCH WIDE BACKGROUND OF RED REFLECTIVE TRAFFIC PAINT BEGINNING 8-INCH BEFORE AND ENDING 8-INCH AFTER THE LETTERING.
 - PARKING STALLS: LOW VOC (VOLATILE ORGANIC COMPOUND) SOLVENT-BASED OR WATERBOURNE TRAFFIC PAINT.
 - CROSSWALKS, DIRECTIONAL ARROWS, PEDESTRIAN PATHWAYS, NO-PARKING MARKINGS, SYMBOLS, LETTERING, AND ALL OTHER PAVEMENT MARKINGS: TYPE-A - LIQUID HOT APPLIED THERMOPLASTIC.

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
christa.s@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGN
david@payettedesigns.com
919.615.1247

CIVIL/STRUCTURAL ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075



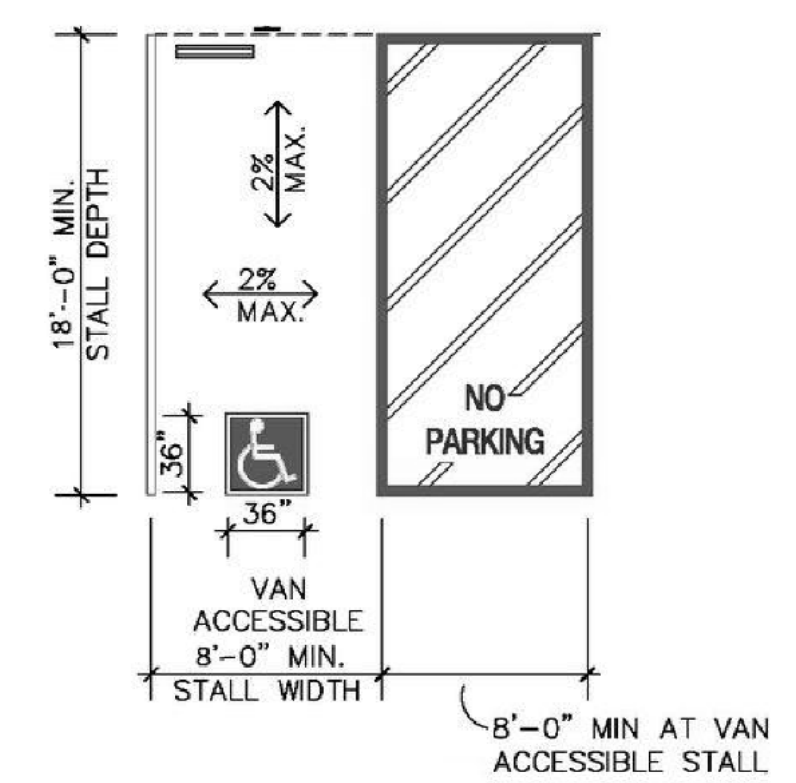
GLENWOOD APARTMENTS

NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY



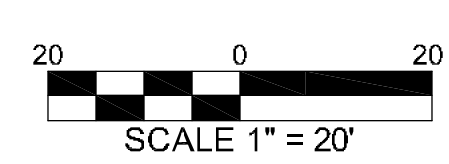
ALL SIGN SIZES: MINIMUM 12"x18"
BOTTOM OF ACCESSIBLE SIGNS SHALL BE MOUNTED A MIN. 60" ABOVE FINISHED GRADE.

STANDARD ACCESSIBLE VAN PARKING AND ELECTRIC VEHICLE CHARGING SIGNS



STANDARD ACCESSIBLE VAN PARKING

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
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3	COR COMMENTS - 3rd REVIEW	9/25/23

REVISIONS

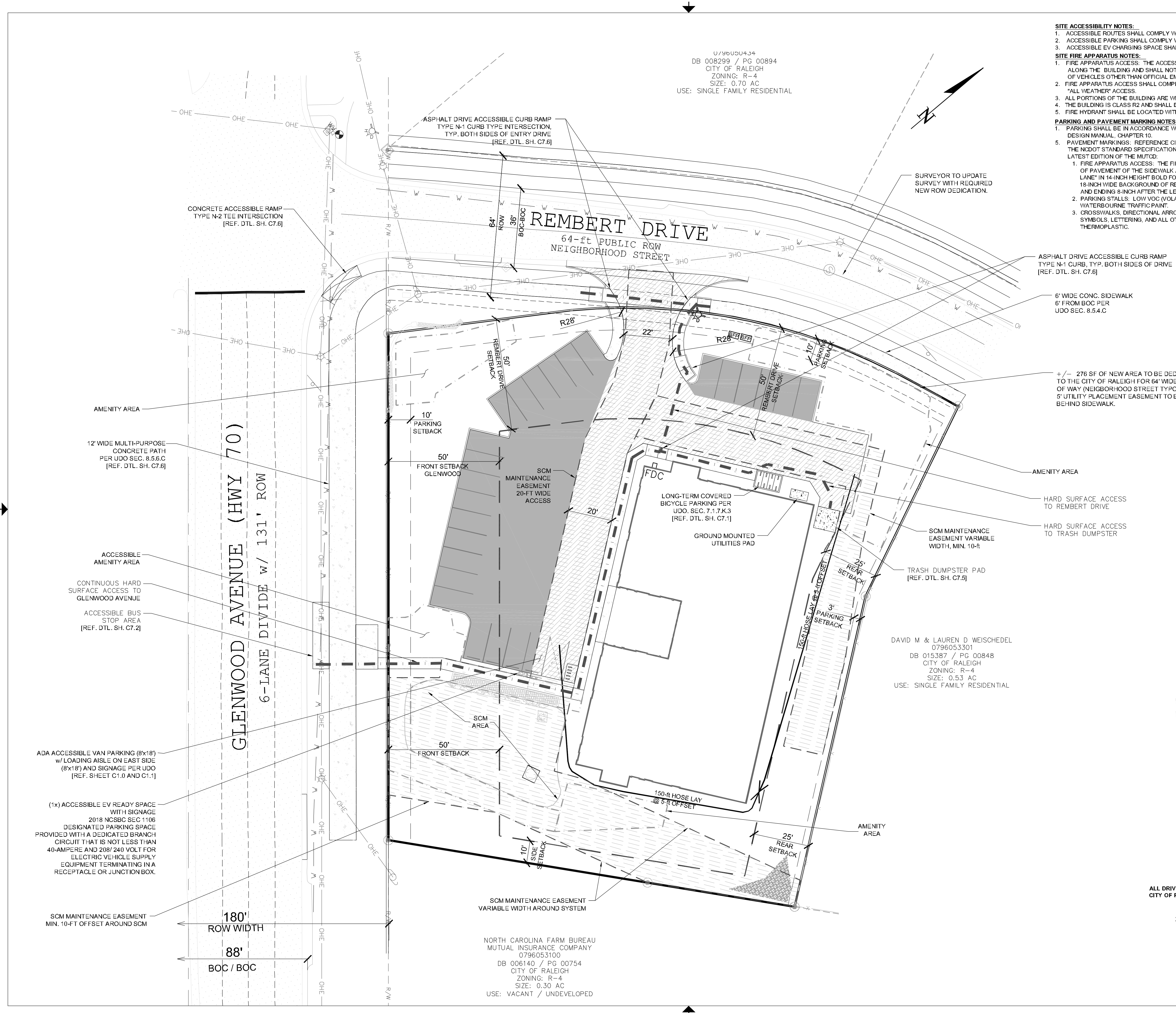
MULTI-FAMILY CONSTRUCTION

REVIEW NO.:
REC PROJECT NO.: 231201FBS
PROJECT DATE: DECEMBER 2022
DESIGN DRAWING: SOC

SITE PLAN SHEET
C1.0

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CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) 5500 CATERFILLER DRIVE, SUITE 100, RALEIGH, NC 27612
 919.349.9648
 www.carter-engineering.com
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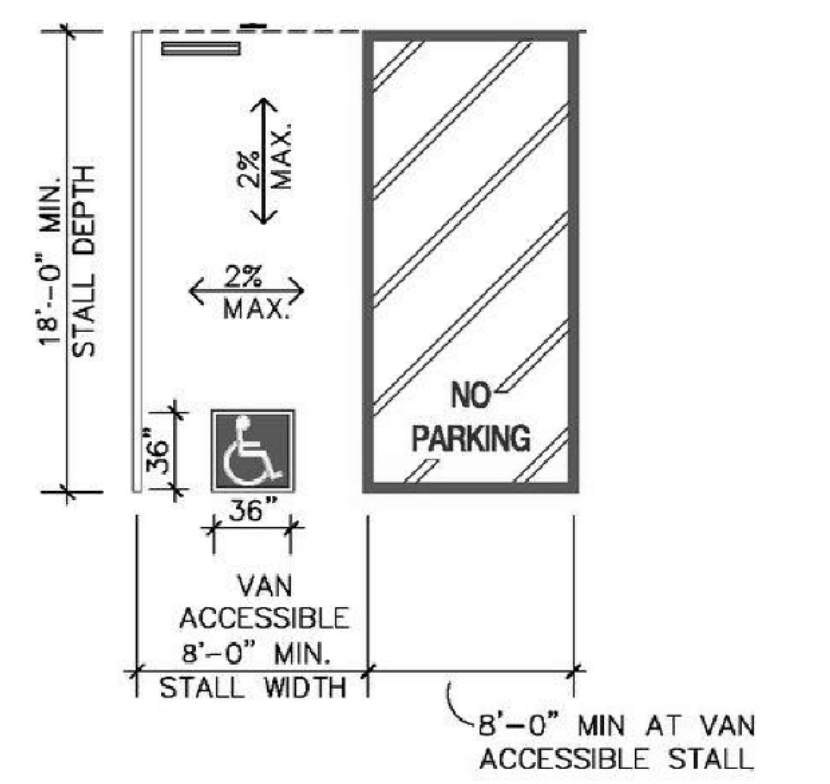


- SITE ACCESSIBILITY NOTES:**
1. ACCESSIBLE ROUTES SHALL COMPLY WITH 2018 NCSBC SEC. 1104.1 & 1104.2.
 2. ACCESSIBLE PARKING SHALL COMPLY WITH 2018 NCSBC SEC. 1106.
 3. ACCESSIBLE EV CHARGING SPACE SHALL COMPLY WITH 2018 NCSBC SEC. 1106.
- SITE FIRE APPARATUS NOTES:**
1. FIRE APPARATUS ACCESS: THE ACCESS LANE IS ADJACENT AND PARALLEL TO THE SIDEWALK ALONG THE BUILDING AND SHALL NOT BE OBSTRUCTED IN ANY MANNER INCLUDING THE PARKING OF VEHICLES OTHER THAN OFFICIAL EMERGENCY RESPONSE VEHICLES.
 2. FIRE APPARATUS ACCESS SHALL COMPLY WITH NCFE 903.2.5 AND APPENDIX D AND SHALL PROVIDE "ALL WEATHER" ACCESS.
 3. ALL PORTIONS OF THE BUILDING ARE WITHIN 150'-0" OF THE FIRE APPARATUS.
 4. THE BUILDING IS CLASS R2 AND SHALL BE SPRINKLED PER NCFE 903.2.8.
 5. FIRE HYDRANT SHALL BE LOCATED WITHIN 100'-0" OF FDC.
- PARKING AND PAVEMENT MARKING NOTES:**
1. PARKING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF RALEIGH STREET DESIGN MANUAL, CHAPTER 10.
 2. PAVEMENT MARKINGS: REFERENCE CITY OF RALEIGH ROADWAY STANDARDS, LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES DIVISION 12, AND THE LATEST EDITION OF THE MUTCD.
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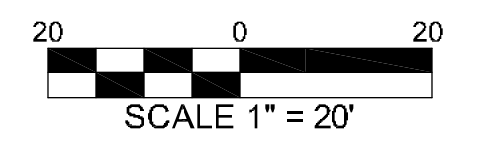


ALL SIGN SIZES: MINIMUM 12"x18"
 BOTTOM OF ACCESSIBLE SIGNS SHALL BE
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**STANDARD ACCESSIBLE VAN PARKING
 AND ELECTRIC VEHICLE CHARGING SIGNS**



ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



OWNER / DEVELOPER:
 SMITHERS EQUITY GROUP, LLC
 christa.s@gmail.com
 608.385.3420

ARCHITECT:
 PAYETTE DESIGNS
 david@payettedesigns.com
 919.615.1247

CIVIL/STRUCTURAL ENGINEER:
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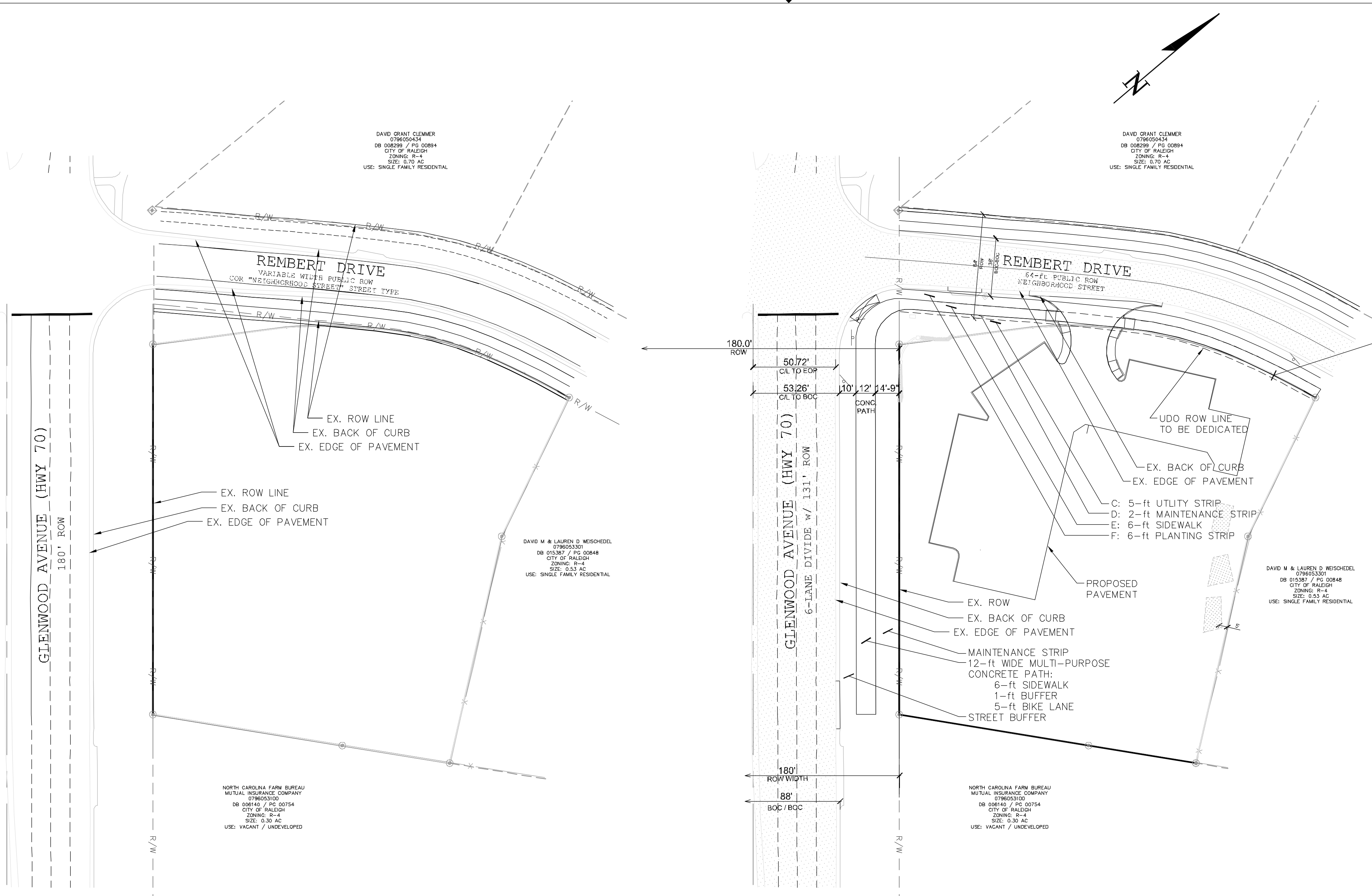
SURVEYOR:
 JDS CONSULTING
 info@jdsconsulting.net
 919.480.1075

GLENWOOD APARTMENTS
NEW CONSTRUCTION
 5710 GLENWOOD AVENUE
 RALEIGH, NC 27612
 WAKE COUNTY

NO.	DESCRIPTION	DATE
1	DESIGN	5/22/23
2	COR COMMENTS - 1st REVIEW	6/7/23
3	COR COMMENTS - 2nd REVIEW	9/25/23
4	COR COMMENTS - 3rd REVIEW	

MULTI-FAMILY CONSTRUCTION
 REVIEW NO.:
 REC PROJECT NO.: 231201RBS
 PROJECT DATE: DECEMBER 2022
 DESIGN DRAWING: SOC

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PRE-DEVELOPMENT EXISTING ROW
PER BOUNDARY AND TOPOGRAPHIC SURVEY
BY JDS CONSULTING DATED 11/18/2021

POST-DEVELOPMENT DEDICATED ROW
SURVEYOR TO UPDATE SURVEY WITH
REQUIRED NEW ROW DEDICATION.

- PRE-DEVELOPMENT ROADWAY TYPOLOGY:**
- GLENWOOD AVENUE (6 LANE DIVIDED AVENUE) AT THIS LOCATION HAS BEEN RECORDED AS HAVING A ROW OF 180'-0" WHICH IS NOT IN ACCORDANCE WITH THE CURRENT UDO SEC. 8.5.6.C STREET TYPOLOGY.
 - REMBERT DRIVE (NEIGHBORHOOD STREET) AT THIS LOCATION HAS BEEN RECORDED AS HAVING A ROW OF VARIABLE WIDTH WHICH IS NOT IN ACCORDANCE WITH THE CURRENT UDO SEC. 8.5.4.C STREET TYPOLOGY.
- POST-DEVELOPMENT ROADWAY TYPOLOGY:**
- GLENWOOD AVENUE IS ILLUSTRATED ACCORDING TO UDO SEC. 8.5.6.C WITH A REQUIRED ROW OF 131'-0". AS THE EXISTING ROW IS GREATER THAN STREET TYPOLOGY NO ADDITIONAL AREA DEDICATION IS REQUIRED OUTSIDE THE ROW AND ALL REQUIRED ELEMENTS CAN BE PLACED WITHIN THE EXISTING ROW.
 - GLENWOOD AVENUE MULTI-PURPOSE CONCRETE PATH IN ACCORDANCE WITH CITY OF RALEIGH SPECIFICATIONS.
 - REMBERT DRIVE ROW IS ILLUSTRATED ACCORDING TO UDO SEC. 8.5.4.C WITH A REQUIRED ROW OF 64'-0".

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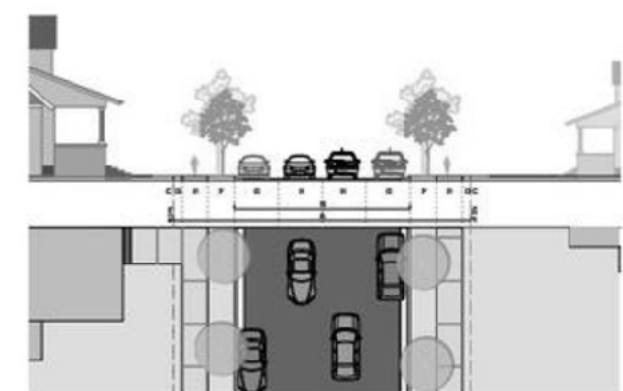
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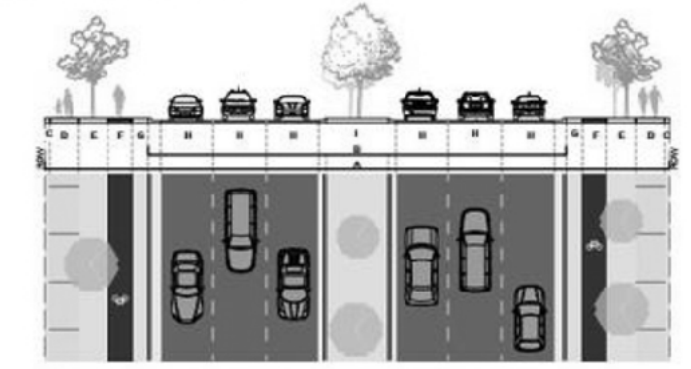
+/- 276 SF OF NEW AREA TO BE DEDICATED TO THE CITY OF RALEIGH FOR 64' WIDE RIGHT OF WAY (NEIGHBORHOOD STREET TYPOLOGY).
5' UTILITY PLACEMENT EASEMENT TO BE BEHIND SIDEWALK.

C. Neighborhood Street



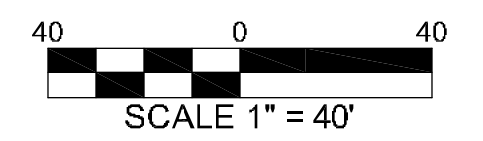
Width	
A Right-of-way width	64'
B Back of curb to back of curb	35'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Parallel parking lane	8'
H Travel lane	10'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg.
Parking type	Parallel

C. Avenue 6-Lane, Divided



Width	
A Right-of-way width	131'
B Back of curb to back of curb	88'
Streetscape	
C Maintenance strip (min)	1'
D Sidewalk (min)	6'
E Planting area (min)	6'
F Bike lane (min)	5'
G Buffer (min; planted, paved, or paver)	3.5'
Travelway	
H Travel lane	11'
I Median	17'
General	
Walkway type	Sidewalk
Planting type	Tree grass / lawn
Tree spacing	40' o.c. avg.
Minimum Driveway Spacing	300'

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



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North Carolina 811, Inc.

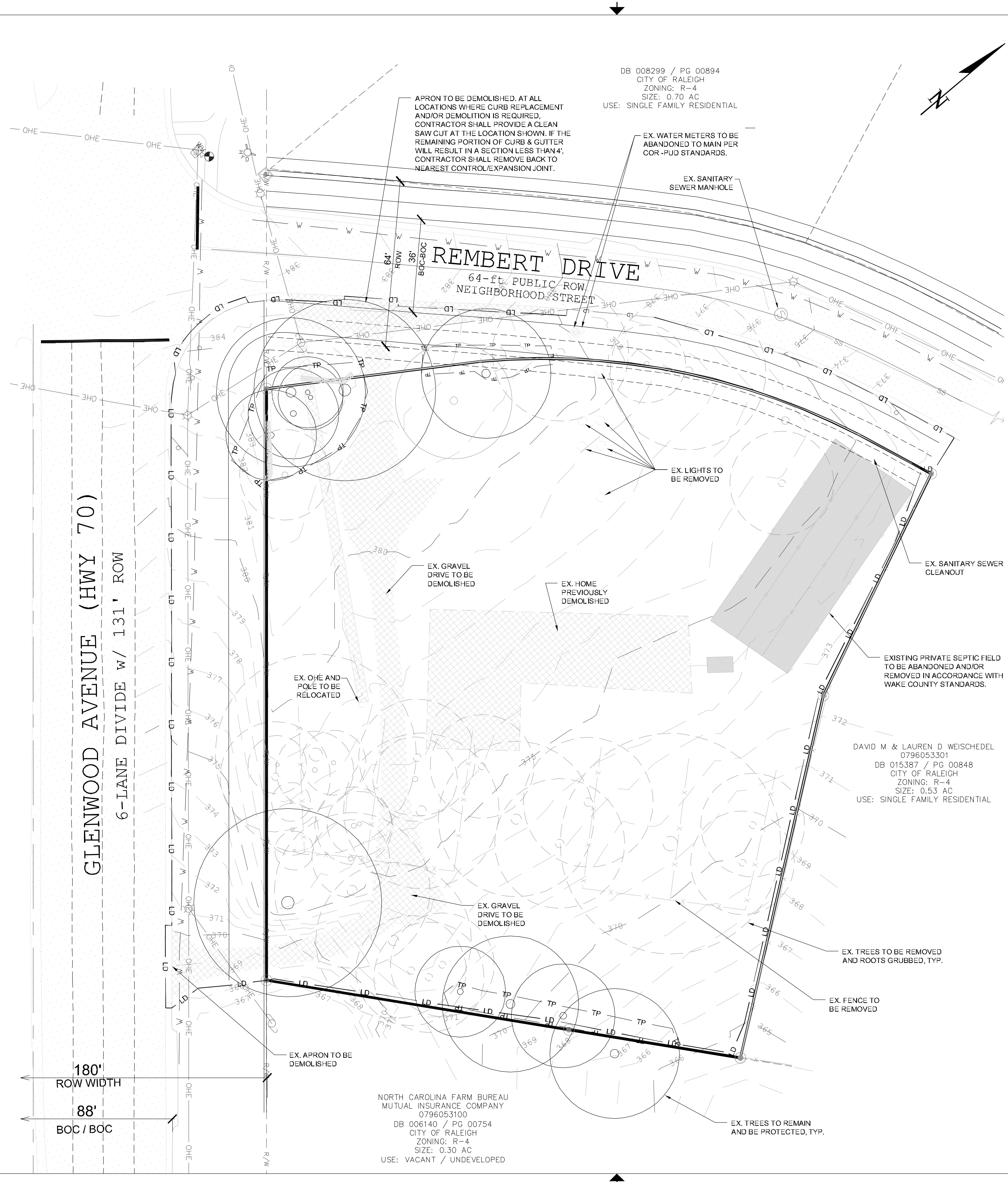
GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

NO.	DESCRIPTION	DATE
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STREET ROW & TYPOLOGY SHEET

C1.2

CONTRACTOR SHALL REF. NCDOT PLANTING PERMIT AND CITY OF RALEIGH TROPED NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.



DB 008299 / PG 00894
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.70 AC
 USE: SINGLE FAMILY RESIDENTIAL

APRON TO BE DEMOLISHED. AT ALL
 LOCATIONS WHERE CURB REPLACEMENT
 AND/OR DEMOLITION IS REQUIRED,
 CONTRACTOR SHALL PROVIDE A CLEAN
 SAW CUT AT THE LOCATION SHOWN. IF THE
 REMAINING PORTION OF CURB & GUTTER
 WILL RESULT IN A SECTION LESS THAN 4',
 CONTRACTOR SHALL REMOVE BACK TO
 NEAREST CONTROL/EXPANSION JOINT.

EX. WATER METERS TO BE
 ABANDONED TO MAIN PER
 COR.-PUD STANDARDS.

EX. SANITARY
 SEWER MANHOLE

REMBERT DRIVE
 64-ft. PUBLIC ROW
 NEIGHBORHOOD STREET

EX. LIGHTS TO
 BE REMOVED

EX. GRAVEL
 DRIVE TO BE
 DEMOLISHED

EX. HOME
 PREVIOUSLY
 DEMOLISHED

EX. SANITARY SEWER
 CLEANOUT

DAVID M & LAUREN D WEISCHDEL
 0796053301
 DB 015387 / PG 00848
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.53 AC
 USE: SINGLE FAMILY RESIDENTIAL

EXISTING PRIVATE SEPTIC FIELD
 TO BE ABANDONED AND/OR
 REMOVED IN ACCORDANCE WITH
 WAKE COUNTY STANDARDS.

EX. OHE AND
 POLE TO BE
 RELOCATED

EX. GRAVEL
 DRIVE TO BE
 DEMOLISHED

EX. TREES TO BE REMOVED
 AND ROOTS GRUBBED, TYP.

EX. FENCE TO
 BE REMOVED

NORTH CAROLINA FARM BUREAU
 MUTUAL INSURANCE COMPANY
 0796053100
 DB 006140 / PG 00754
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.30 AC
 USE: VACANT / UNDEVELOPED

EX. TREES TO REMAIN
 AND BE PROTECTED, TYP.

GLENWOOD AVENUE (HWY 70)
 6-LANE DIVIDE w/ 131' ROW

180'
 ROW WIDTH
 88'
 BOC / BOC

CONTRACTOR SHALL REF. NCDOT PLANTING PERMIT AND CITY OF RALEIGH TROPED NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.

DEMOLITION NOTES:

- ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE, AND FEDERAL REGULATIONS.
- REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL PRESENTED TO AND APPROVED BY THE TOWN, COUNTY, STATE, AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
- THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON SHEET C-1.2 WERE PROVIDED AS PART OF THE SURVEY BY DALE A. LOVEACE WITH JDS CONSULTING, DATED NOVEMBER 18, 2021. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES, ESPECIALLY RELATED TO THE EXISTING STRUCTURE, MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO NCDOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB & GUTTER, AND PAVEMENT.
- CONTRACTOR SHALL IMPLEMENT TRAFFIC CONTROL PLAN PRIOR TO ANY WORK WITHIN THE NCDOT RIGHT-OF-WAY.
- ALL UTILITIES TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.
- CONSTRUCTION WASTE SHALL NOT BE BURIED ON SITE.

NCDOT LAND DISTURBANCE POLICY:

- THE PERMITTEE SHALL MAINTAIN A CLEAR SITE DISTANCE FOR VEHICLES UTILIZING DRIVEWAY CONNECTIONS.
- THE DIVISION OF HIGHWAY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PLANTS, WHICH MAY BE DONE BY THIRD PARTIES.
- MAINTENANCE OF PLANTINGS WILL BE THE RESPONSIBILITY OF THE PERMITTEE. SHOULD PLANTS NOT BE MAINTAINED IN A SUFFICIENT MANNER THE PLANTS COULD BE SUBJECT TO REMOVAL.
- PLANTS TO BE FIRST CLASS QUALITY OF THEIR SPECIES.
- A COPY OF THE NCDOT PERMIT MUST BE ON THE WORKSITE AT ALL TIMES WHILE THE WORK IS BEING PERFORMED.
- ALL TREES AND PLANTS SHALL BE PRUNED AND MAINTAINED IN SUCH A MANNER AS TO NOT ENCRoACH UPON THE TRAVEL WAY.
- THE TRAVELING PUBLIC SHALL BE WARNED OF CONSTRUCTION WITH COMPLETE AND PROPER SIGNING AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC DEVICES (MUTCD). NO WORK SHALL BE PERFORMED IN THE RIGHT OF WAY UNLESS THIS REQUIREMENT IS SATISFIED. NCDOT RESERVES THE RIGHT TO REQUIRE A WRITTEN TRAFFIC CONTROL PLAN FOR ENCRoACHMENT OPERATIONS.
- NCDOT DOES NOT GUARANTEE THE RIGHT OF WAY ON THIS ROAD, NOR WILL IT BE RESPONSIBLE FOR ANY CLAIM FOR DAMAGES BROUGHT BY ANY PROPERTY OWNER BY REASON OF THE INSTALLATION.
- TWO-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.
- NO LANE OF TRAFFIC SHALL BE CLOSED OR RESTRICTED BETWEEN THE HOURS OF 6:00 AM - 9:00 AM AND 4:00 PM - 7:00 PM MONDAY - FRIDAY. ANY VIOLATION OF THESE HOURS WILL RESULT IN TERMINATION OF THE ENCRoACHMENT AGREEMENT.
- NCDOT RESERVES THE RIGHT TO FURTHER LIMIT, RESTRICT OR SUSPEND OPERATIONS WITHIN THE RIGHT OF WAY IF, IN THE OPINION OF NCDOT, SAFETY OR TRAFFIC CONDITIONS WARRANT SUCH ACTION.
- THE TRAFFIC SERVICES SUPERVISOR SHALL BE NOTIFIED AT (919) 477-2914 IN DURHAM PRIOR TO BEGINNING WORK ON THE RIGHT OF WAY IF THERE ARE EXISTING NCDOT SIGNS, TRAFFIC SIGNALS, OR SIGNAL EQUIPMENT IN OR NEAR THE PROPOSED WORK ZONE. COSTS TO RELOCATE, REPLACE, OR REPAIR NCDOT SIGNS, SIGNALS, OR ASSOCIATED EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE ENCRoACHER.
- THE APPLICANT WILL BE REQUIRED TO NOTIFY THE ROADSIDE ENVIRONMENTAL TECHNICIAN MARK CONNER AT (919) 816-9290 PRIOR TO BEGINNING AND AFTER COMPLETION OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE ENCRoACHER TO DETERMINE THE LOCATION OF OTHER UTILITIES WITHIN THE ENCRoACHMENT AREA. THE ENCRoACHER SHALL BE RESPONSIBLE FOR NOTIFYING OTHER UTILITY OWNERS AND PROVIDING PROTECTION AND SAFEGUARDS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING FACILITIES AND TO MAINTAIN ACCESSIBILITY TO EXISTING UTILITIES.
- AT THE END OF EACH WORKING DAY, EQUIPMENT SHALL BE PARKED A MINIMUM OF 30 FEET FROM THE EDGE OF ANY TRAVEL LANE AND BE BARRICADED IN ORDER NOT TO HAVE ANY EQUIPMENT OBSTRUCTION WITHIN THE CLEAR RECOVERY ZONE.
- THE APPLICANT IS RESPONSIBLE FOR IDENTIFYING PROJECT IMPACTS TO WATERS OF THE UNITED STATES (WETLANDS, INTERMITTENT STREAMS, PERENNIAL STREAMS AND PONDS) LOCATED WITHIN THE NCDOT RIGHT OF WAY. THE DISCHARGE OF DREDGED OR FILL MATERIAL INTO WATERS OF THE UNITED STATES REQUIRES AUTHORIZATION FROM THE UNITED STATES ARMY CORP OF ENGINEERS (USACE) AND CERTIFICATION FROM THE NORTH CAROLINA DIVISION OF WATER QUALITY (NCDWQ). THE APPLICANT IS REQUIRED TO OBTAIN PERTINENT PERMITS OR CERTIFICATIONS FROM THESE REGULATORY AGENCIES IF CONSTRUCTION OF THE PROJECT IMPACTS WATERS OF THE UNITED STATES WITHIN THE NCDOT RIGHT OF WAY. ADDITIONAL INFORMATION CAN BE OBTAINED BY CONTACTING THE USACE OR NCDWQ.
- THE APPLICANT IS RESPONSIBLE FOR COMPLYING WITH THE NEUSE AND TARPALMICO RIPARIAN BUFFER RULE AS REGULATED BY THE NCDWQ. THE RULE REGULATES ACTIVITY WITHIN A 50-FOOT BUFFER ALONG PERENNIAL STREAMS, INTERMITTENT STREAMS AND PONDS. ADDITIONAL INFORMATION CAN BE OBTAINED BY CONTACTING THE NCDWQ.
- THE APPLICANT IS RESPONSIBLE FOR AVOIDING IMPACTS TO FEDERALLY PROTECTED SPECIES DURING PROJECT CONSTRUCTION. BALD EAGLE, MICHALUX'S SUMAC, SMOOTH CORNER OLEIFER DWARF WEDGE-MUSSEL, HARPERALLA, RED-COCKADED WOODPECKER AND TAR SPINY-MUSSEL ARE FEDERALLY PROTECTED SPECIES THAT HAVE BEEN IDENTIFIED WITHIN NCDOT RIGHT OF WAY IN DURHAM, PERSON, GRANVILLE, WAKE, FRANKLIN, VANCE, AND WARREN COUNTIES. ADDITIONAL INFORMATION CAN BE OBTAINED BY CONTACTING THE NORTH CAROLINA NATURAL HERITAGE PROGRAM OR THE UNITED STATES FISH AND WILDLIFE SERVICES.
- IN THE EVENT THAT PLANTS REQUIRE RELOCATION OR REMOVAL FOR HIGHWAY CONSTRUCTION, RECONSTRUCTION, MAINTENANCE OR SAFETY, SUCH REMOVAL OR RELOCATION WILL BE DONE IMMEDIATELY BY THE PERMITTEE (MUNICIPALITY / CIVIC GROUP / INDIVIDUAL) UPON NOTIFICATION BY THE DIVISION OF HIGHWAYS, ENTIRELY AT THE EXPENSE OF THE PERMITTEE.




Know what's below.
Call before you dig.
 Dial 811.
 North Carolina 811, Inc.

OWNER / DEVELOPER:
 SMITHERS EQUITY GROUP, LLC
 christa.s@gmail.com
 608.385.3420

ARCHITECT:
 PAYETTE DESIGNS
 david@payettedesigns.com
 919.615.1247

CIVIL/STRUCTURAL ENGINEER:
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STORMWATER ENGINEER:
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SURVEYOR:
 JDS CONSULTING
 info@jdsconsulting.net
 919.480.1075



GLENWOOD APARTMENTS
NEW CONSTRUCTION
 5710 GLENWOOD AVENUE
 RALEIGH, NC 27612
 WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

EXISTING CONDITIONS
 & DEMOLITION PLAN
 SHEET

C2.0

DAVID UKAN I LLEMMER
0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

CONTRACTOR SHALL REF. NCDOT PLANNING PERMIT AND CITY OF RALEIGH TOPED NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.

GRADING & DRAINAGE NOTES:

- EXISTING TOPOGRAPHY & SITE CONDITIONS SURVEYED BY DALE A. LOVELACE WITH JDS CONSULTING, DATED NOVEMBER 18, 2021.
- ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE NCDOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL.
- ROOF DRAIN CONNECTIONS AND IN-LINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL. (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEMS).
- ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER NCDOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
- SUBGRADE PREPARATION FOR BUILDING PAD AND PARKING AREAS SHALL BE CONSTRUCTED PER THE RECOMMENDATION OF AN ON-SITE GEOTECHNICAL TESTING FIRM (HIRED BY THE OWNER), TESTING AND INSPECTIONS SHALL BE REQUIRED FOR ALL AREAS OF BACKFILL, INCLUDING PIPE BACKFILL, PER THE GEOTECHNICAL REPORT, ON-SITE TESTING FIRMS DIRECTION OR MANUFACTURER'S REQUIREMENTS. CONTACT ENGINEER OF RECORD WITH ANY QUESTIONS ABOUT THESE REQUIREMENTS PRIOR TO SUBMITTING BIDS AND STARTING CONSTRUCTION.
- NCDOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF NCDOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING NCDOT MATERIAL DRAWING & DETAILED SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY THAT PROPOSED GRADES MATCH EXISTING PAVEMENT AT ALL CONNECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.
- ALL WORK WITHIN NCDOT ROW SHALL COMPLY WITH MOST RECENT NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, NCDOT STANDARD DRAWINGS, AND THE MUTCD STANDARDS.
- ALL ON-SITE STORM DRAINAGE CONSTRUCTION SHALL COMPLY WITH MOST RECENT NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND NCDOT STANDARD DRAWINGS.
- ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD PREPARATION AND COMPACTION MAY EXIST WITHIN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.
- THE GRADE LINES DENOTE THE FINISHED ELEVATIONS OF THE PROPOSED SURFACE. GRADE LINES MAY BE ADJUSTED AT THEIR BEGINNING, ENDING AND AT STRUCTURES AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A PROPER TIE-IN. CONTRACTOR SHALL VERIFY ALL PROPOSED INVERTS, FFE'S & FINISHED SURFACES TO ENSURE THAT MINIMUM SLOPE & COVER REQUIREMENTS ARE PROVIDED PRIOR TO INSTALLATION OF REFERENCED ITEMS. CONTACT ENGINEER WITH DISCREPANCIES.
- THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE. OFFSITE BORROW OR WASTE MAY BE REQUIRED AND SHALL BE INCLUDED IN CONTRACT PRICE/BID. OFFSITE BORROW/WASTE AREAS SHALL BE PERMITTED.
- ALL PIPE INVERTS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTING GRAVITY SYSTEMS AND SHALL BE ADJUSTED BY THE ENGINEER IF NECESSARY.
- UNLESS OTHERWISE NOTED, CURB LOCATIONS SHALL BE FIELD DETERMINED BY THE CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGHOUT THE PARKING LOTS AND DRIVE AISLES. NO "BIRD BATHS" OR LOW AREAS THAT WILL HOLD WATER SHALL BE ALLOWED WITHIN THE CURB AND GUTTER OR PAVED AREAS.
- OUTLET STRUCTURES AND OUTFALLS SHALL CONSIST OF FLARED END STRUCTURES (FES) UNLESS OTHERWISE NOTED. END OF OUTLET STRUCTURES SHALL BE THE END OF THE FES.

PAVING NOTES:

- HEAVY DUTY PAVING FOR FIRE APPARATUS: 90,000-LBS "ALL WEATHER ROUTE" MIN 2-in FINISH LAYER OVER 3.5-in BINDER, OVER 8-in AGGREGATE BASE.
- FIRE APPARATUS ACCESS SHALL COMPLY WITH NCF 503.2.5 AND APPENDIX D AND SHALL PROVIDE "ALL WEATHER" ACCESS.

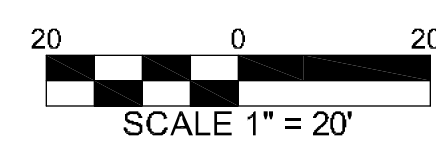
BUILDING DRAINAGE NOTES:

- ROOF GUTTER COLLECTION: ALL BUILDING DOWNSPOUTS SHALL DISCHARGE INTO BURIED PVC COLLECTOR PIPE THAT DISCHARGES INTO SCM POND. DOWNSPOUT SHALL CONNECT TO VERTICAL RISER AT 4-in ABOVE GRADE. RISER SHALL CONNECT BELOW GRADE TO COLLECTOR PIPE WITH 90-deg ELBOW. CLEAN-OUT SHALL BE PROVIDED PRIOR TO DOWNSPOUT JUNCTION. COLLECTOR PIPE SHALL BE A MINIMUM 6-in BELOW GRADE. ROOF GUTTER COLLECTOR PIPING SHALL NOT BE CONNECTED TO OTHER YARD DRAIN SYSTEMS. NO OTHER SYSTEMS SHALL CONNECT TO ROOF COLLECTOR PIPING.

NCDOT LAND DISTURBANCE POLICY:

- THE PERMITTEE SHALL MAINTAIN A CLEAR SITE DISTANCE FOR VEHICLES UTILIZING DRIVEWAY CONNECTIONS.
- THE DIVISION OF HIGHWAY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PLANTS, WHICH MAY BE DONE BY THIRD PARTIES.
- MAINTENANCE OF PLANTINGS WILL BE THE RESPONSIBILITY OF THE PERMITTEE. SHOULD PLANTS NOT BE MAINTAINED IN A SUFFICIENT MANNER THE PLANTS COULD BE SUBJECT TO REMOVAL.
- PLANTS TO BE FIRST CLASS QUALITY OF THEIR SPECIES.
- A COPY OF THE NCDOT PERMIT MUST BE ON THE WORKSITE AT ALL TIMES WHILE THE WORK IS BEING PERFORMED.
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- THE TRAVELING PUBLIC SHALL BE WARNED OF CONSTRUCTION WITH COMPLETE AND PROPER SIGNING AND TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC DEVICES (MUTCD). NO WORK SHALL BE PERFORMED IN THE RIGHT OF WAY UNLESS THIS REQUIREMENT IS SATISFIED. NCDOT RESERVES THE RIGHT TO REQUIRE A WRITTEN TRAFFIC CONTROL PLAN FOR ENCRoACHMENT OPERATIONS.
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- THE APPLICANT WILL BE REQUIRED TO NOTIFY THE ROADSIDE ENVIRONMENTAL TECHNICIAN, MARK CONNER AT (919) 816-9290 PRIOR TO BEGINNING AND AFTER COMPLETION OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE ENCRoACHER TO DETERMINE THE LOCATION OF OTHER UTILITIES WITHIN THE ENCRoACHMENT AREA. THE ENCRoACHER SHALL BE RESPONSIBLE FOR NOTIFYING OTHER UTILITY OWNERS AND PROVIDING PROTECTION AND SAFEGUARDS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING FACILITIES AND TO MAINTAIN ACCESSIBILITY TO EXISTING UTILITIES.
- AT THE END OF EACH WORKING DAY, EQUIPMENT SHALL BE PARKED A MINIMUM OF 30 FEET FROM THE EDGE OF ANY TRAVEL LANE AND BE BARRICADED IN ORDER NOT TO HAVE ANY EQUIPMENT OBSTRUCTION WITHIN THE CLEAR RECOVERY ZONE.
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- THE APPLICANT IS RESPONSIBLE FOR AVOIDING IMPACTS TO FEDERALLY PROTECTED SPECIES DURING PROJECT CONSTRUCTION. BALD EAGLE, MICHOUX'S SNAKE, SMOOTH CONEY, OVER, DWARF WEDGE-MUSSEL, HARPERALLA, RED-COCKADED WOODPECKER AND TAR SPINY-MUSSEL ARE FEDERALLY PROTECTED SPECIES THAT HAVE BEEN IDENTIFIED WITHIN NCDOT RIGHT OF WAY IN DURHAM, PERSON, GRANVILLE, WAKE, FRANKLIN, VANCE, AND WARREN COUNTIES. ADDITIONAL INFORMATION CAN BE OBTAINED BY CONTACTING THE NORTH CAROLINA NATURAL HERITAGE PROGRAM OR THE UNITED STATES FISH AND WILDLIFE SERVICES.
- IN THE EVENT THAT PLANTS REQUIRE RELOCATION OR REMOVAL FOR HIGHWAY CONSTRUCTION, RECONSTRUCTION, MAINTENANCE OR SAFETY, SUCH REMOVAL OR RELOCATION WILL BE DONE IMMEDIATELY BY THE PERMITTEE (MUNICIPALITY / CIVIC GROUP / INDIVIDUAL) UPON NOTIFICATION BY THE DIVISION OF HIGHWAYS, ENTIRELY AT THE EXPENSE OF THE PERMITTEE.

STORMWATER DESIGN:
REFERENCE STORMWATER
PLAN AND DOCUMENTS



811 Know what's below.
Call before you dig.
Dial 811.
North Carolina 811, Inc.

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
chrslaxx@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGNS
david@payettedesigns.com
919.615.1247

CIVIL/STRUCTURAL ENGINEER:
CARTER ENGINEERING &
CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
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CONSULTING, PLLC (NC # P-1407)
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919.349.9648

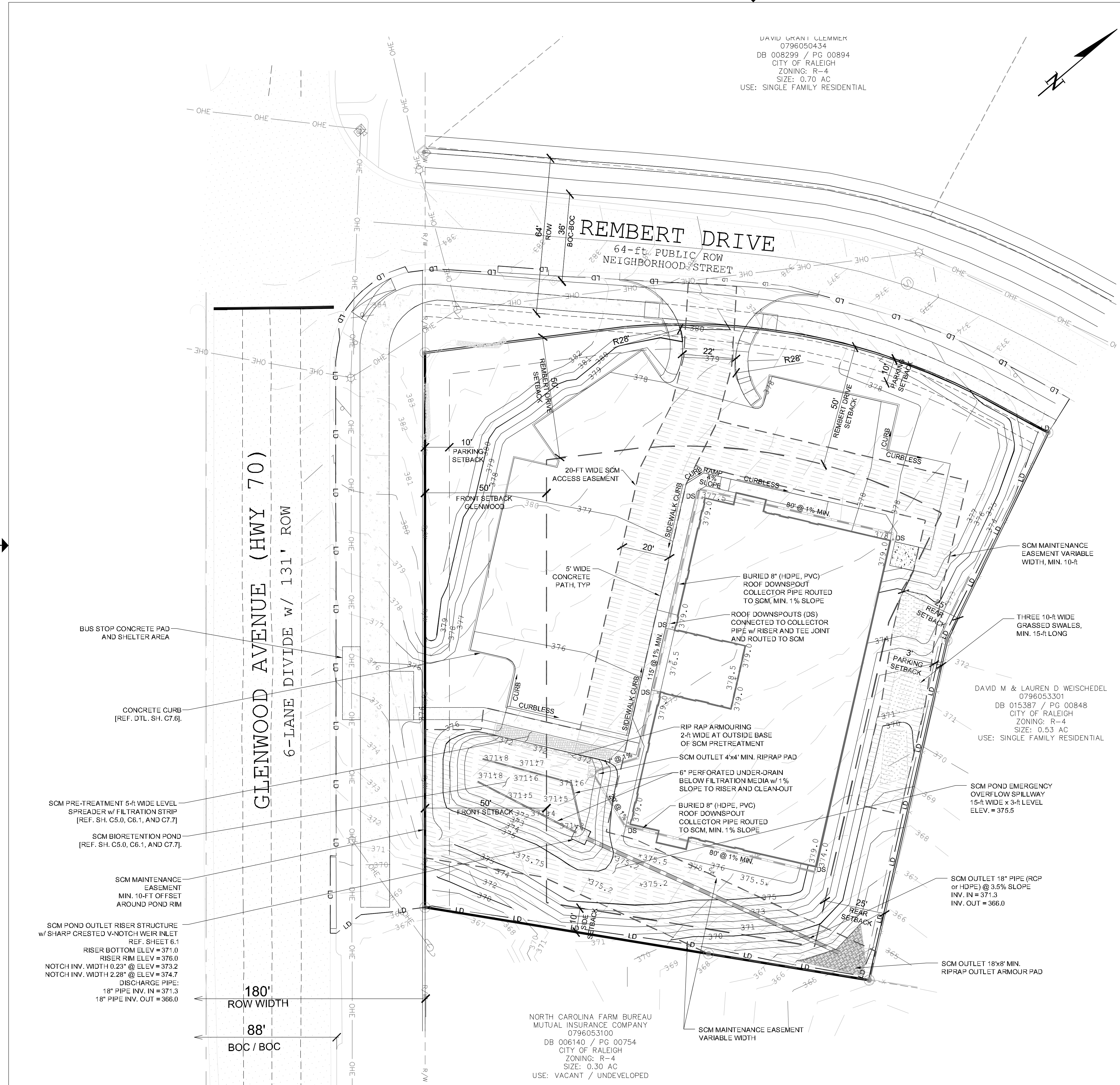
SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075

GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

GRADING &
DRAINAGE PLAN
SHEET
C3.0

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS BEEN LICENSED TO PROVIDE ENGINEERING SERVICES TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE INFORMATION PROVIDED TO THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR.



NORTH CAROLINA FARM BUREAU
MUTUAL INSURANCE COMPANY
0796053100
DB 006140 / PG 00754
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.30 AC
USE: VACANT / UNDEVELOPED

DAVID M & LAUREN D WEISCHEDL
0796053301
DB 015387 / PG 00848
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.53 AC
USE: SINGLE FAMILY RESIDENTIAL

BUS STOP CONCRETE PAD
AND SHELTER AREA

CONCRETE CURB
(REF. DTL. SH. C7.6)

SCM PRE-TREATMENT 5-4 WIDE LEVEL
SPREADER w/ FILTRATION STRIP
(REF. SH. C5.0, C6.1, AND C7.7)

SCM BIORETENTION POND
(REF. SH. C5.0, C6.1, AND C7.7)

SCM MAINTENANCE
EASEMENT
MIN. 10-FT OFFSET
AROUND POND RIM

SCM POND OUTLET RISER STRUCTURE
w/ SHARP CRESTED V-NOTCH WEIR INLET
REF. SHEET 6.1
RISER BOTTOM ELEV = 371.0
RISER RIM ELEV = 376.0
NOTCH INV. WIDTH 0.23' @ ELEV = 373.2
NOTCH INV. WIDTH 2.28' @ ELEV = 374.7
DISCHARGE PIPE:
18" PIPE INV. IN = 371.3
18" PIPE INV. OUT = 366.0

180'
ROW WIDTH

88'
BOC / BOC

SCM MAINTENANCE EASEMENT
VARIABLE WIDTH

THREE 10-R WIDE
GRASSED SWALES,
MIN. 15-R LONG

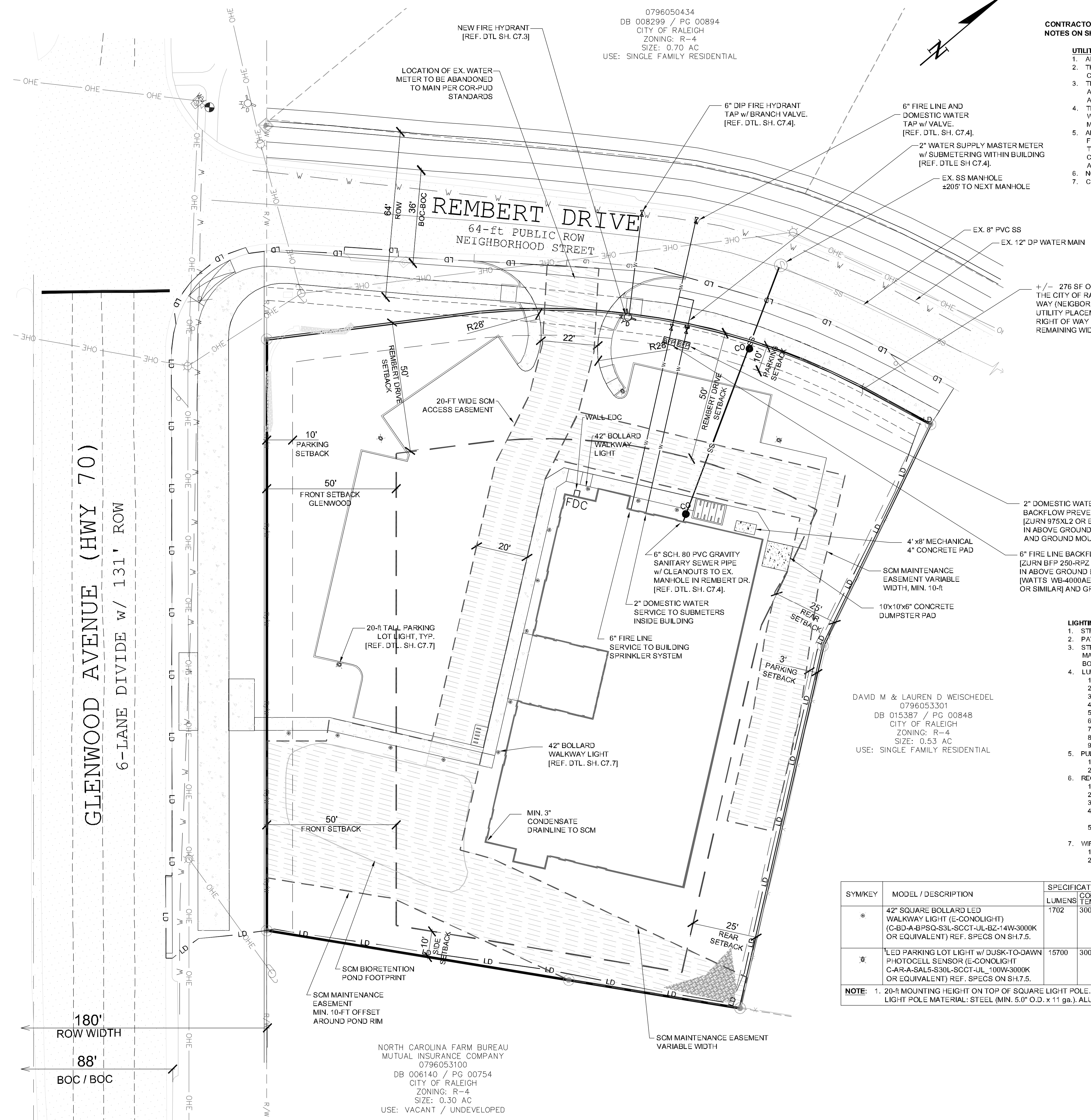
SCM POND EMERGENCY
OVERFLOW SPILLWAY
15-R WIDE x 3-R LEVEL
ELEV. = 375.5

SCM OUTLET 18" PIPE (RCP
OR HDPE) @ 3.5% SLOPE
INV. IN = 371.3
INV. OUT = 366.0

SCM OUTLET 18"x8" MIN.
RIPRAP OUTLET ARMOUR PAD

SCM MAINTENANCE EASEMENT
VARIABLE WIDTH

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS BEEN DESIGNATED AS THE CONTRACTOR FOR THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA.



0796050434
 DB 008299 / PG 00894
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.70 AC
 USE: SINGLE FAMILY RESIDENTIAL

CONTRACTOR SHALL REF. NCDOT PLANTING PERMIT AND CITY OF RALEIGH TCPED NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.

- UTILITY NOTES:**
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES, IMPACTED BY THE PROJECT, WITH THE APPROPRIATE UTILITY, AGENCY OR COMPANY.
 - THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND PROVIDERS SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
 - ALL PIPE INVERTS, TAP LOCATIONS & AVAILABLE CLEARANCES TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTING STORM & UTILITY SYSTEMS AND SHALL BE ADJUSTED BY THE ENGINEER IF NECESSARY. IF THESE ITEMS ARE NOT VERIFIED AT THIS TIME, THE CONTRACTOR WILL BE WHOLLY RESPONSIBLE FOR THE FIELD REVISIONS AND ASSOCIATED DESIGN COSTS OF THE SOLUTIONS PROPOSED.
 - NO IRRIGATION SYSTEM WILL BE INSTALLED ON STATE ROW.
 - CONTACT 811 PRIOR TO ANY SUBSURFACE WORK.

OWNER / DEVELOPER:
 SMITHERS EQUITY GROUP, LLC
 christa.s@gmail.com
 608.385.3420

ARCHITECT:
 PAYETTE DESIGNS
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 919.615.1247

CIVIL/STRUCTURAL ENGINEER:
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STORMWATER ENGINEER:
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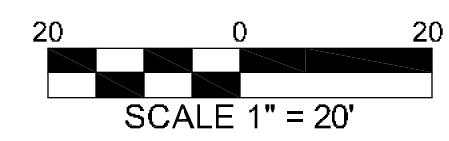
+/- 276 SF OF NEW AREA TO BE DEDICATED TO THE CITY OF RALEIGH FOR 64' WIDE RIGHT OF WAY (NEIGHBORHOOD STREET TYPOLOGY). 5' UTILITY PLACEMENT EASEMENT TO BE WITHIN RIGHT OF WAY BEHIND SIDEWALK SINCE REMAINING WIDTH WILL ACCOMMODATE 5'.

- LIGHTING NOTES:**
- STREET LIGHTING CONDUITS SHALL BE SCHEDULE 40 PVC.
 - PATHWAY LIGHTING CONDUITS SHALL BE SCHEDULE 40 PVC.
 - STREET LIGHTING FUSE SHALL BE A 30A, IN-LINE, WATER TIGHT, FUSEHOLDER WITH A PER MANUFACTURER RECOMMENDED FUSE FOR EACH STREETLIGHT IN THE ADJACENT PULL BOX.
 - LUMINAIRES TO CONFORM TO THE FOLLOWING:
 - LAMP TYPE = LED
 - COLOR TEMPERATURE = 3,000K
 - MINIMUM COLOR RENDERING INDEX = 70
 - LUMEN MAINTENANCE LIFE PER TM21, L70>60,000 HOURS REPORTED.
 - BUG RATINGS: ALL ROADWAY AND PARKING FIXTURES TO HAVE UPLIGHT VALUES OF 0.
 - IP RATING = 65
 - DRIVER LIFETIME: 50,000 HOURS
 - DIMMING: 0-10V DRIVER TO BE PROVIDED WITH ALL FIXTURES.
 - FIXTURES SHALL BE ZERO UPLIGHT.
 - PULLBOX:
 - MINIMUM SIZE = 10" wide x 17" long x 18" deep.
 - LID TO BE BOLT-DOWN, ALL GRIP WITH PENTA HEAD BOLTS.
 - RECEPTACLES:
 - 20A, NEMA 5-20R
 - GFCI WITH DIAGNOSTIC INDICATOR FOR MIS-WIRING.
 - WEATHER RESISTANT
 - NEMA 3R, WHILE-IN-USE, METALLIC COVER WITH A MINIMUM 3-1/4" INTERNAL DEPTH. RED DOT CKMLUV OR APPROVED EQUAL.
 - FOR RECEPTACLES ON LIGHT POLES, INSTALL A 30A, IN-LINE, WATER TIGHT, FUSEHOLDER WITH A 15A FUSE FOR EACH STREETLIGHT POLE.
 - WIRING:
 - TO BE THIN
 - SIZED FOR A MAXIMUM VOLTAGE DROP OF 3 %.

DAVID M & LAUREN D WEISCHDEL
 0796053301
 DB 015387 / PG 00848
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.53 AC
 USE: SINGLE FAMILY RESIDENTIAL

SYMKEY	MODEL / DESCRIPTION	SPECIFICATIONS							MOUNT HL.	QTY	
		LUMENS	COLOR TEMP.	RATING	CRI	LIFE (hr)	TYPE	MATERIAL			
42"	42" SQUARE BOLLARD LED WALKWAY LIGHT (E-CO-NO-LIGHT) (C-BD-A-BPSQ-S3L-SCCT-UL-BZ-14W-3000K OR EQUIVALENT) REF. SPECS ON SH.7.5.	1702	3000-K	13-W	>70	70,000	na	ALUMINUM POLYCARBONATE	BLACK	42-in	12
LED	LED PARKING LOT LIGHT w/ DUSK-TO-DAWN PHOTOCELL SENSOR (E-CO-NO-LIGHT) C-A-R-SALS-S30L-SCCT-UL-10W-3000K OR EQUIVALENT) REF. SPECS ON SH.7.5.	15700	3000-K	100-W	>80	50,000	IV	ALUMINUM POLYCARBONATE	BLACK	20-R	4

NOTE: 1. 20-ft MOUNTING HEIGHT ON TOP OF SQUARE LIGHT POLE. REF. SH.7.5
 LIGHT POLE MATERIAL: STEEL (MIN. 5.0" O.D. x 11 ga.), ALUMINUM (MIN. 0.156") OR FIBERGLASS.



NORTH CAROLINA FARM BUREAU
 MUTUAL INSURANCE COMPANY
 0796053100
 DB 006140 / PG 00754
 CITY OF RALEIGH
 ZONING: R-4
 SIZE: 0.30 AC
 USE: VACANT / UNDEVELOPED

180'
 ROW WIDTH

88'
 BOC / BOC

GLENWOOD APARTMENTS NEW CONSTRUCTION 5710 GLENWOOD AVENUE RALEIGH, NC 27612 WAKE COUNTY

MULTI-FAMILY CONSTRUCTION
 REVIEW NO.:
 REC PROJECT NO.: 221201RS
 PROJECT DATE: DECEMBER 2022
 DESIGN DRAWING: SOC

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

SITE UTILITIES
 & LIGHTING PLAN
 SHEET

C4.0

0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

LIGHTING NOTES:

- STREET LIGHTING CONDUITS SHALL BE SCHEDULE 40 PVC.
- PATHWAY LIGHTING CONDUITS SHALL BE SCHEDULE 40 PVC.
- STREET LIGHTING FUSE SHALL BE A 30A, IN-LINE, WATER TIGHT, FUSEHOLDER WITH A MANUFACTURER SPECIFIED FUSE FOR EACH STREETLIGHT IN THE ADJACENT PULL BOX.
- LUMINAIRES TO CONFORM TO THE FOLLOWING:
 - LAMP TYPE = LED
 - COLOR TEMPERATURE = 3,000-K
 - MINIMUM COLOR RENDERING INDEX = 70
 - LUMEN MAINTENANCE LIFE PER TM-21, L70 > 60,000 HOURS REPORTED.
 - BUG RATINGS: ALL ROADWAY AND PARKING FIXTURES TO HAVE UPLIGHT VALUES OF 0.
 - IP RATING = 65
 - DRIVER LIFETIME: 50,000 HOURS.
 - DIMMING: 0-10V DRIVER TO BE PROVIDED WITH ALL FIXTURES.
 - FIXTURES SHALL BE ZERO UPLIGHT.
 - PARKING FIXTURE SHALL BE FULL CUT-OFF.
 - FIXTURES > 2000-LUMENS SHALL BE FULL CUT-OFF.
 - FIXTURES WITHIN 25'-0" OF ROW SHALL BE FORWARD THROW TYPE IV.
- PULLBOX:
 - MINIMUM SIZE = 10" wide x 17" long x 18" deep.
 - LID TO BE BOLT-DOWN, ALL GRIP WITH PENTA HEAD BOLTS.
- RECEPTACLES:
 - 20A, NEMA 5-20R
 - GFCI WITH DIAGNOSTIC INDICATOR FOR MIS-WIRING.
 - WEATHER RESISTANT
 - NEMA 3R, WHILE-IN-USE, METALLIC COVER WITH A MINIMUM 3-1/4" INTERNAL DEPTH, RED DOT CKMLV OR APPROVED EQUAL.
 - FOR RECEPTACLES ON LIGHT POLES, INSTALL A 30A, IN-LINE, WATER TIGHT, FUSEHOLDER WITH A 15A FUSE FOR EACH STREETLIGHT POLE.
- WIRING:
 - TO BE THWN
 - SIZED FOR A MAXIMUM VOLTAGE DROP OF 3 %
- ILLUMINATION MAXIMUM:
 - PROPERTY LINE = 0.5-fc
 - ROW = 2.0-fc
- FIXTURE HEIGHT MAXIMUM:
 - PARKING = 30-ft
 - PEDESTRIAN AREA = 15-ft
 - WITHIN 15'-0" OF PROPERTY LINE = 15-ft

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
christaxx@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGNS
david@payettedesigns.com
919.615.1247

CIVIL/STRUCTURAL ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075

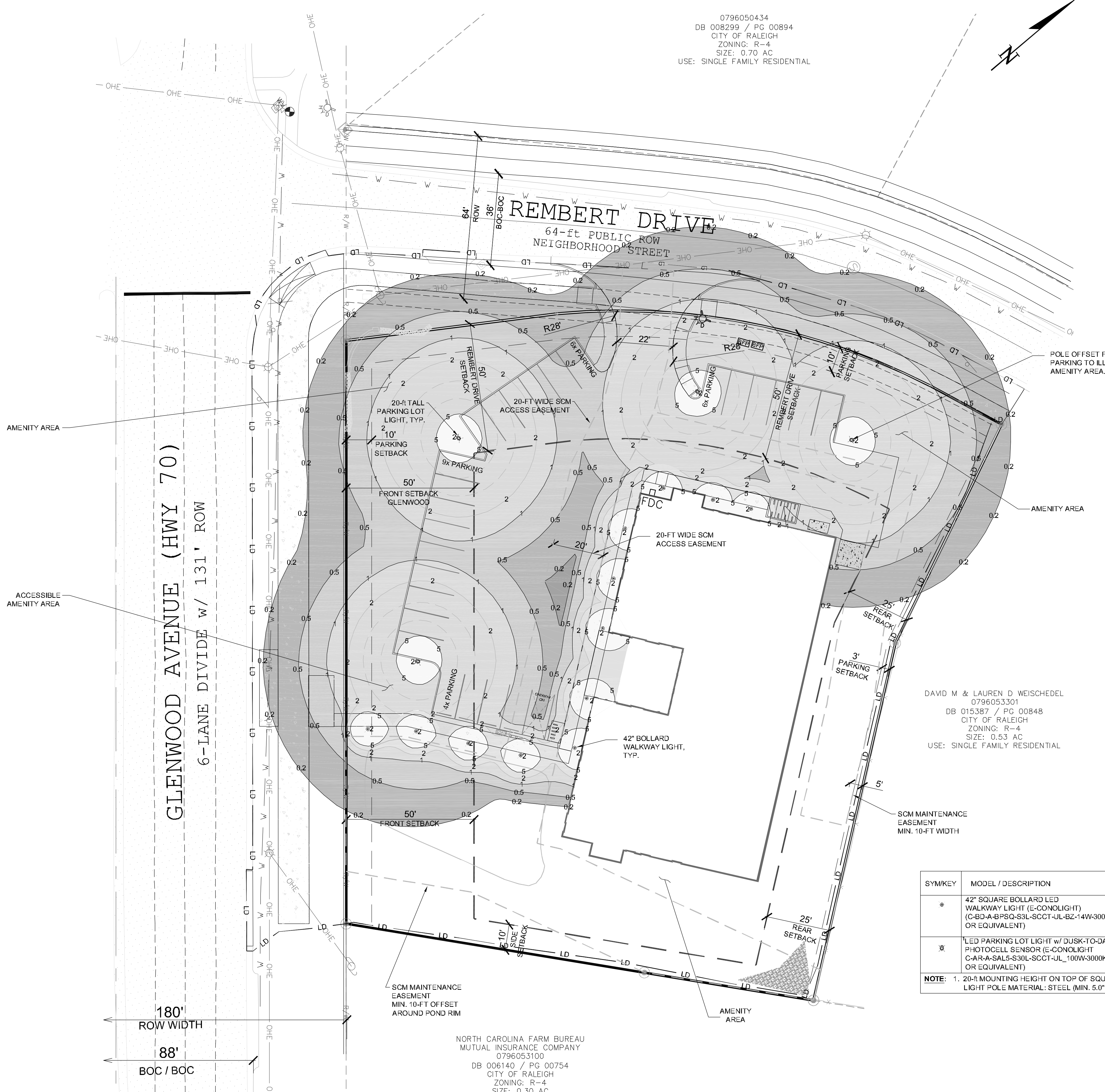


GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

EXTERIOR LIGHTING
PHOTOMETRIC STUDY
SHEET

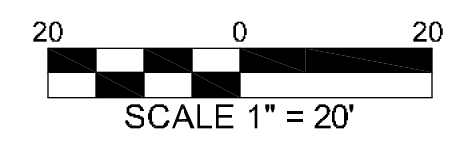
C4.1



DAVID M & LAUREN D WEISCHEDEL
0796053301
DB 015387 / PG 00848
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.53 AC
USE: SINGLE FAMILY RESIDENTIAL

SYMKEY	MODEL / DESCRIPTION	SPECIFICATIONS							QTY		
		LUMENS	COLOR TEMP.	RATING	CRI	LIFE (hr)	TYPE	MATERIAL			
*	42" SQUARE BOLLARD LED WALKWAY LIGHT (E-CONLIGHT) (C-BD-A-BPSQ-S3L-SCCT-JL-BZ-14W-3000K OR EQUIVALENT)	1702	3000-K	13-W	>70	70,000	na	ALUMINUM POLYCARBONATE	BLACK	42-in	12
⊗	LED PARKING LOT LIGHT w/ DUSK-TO-DAWN PHOTOCELL SENSOR (E-CONLIGHT C-AR-A-SALS-S30L-SCCT-JL-100W-3000K OR EQUIVALENT)	15700	3000-K	100-W	>80	50,000	IV	ALUMINUM POLYCARBONATE	BLACK	20-ft	4

NOTE: 1. 20-ft MOUNTING HEIGHT ON TOP OF SQUARE LIGHT POLE. REF. SH.7.5
LIGHT POLE MATERIAL: STEEL (MIN. 5.0" O.D. x 11 ga.), ALUMINUM (MIN. 0.156") OR FIBERGLASS.



180'
ROW WIDTH
88'
BOC / BOC

NORTH CAROLINA FARM BUREAU
MUTUAL INSURANCE COMPANY
0796053100
DB 006140 / PG 00754
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.30 AC
USE: VACANT / UNDEVELOPED

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS PREPARED THESE PLANS FOR THE CONTRACTOR TO BE USED FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED TO THE CONTRACTOR AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DAVID GRANT CLEMMER
0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

CONTRACTOR SHALL REF. NCDOT PLANTING PERMIT AND CITY OF RALEIGH TCEPD NOTES ON SH. REF. PRIOR TO BEGINNING ANY CONSTRUCTION.

TREE CONSERVATION
TREE CONSERVATION (UDO 9.1, 10.2.BB4): NOT APPLICABLE PER COR URBAN FORESTRY

NCDOT PLANTING WITHIN THE ROW NOTES:
(IN ACCORDANCE WITH COR UDO 8.4.1.D.4)
URBAN/SUBURBAN POSTED SPEED > 45-mph

- CLEAR ZONE (SETBACK) 30'-4.
- SIGHT DISTANCE FOR ISD 500'-4.
- ALL VEGETATION MUST MAINTAIN A 5'-ft SETBACK FROM ALL DITCHES AND DRAINAGE STRUCTURES.
- SUGGESTED SPACING FOR STREET TREES:
20'-ft FOR SMALL-MATURING TREES
30'-ft FOR MEDIUM-MATURING TREES
40'-ft FOR LARGE-MATURING TREES
- VERTICAL CLEARANCES OF 16'-4" ABOVE STREETS AND 7'-ft ABOVE SIDEWALKS MUST BE MAINTAINED AT ALL TIMES.
- SHRUBS MUST BE KEPT LOW, AND TREES AND LARGE SHRUBS UNDER-TRIMMED SUFFICIENTLY TO PERMIT CLEAR SIGHT IN THE AREA BETWEEN 2'-ft AND 6'-ft ABOVE ROADWAY ELEVATIONS.
- SIGHTLINES TO ROADWAY SIGNS MUST BE VISIBLE AND UNOBSTRUCTED.
- ALL SHADE TREES SHALL BE LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35'-ft OR GREATER AND AN EXPECTED MATURE CROWN SPREAD OF 30'-ft OR GREATER.
- LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH COR UDO 7.2.7.D.

GENERAL LANDSCAPING NOTES:

- LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES AND PROPOSED SITE LIGHTING POLE LOCATIONS LOCATED PRIOR TO INSTALLING PLANT MATERIAL.
- CONTRACTOR SHALL COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN).
- DISTURBED AREAS BEHIND PROPOSED BUILDING SHALL BE SEEDED.
- CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH ORGANIC SOIL AMENDMENT (COMPOST), ROTOTILL BEDS TO A DEPTH OF 8", ADD 2" OF COMPOST AND ROTOTILL AGAIN REMOVE ALL EXIST. WEEDS, GRASS AND ROOTS.
- CONTRACTOR SHALL RAKE SMOOTH AND APPLY 1" TO 2" TOPSOIL TO ALL LAWN AREAS RECEIVING SEED OR SOD. REMOVE ALL EXISTING WEEDS, GRASS AND ROOTS.
- CONTRACTOR SHALL LAY SOD WITH STAGGERED JOINTS, TIGHTLY BUTTED WITH NO INEQUALITIES IN GRADE. PLANT ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
- SOD SHALL BE A LOCALLY HARVESTED, WARM SEASON VARIETY GRASS SPECIES NATIVE TO THE RALEIGH, NC AREA.
- CONTRACTOR SHALL MAINTAIN AND WATER SOD INSTALLATION UNTIL GRASS IS FIRMLY ESTABLISHED.
- ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS FOR DEPTH AND TYPE OF MULCH. ALL SHRUBS SHALL BE PLANTED IN MULCHED BEDS. OWNERS OPTION: INSTALL 18" THK. x 4" WIDE GREEN STEEL EDGING WITH STEEL STAKES BETWEEN PLANTING BEDS AND LAWN.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT IT IS ONE INCH LOWER THAN THE TOP OF SURROUNDING CURBS. MULCH WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH FROM A REPUTABLE LOCAL SOURCE.
- CONTRACTOR SHALL PROVIDE WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
- CONTRACTOR SHALL SOD ALL LAWN AREAS IN FRONT OF BUILDING AND WITHIN 5' OF THE SIDES/REAR OF BUILDING AND AREAS WHERE GRADE SLOPE IS 1:4 OR GREATER.

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
chrblaxx@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGNS
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919.615.1247

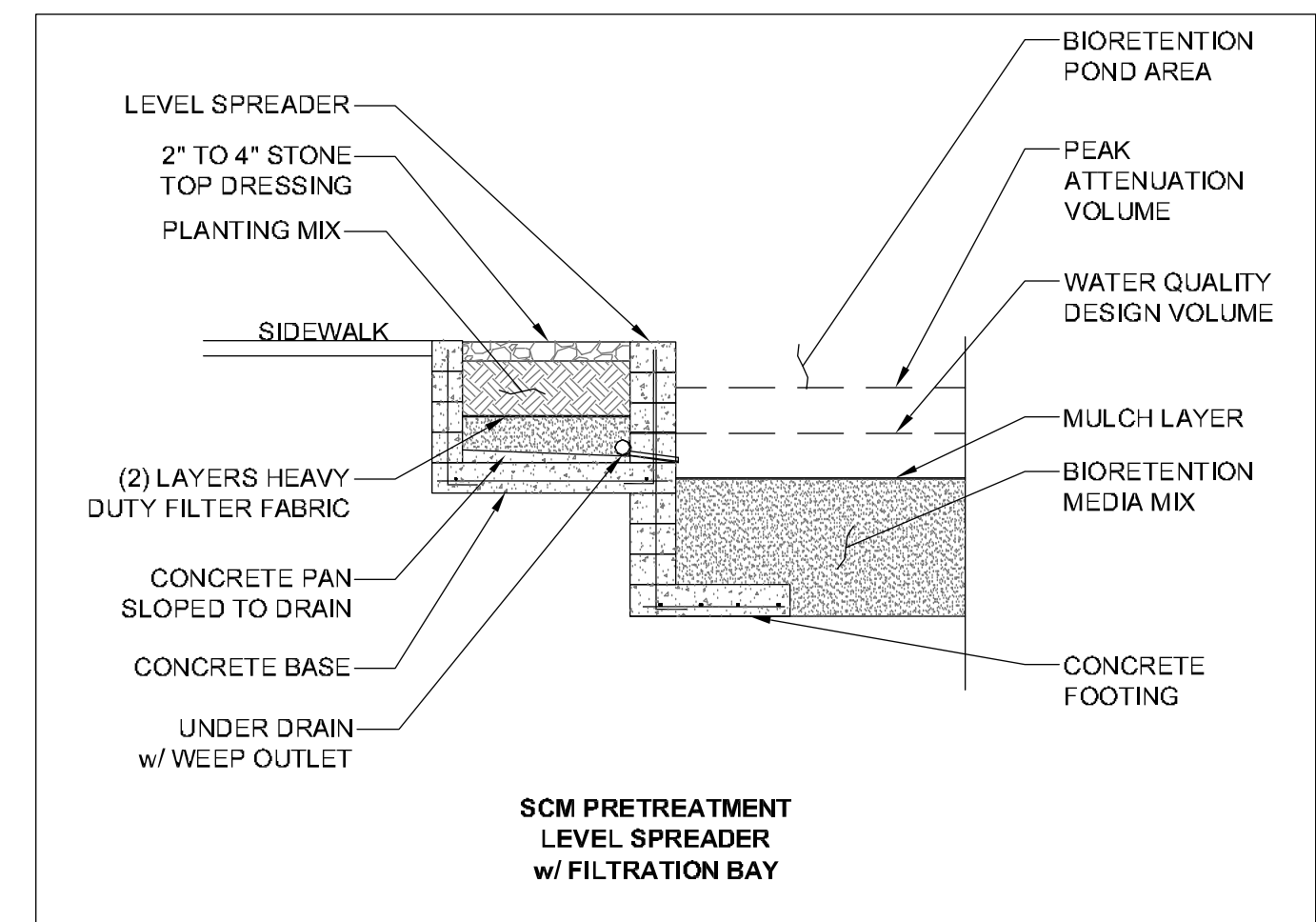
CIVIL/STRUCTURAL ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075

GLENWOOD APARTMENTS

NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

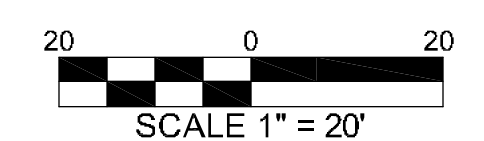


SYMKEY	BOTANICAL NAME	COMMON NAME
A	MUHLENBERGIA CAPILARIS	MUHL Y GRASS
B	CEPHALANTHUS OCCIDENTALIS	BUTTON BUSH
C	LOBELIA CARDINALIS	CARDINAL FLOWER
D	AMORPHA FRUTICOSA	FALSE INDIGO
E	CLETHRA ALNIFOLIA "HUMMINGBIRD"	SWEET PEPPER BUSH
G	CYNODON DACTYLON	BERMUDA NON-CLUMPING TURF GRASS
F	SOLIDAGO RUGOSE; SOLIDAGO SEMPERVIRENS	GOLDENROD
H	VERVENA HASATA	BLUE VERVAIN SWAMP MILKWEED
L	CLETHRA ALNIFOLIA "RUBY SPICE"	SUMMERSWEET
M	ELYMUS HYSTRIX	BOTTLEBRUSH GRASS

SCM POND VEGETATED SHELF SCHEDULE			
SPECIFICATIONS			
REMARKS	SPACING	MATURE HL.	
PURPLE AND WHITE FLOWERING	2' - 3'	3' - 4'	
WHITE AND YELLOW FLOWERING	4' - 8'	5' - 10'	
RED FLOWERING	1' - 2'	2' - 4'	
PURPLE FLOWERING	4' - 6'	8' - 10'	
WHITE FLOWERING	3' - 5'	2' - 4'	
YELLOW FLOWERING	2' - 3'	1' - 5'	
BLUE FLOWERING	2' - 3'	2' - 5'	
PINK FLOWERING	1' - 3'	5' - 6'	
WHITE, PINK, PURPLE FLOWERING	1' - 3'	2' - 3'	

SITE VEGETATION SCHEDULE						
SPECIFICATIONS						
SYMKEY	BOTANICAL NAME	COMMON NAME	QTY (ea)	CALIPER	PLANTING HL.	MATURE HL.
ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	0	2"	10'	50' - 80'
QA	QUERCUS ALBA	WHITE OAK	2	2"	10'	50' - 80'
MG	MAGNOLIA GRANDIFLORA "LITTLE GEM"	LITTLE GEM MAGNOLIA	7	2"	6' - 8'	15' - 20'
QT	QUERCUS NUTTALLI	NUTTALL OAK	2	3"	10'	50' - 80'
AC	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	4	3"	10'	60' - 80'
LIN	LAGERSTROEMIA X "NATCHEZ"	CRAPEMYRTLE "NATCHEZ"	4	1.5"	60"	15' - 20'
LIC	LAGERSTROEMIA INDICA "CAROLINA BEAUTY"	CRAPEMYRTLE "CAROLINA BEAUTY"	3	1.5"	60"	15' - 20'
CS	CAMELLIA SASANQUA	SASANQUA CAMELLIA	10	1.0"	36"	10' - 15'
PC	PYRUS CALLERYANA "AUTUMN BLAZE"	AUTUMN BLAZE FLOWERING PEAR	6	3"	10'	30' - 50'
HT	HALESIA TETRAPTERA, HALESIA CAROLINA	CAROLINA SILVERBELL	7	3"	10'	15' - 35'

* CAROLINA SILVERBELL ALONG REMBERT STREET SHALL BE SINGLE STEM
ALL PLANT MATERIAL SHALL COMPLY WITH C.O.R. UDO 7.2.7.C



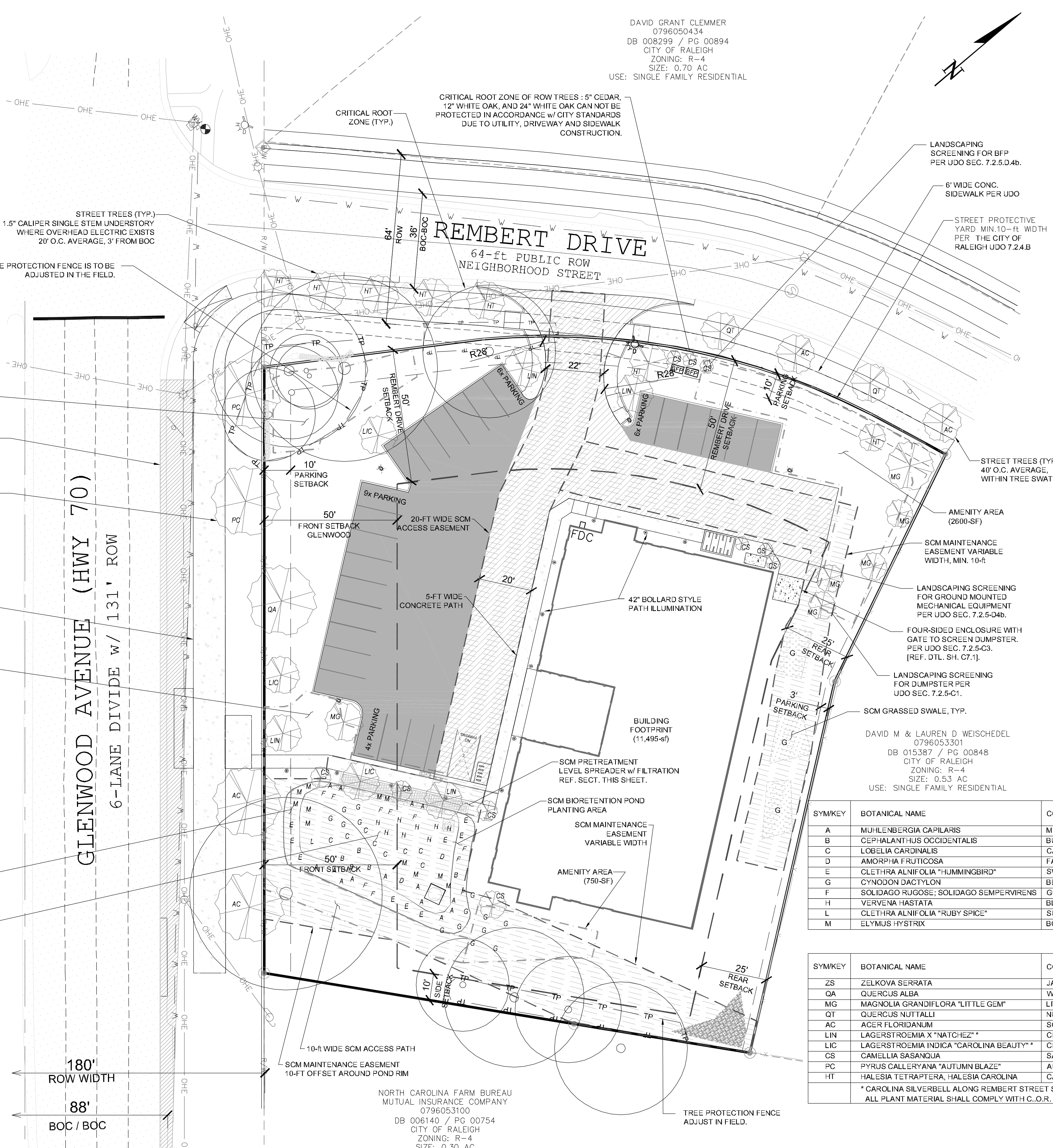
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NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

LANDSCAPE PLAN SHEET

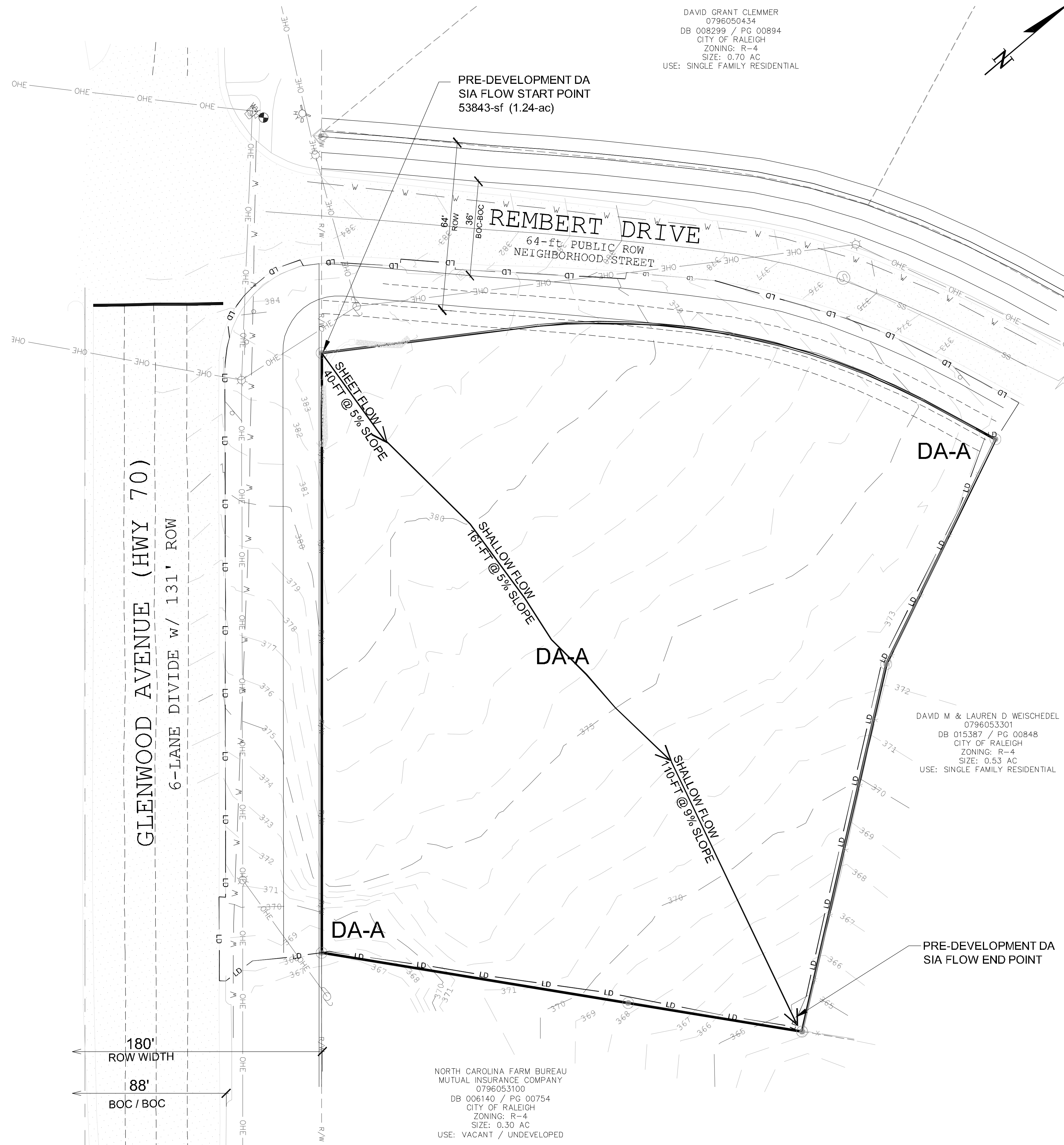
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CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) HAS PREPARED THESE PLANS AND SPECIFICATIONS TO THE BEST OF ITS KNOWLEDGE AND BELIEVES THEM TO BE CORRECT AND COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CONTRACTOR AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



NORTH CAROLINA FARM BUREAU
MUTUAL INSURANCE COMPANY
0796053100
DB 006140 / PG 00754
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.30 AC
USE: VACANT / UNDEVELOPED

TREE PROTECTION FENCE ADJUST IN FIELD.



DAVID GRANT CLEMMER
0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

PRE-DEVELOPMENT DA
SIA FLOW START POINT
53843-sf (1.24-ac)

NORTH CAROLINA FARM BUREAU
MUTUAL INSURANCE COMPANY
0796053100
DB 006140 / PG 00754
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.30 AC
USE: VACANT / UNDEVELOPED

DAVID M & LAUREN D WEISCHEDEL
0796053301
DB 015387 / PG 00848
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.53 AC
USE: SINGLE FAMILY RESIDENTIAL

PIN: 0796051272
ADDRESS: 5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

DEED: D6018661 / PG 01793
PARCEL: 1.24-Ac (53,843-sf)
1.23-Ac (53,568-sf) AFTER ROW DEDICATION

CODE: 2018 NORTH CAROLINA BUILDING CODE

SURFACE WATER DRAINAGE: STORMWATER SHALL BE RETAINED ON SITE PER THE APPROVED STORMWATER CONTROL PLAN IN ACCORDANCE WITH UDO 9.2 THROUGH 9.5.

RIVER BASIN: NEUSE
WATERSHED: HARE SNIPE CREEK (C; NSV)

IMPERVIOUS:
EXISTING (ON-SITE ONLY): 3,762-sf (0.09-Ac)
DRIVEWAY: 3,762-sf (TO BE DEMOLISHED)
PROPOSED (ON-SITE): 26,281-sf (0.60-Ac)
BUILDING: 10,402-sf
DRIVEWAY: 14,239-sf
SIDEWALK: 1,640-sf

STORMWATER DESIGN:
REFERENCE GRADING PLAN AND SUPPLEMENTAL STORMWATER DOCUMENTS PREPARED BY CARTER ENGINEERING & CONSULTING, PLLC.

STORMWATER MANAGEMENT DESIGN:
STORMWATER SHALL BE DIRECTED TO A PRE-TREATMENT FILTER BOX THAT HAS WEEP HOLE OUTLETS TO RELEASE 1-h STORM WATER INTO THE BIO-RETENTION CELL THAT HAS INTERNAL WATER STORAGE. THE FILTER BOX RIM PERFORMS AS A LEVEL SPREADER TO DISIPATE THE 2-yr AND 10-yr STORM EVENTS INTO THE BIO-RETENTION CELL. THE BIO-RETENTION CELL HAS AN UNDER-DRAIN PIPE THAT CONVEYS FILTERED WATER TO THE RISER STRUCTURE. THE BIO-RETENTION CELL HOLDS A 12-h WATER QUALITY DESIGN VOLUME AND 24-h PEAK ATTENUATION VOLUME. THE RISER STRUCTURE HAS A SHARP CRESTED "V" NOTCH WEIR TO CONTROL THE RELEASE OF THE 1-in., 2-yr., AND 10-yr. STORM EVENTS TO THE DRAINAGE AREA OUTLET POINT AT A RATE TO MEET PRE-DEVELOPMENT PEAK DISCHARGE VALUES.

REGULATORY SCM CREDITS:
2023 NC SCM CREDIT DOCUMENT

DEVICE	TN (mg/L)	TP (mg/L)
BIO-RETENTION:	35% (0.68)	45% (0.08)
LS-FS:	30% (1.03)	35% (0.17)

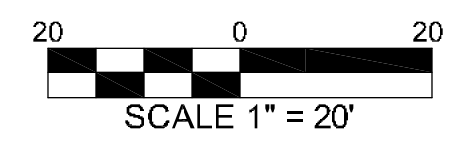
OWNER / DEVELOPER:
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ARCHITECT:
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NEW CONSTRUCTION
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WAKE COUNTY

NO.	DESCRIPTION	DATE
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STORMWATER
PRE-DEVELOPMENT
SHEET

C6.0

CARTER ENGINEERING & CONSULTING, PLLC (NC # P-1407) AND OTHER PROVIDERS OF PROFESSIONAL SERVICES ARE NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE DESIGN AND CONSTRUCTION OF THE PROJECT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR. THE CLIENT AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGN AND CONSTRUCTION OF THE PROJECT IS SUBJECT TO THE CHANGES AND MODIFICATIONS MADE BY THE CLIENT AND CONTRACTOR. THE CLIENT AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGN AND CONSTRUCTION OF THE PROJECT IS SUBJECT TO THE CHANGES AND MODIFICATIONS MADE BY THE CLIENT AND CONTRACTOR.

DAVID GRANT CLEMMER
0796050434
DB 008299 / PG 00894
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.70 AC
USE: SINGLE FAMILY RESIDENTIAL

POST-DEVELOPMENT ANALYSIS
START LOCATION FOR
SUBDRAINAGE AREA DA-A1.
(44,137-sf, 1.013-ac)
SIA FLOW START POINT (SP)

POST-DEVELOPMENT ANALYSIS
START LOCATION FOR
SUBDRAINAGE AREA DA-A2.
(9,701-sf, 0.223-ac)
SIA FLOW START POINT (SP)

STORMWATER DESIGN:
REFERENCE GRADING PLAN AND
SUPPLEMENTAL
STORMWATER DOCUMENTS PREPARED BY
CARTER ENGINEERING & CONSULTING, PLLC.

STORMWATER MANAGEMENT DESIGN:
STORMWATER SHALL BE DIRECTED TO A
PRE-TREATMENT FILTER BOX THAT HAS
HOLE OUTLETS TO RELEASE 1-in STORM WATER
INTO THE BIO-RETENTION CELL THAT HAS
INTERNAL WATER STORAGE. THE FILTER BOX
RIM PERFORMS AS A LEVEL SPREADER TO
DISPATE 2-yr AND 10-yr STORM EVENTS INTO
THE BIO-RETENTION CELL. THE CELL HAS AN
UNDER-DRAIN PIPE THAT CONVEYS FILTERED
WATER TO THE RISER STRUCTURE. THE CELL
HOLDS A 12-in WATER QUALITY DESIGN VOLUME
AND 24-in PEAK ATTENUATION VOLUME. THE
RISERS SHARP CRESTED "V" NOTCH INLET WEIR
CONTROLS THE RELEASE OF THE 1-in, 2-yr, AND
10-yr STORM EVENTS TO THE DRAINAGE AREA
OUTLET POINT AT A RATE TO MEET
PRE-DEVELOPMENT PEAK DISCHARGE VALUES.

REGULATORY SCM CREDITS:
2023 NC SCM CREDIT DOCUMENT
DEVICE TN (mg/L) TP (mg/L)
BIO-RETENTION: 35% (0.88) 45% (0.88)
LS-FS: 30% (1.03) 35% (0.17)

PIN: 0796051272
ADDRESS: 5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

DEED: D6018661 / PG 01793
PARCEL: 1.24-Ac (53,843-sf)
1.23-Ac (53,568-sf) AFTER ROW DEDICATION

CODE: 2018 NORTH CAROLINA BUILDING CODE

SURFACE WATER DRAINAGE: STORMWATER SHALL BE
RETAINED ON SITE PER THE APPROVED STORMWATER
CONTROL PLAN IN ACCORDANCE WITH
COR UDO 9.2 THROUGH 9.5.

RIVER BASIN: NEUSE
WATERSHED: HARE SNIPPE CREEK (C, NSW)

IMPERVIOUS:
EXISTING (ON-SITE ONLY): 3,762-sf (0.09-Ac)
DRIVEWAY: 3,762-sf (TO BE DEMOLISHED)
PROPOSED (ON-SITE): 26,281-sf (0.60-Ac)
BUILDING: 10,402-sf
DRIVEWAY: 14,239-sf
SIDEWALK: 1,640-sf

OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
christaxx@gmail.com
608.385.3420

ARCHITECT:
PAYETTE DESIGNS
david@payattedesigns.com
919.615.1247

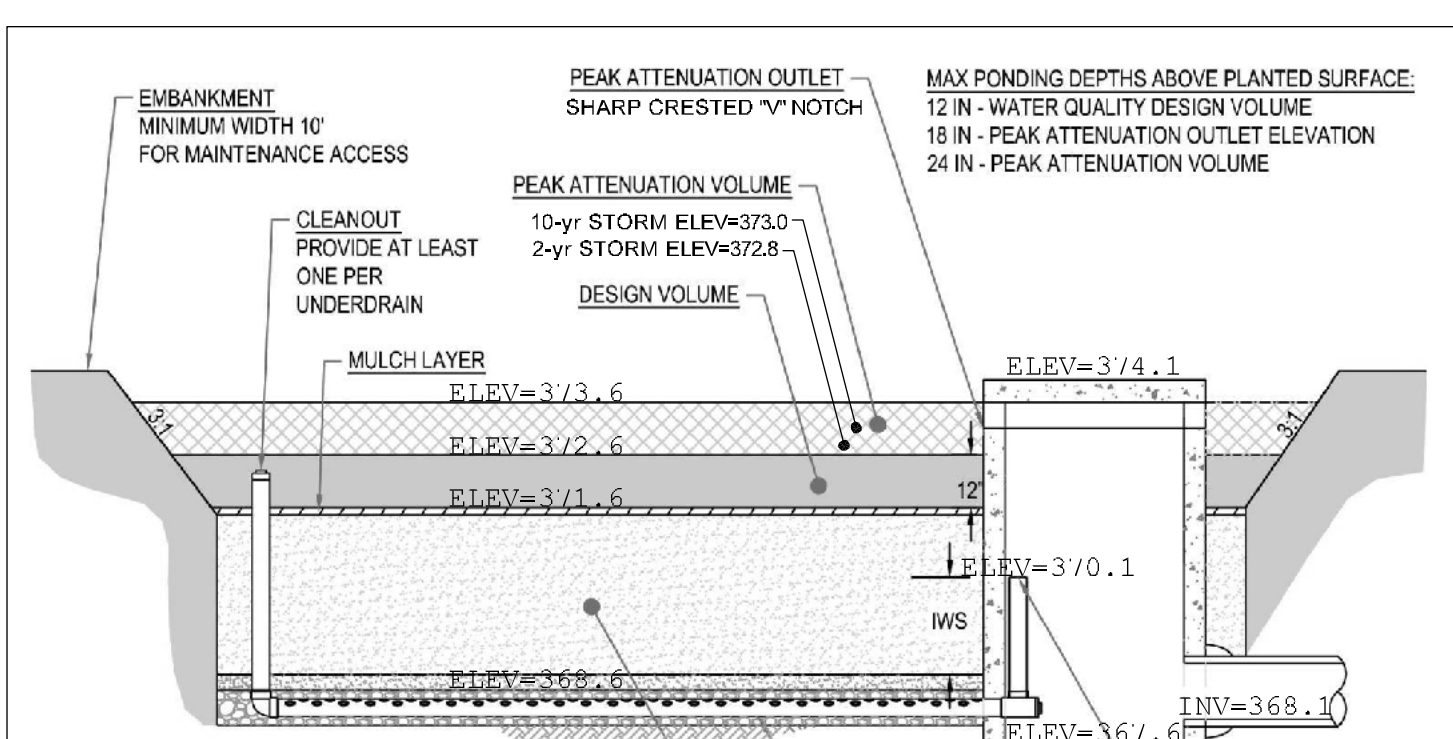
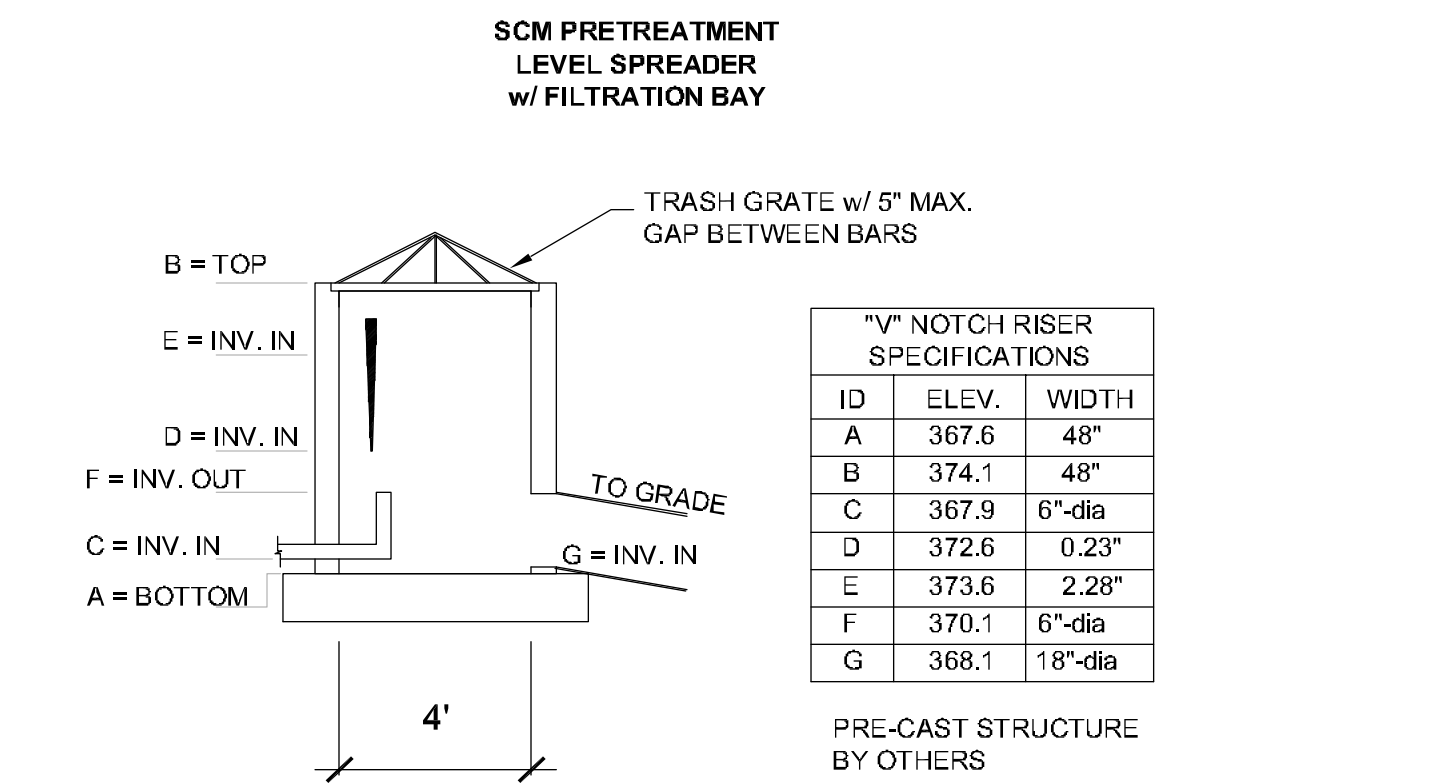
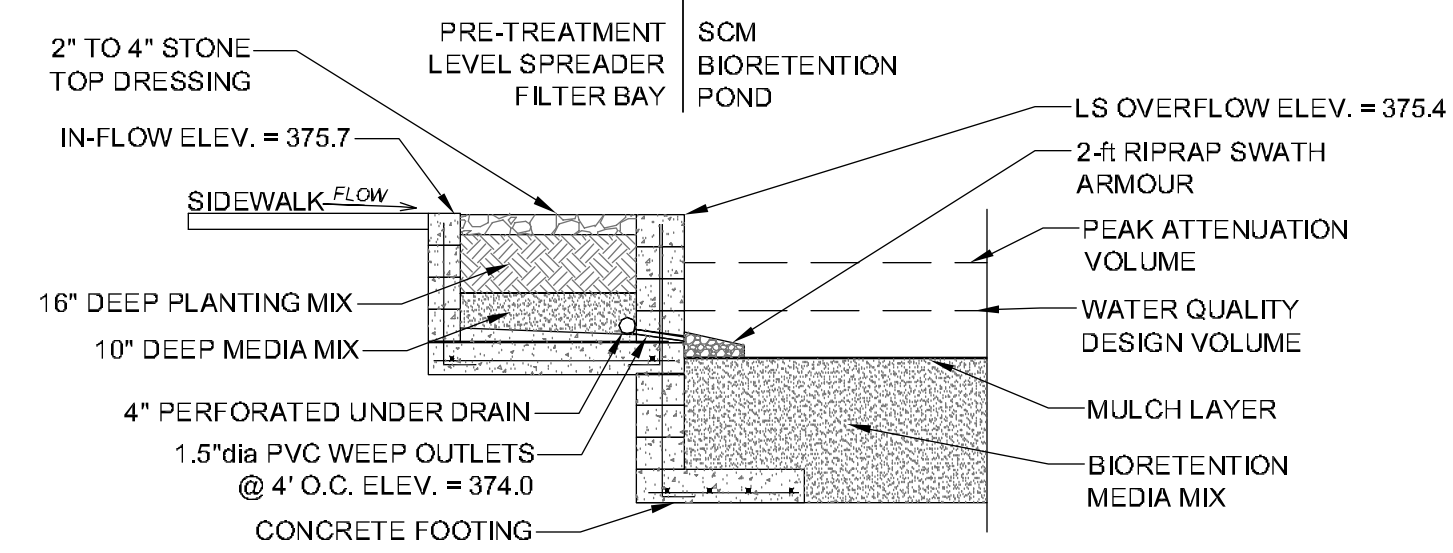
CIVIL/STRUCTURAL ENGINEER:
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CONSULTING, PLLC (NC # P-1407)
seancarter@carterandc.com
919.349.9648

STORMWATER ENGINEER:
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seancarter@carterandc.com
919.349.9648

SURVEYOR:
JDS CONSULTING
info@jdsconsulting.net
919.480.1075

GLENWOOD AVENUE (HWY 70)
6-LANE DIVIDE w/ 131' ROW

REMBERT DRIVE
64-ft. PUBLIC ROW
NEIGHBORHOOD STREET



MEDIA NOTES:
MEDIA MIX
THE MEDIA SHOULD BE COMPOSED OF A HOMOGENOUS MIX
OF THE FOLLOWING:
a. 75-85% MEDIUM TO COARSE WASHED SAND
b. 8-10% FINES (SILT AND CLAY); AND
c. 5-10% ORGANIC MATTER (SUCH AS PINE BARK FINES)

MINIMUM MEDIA DEPTH:
ALL CELLS WITH TREES AND SHRUBS: 36 INCHES
CELLS WITHOUT TREES AND SHRUBS:
WITH NO IWS: 24 INCHES
WITH IWS: 30 INCHES

MEDIA P-INDEXT:
LESS THAN 30 IN NSW WATERS
LESS THAN 50 ELSEWHERE

MEDIA MAINTENANCE:
MAINTAIN MEDIA SUCH THAT INFILTRATION RATE IS AT LEAST
1 INR

SET THE TOP OF THE IWS ZONE A MINIMUM OF 15 INCHES BELOW THE PLANTING SURFACE.
NO MECHANICAL COMPACTION DO NOT MECHANICALLY COMPACT THE MEDIA. WATER OR WALK ON IT AS IT IS PLACED.

SHWT MUST BE > 2 FT BELOW THE LOWEST POINT OF THE BIORETENTION CELL

SCM CELL OUTLET RISER STRUCTURE
w/ SHARP CRESTED V-NOTCH WEIR INLET
REF. SHEET 6.1
RISER BOTTOM ELEV = 367.6
RISER RIM ELEV = 374.1
NOTCH INV. WIDTH 0.23" @ ELEV = 372.6
NOTCH INV. WIDTH 2.28" @ ELEV = 373.6
DISCHARGE PIPE:
18" PIPE INV. IN = 368.1
18" PIPE INV. OUT = 366.0

20-FT WIDE SCM
ACCESS EASEMENT

SCM PRE-TREATMENT LEVEL
SPREADER & FILTER SYSTEM
DIM = 50'x2.5'
IN-FLOW ELEV. = 375.7
OVERFLOW ELEV. = 375.4
WEEP OUTLET ELEV. = 373.8

2-ft RIPRAP SWATH AT BASE OF LS/FS
6" PERFORATED UNDER-DRAIN w/ CO.
SCM BIO-RETENTION
BOTTOM ELEV. = 371.5
IN-FLOW ELEV. = 375.4
SPILLWAY ELEV. = 375.2
WQ DESIGN VOLUME ELEV. = 372.6
2-yr STORM ELEV. = 372.8 (0.06-Ac-ft)
10-yr STORM ELEV. = 373.0 (0.07-Ac-ft)
PEAK VOLUME ELEV. = 373.6

DAVID M & LAUREN D WEISCHDEL
0796053301
DB 015387 / PG 00848
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.53 AC
USE: SINGLE FAMILY RESIDENTIAL

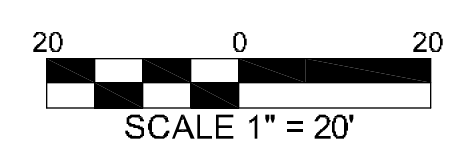
SCM MAINTENANCE
EASEMENT
VARIABLE WIDTH
AROUND SCM DEVICES

POST-DEVELOPMENT ANALYSIS
STOP LOCATION WHERE
STORMWATER DRAINAGE (FROM
DA-A1 + DA-A2) LEAVES THE
PROJECT STUDY AREA. SIA FLOW
END POINT (EP)

SCM EMERGENCY 15-ft
WIDE OVERFLOW
SPILLWAY
ELEV: 375.2

NORTH CAROLINA FARM BUREAU
MUTUAL INSURANCE COMPANY
0796053100
DB 006140 / PG 00754
CITY OF RALEIGH
ZONING: R-4
SIZE: 0.30 AC
USE: VACANT / UNDEVELOPED

THIS AREA OF DA-A1
IS PERVIOUS AND FULLY
BYPASSES THE SCM.
6,160-sf (0.14-ac.)



CARTER ENGINEERING & CONSULTING, PLLC HAS BEEN FOREWARNED BY THE CITY OF RALEIGH THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA.

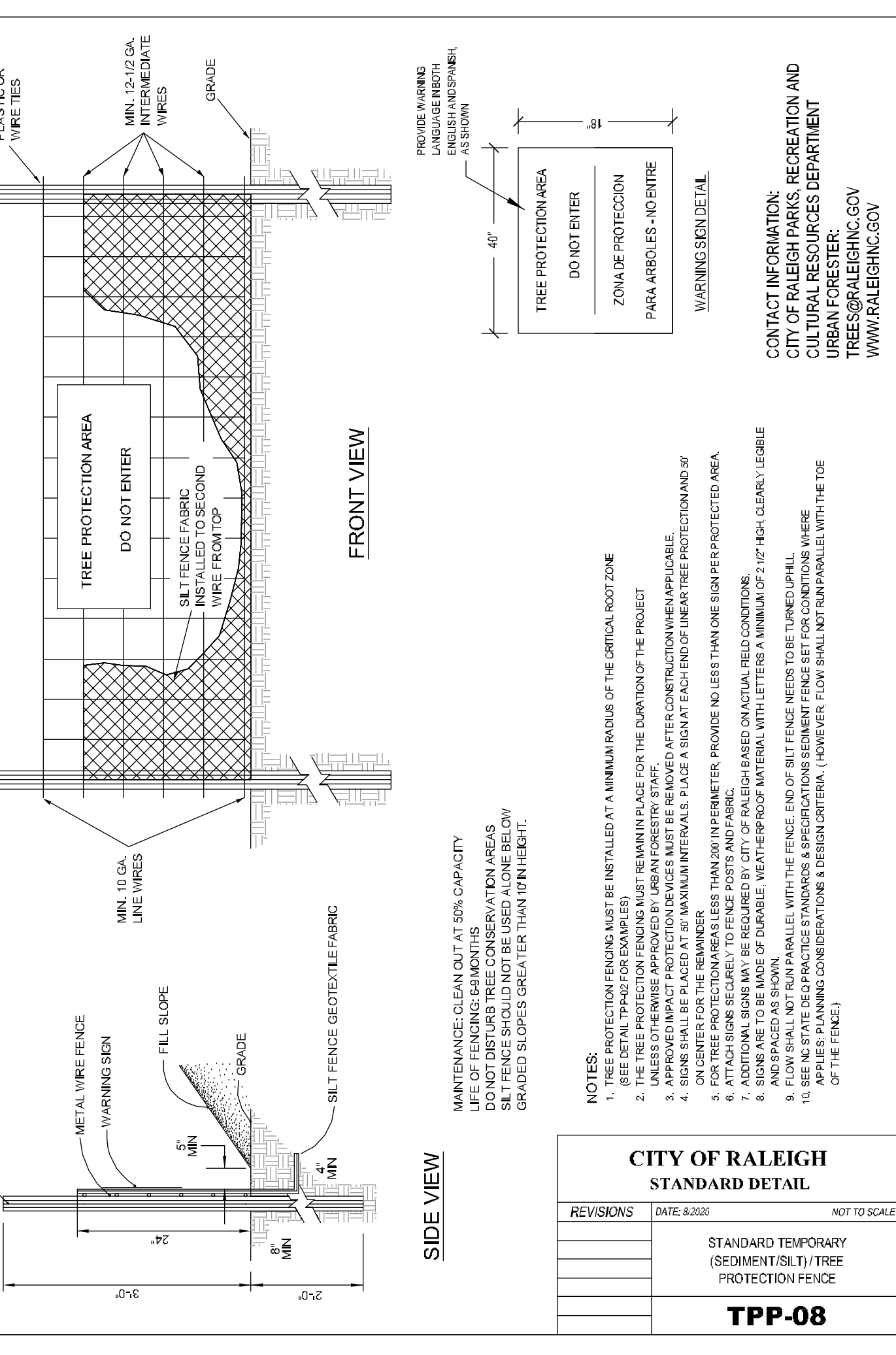
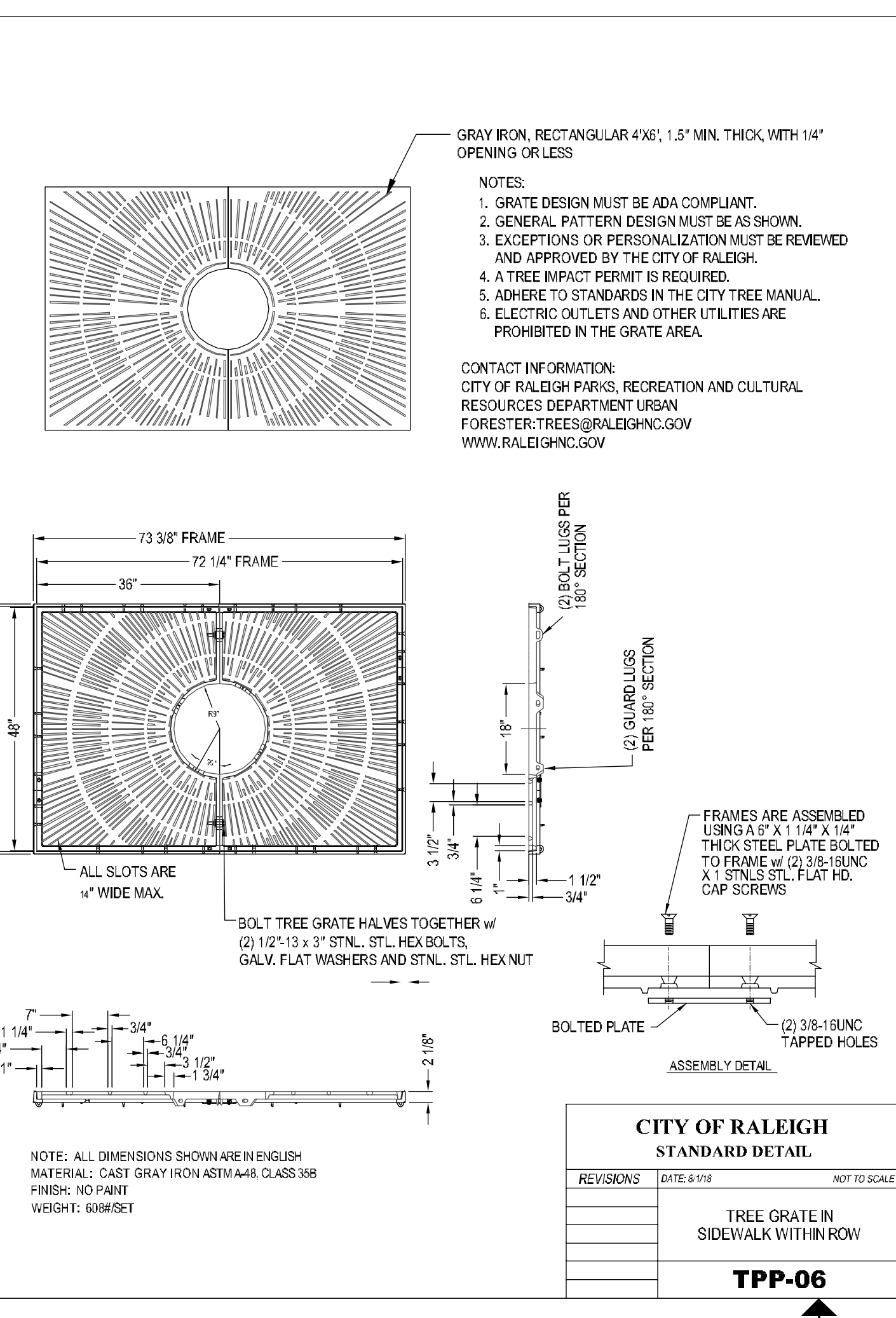
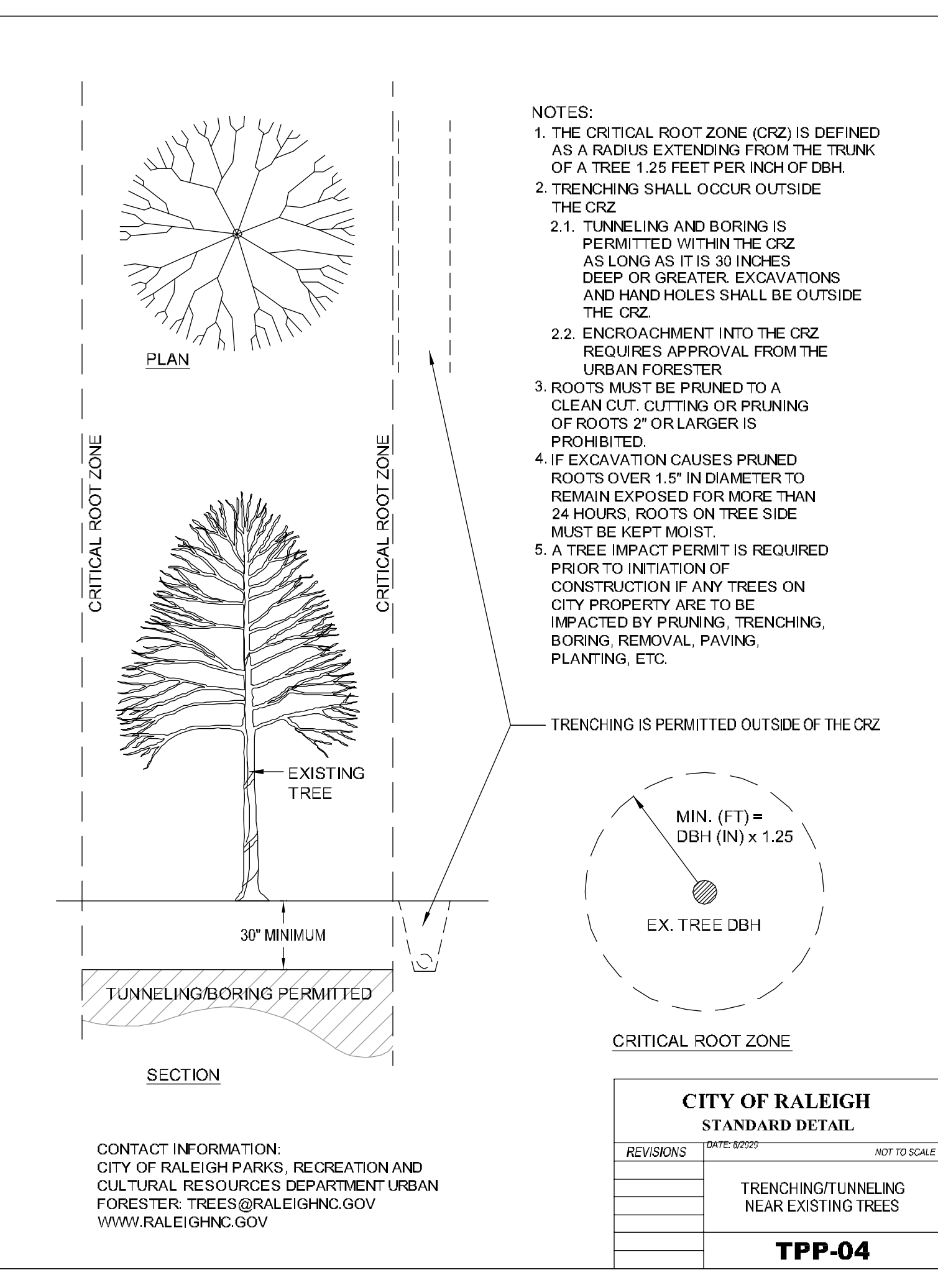
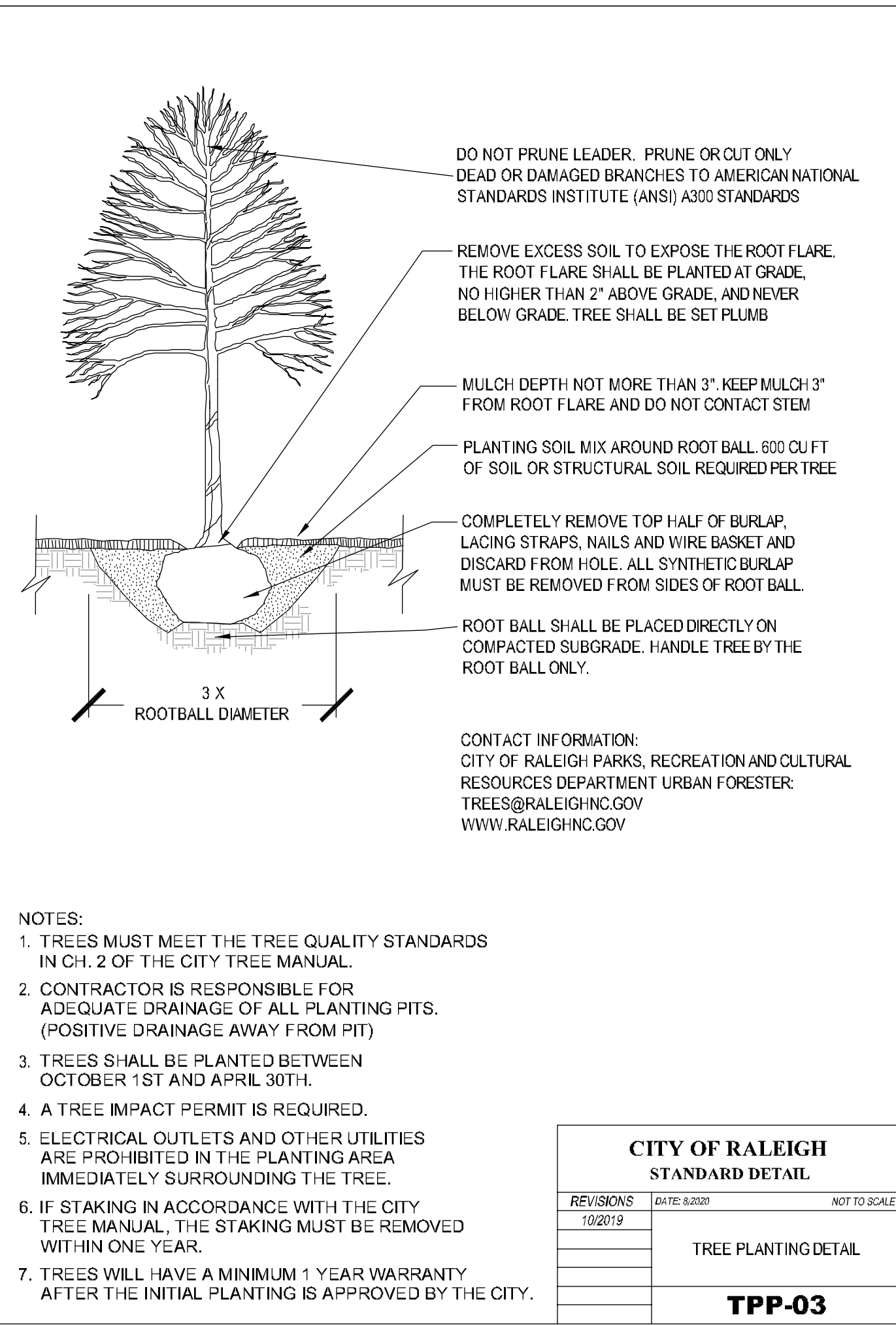
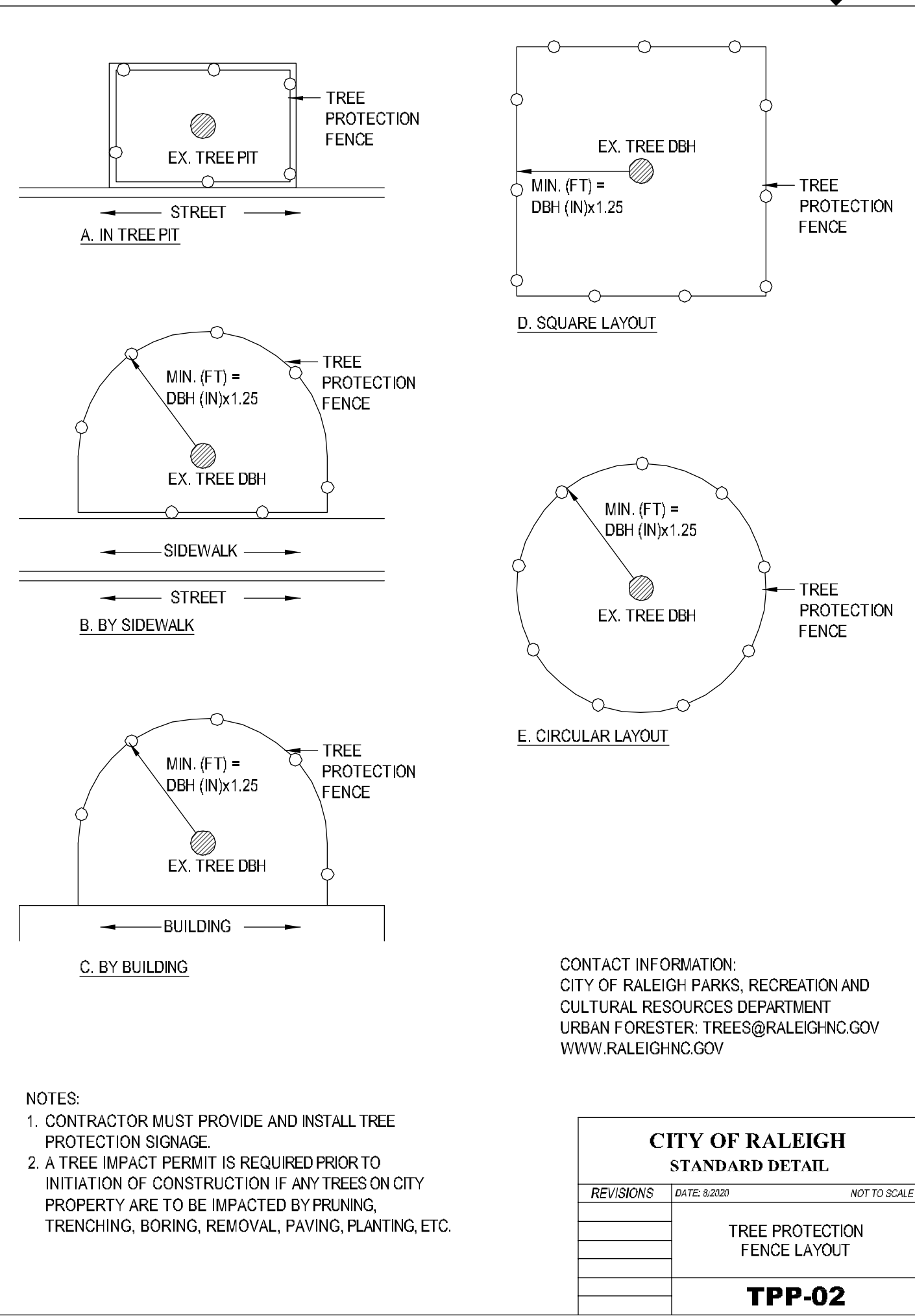
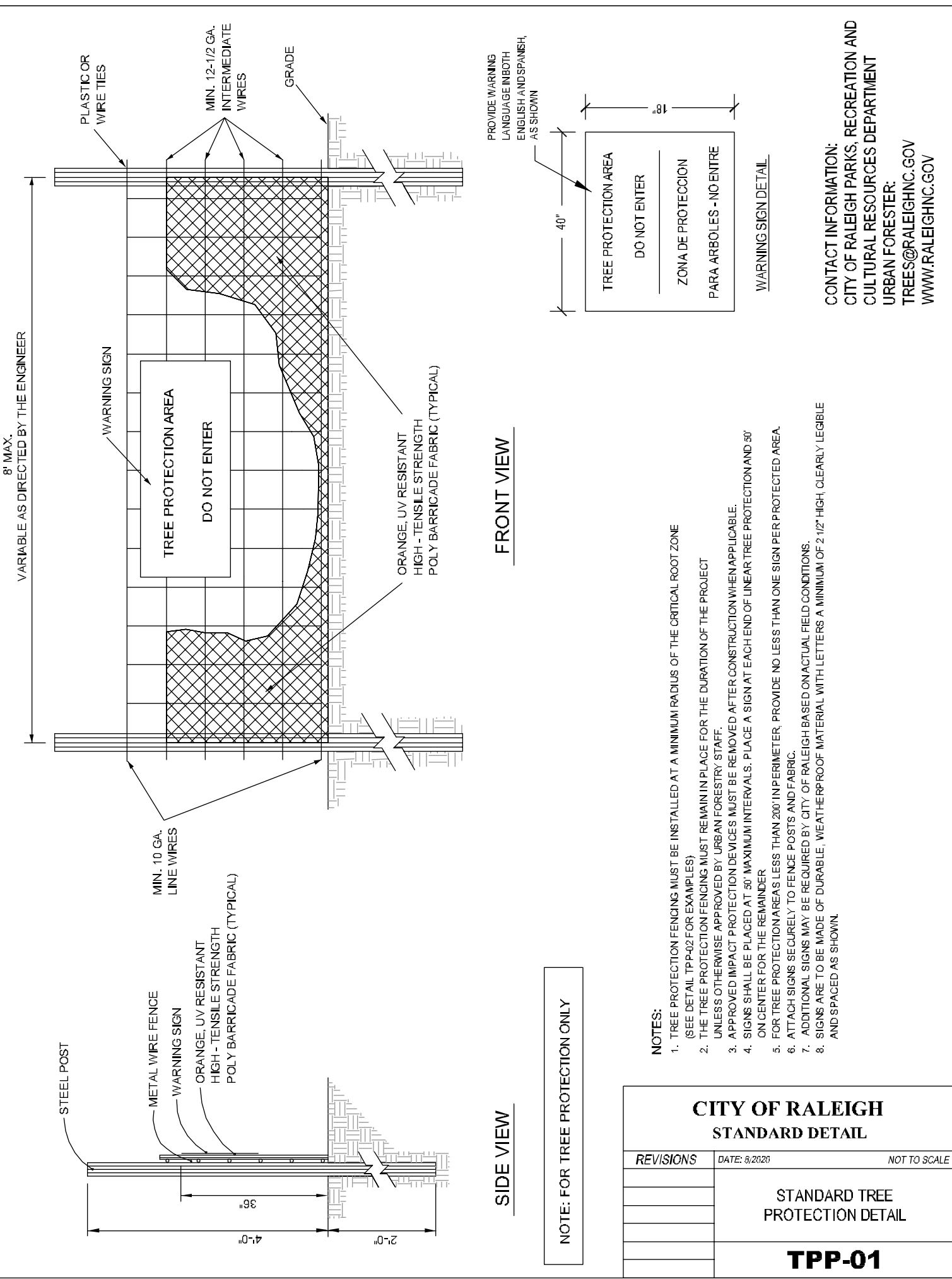
GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

STORMWATER
POST-DEVELOPMENT
SHEET

C6.1





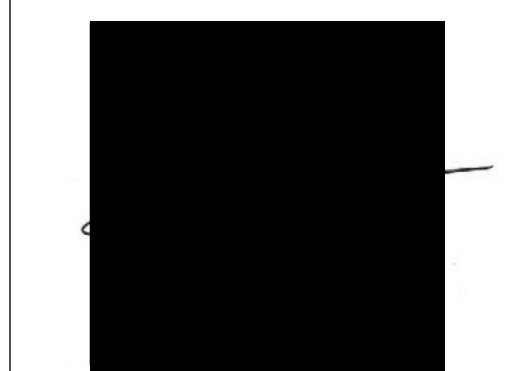
OWNER / DEVELOPER:
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GLENWOOD APARTMENTS

NEW CONSTRUCTION

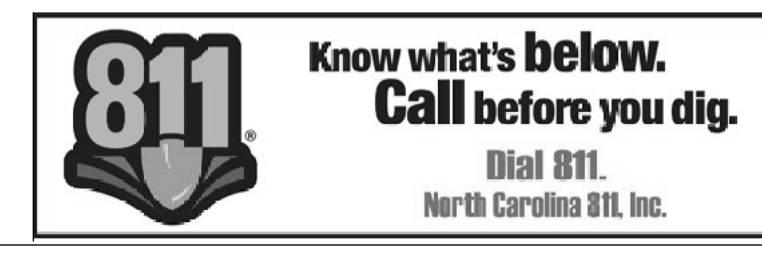
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

REVISIONS

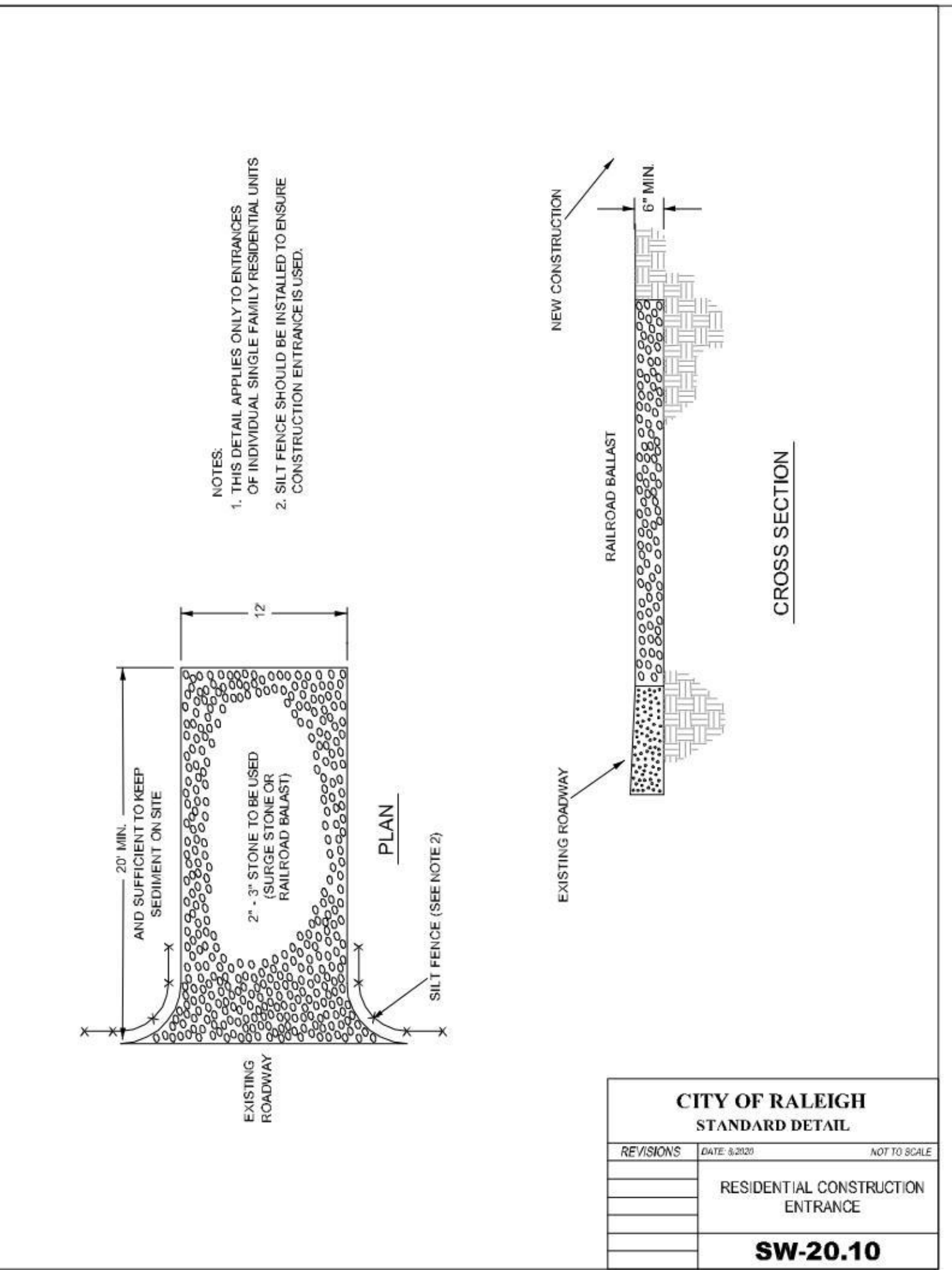
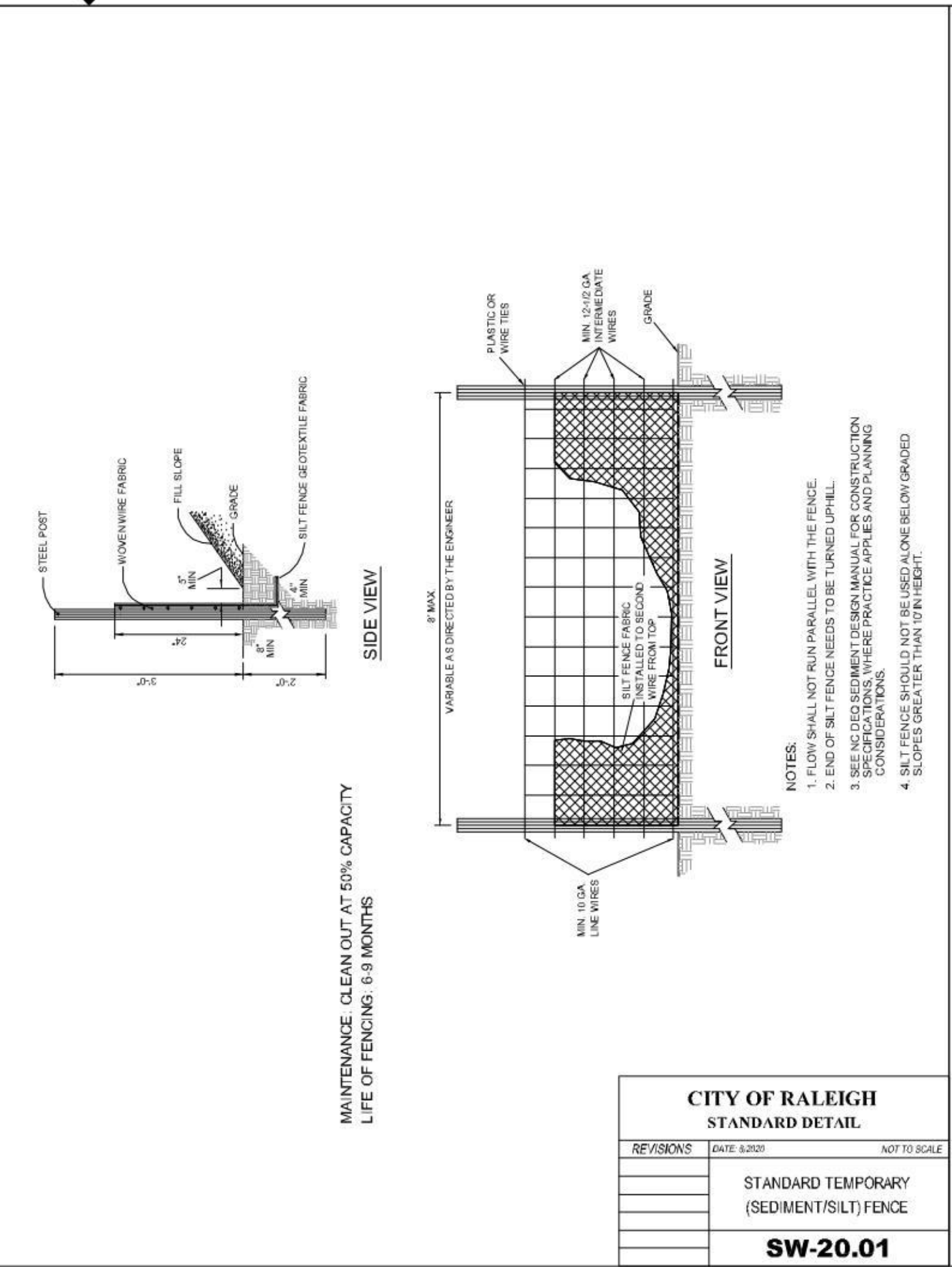
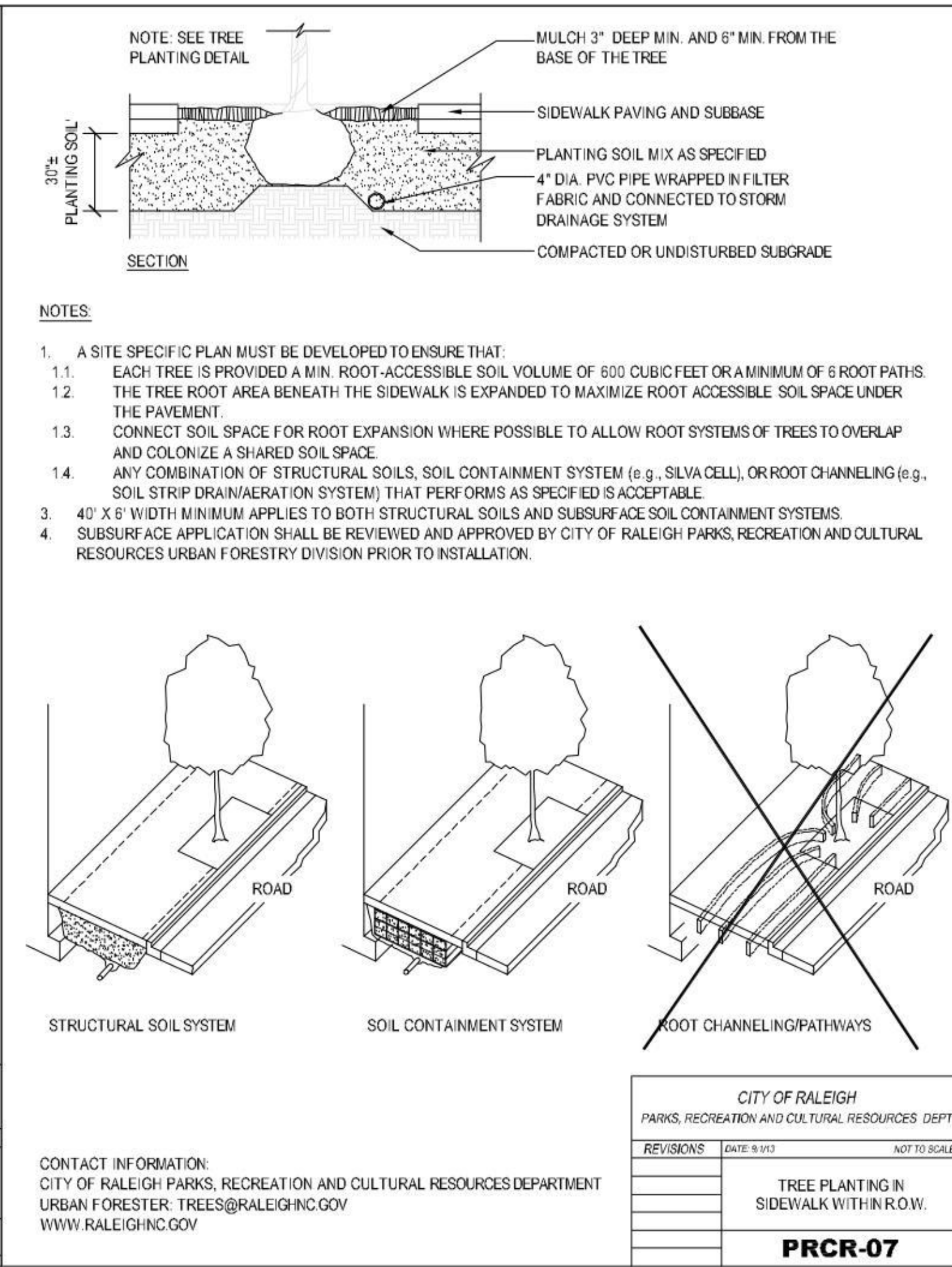
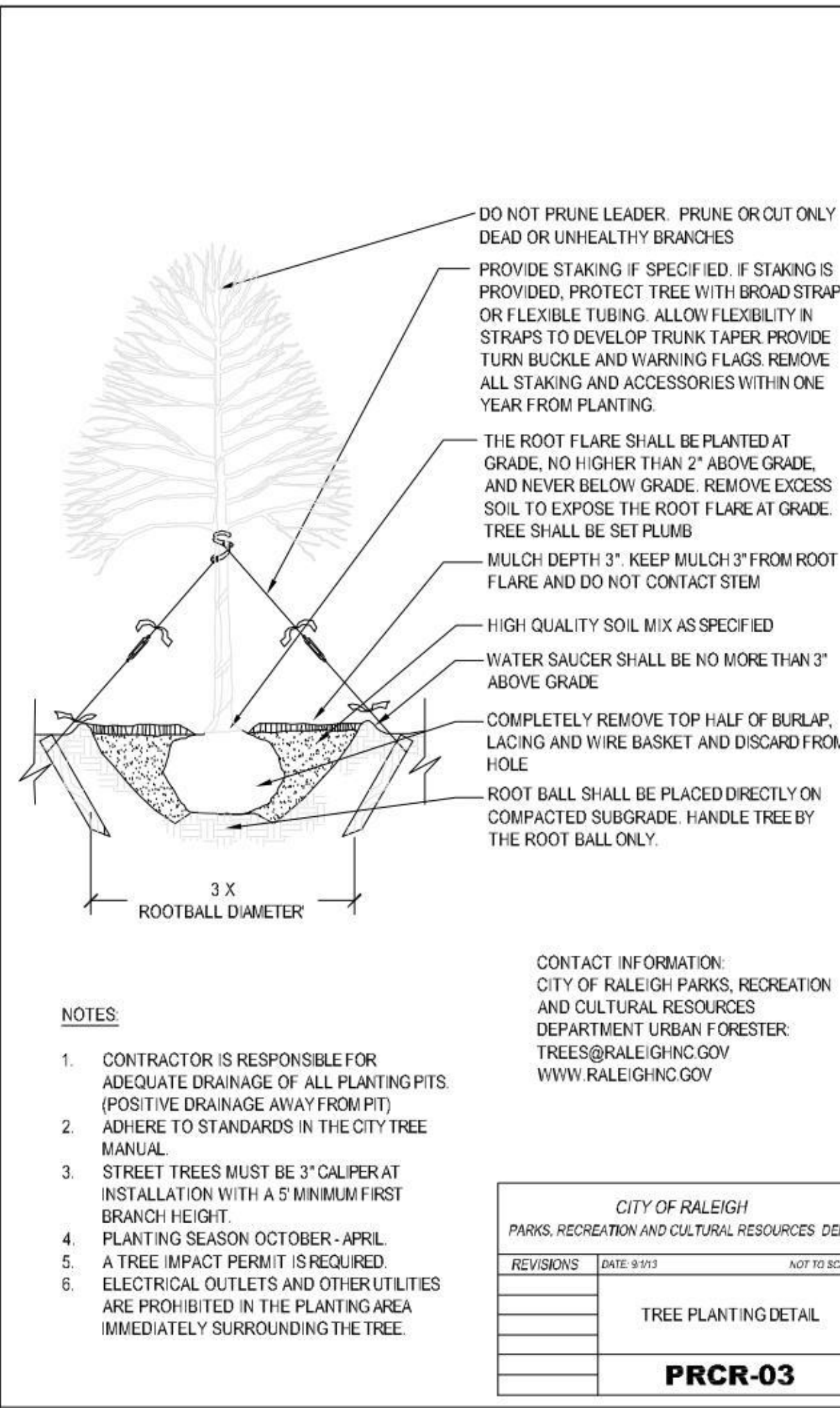
NO	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
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3	COR COMMENTS - 3rd REVIEW	9/25/23

NOTES & DETAILS SHEET

C7.0



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christa.xx@gmail.com
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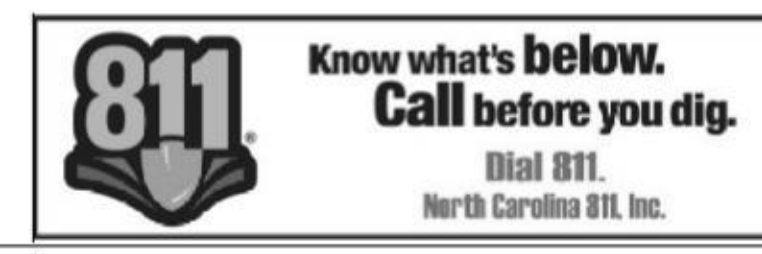
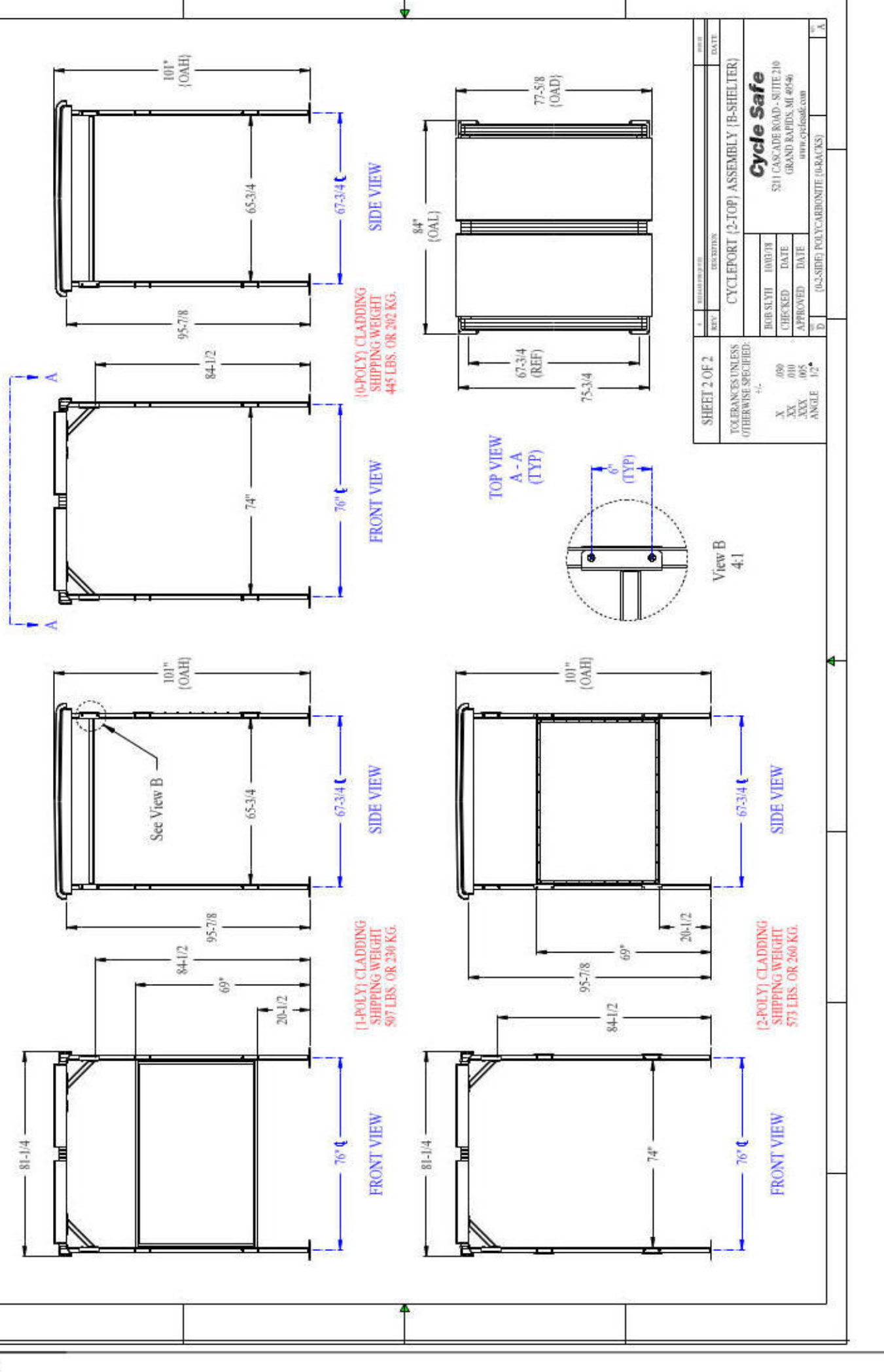
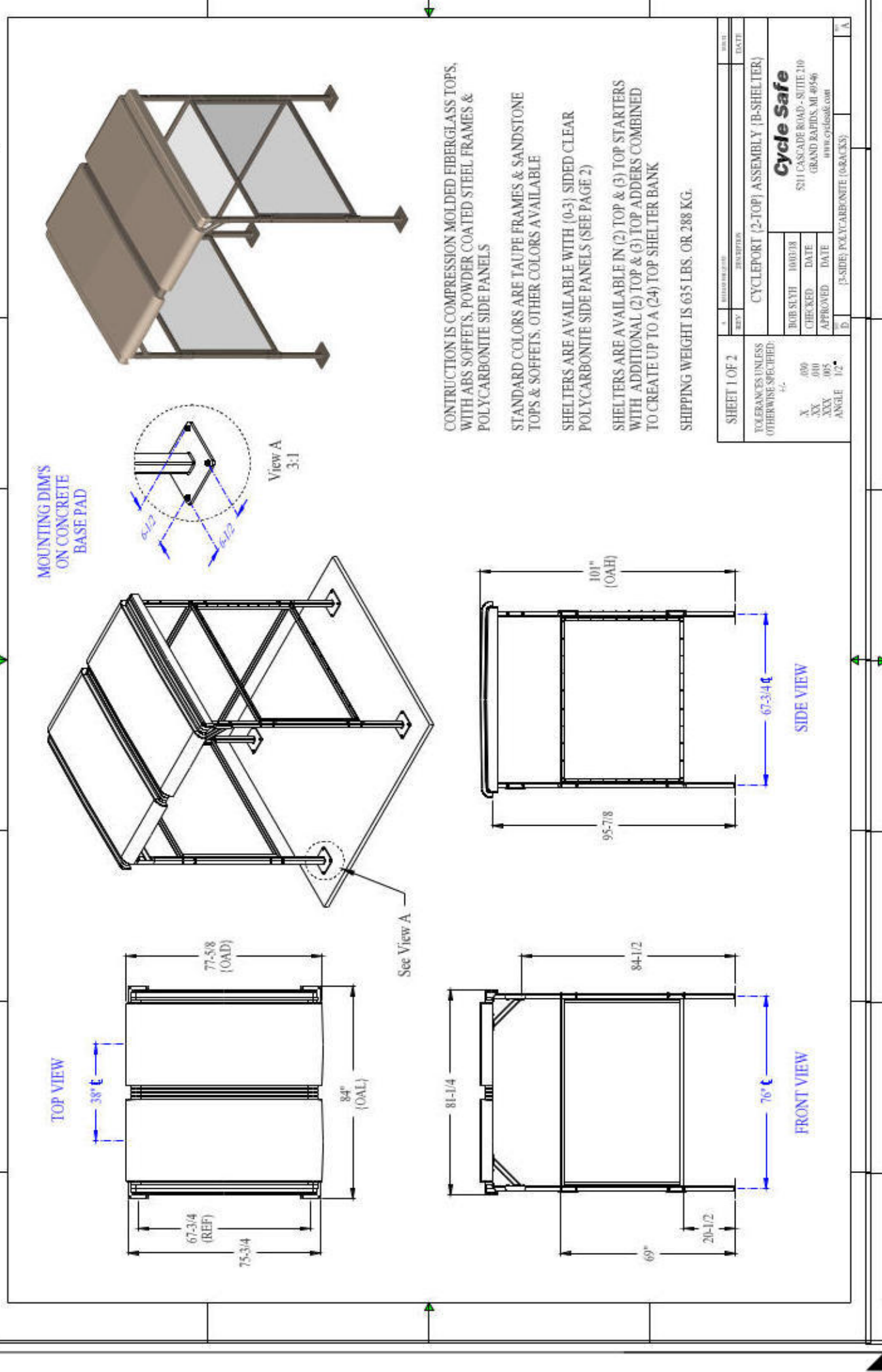
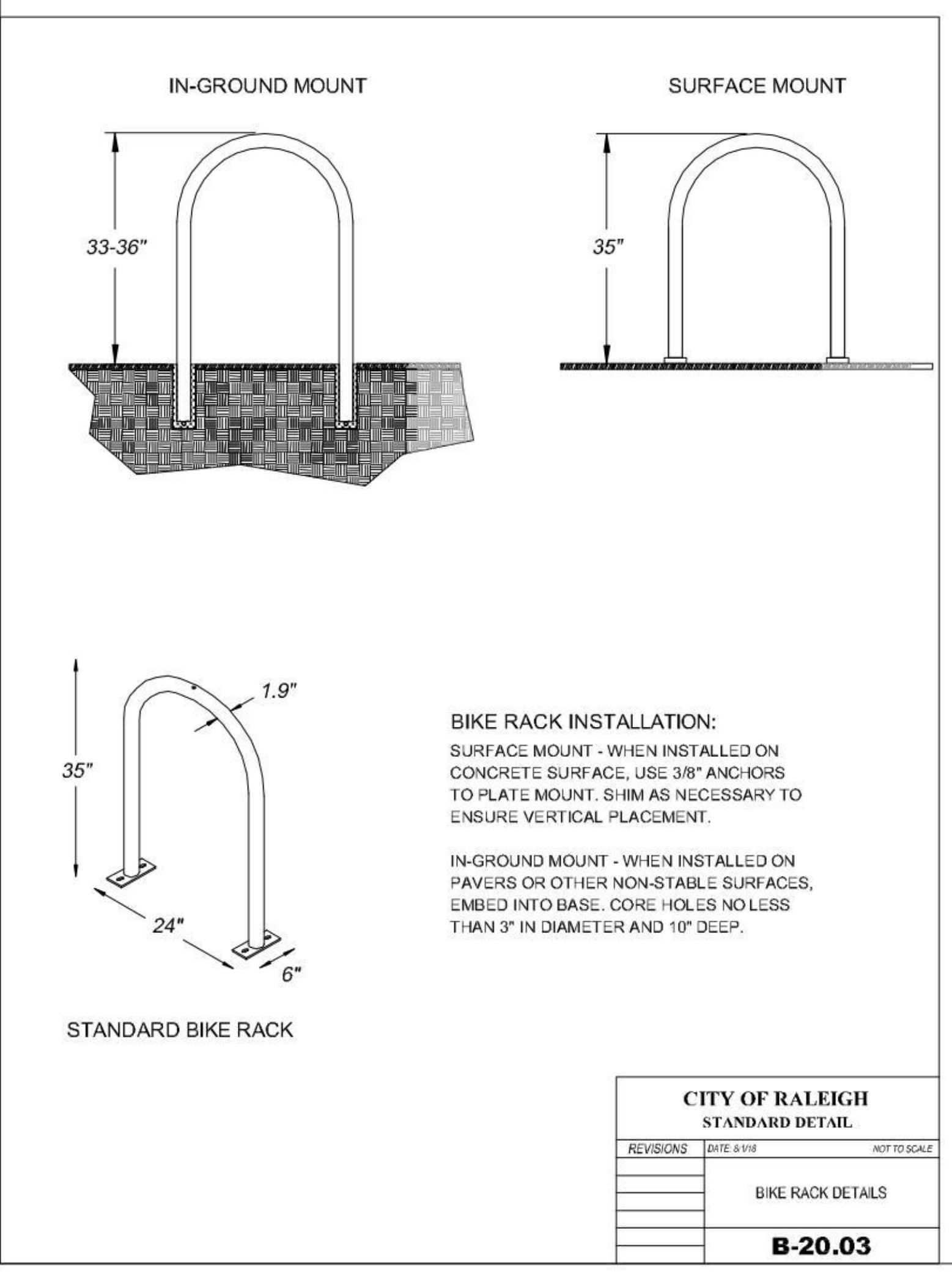
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919.349.9648

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GLENWOOD APARTMENTS

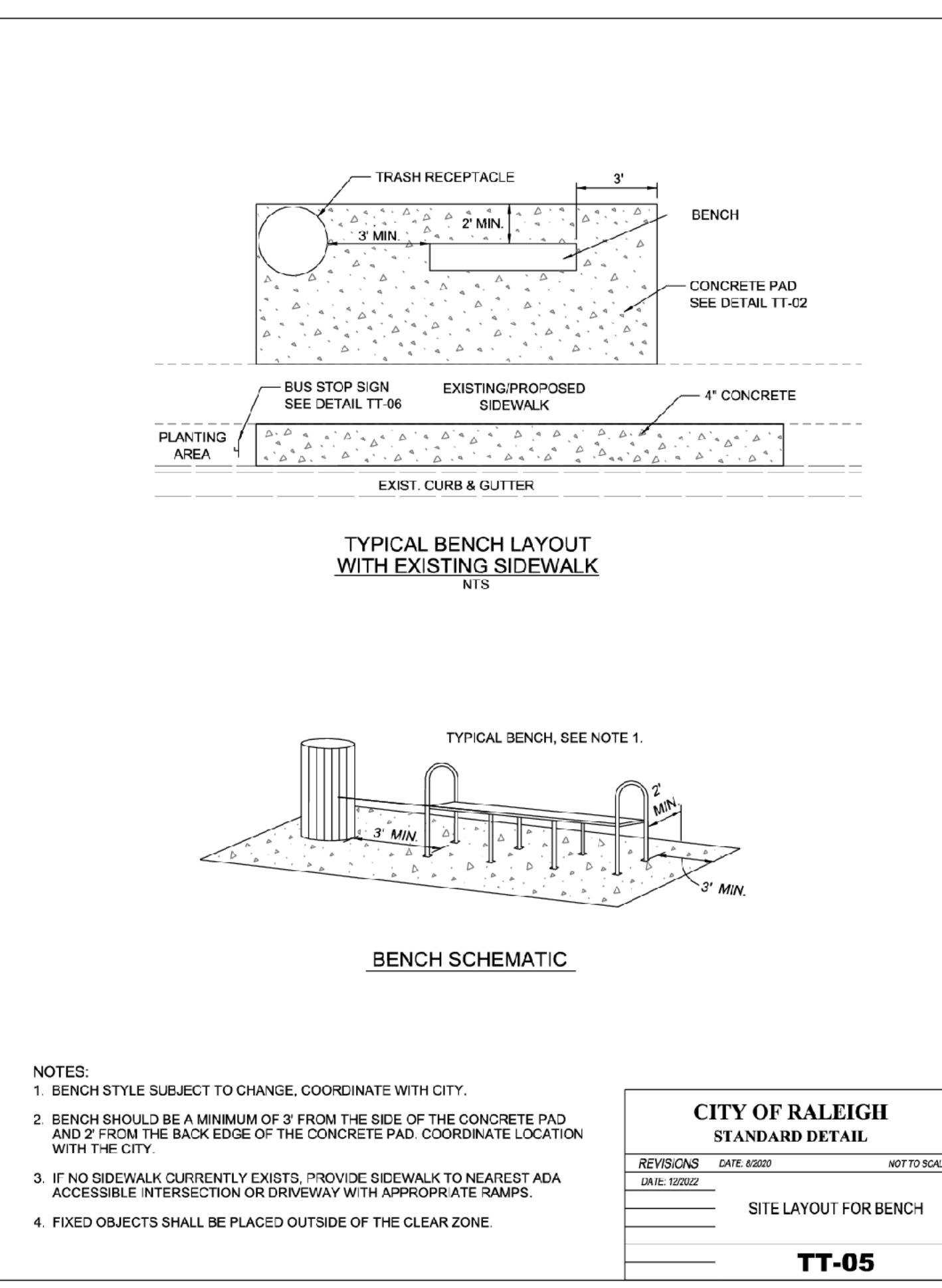
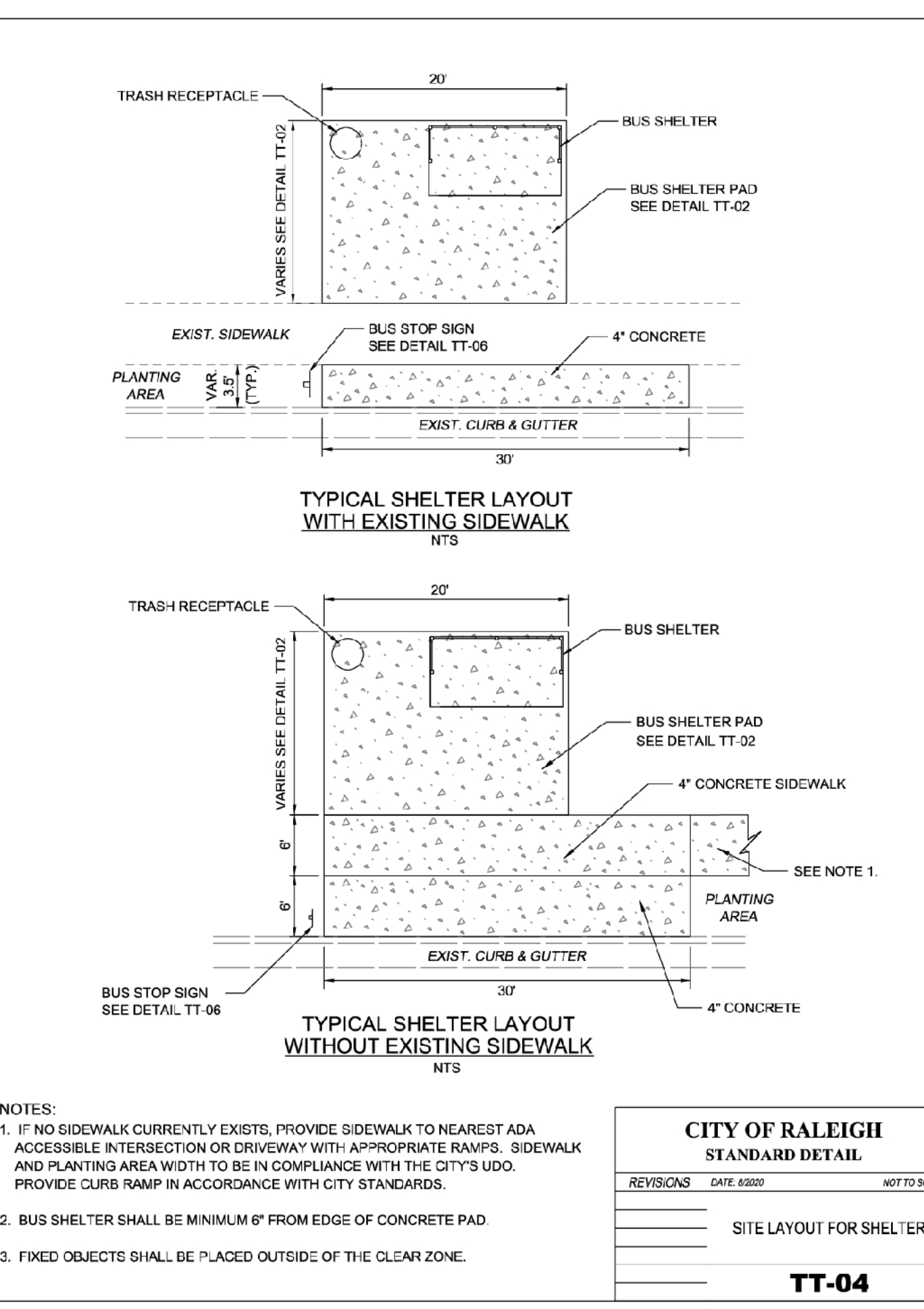
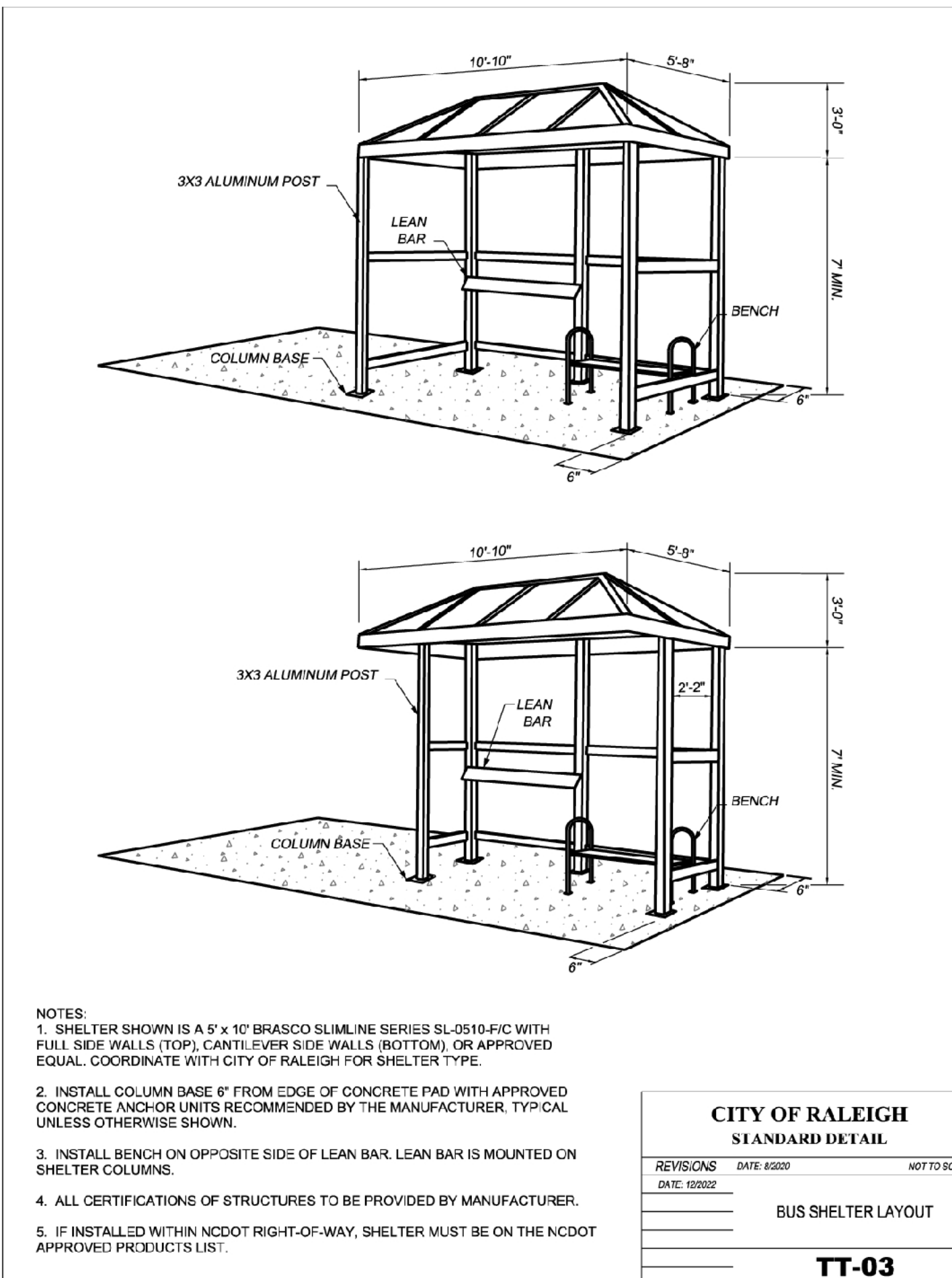
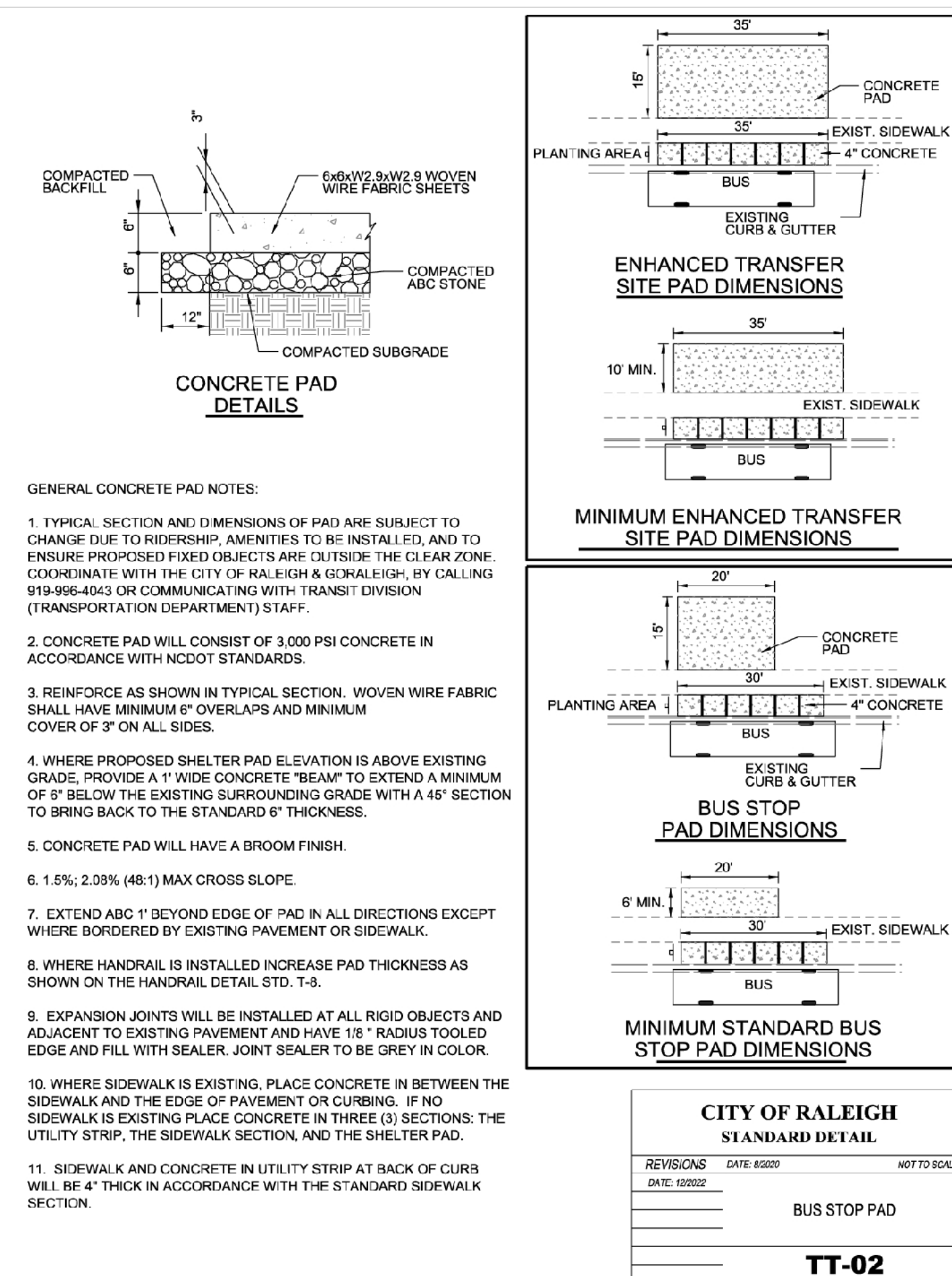
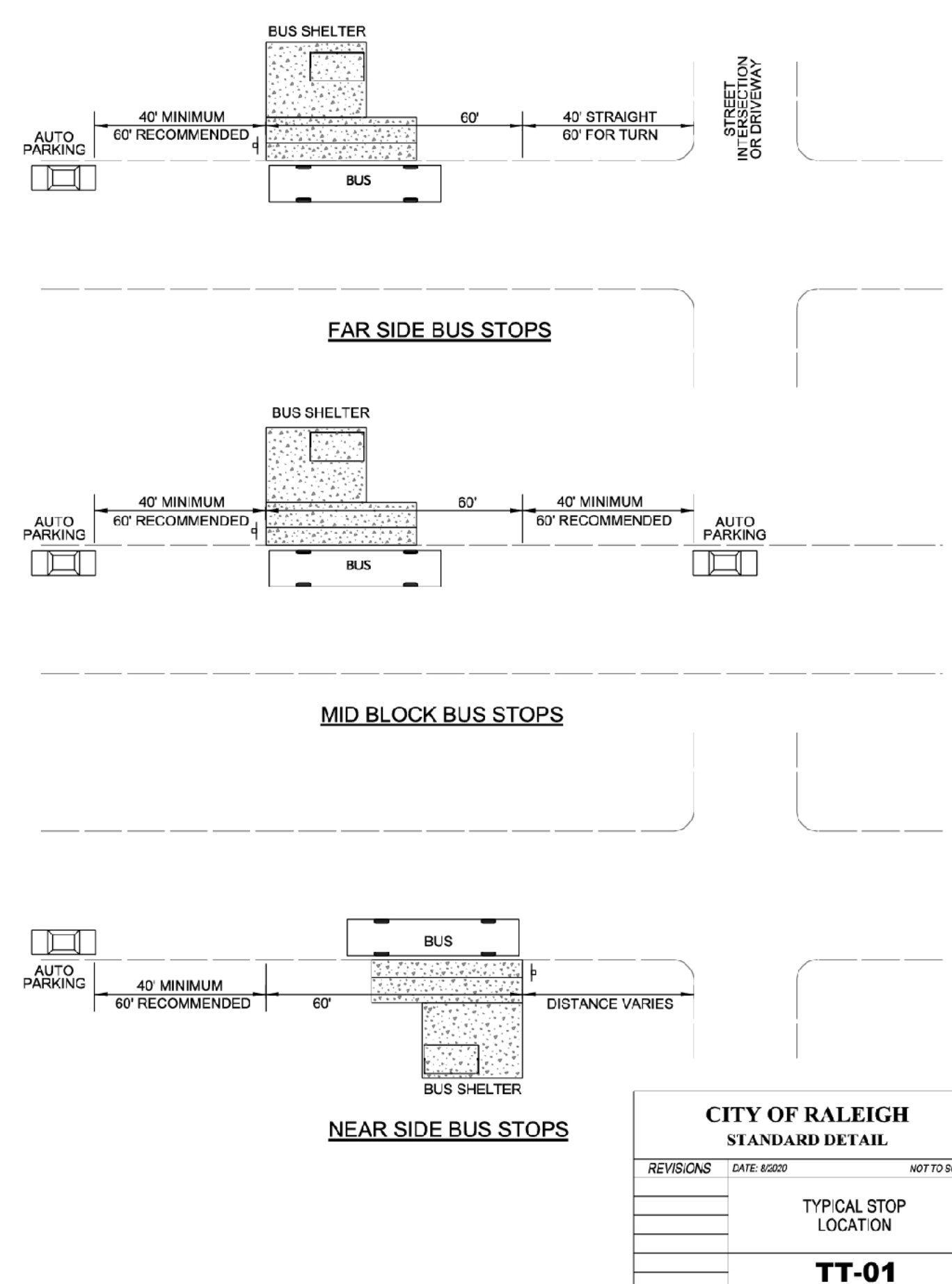
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY



REVISIONS

NO.	DESCRIPTION	DATE
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NOTES & DETAILS SHEET
C7.1



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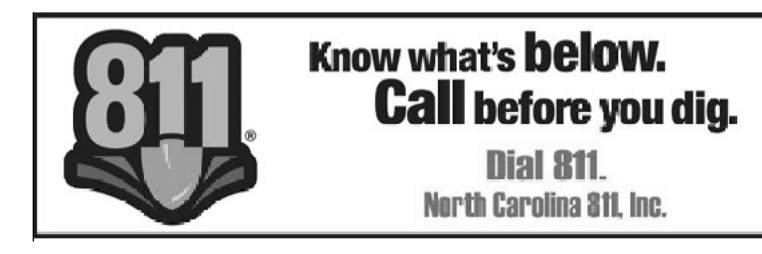
OWNER / DEVELOPER:
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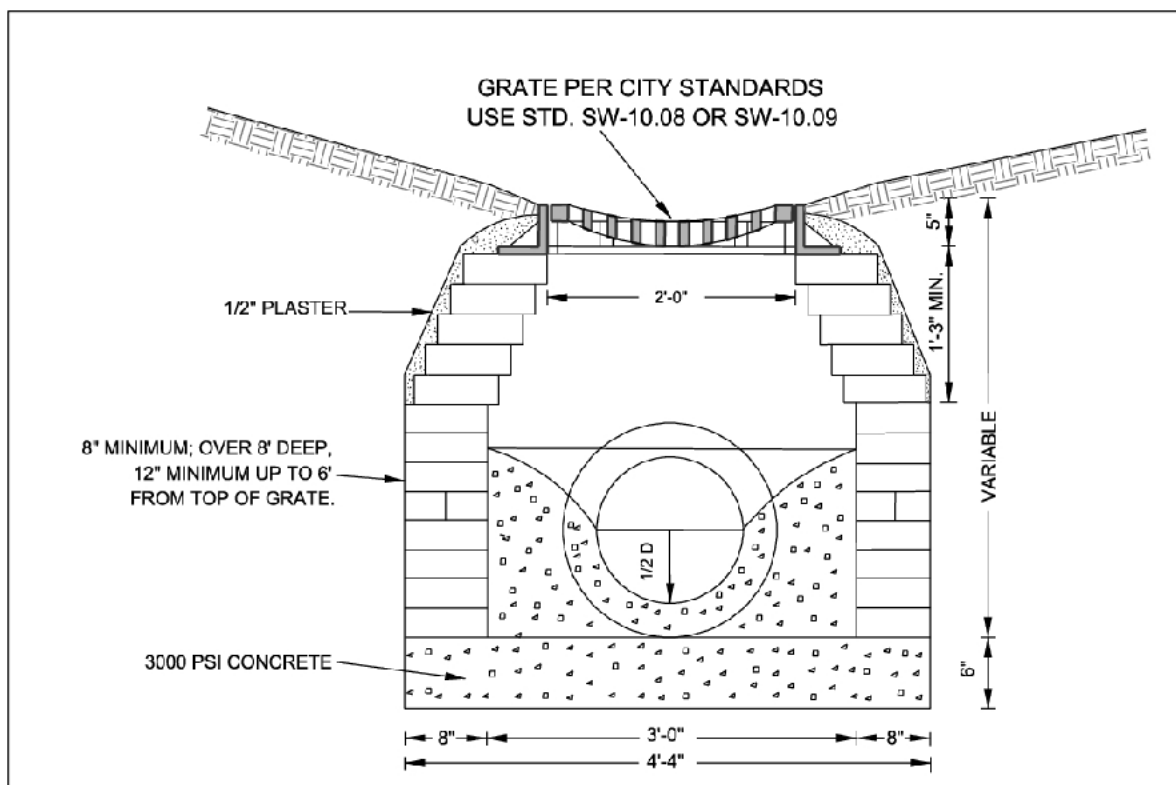
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NEW CONSTRUCTION
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RALEIGH, NC 27612
WAKE COUNTY

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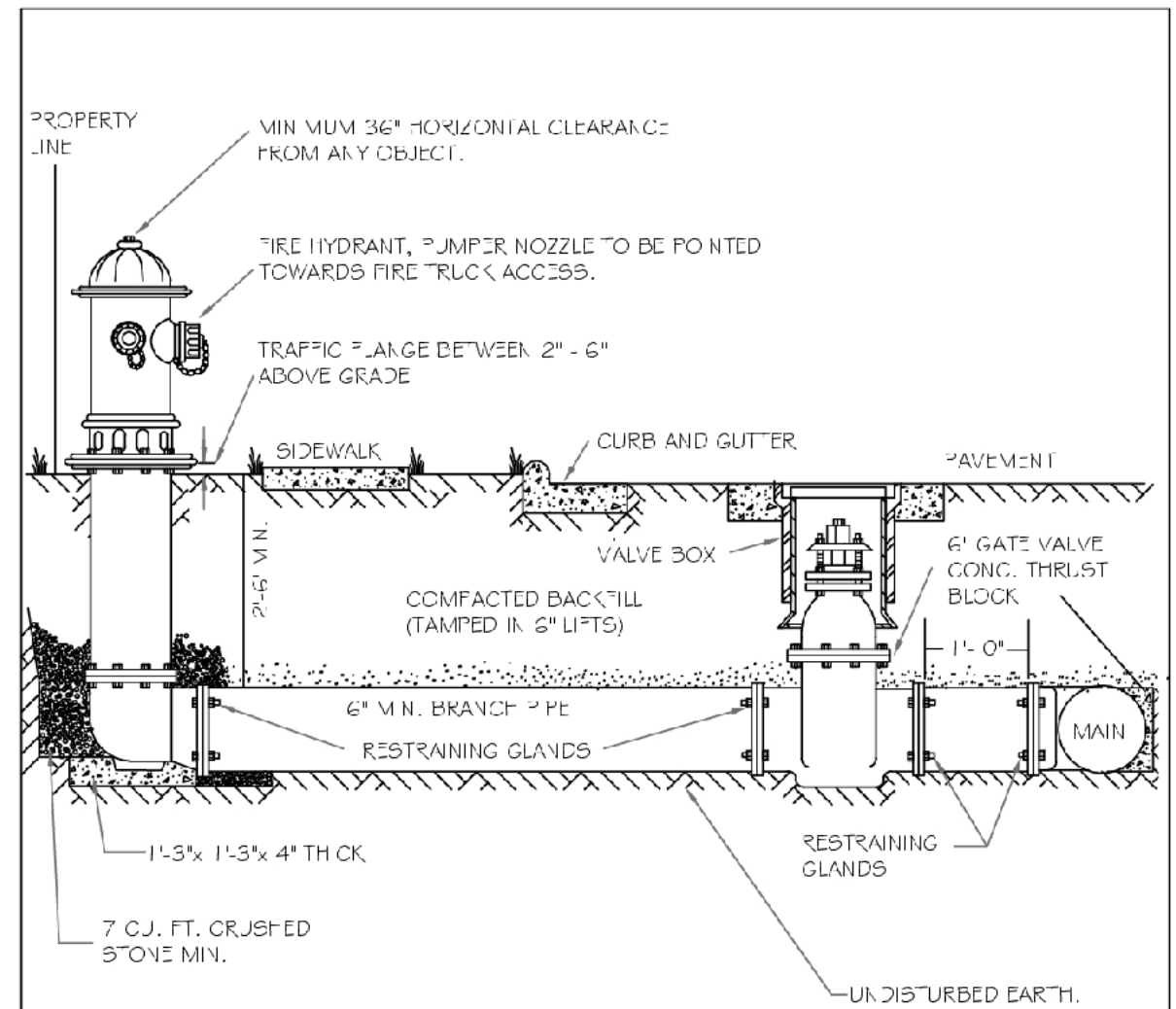


- NOTES:**
1. FOR 24" RCP & LARGER USE PIPE DIAMETER PLUS 12" FOR MINIMUM INSIDE DIMENSION
 2. 24" X 24" CASTING WITH 12", 15" & 18" PIPE, 24" X 30" CASTING USED WITH 24" PIPE OR LARGER. IF PLACED WITHIN PUBLIC ROW CASTING MUST BE TRAFFIC BEARING TYPE PER NCDOT STANDARDS.
 3. USE 4" X 4" OR 4" X 8" X 16" SOLID CONCRETE BLOCK, CAST IN PLACE OR PRECAST CONCRETE TO MEET NCDOT STANDARDS ACCEPTABLE.
 4. STEPS SHALL BE INSTALLED IN ALL DROP INLETS OVER 2' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE DROP INLET.

**CITY OF RALEIGH
STANDARD DETAIL**

STANDARD
DROP INLET

SW-10.03

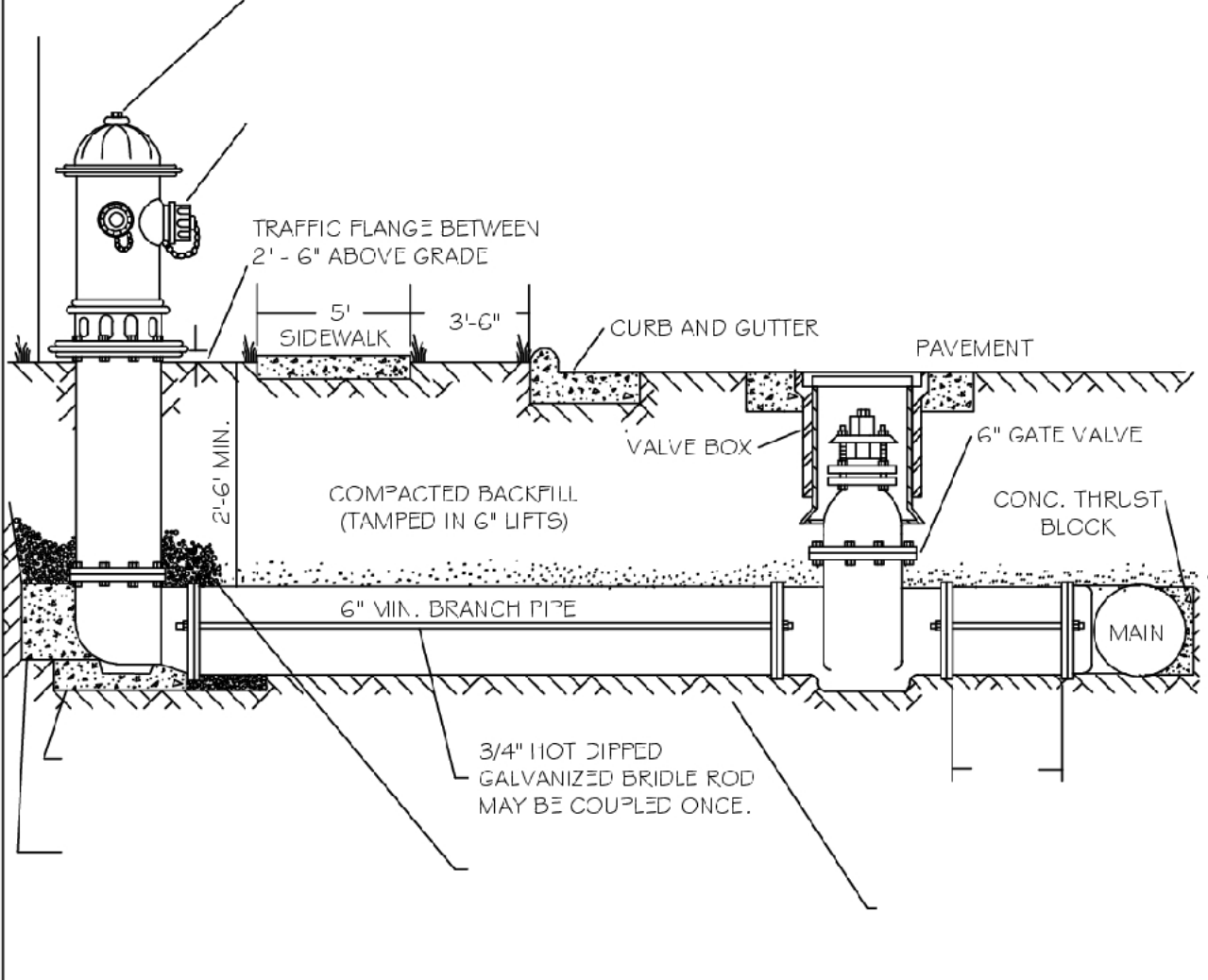


- NOTES:**
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MPH, WATERLOUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
 2. BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150-96
 3. GATE VALVE SHALL BE AWWA C500-06 OPEN LEFT
 4. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED
 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION. RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REDAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.

**CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES**

STANDARD FIRE HYDRANT
INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	J.P.S	8-7-09



- NOTES:**
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MPH, WATERLOUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
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**CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES**

STANDARD FIRE HYDRANT
INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4a	ABB	4-6-04		

STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - a) A distance of 100" shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well;
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10". If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter;
 - c) Where it is impossible to obtain proper separation, or any time a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications;
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer;
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49);
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & business throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 2" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

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608.385.3420

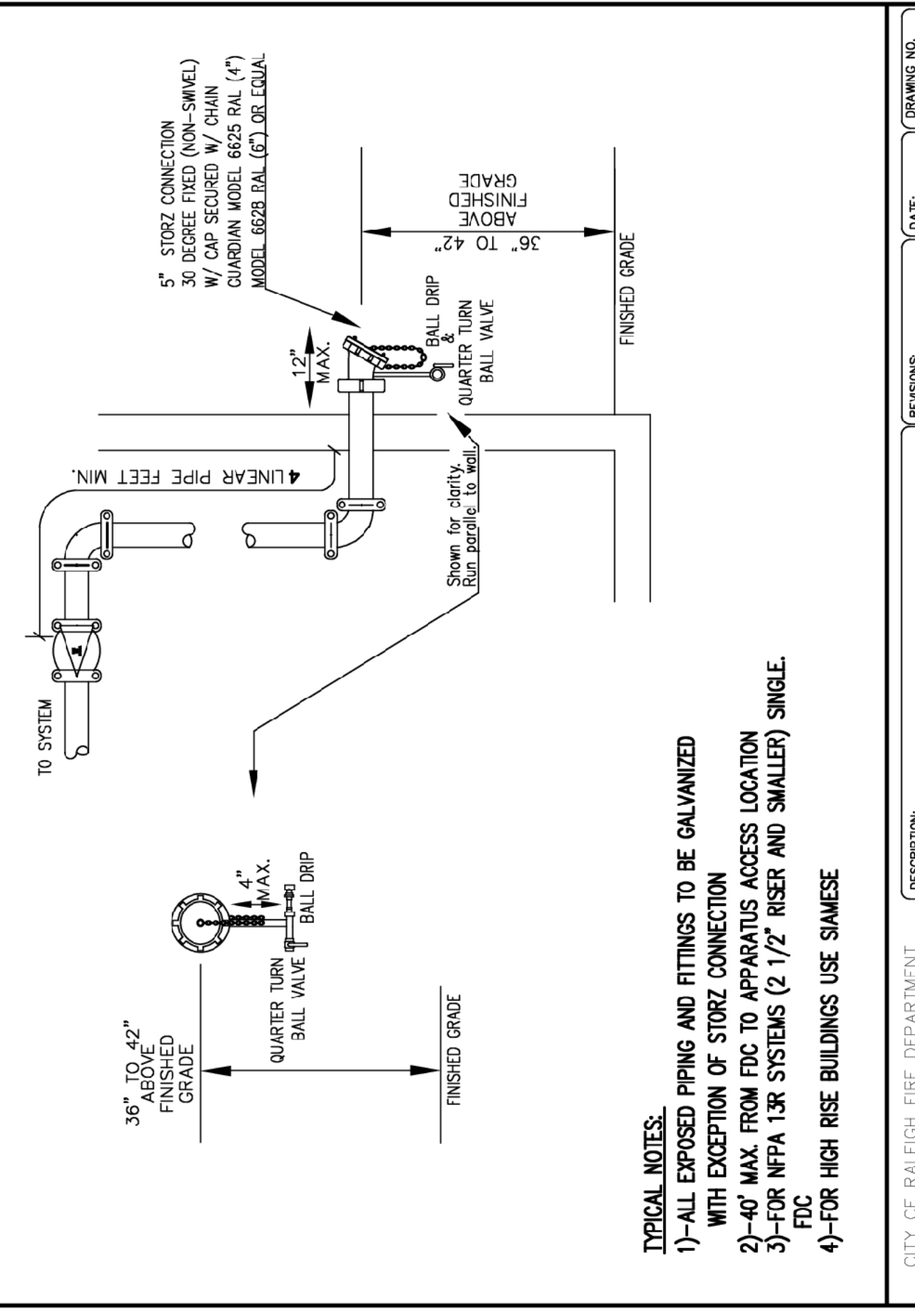
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GLENWOOD APARTMENTS
NEW CONSTRUCTION
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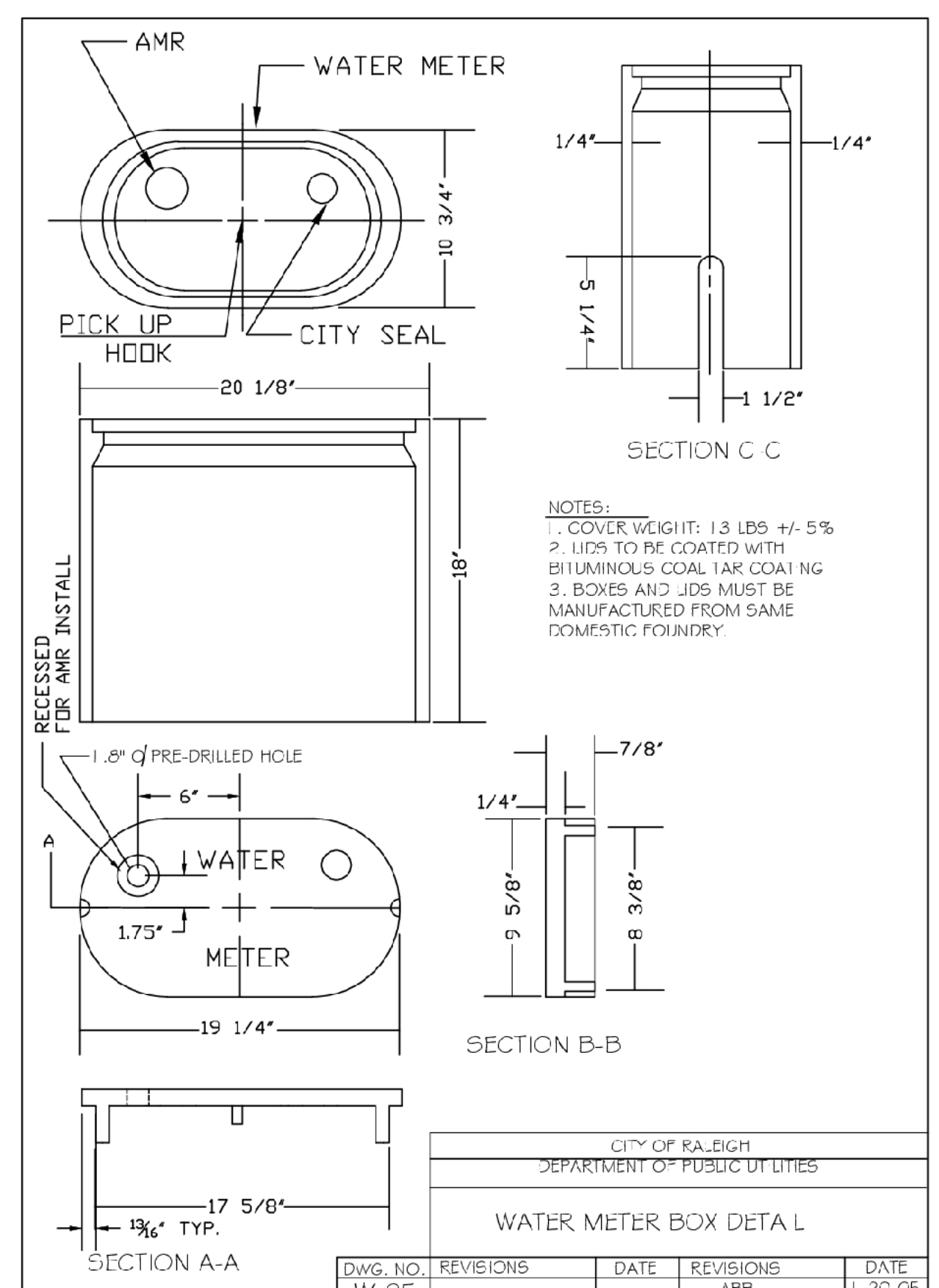
- TYPICAL NOTES:**
- 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED
 - 2)-40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
 - 3)-FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
 - 4)-FOR HIGH RISE BUILDINGS USE SIMWISE

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES
310 WEST MARTIN ST., RALEIGH, NC 27602

DESCRIPTION: FLUSH FDC DETAIL REQUIREMENTS

DATE: 5/17/2017

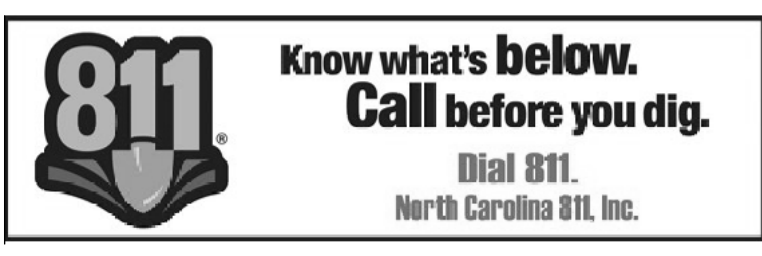
DRAWING NO.: FP-14



**CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES**

WATER METER BOX DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	R.K.V.	8-20-13	J.P.S	1-4-10

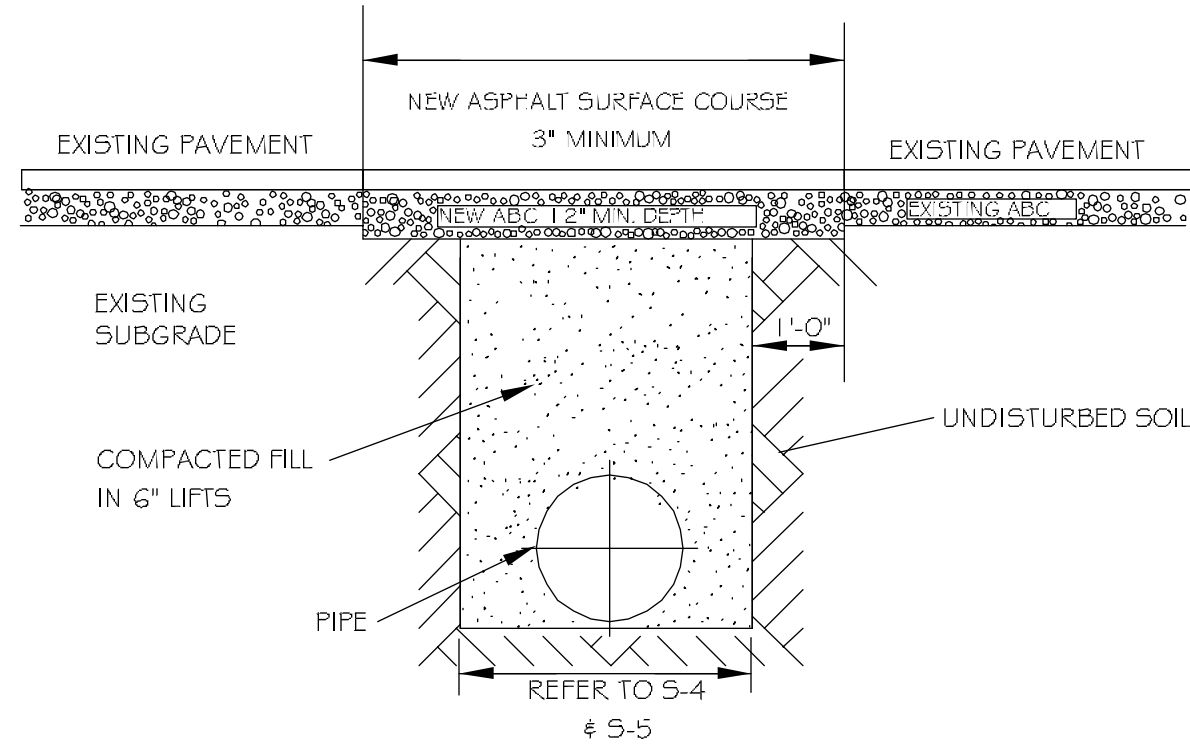


MULTI-FAMILY CONSTRUCTION

REVIEW NO.:
DEC PROJECT NO.: 231201RBS
PROJECT DATE: DECEMBER 2022
DESIGN DRAINING SOC

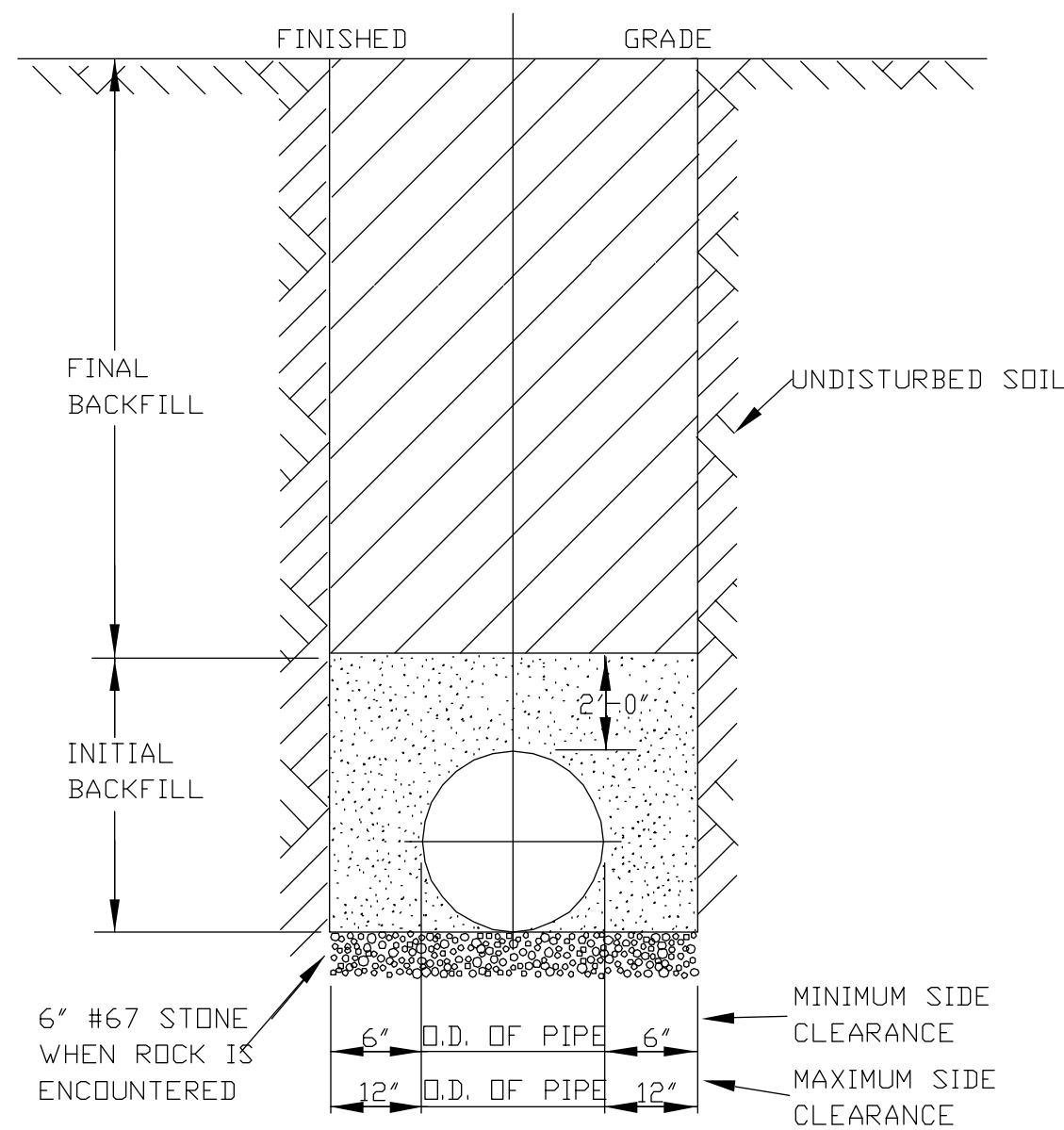
NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

NOTES & DETAILS SHEET
C7.3



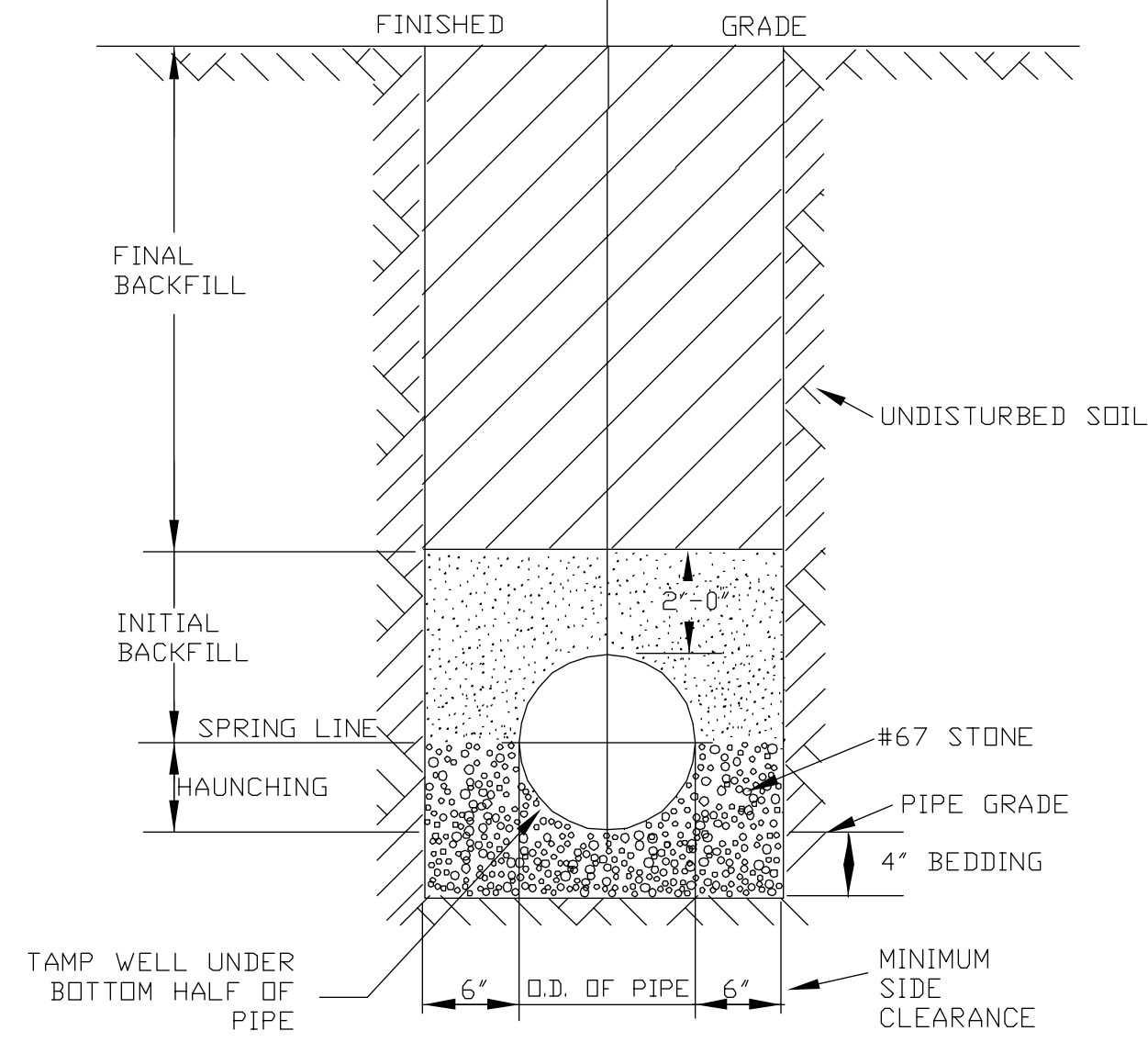
- NOTES:
1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 4. THE FINAL 1\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	10-8-10



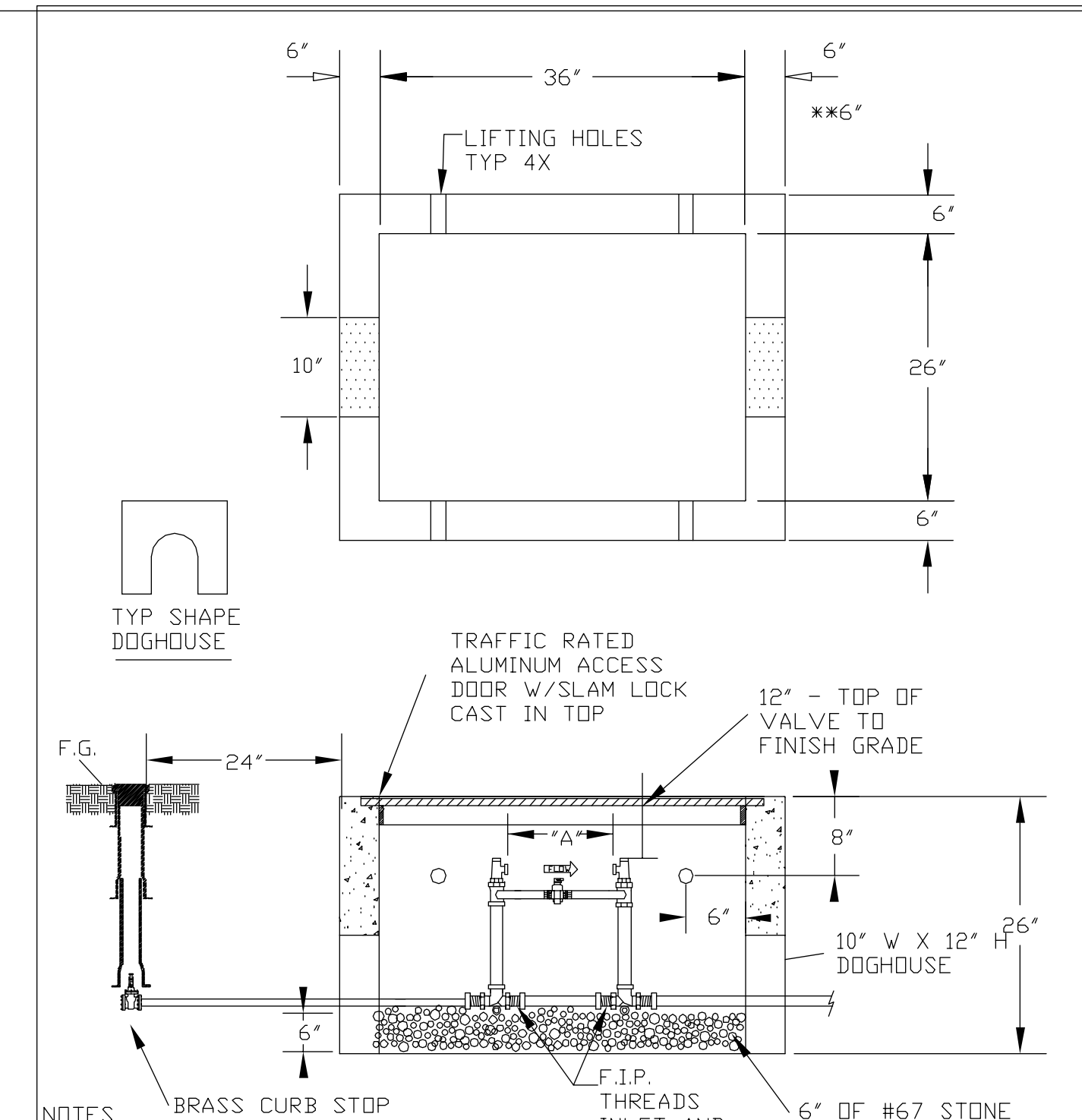
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	D.W.C.	9-3-99		
	RRH	3-30-00		



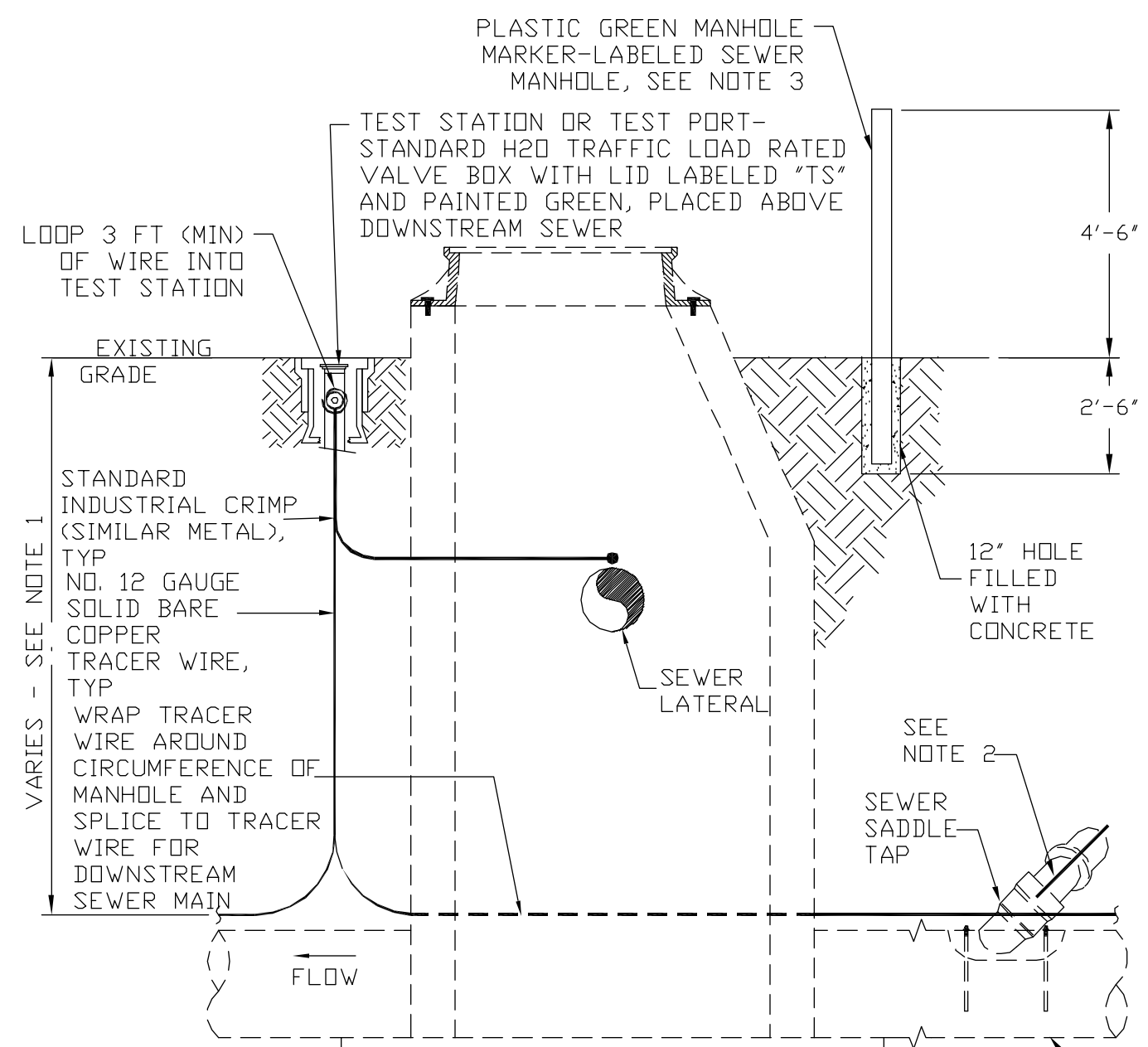
- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	D.W.C.	3-1-87		
	RRH	7-2-82		
	D.W.C.	9-3-99		
	RRH	8-30-00		



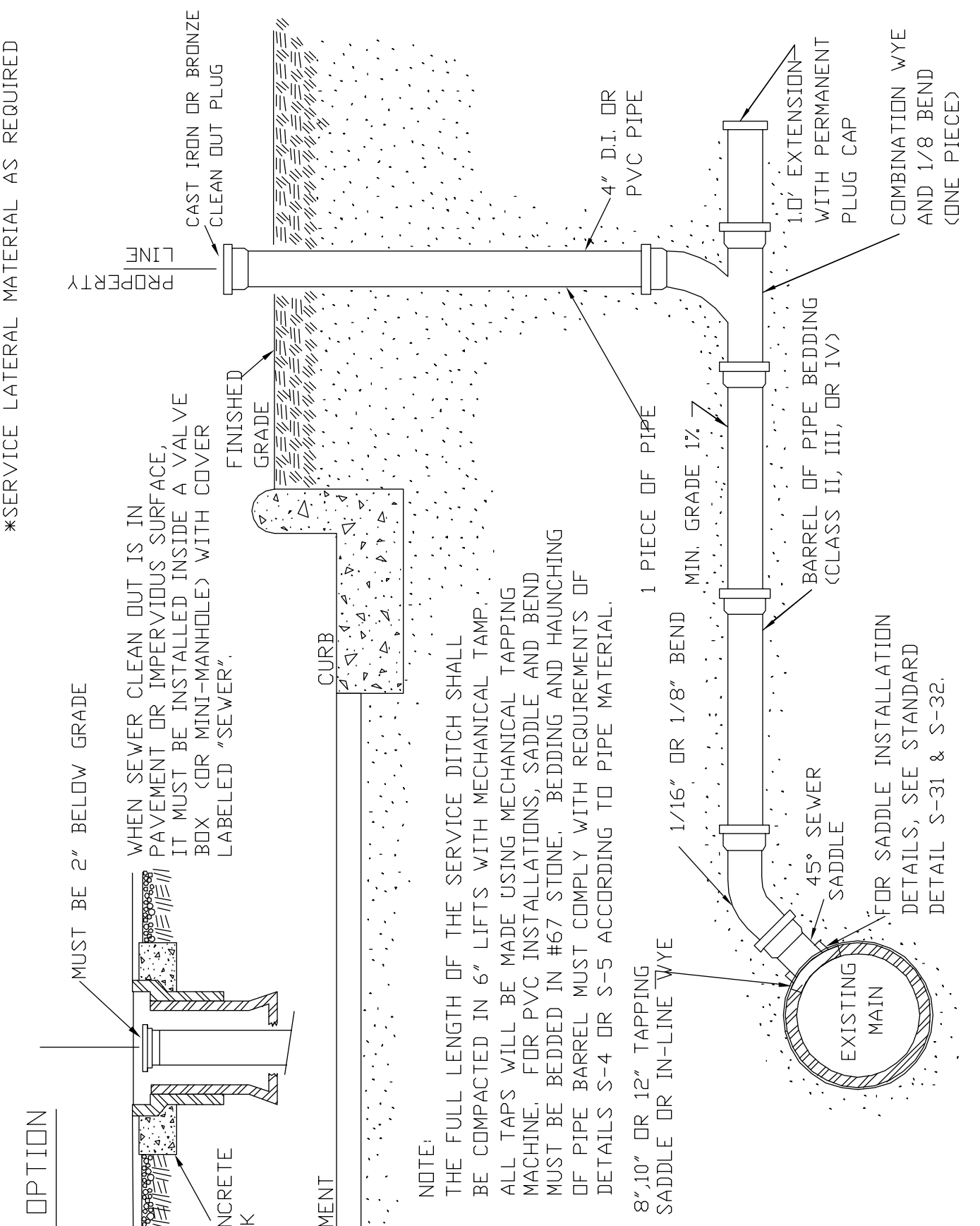
- NOTES:
1. METER AS MANUFACTURED BY SENSUS OR NEPTUNE.
 2. BACKFILL TAMPED IN 6\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL 1 1/2\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-31	A.B.B.	8-17-04	J.P.S.	11-4-10
	D.H.L.	6-18-08		

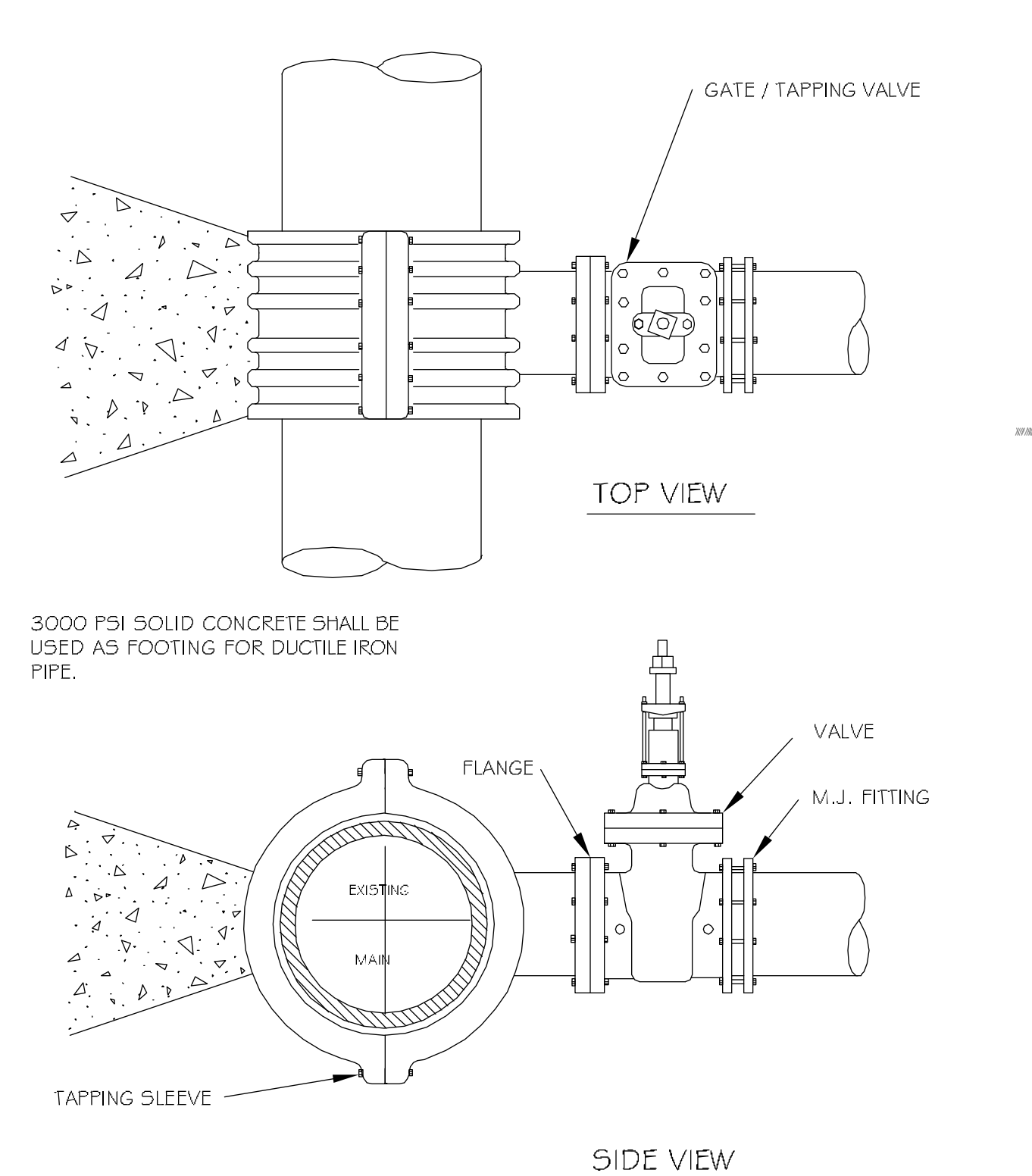


- NOTES:
1. THE TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. FOR GRAVITY MAIN AND OR LATERAL INSTALLATIONS LESS THAN 8 FT, THE TRACING WIRE SHALL BE ATTACHED TO THE PIPE. TRACER WIRE SHALL BE LAID FLAT AND SECURELY AFFIXED TO THE PIPE AT 10 FOOT INTERVALS. FOR GRAVITY MAIN AND OR LATERAL INSTALLATION DEEPER THAN 8 FT, THE TRACING WIRE SHALL BE INSTALLED AT A DEPTH OF 7-8 FT. THE WIRE SHALL BE PROTECTED FROM DAMAGE DURING THE EXECUTION OF THE WORK. NO BREAKS OR CUTS IN THE TRACER WIRE SHALL BE PERMITTED.
 2. WHERE LATERAL TAPS ARE MADE BY SERVICE SADDLES, THE TRACER WIRE SHALL NOT BE ALLOWED TO BE PLACED BETWEEN THE SADDLE AND MAIN.
 3. MANHOLE MARKERS SHALL BE PLACED ADJACENT TO MANHOLES AT THE DISCRETION OF OWNER OR OWNER'S REPRESENTATIVE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20A	VKD	09-14		

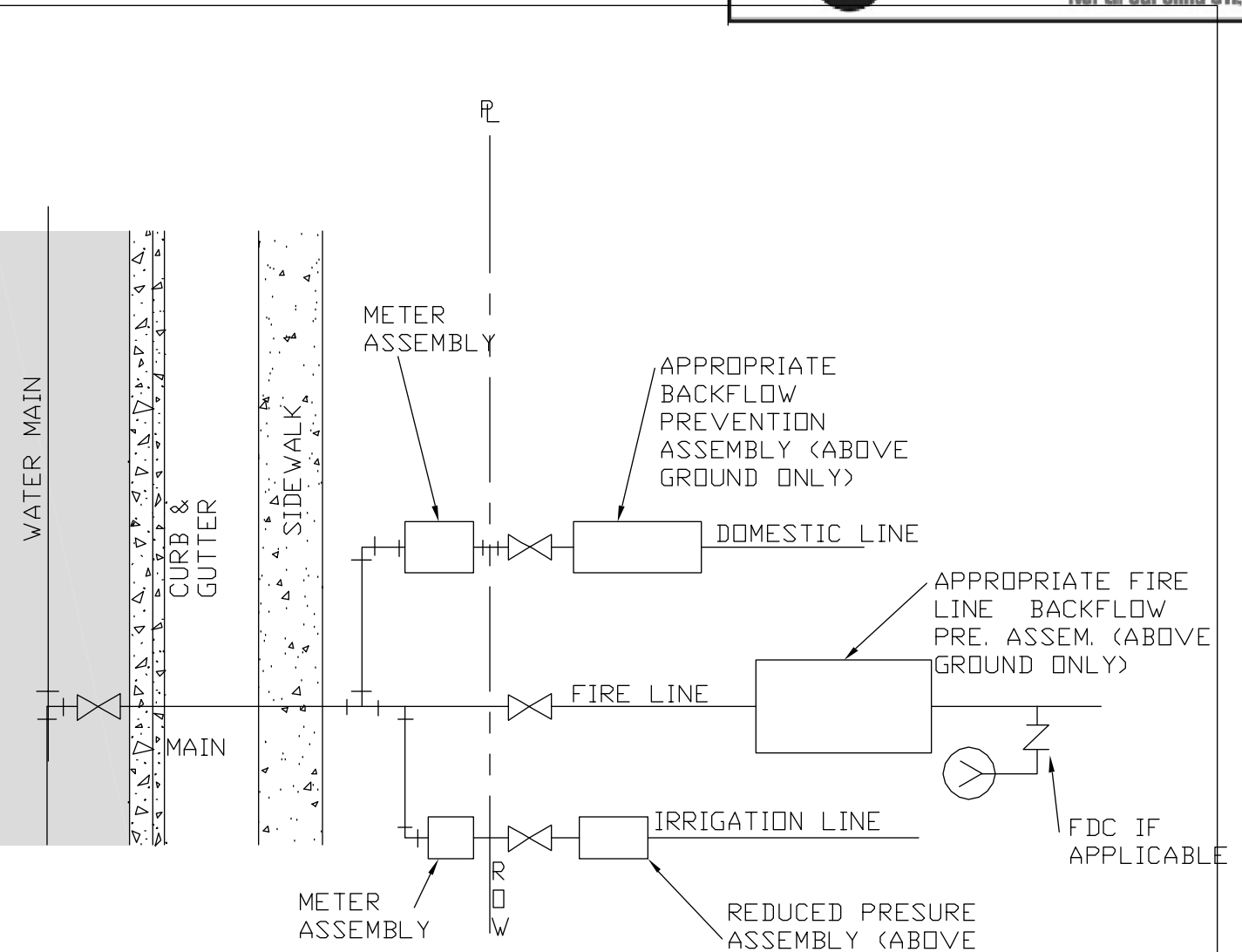


CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-92	A.B.B.	4-8-04
	RRH	3-30-00	D.H.L.	6-18-08



- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
 2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-14	Y.C.A.	2-31-91	RRH	3-31-00
	D.W.C.	9-7-99	J.P.S.	11-1-10



- NOTES:
1. SERVICE TAPS FOR 2\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
FIRE, DOMESTIC & IRRIGATION OPTIONS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-34	D.W.C.	11-18-99	A.B.B.	7-10-04
	RRH	3-31-00	D.H.L.	6/18/08

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JDS CONSULTING
info@jdsconsulting.net
919.460.1075

GLENWOOD APARTMENTS

NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

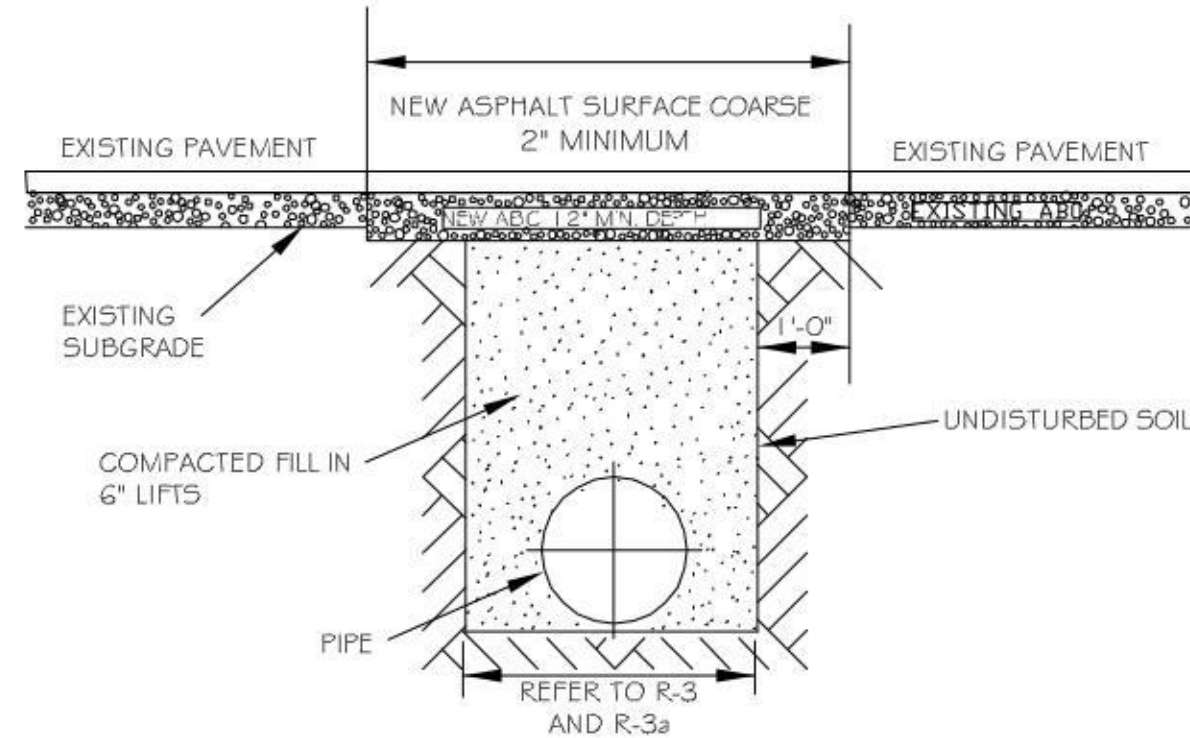


MULTI-FAMILY CONSTRUCTION

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

NOTES & DETAILS SHEET

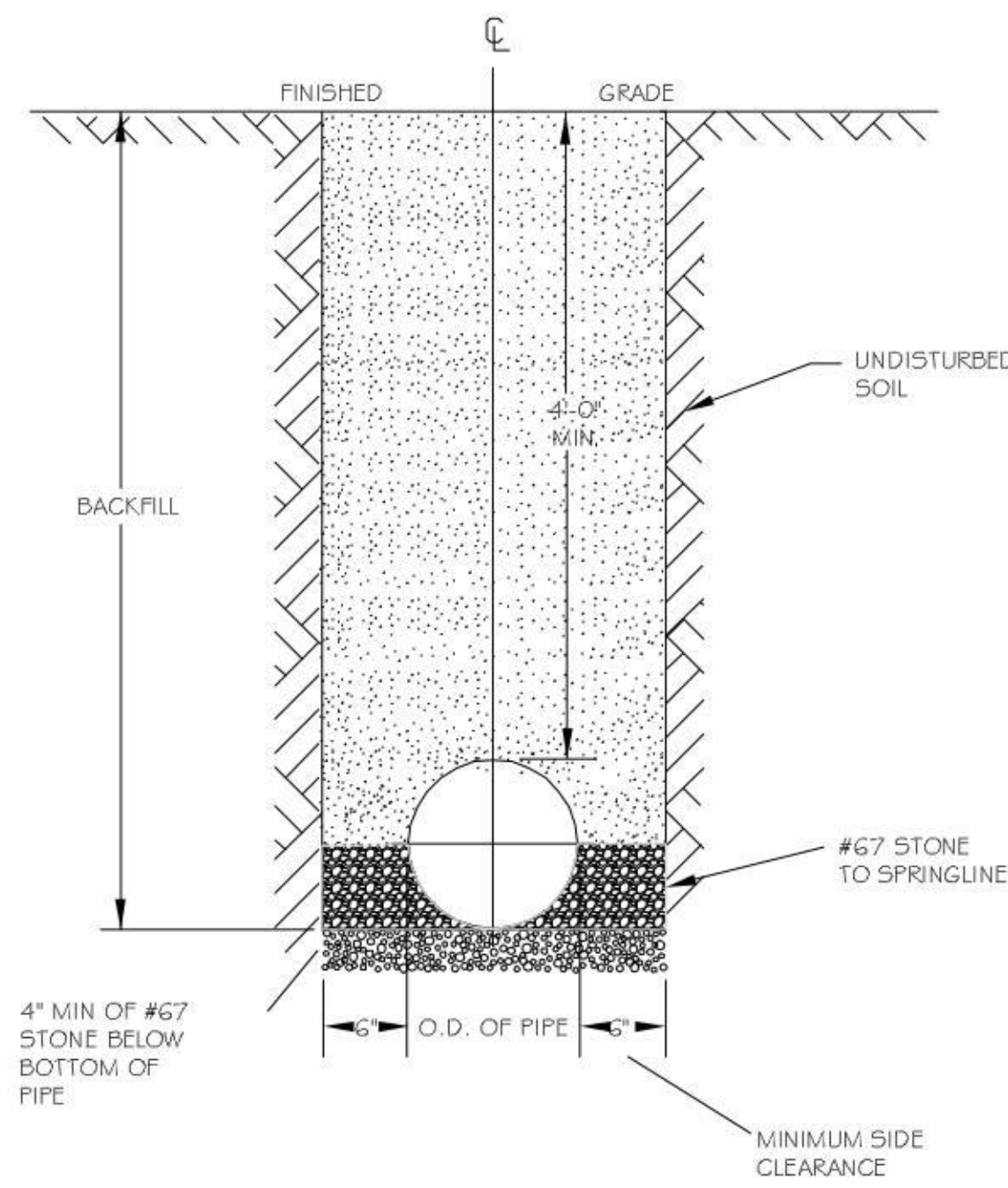
C7.4



NOTES:

1. THE PAVEMENT CUT SHALL BE DEFINED BY A 5/8" RADIUS EDGE AND CUT WITH AN APPROVED SAW CUT MACHINE.
2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDDOT.
3. THE FINAL 1" OF THE SUBGRADE SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDDOT.
4. THE ENTIRE THICKNESS/VERTICAL EDGE OF CUT SHALL BE TACKED.
5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXIST SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND TRENCHES AND REPAIRS, R-3 AND R-3a, FOR ADDITIONAL DETAILS.
8. NO HAND PATCHING ALLOWED.
9. PAVEMENT CUTS WITHING NCDDOT ROW SHALL CONFORM TO THE APPROVED ON-SITE ENCROACHMENT PERMIT.

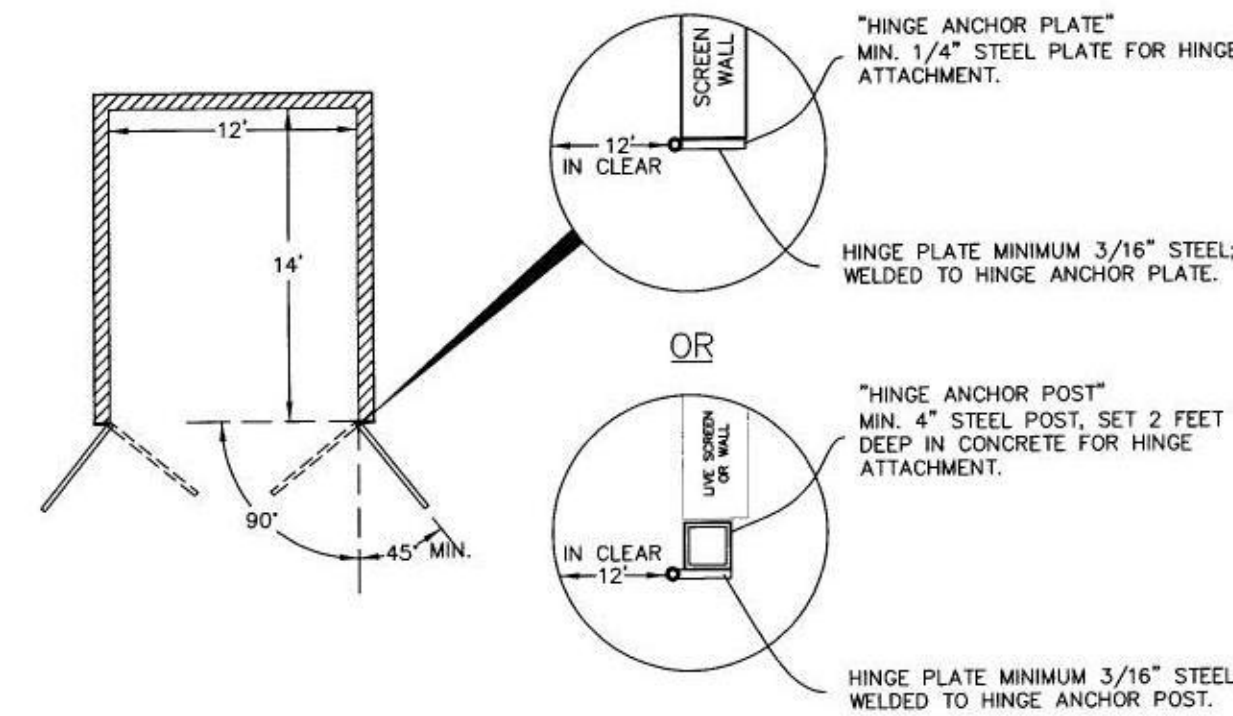
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
R-2	RRH	9-31-00	A.L.B.	4-16-04
	DWC	11-1-99	J.P.S.	10-1-10



NOTES:

1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
5. ACHIEVE 95% COMPACTION IN BACKFILL.

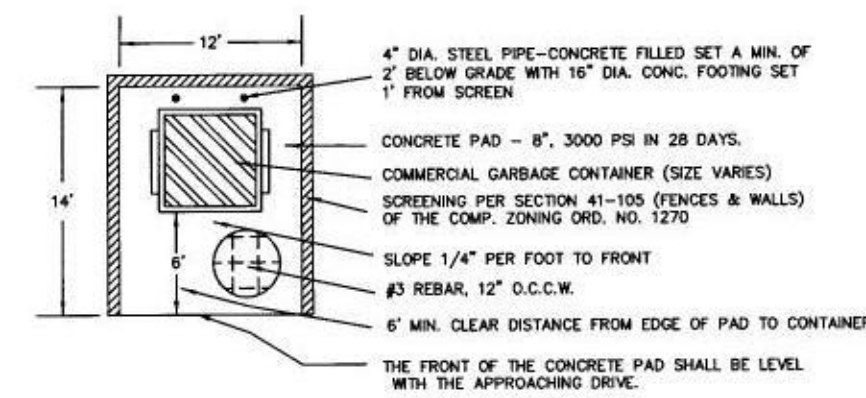
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR PVC REUSE MAINS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
R-3a	D.W.G.	9-3-99	ABB	2-15-05
	RRH	3-31-00	J.P.S.	10-1-10



ALL GATES SHALL BE CONSTRUCTED IN MANNER TO INSURE THAT GATE CAN SUPPORT ITS OWN WEIGHT, IN A FREE SWINGING POSITION. METAL DOORS SHALL BE PRIMED AND PAINTED.

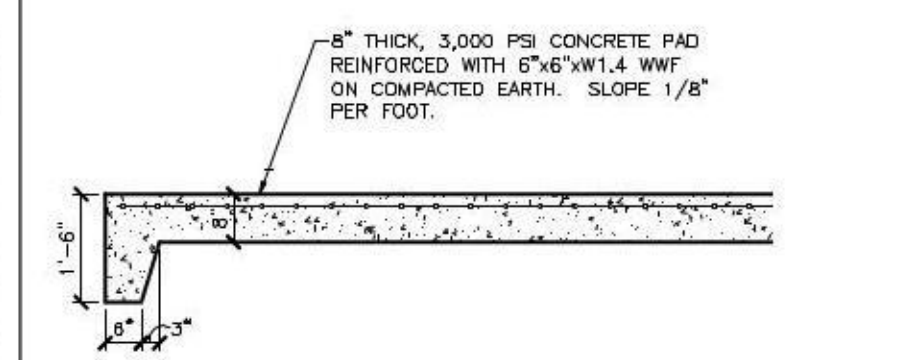
ALL GATES SHALL HAVE CROSS MEMBER FOR BRACING.

GATE STOPS MUST BE INSTALLED ON ALL GATES TO SECURE GATE IN OPEN OR CLOSED POSITIONS.

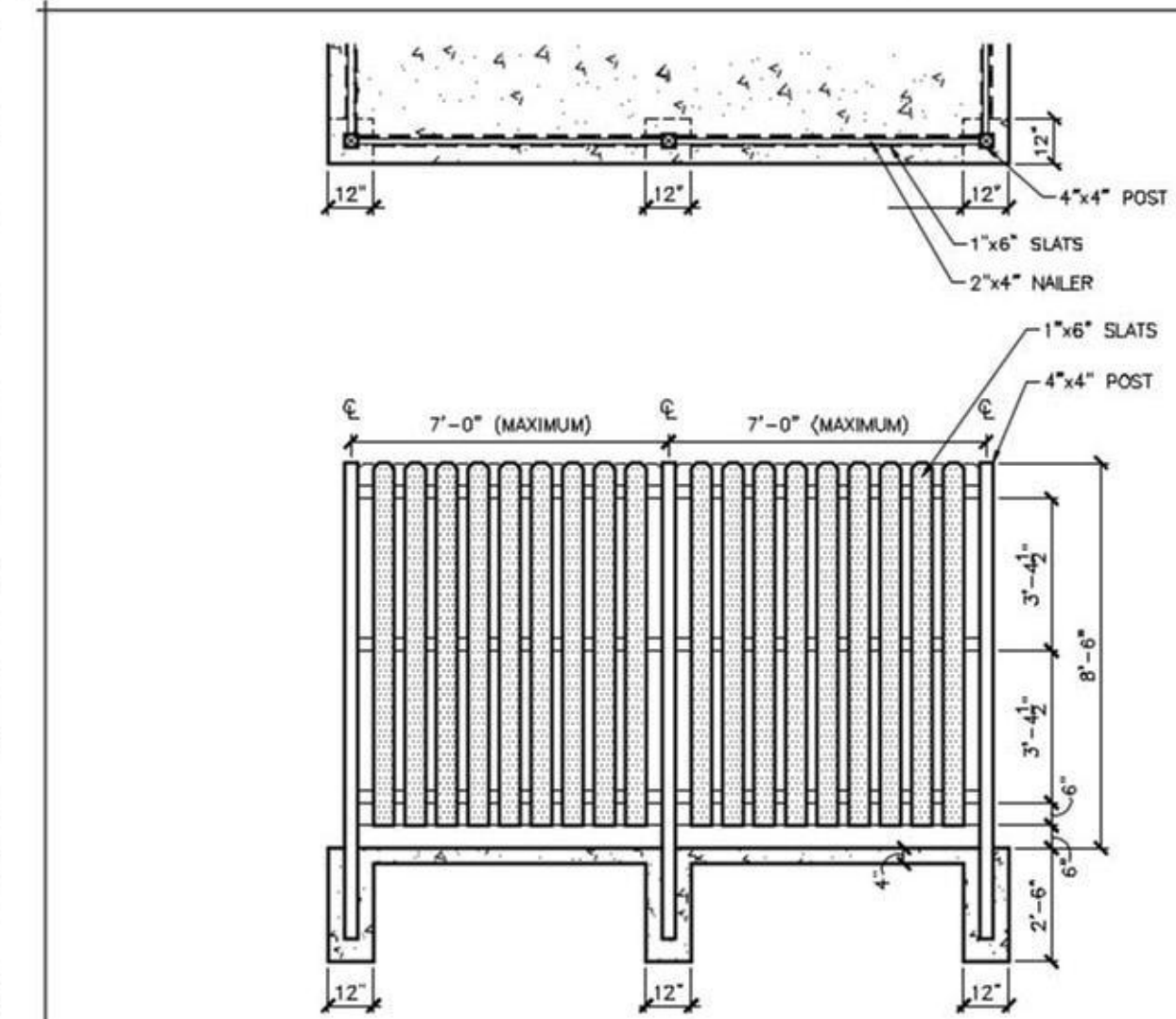


NOTE: ENCLOSURES CONTAINING MULTIPLE DUMPSTERS:
2-DUMPSTERS W/2 CENTER POST FOR GATES
21 FT. GATE OPENING X 14 FT. DEEP
2 OR MORE DUMPSTERS-12 FT. IN CLEAR GATE OPENING W/ CENTER POST X 14 FT. DEEP

DUMPSTER ENCLOSURE DETAIL



DUMPSTER PAD - SECTION A



ELEVATION OF SCREEN ENCLOSURE

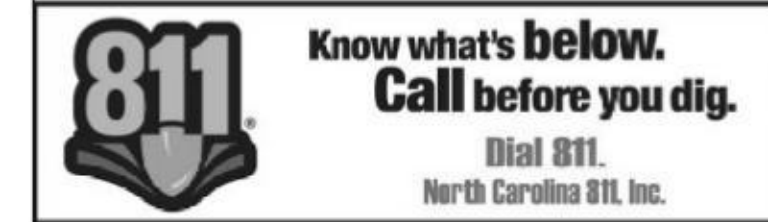
OWNER / DEVELOPER:
SMITHERS EQUITY GROUP, LLC
christaxx@gmail.com
608.385.3420

ARCHITECT:
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david@payettedesigns.com
919.615.1247

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info@jdsconsulting.net
919.460.1075



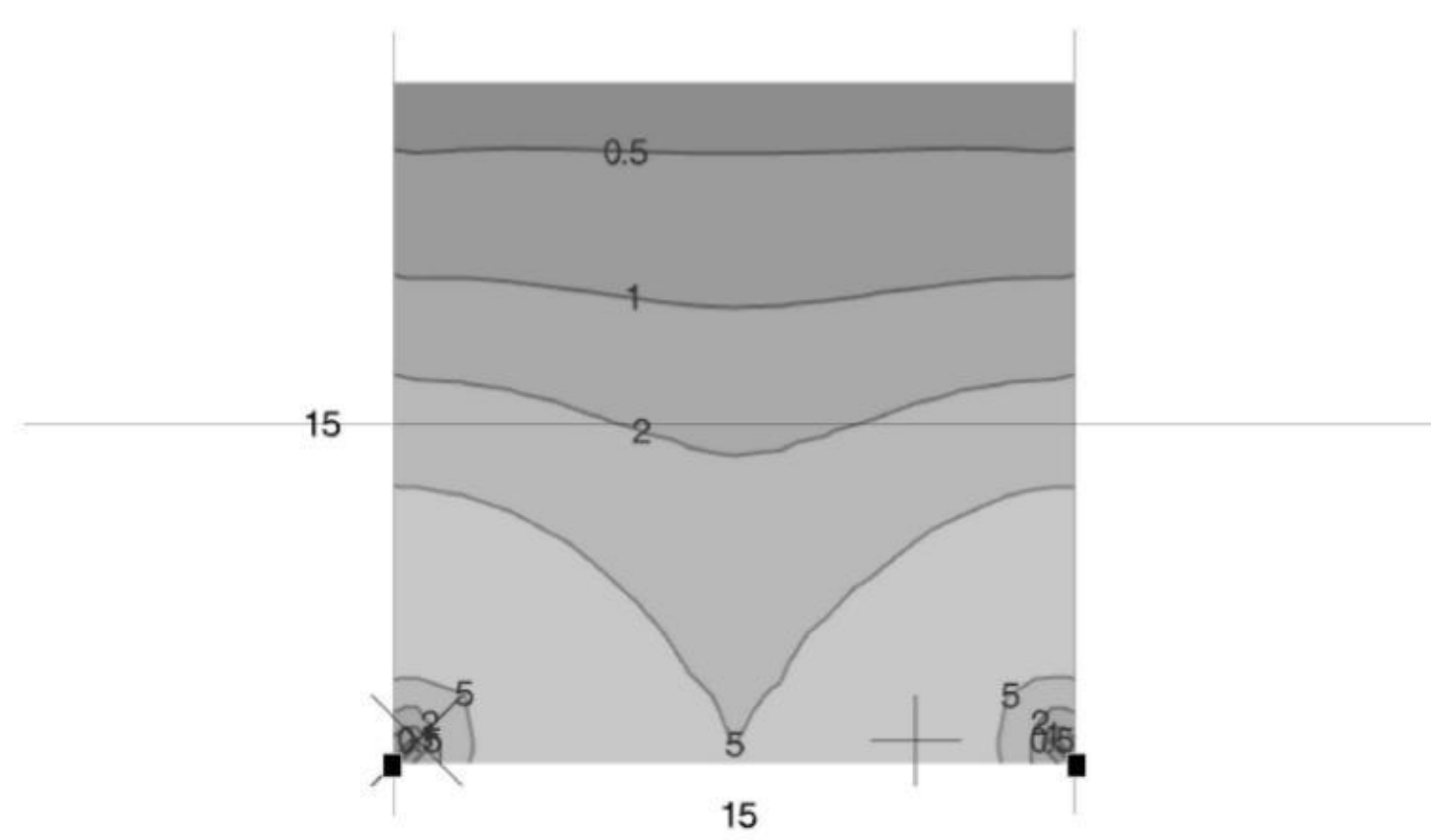
e-conolight 2023-Dec-03 Page 1/1

C-BD-A-BPSQ-S3L-SCCT-UL-BZ_14W_3000K.IES

Best Lighting Products Inc.
BOL-S3L-LKFS
Single (Poletop, Yolk, Bollard)

Luminaire Watts: 13 W
Ballast/Driver Factor: 1.00
Light Loss Factor: 1.00
Total Proration Factor: 1.00
Luminaire Lumens: 1702 lms

15 ft 4.0 ft



Min: 0.35 fc Max/Avg: 3.1 Avg: 3.2 fc Avg/Min: 9.1 Max: 9.8 fc Max/Min: 28

e-conolight 2023-Dec-03 Page 1/1

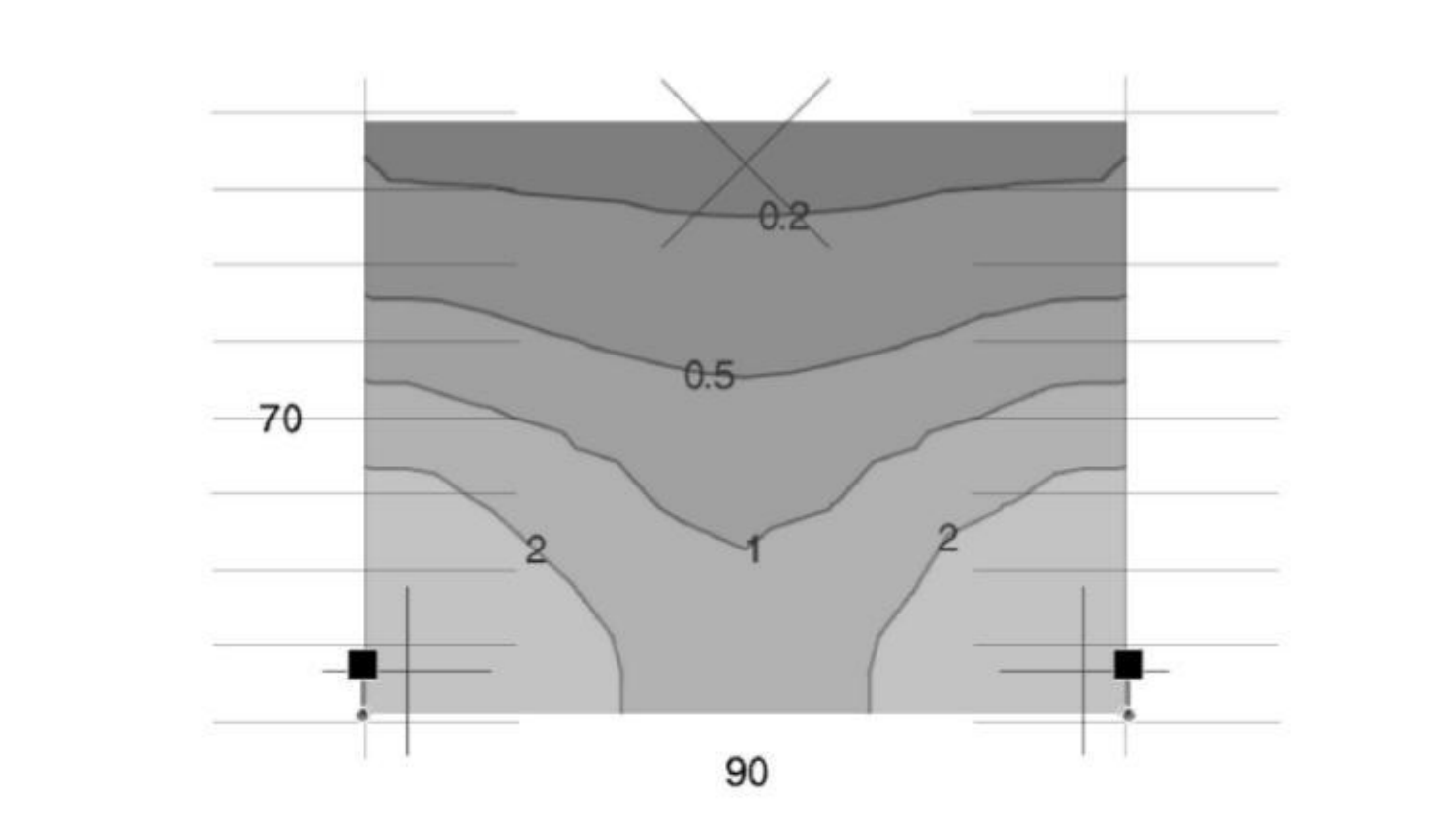
C-AR-A-SAL5-S30L-SCCT-UL_100W_3000K.ies

Cree Lighting
C-AR-A-SAL5-S30L-SCCT-UL-xx(100W-30K) CONFIGURED FROM C-AR-A-SAL5-S30L-SCCT-UL-xx (200W-40K) CONFIGURED FROM C-Lite Area Light, Type V, 30L Adjustable Lumen Package and CCT, (200W-40K)

Single (Arm)

Luminaire Watts: 100 W
Ballast/Driver Factor: 1.00
Light Loss Factor: 1.00
Total Proration Factor: 1.00
Luminaire Lumens: 15700 lms

90 ft 20 ft

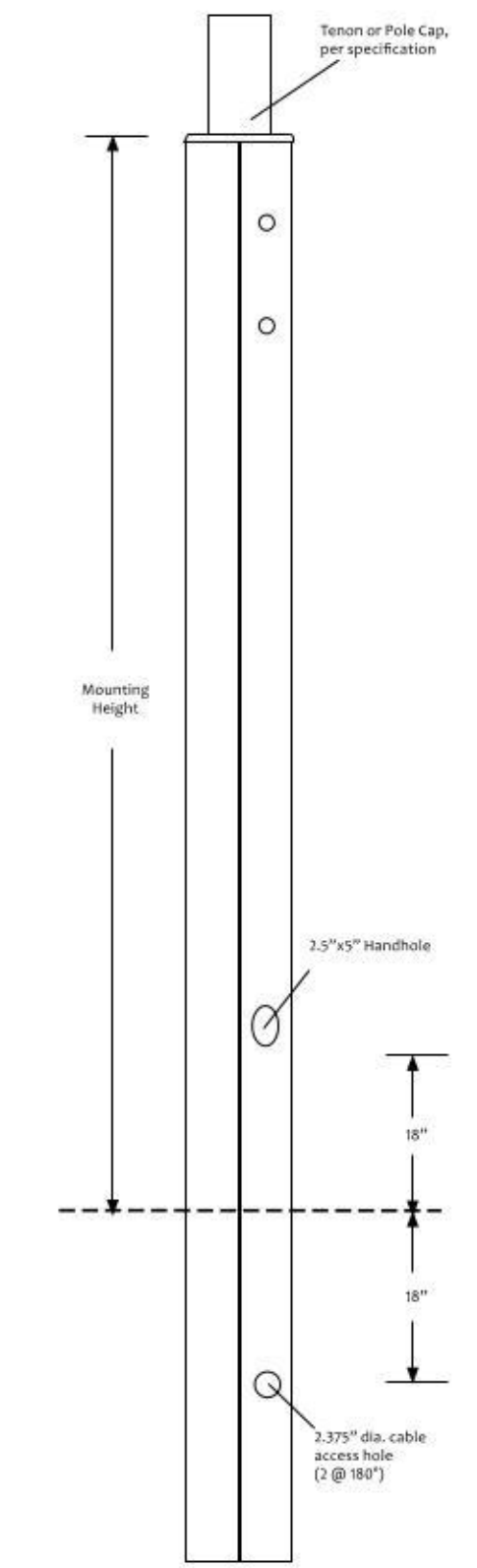


Min: 0.14 fc Max/Avg: 3.8 Avg: 1.3 fc Avg/Min: 9.0 Max: 4.8 fc Max/Min: 34

STRAIGHT SQUARE POLES : Direct Burial

CMT Catalog Number	Nominal Mounting Height (ft.)	Shaft Length (ft.)	Weight of Pole (lbs.)	Cross Section (in.)	Maximum EPA		
					80 MPH	100 MPH	120 MPH
4" x 4" Poles							
ZB10-4	10	13	37	4x4	20.0	20.0	13.8
ZB16-4	16	20	57	4x4	11.9	6.5	3.7
ZB20-4	20	24	68	4x4	8.0	4.2	1.6
5" x 5" Poles							
ZB10-5	10	13	64	5x5	61.0	38.0	25.0
ZB16-5	16	20	99	5x5	31.0	18.0	11.0
ZB20-5	20	24	119	5x5	22.0	12.0	7.5
ZB25-5	25	30	149	5x5	16.0	8.0	4.0
ZB30-5	30	35	173	5x5	8.6	2.6	...

For 140 MPH, see High Wind Speed section.



Don't see what you need? Call us. We can build it!

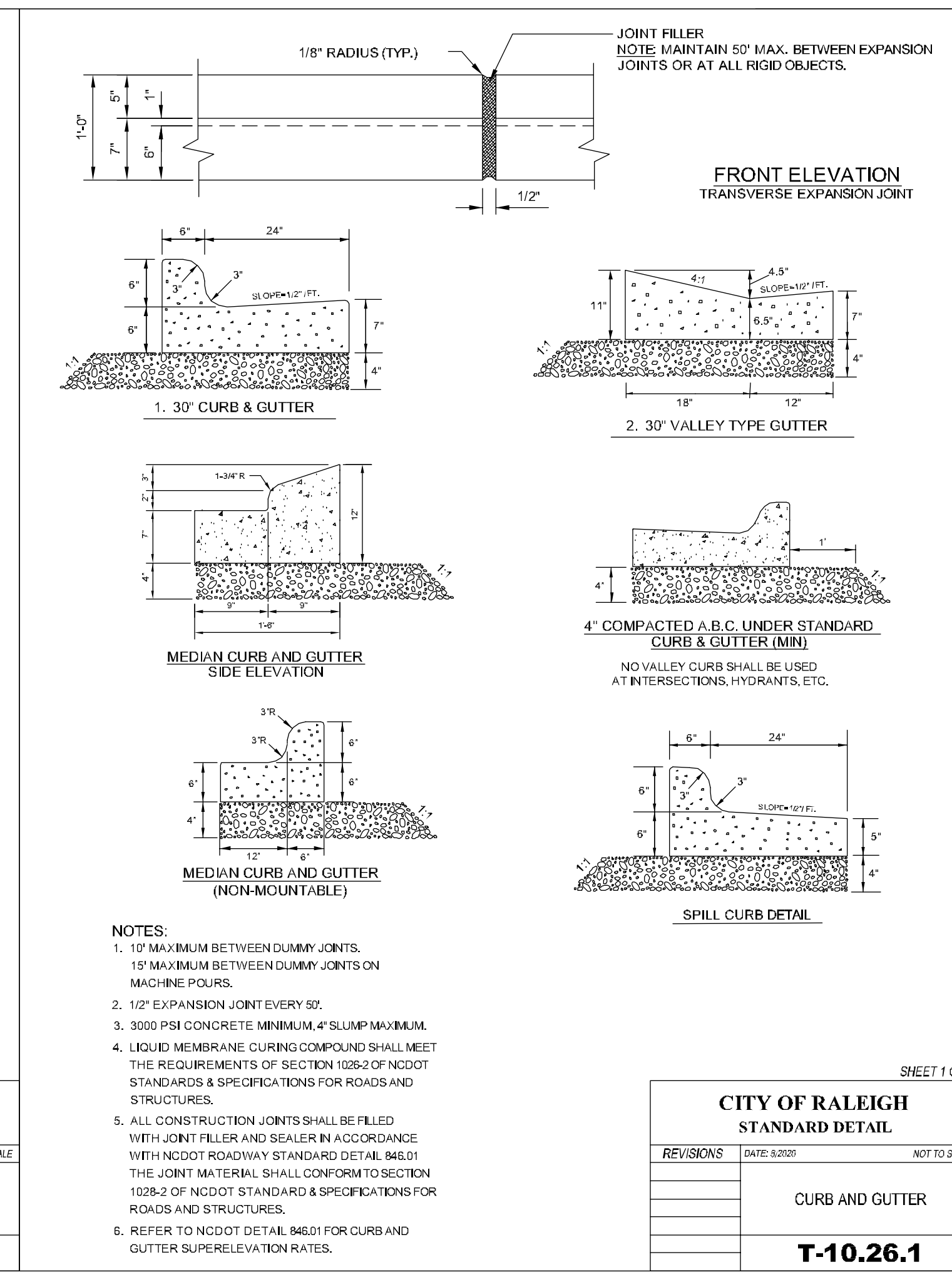
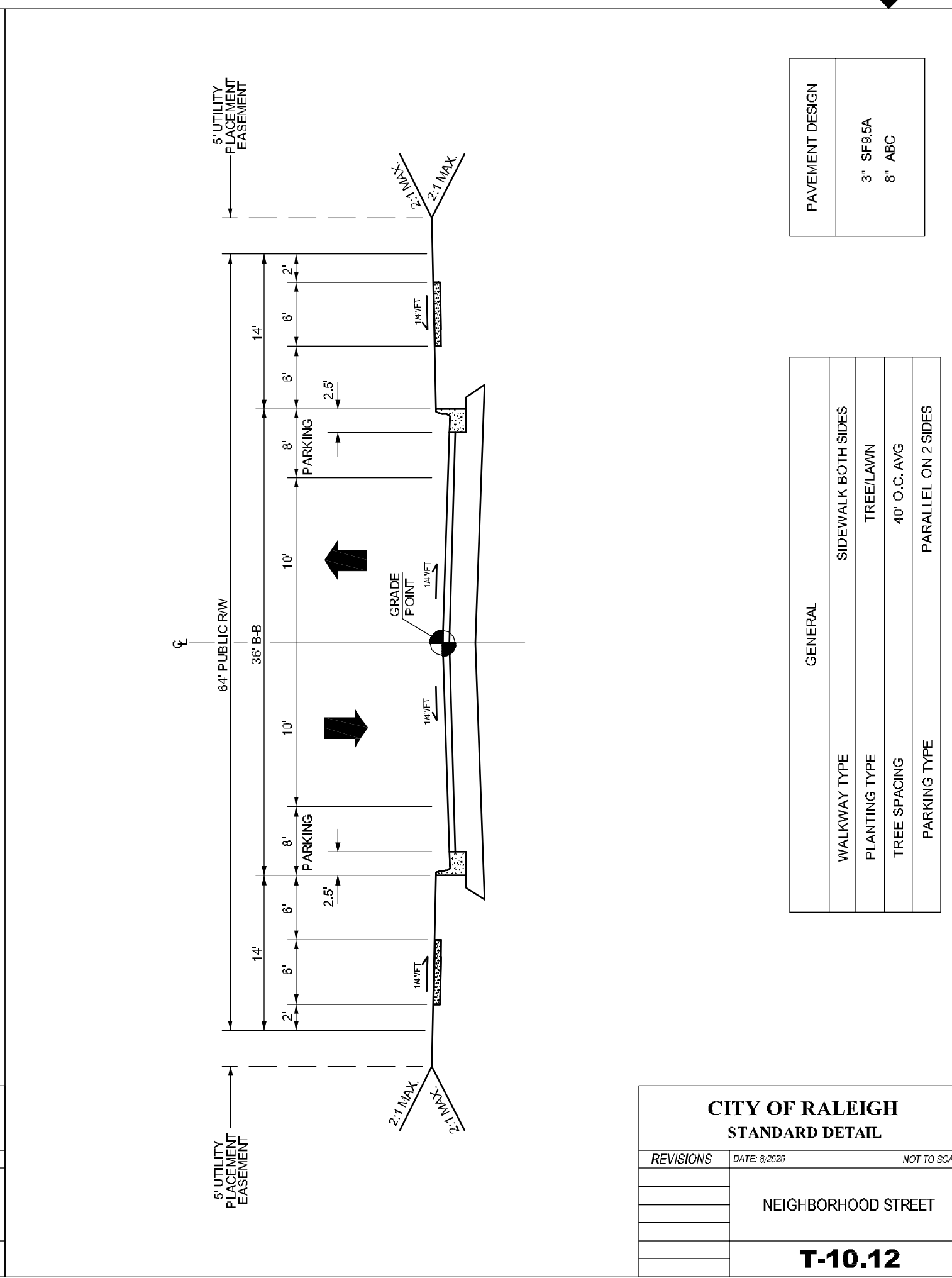
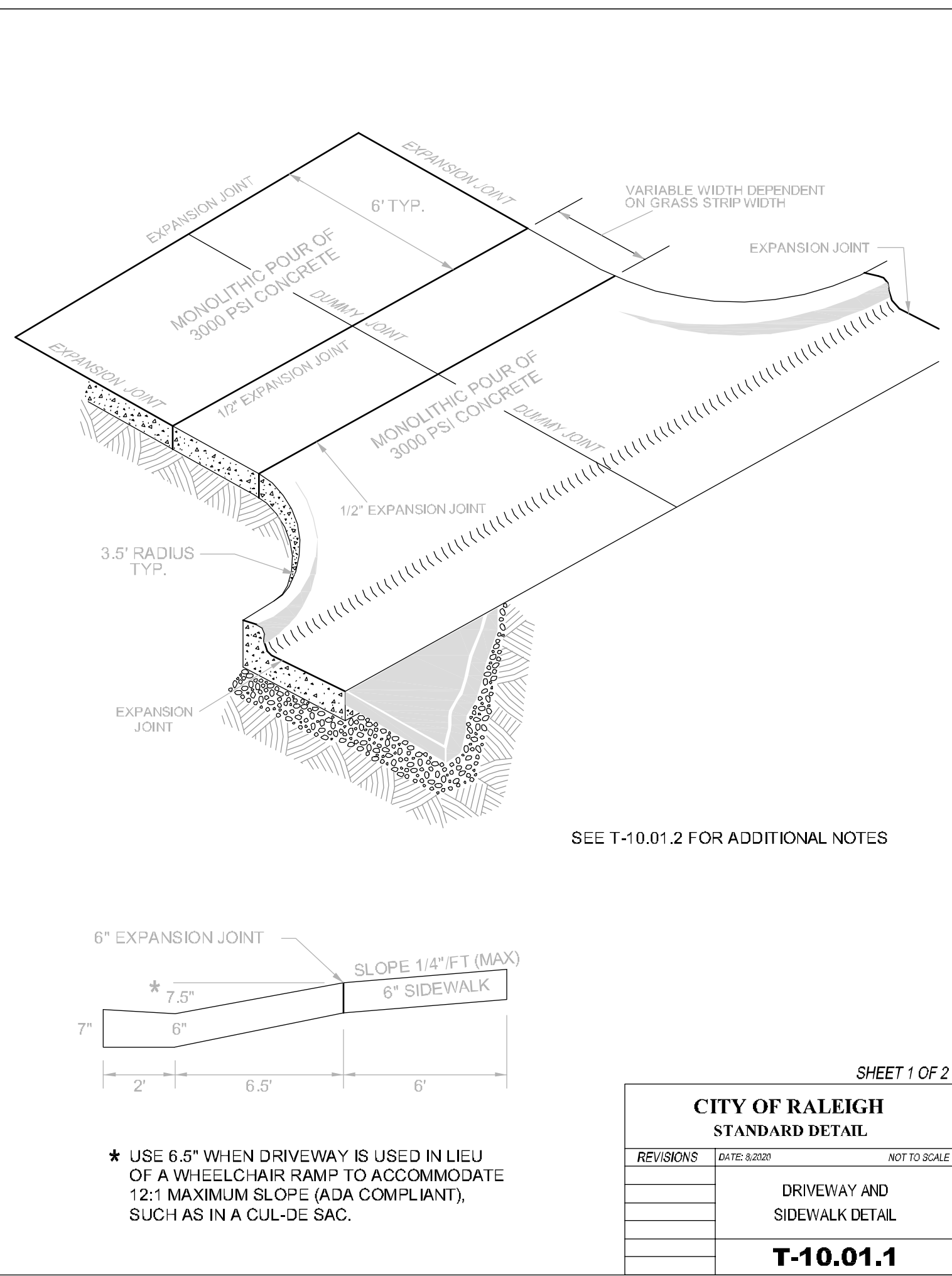
All EPA recommendations are based on poles with handholes, and allowing for a 95% gust factor for all wind ratings. Add 10 lbs to pole weights for fence option. Cross sectional dimensions are nominal. Supply drilling template with order. Add \$128.00 or \$150.00 to above Catalog Numbers for 3.275" or 3.000" tenons, respectively. Color options for CMT Straight Square poles:
1- Light Grey
2- Dark Bronze
3- Black
4- White
0- Other

GLENWOOD APARTMENTS
NEW CONSTRUCTION
5710 GLENWOOD AVENUE
RALEIGH, NC 27612
WAKE COUNTY

NO.	DESCRIPTION	DATE
1	COR COMMENTS - 1st REVIEW	5/22/23
2	COR COMMENTS - 2nd REVIEW	6/7/23
3	COR COMMENTS - 3rd REVIEW	9/25/23

NOTES & DETAILS SHEET

C7.5

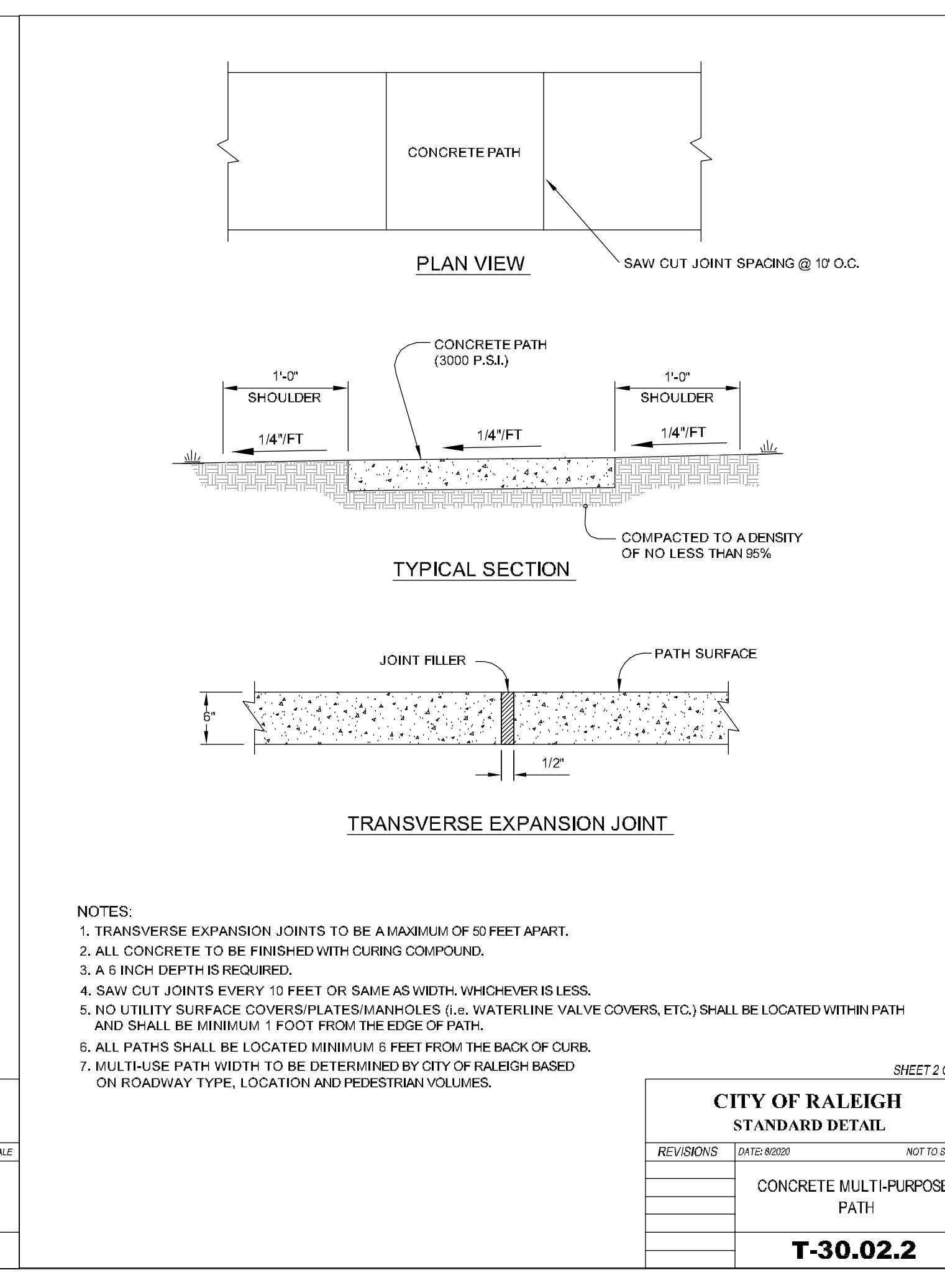
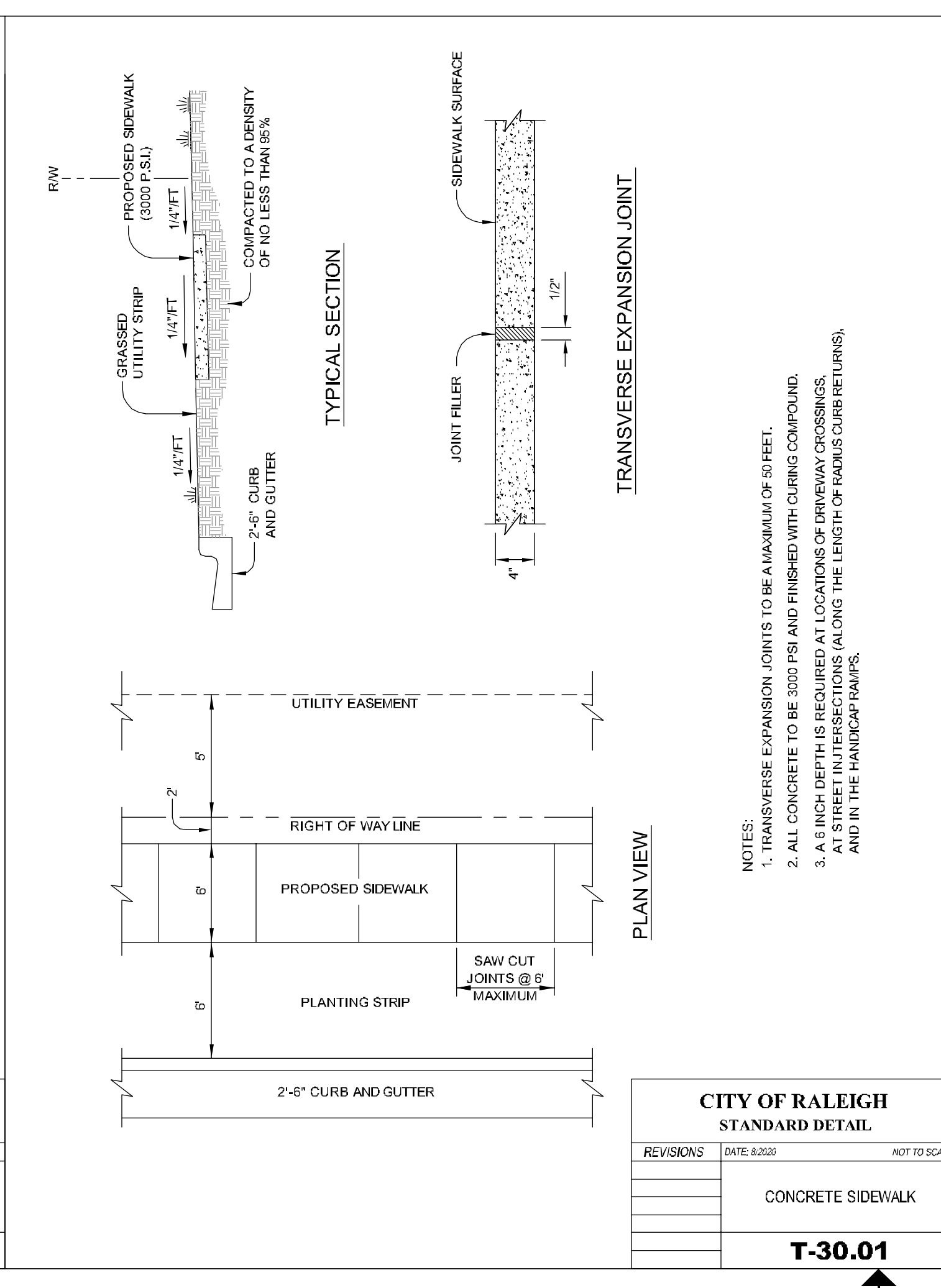
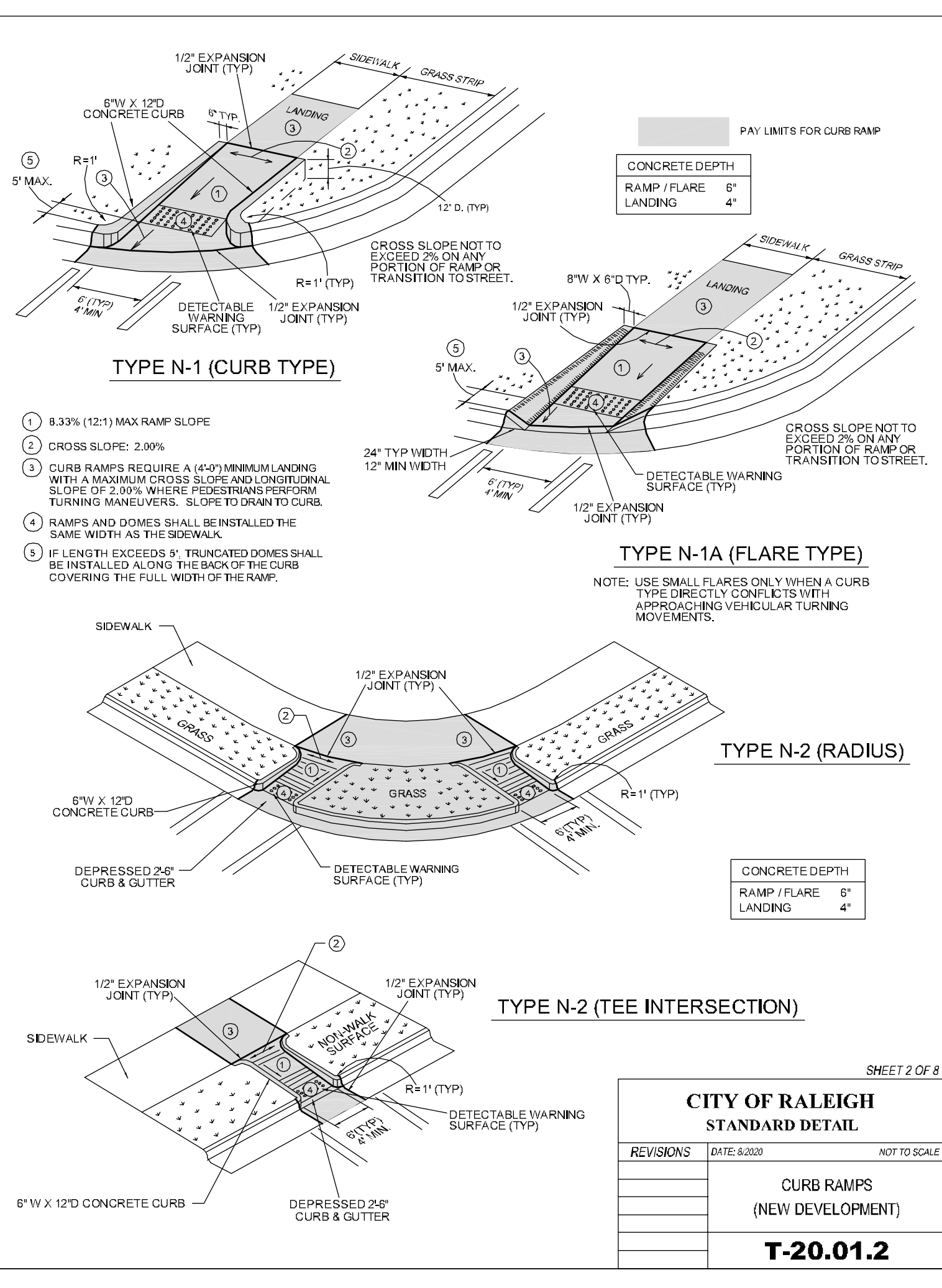


CITY OF RALEIGH CURB RAMPS GENERAL NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 17/12 (1:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
	6/20/22	
		CURB RAMP NOTES
		T-20.01.8

811 Know what's below. Call before you dig. Dial 811. North Carolina 811, Inc.



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919.615.1247

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seancarter@carterandc.com
919.349.9648

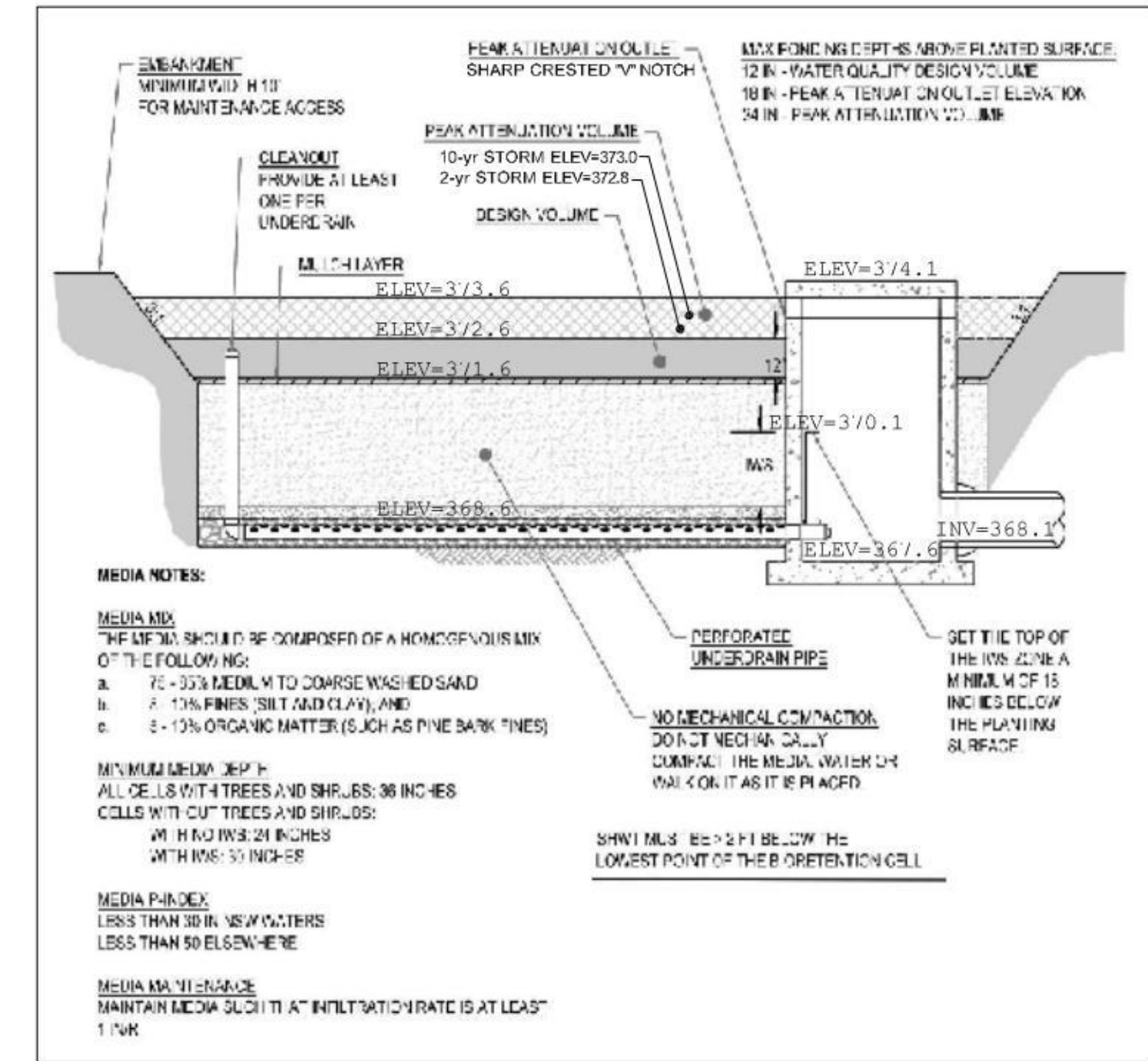
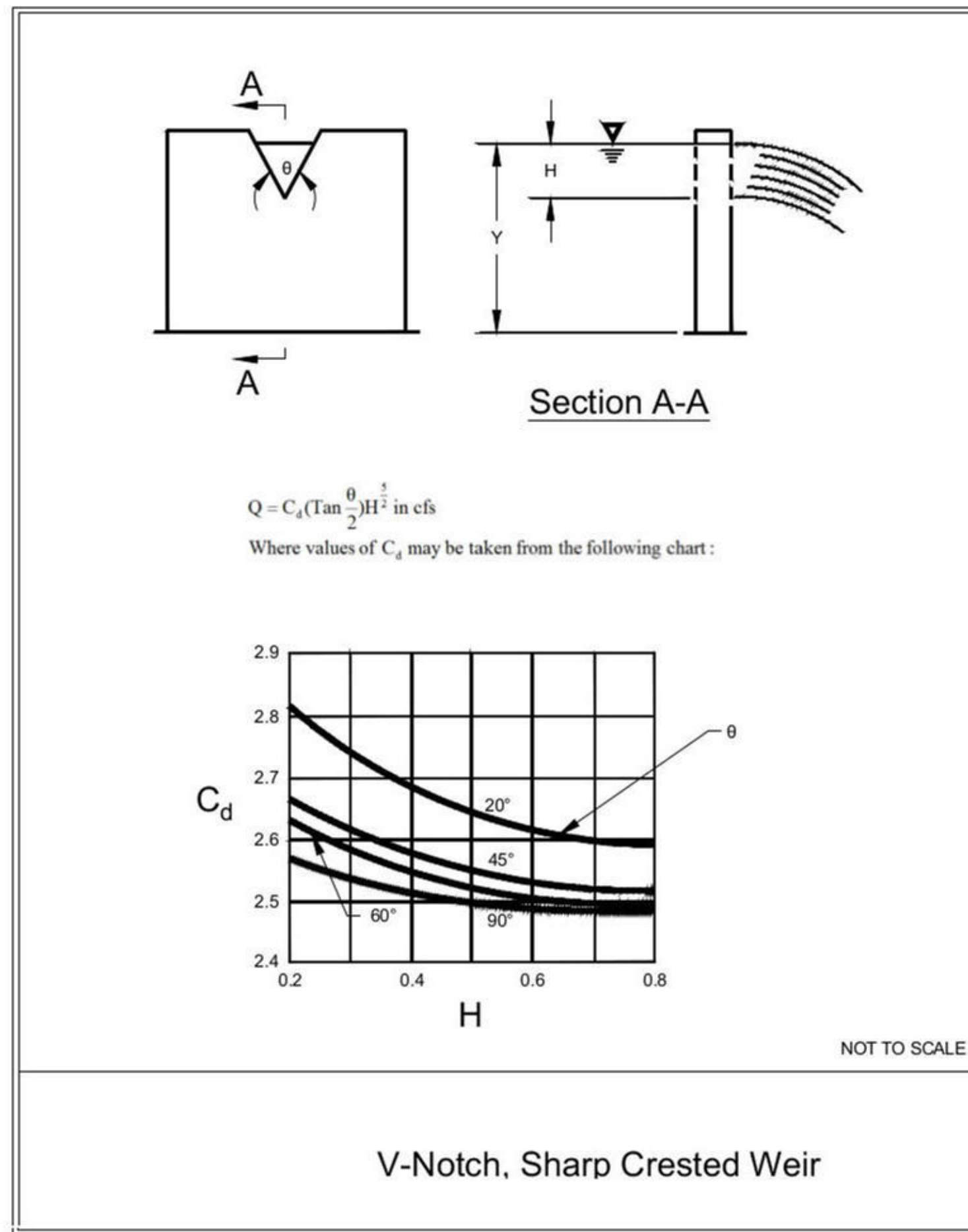
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SURVEYOR:
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5710 GLENWOOD AVENUE
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WAKE COUNTY

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NOTES & DETAILS SHEET
C7.6



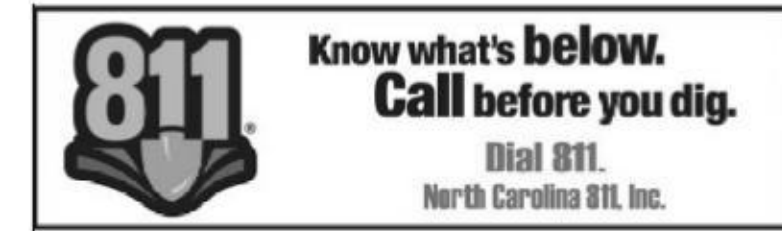
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GLENWOOD APARTMENTS

NEW CONSTRUCTION
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RALEIGH, NC 27612
WAKE COUNTY

CLASSES OF EMBEDMENT AND BACKFILL MATERIALS

CLASS	DESCRIPTION	MATERIAL	SPECIFICATION	MIN. THICKNESS	MIN. WIDTH	MIN. DEPTH	MINIMUM PERMISSIBLE SOILS		APPROXIMATE PERCENTAGE	COMMENTS
							GROUP	CLASS		
1	CONCRETE ON GRAVEL	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
2	CONCRETE ON SAND	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
3	CONCRETE ON GRAVEL	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
4	CONCRETE ON SAND	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
5	CONCRETE ON GRAVEL	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
6	CONCRETE ON SAND	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
7	CONCRETE ON GRAVEL	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
8	CONCRETE ON SAND	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
9	CONCRETE ON GRAVEL	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC
10	CONCRETE ON SAND	CONCRETE	ACI 308	4"	48"	12"	100%	100%	100%	NONPLASTIC

NOTES:

- REFER TO SECTION 02100 FOR CONCRETE CURB AND CHANNEL CONSTRUCTION.
- CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR AN ACCEPTABLE LEVEL OF FREE.
- CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR AN ACCEPTABLE LEVEL OF FREE.
- CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR AN ACCEPTABLE LEVEL OF FREE.
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- CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR AN ACCEPTABLE LEVEL OF FREE.

2 REV. DRAWING NAME OR NUMBER: TYP. DISSEMIN. CHG.

REV. DESCRIPTION BY: AMIDDY/CHG

CLASS OF EMBEDMENT AND BACKFILL MATERIALS

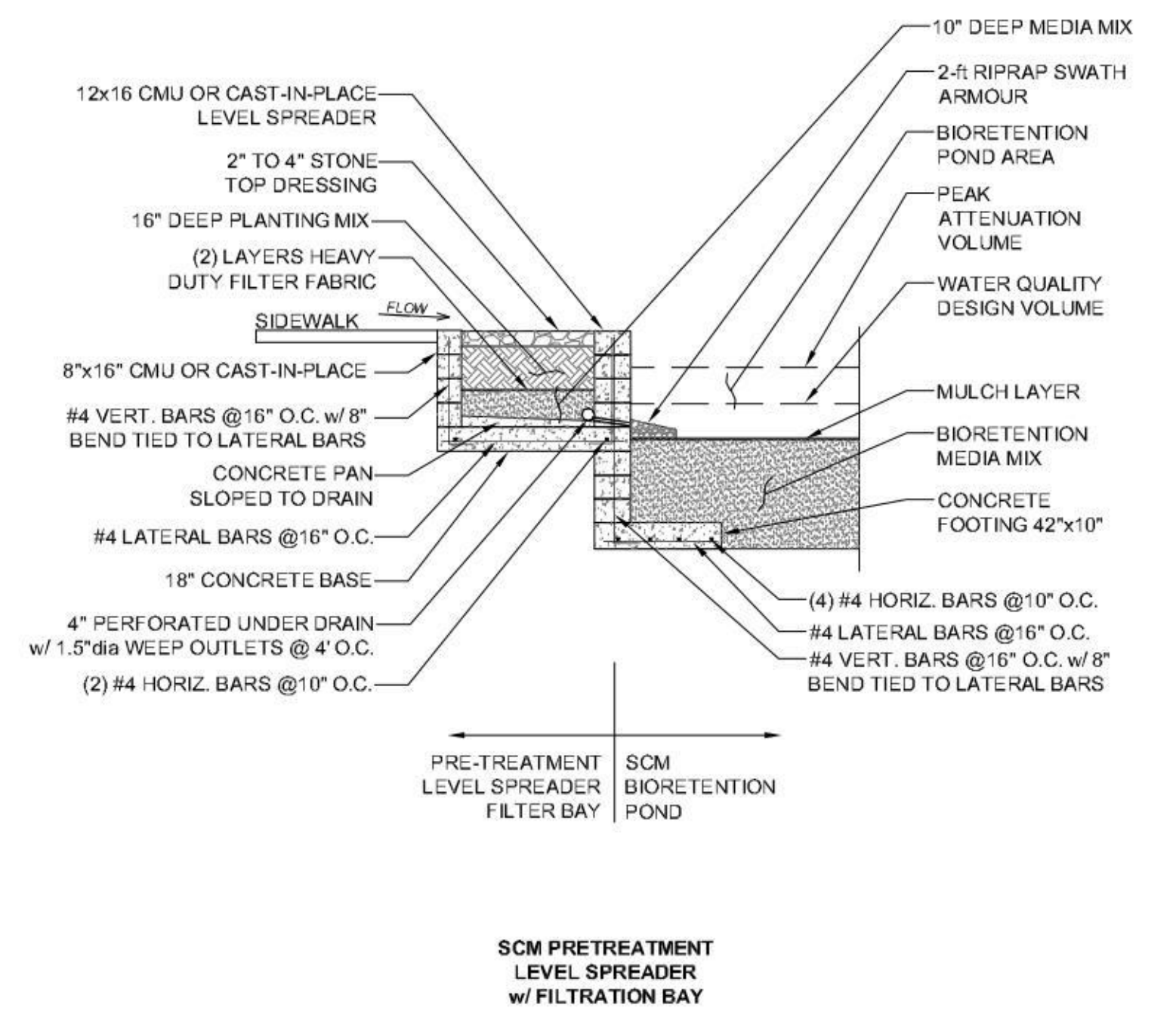
DRAWING NUMBER: STD-109

DATE: 12/22/23

PROJECT: 23120185

PROJECT DATE: DECEMBER 2022

DESIGN: DRWIN, SOC



MULTI-FAMILY CONSTRUCTION

REV. NO. DESCRIPTION DATE

1. 1st REVIEW 5/22/23

2. 2nd REVIEW 6/7/23

3. 3rd REVIEW 9/25/23

FRONT ELEVATION



Exterior Elevation Front



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

5710 Glenwood Ave
Raleigh
North Carolina

FRONT ELEVATION

DRAWINGS PROVIDED BY:
PAYETTE DESIGNS
6049 EPPING FOREST DRIVE
RALEIGH, NORTH CAROLINA 27613
O: 919-615-1247 C: 919-697-2428
payettedesigns@gmail.com

DATE:
8/24/2023

SCALE:
3/16" = 1'

SHEET:
A201

REAR ELEVATION

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

5710 Glenwood Ave
Raleigh
North Carolina

REAR ELEVATION

DRAWINGS PROVIDED BY:
PAYETTE DESIGNS
6049 EPPING FOREST DRIVE
RALEIGH, NORTH CAROLINA 27613
O: 919-615-1247 C: 919-697-2428
payettedesigns@gmail.com

DATE:

8/24/2023

SCALE:

3/16" = 1'

SHEET:

A202



REAR ELEVATION

SCALE :3/16 " =1'

LEFT /RIGHT ELEVATION



Exterior Elevation Right



Exterior Elevation Left

EXTERIOR RIGHT ELEVATION

SCALE : 3/16" = 1'

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

5710 Glenwood Ave
Raleigh
North Carolina

SIDE ELEVATIONS

DRAWINGS PROVIDED BY:
PAYETTE DESIGNS
 6049 EPPING FOREST DRIVE
 RALEIGH, NORTH CAROLINA 27613
 O: 919-615-1247 C: 919-697-2428
 payettedesigns@gmail.com

DATE:

8/24/2023

SCALE:

3/16" = 1'

SHEET:

A204