



Administrative Site Review

Submittal Instructions

Site plan applications fall under one of the three tiers. The tier category indicates which Unified Development Ordinance (UDO) provisions are applicable in the review and approval of a site plan application. The Administrative Site Review (ASR) review process is for site plans that qualify as either a Tier Two or Tier Three Site Plan as specified in UDO Section 10.2.8.

Email all documents with your ASR plans to SiteReview@raleighnc.gov.

- Tier One Site Plans are reviewed under the [Non-Residential Permit](#) review process
- If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). Please note you will need a registered account to submit an online portal request. There is also a fee for this verification service.

Note: Applicants seeking to revise an already approved site plan must follow the “Modifications to an Approved Site Plan” application process.

Who can apply:

In accordance with state law (N.C.G.S. § 160D-403(a)), applications for site plan approvals may be made by the following individuals:

- The landowner (holder of the title in fee simple);
- A lessee or person holding an option or contract to purchase or lease land;
- An authorized agent of the landowner; or
- An easement holder, for such development as is authorized by the easement.

What to Submit:

- Administrative Site Review Checklist
- Administrative Site Review Application
- One digital copy of proposed plans and supporting documents
 - Original plans scanned to scale, in sequential order
 - To engineering scale, example: 1"=20', 1"=100'
 - For resubmittals, include all revisions and responses to comments
- If dwelling units are proposed, submit the [Wake County Residential Development Notification Form](#)

Mailed Notification Process (if applicable):

- Notification letters should be mailed to:
Planning and Development Department
ATTN: Daniel L. Stegall
One Exchange Plaza, Suite 400
Raleigh, NC 27601
- Per UDO Section 10.2.8.C.1d and Section 10.2.1.C, notification letters must be provided at the time of application submission (when applicable). Please mail your letters as soon as possible to avoid delays. (See adopted UDO text change [TC-11-20](#) “Tenant Notification”)
- Mailouts will be processed once we receive both your digital application and your notification letter package.

Payment:

Please review the Development Fee Schedule to estimate your fees. Payments can be made:

- Online via the Permit and Development Portal (you must be a registered user)
- Over the phone via the Customer Service Center (919-996-2500)
- Fees for Site Plans are based on the project scope as defined in the Development Fee Schedule. (Please note: The Site Plan Tier and the Site Plan Level defined in the fee schedule are independent of one another.)

Questions? We're here to help! Contact the Planning and Development Customer Service Center at 919-996-2500 or ds.help@raleighnc.gov.



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). _____		
Current Property Owner(s):		
Company: _____		Title: _____
Address: _____		
Phone #: _____		Email: _____
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: WithersRavenel		Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units: 1br _____ 2br <u>12</u> 3br _____ 4br or more _____			
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

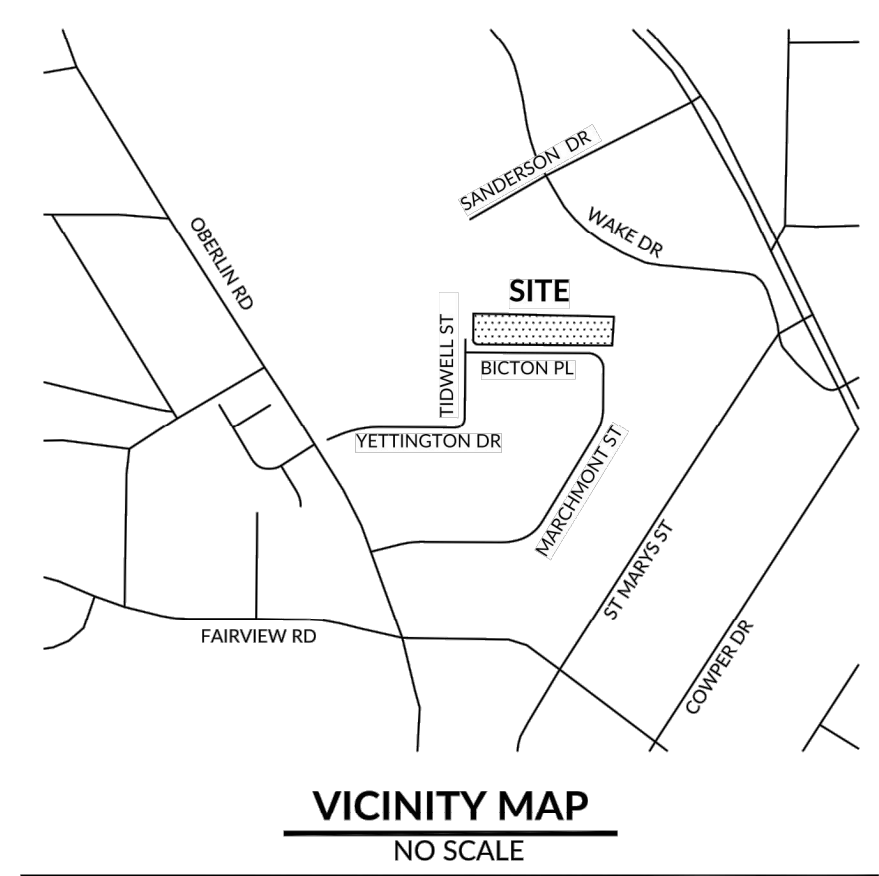
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Amber Mason</i>	Date:
Printed Name:	



- SURVEY NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BASIS OF BEARINGS: NAD 83(2011).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720170400K, PANEL 1704 AND NO. 3720170500K, PANEL 1705, EFFECTIVE DATE JULY 19, 2022.
 - THE PURPOSE OF THIS PLAT IS TO RECOMBINE AND REALLOCATE IMPERVIOUS AREAS OF LOTS 16 AND 30 AND ESTABLISH RETAINING WALL EASEMENT.

PROPERTY OWNERS CERTIFICATE
 THIS CERTIFIES AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS HAVING ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEED(S) RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS (HAVE) THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE

BOOK NO.: 19448(LOT16), 19494 (LOT 30)
 PAGE NO.: 2215 (LOT 16), 392-396 (LOT30)
 SIGNATURE(S) & TITLE/POSITION OF PROPERTY OWNER(S)

OWNER DATA:
 LOT 16 & 30
 LW BUDLEIGH LLC
 2334 41ST ST
 WILMINGTON NC 28403-5502

NOTARY STATEMENT
 STATE OF NORTH CAROLINA
 COUNTY OF _____

I, CERTIFY THAT THE FOLLOWING PERSON(S) PERSONALLY APPEARED BEFORE ME THIS DAY, EACH ACKNOWLEDGING TO ME THAT HE OR SHE VOLUNTARILY SIGNED THE FOREGOING DOCUMENT FOR THE PURPOSE STATED THEREIN AND IN THE CAPACITY INDICATED:

DATE: _____, 2023

PRINTED NAME: _____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

- LEGEND**
- ADJOINER
 - BOUNDAR
 - BUILDING
 - CONCRETE
 - EASEMENT
 - PAVEMENT
 - RETAINING
 - RIGHT OF
 - ZONING
 - CALCULAT
 - CATCH BA
 - CLEANOUT
 - DROP INLE
 - EDGE OF F
 - FIRE HYDR
 - IRON PIPE
 - LOT NUMB
 - MAGNETIC
 - REBAR FO
 - RIGHT OF
 - TRANSFOR
 - WATER ME
 - WR CONT
 - PAVED ARE
 - CONCRETE

MISCELLANEOUS/PRELIMINARY CERTIFICATE

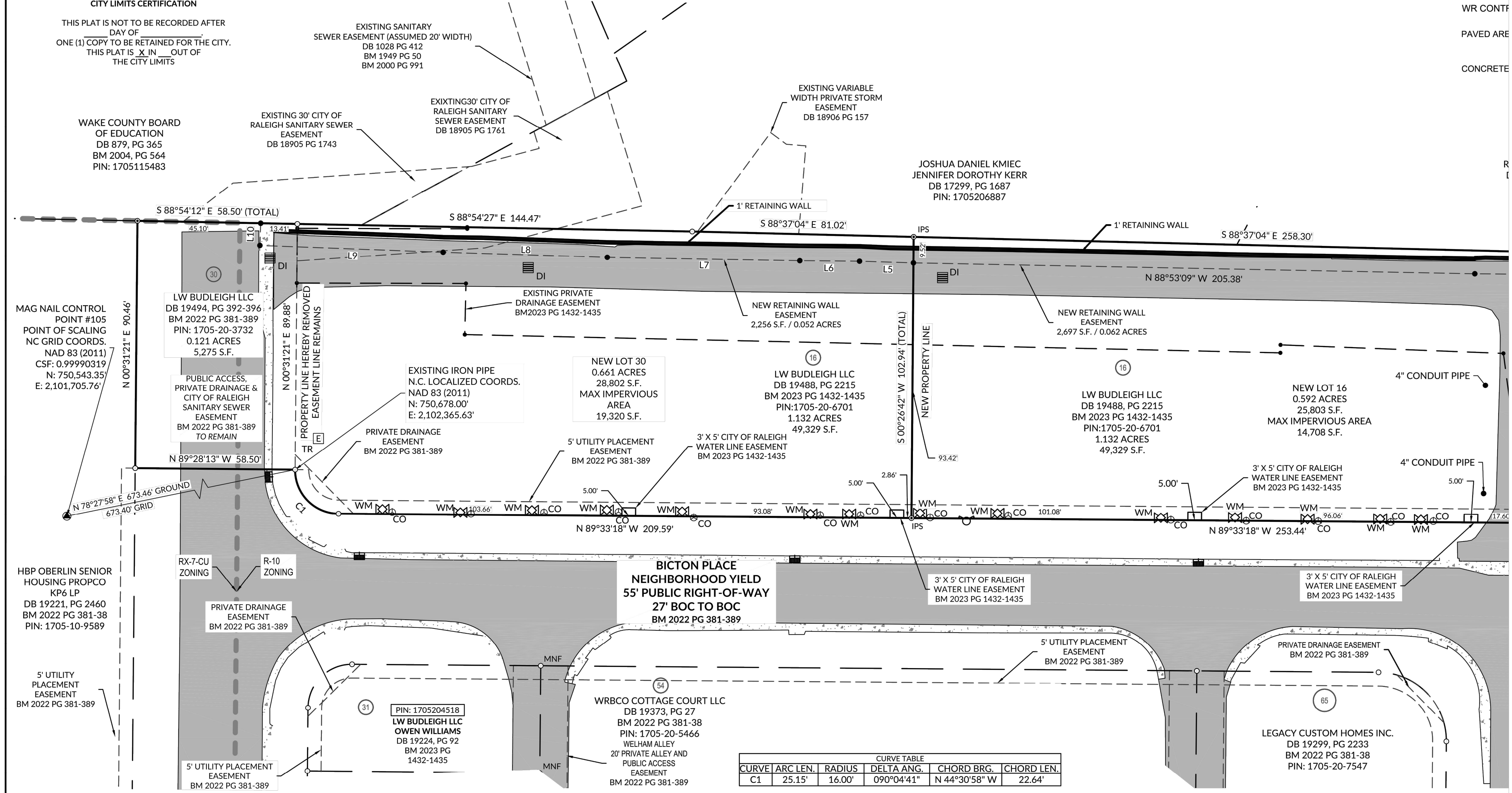
THIS PLAT OR MAP DOES NOT REQUIRE PRELIMINARY APPROVAL AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

PLANNING AND DEVELOPMENT OFFICER/WAKE COUNTY REVIEW OFFICER

CITY LIMITS CERTIFICATION

THIS PLAT IS NOT TO BE RECORDED AFTER DAY OF _____ ONE (1) COPY TO BE RETAINED FOR THE CITY. THIS PLAT IS X IN OUT OF THE CITY LIMITS

WAKE COUNTY BOARD OF EDUCATION
 DB 879, PG 365
 BM 2004, PG 564
 PIN: 1705115483



MAG NAIL CONTROL POINT #105
 POINT OF SCALING
 NC GRID COORDS.
 NAD 83 (2011)
 CSF: 0.99990319
 N: 750.543.35
 E: 2,101,705.76

HBP OBERLIN SENIOR HOUSING PROPCO KP6 LP
 DB 19221, PG 2460
 BM 2022 PG 381-38
 PIN: 1705-10-9589

5' UTILITY PLACEMENT EASEMENT
 BM 2022 PG 381-389

LW BUDLEIGH LLC
 DB 19494, PG 392-396
 BM 2022 PG 381-389
 PIN: 1705-20-3732
 0.121 ACRES
 5,275 S.F.

PUBLIC ACCESS, PRIVATE DRAINAGE & CITY OF RALEIGH SANITARY SEWER EASEMENT
 BM 2022 PG 381-389 TO REMAIN

EXISTING IRON PIPE N.C. LOCALIZED COORDS.
 NAD 83 (2011)
 N: 750,678.00
 E: 2,102,365.63

PRIVATE DRAINAGE EASEMENT
 BM 2022 PG 381-389

NEW LOT 30
 0.661 ACRES
 28,802 S.F.
 MAX IMPERVIOUS AREA
 19,320 S.F.

5' UTILITY PLACEMENT EASEMENT
 BM 2022 PG 381-389

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

NEW LOT 16
 0.592 ACRES
 25,803 S.F.
 MAX IMPERVIOUS AREA
 14,708 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

BICKTON PLACE NEIGHBORHOOD YIELD 55' PUBLIC RIGHT-OF-WAY 27' BOC TO BOC
 BM 2022 PG 381-389

WRBCO COTTAGE COURT LLC
 DB 19373, PG 27
 BM 2022 PG 381-38
 PIN: 1705-20-5466
 WELHAM ALLEY
 20' PRIVATE ALLEY AND PUBLIC ACCESS EASEMENT
 BM 2022 PG 381-389

CURVE TABLE				
CURVE	ARC LEN.	RADIUS	DELTA ANG.	CHORD BRG.
C1	25.15'	16.00'	090°04'41"	N 44°30'58" W
				22.64'

SURVEYOR'S CERTIFICATE

I, MARSHALL G. WIGHT, PLS. CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED AS SHOWN HEREON); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN ON THE FACE OF THIS PLAT; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:20,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.

I ALSO CERTIFY THAT THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF A SUBDIVISION.

THIS 14TH DAY OF NOVEMBER, A.D. 2023.

PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER: L-5034

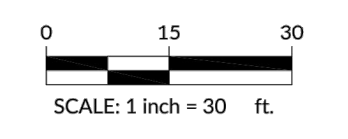
PRELIMINARY NOT FOR CONSTRUCTION RECORDATION

RECOMBINATION, RETAINING WALL EASEMENT AND IMPERVIOUS REALLOCATION PLAT BUDLEIGH EAST, LOTS 16 & 30

PROPERTY OF
LW BUDLEIGH LLC

RALEIGH TOWNSHIP | WAKE COUNTY | NORTH CAROLINA
 PIN: 1705-20-3732, 1705-20-1435
 ZONING: R-10, RX-5-CU

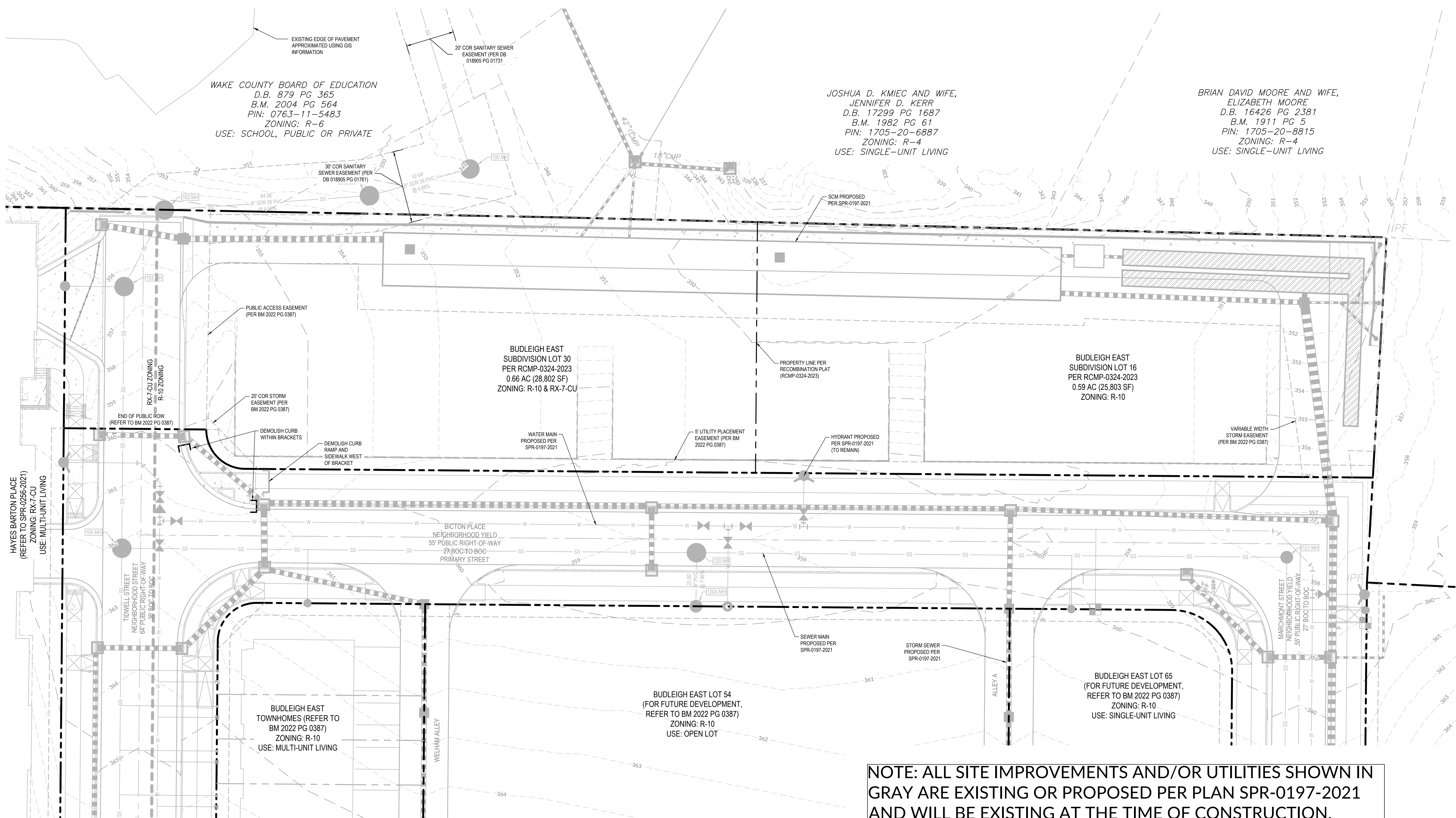
WR Job No.: 02170437.00
 DATE: 11/14/2023
 SURVEYED BY: JS
 DRAWN BY: PM
 CHECK & CLOSURE BY: MGW



SHEET: 1 OF 1



K:\17\0430\170437-Country Club Homes MP\Geomatics\Res Com\Drawings\LOT 16 & 30 RECOMBINATION AND IMPERVIOUS REV.dwg, Thursday, December 7, 2023 2:45:58 PM, MWIGHT



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

WAKE COUNTY BOARD OF EDUCATION
D.B. 879 PG 365
B.M. 2004 PG 564
PIN: 0763-11-5483
ZONING: R-6
USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
JENNIFER D. KERR
D.B. 17299 PG 1687
B.M. 1982 PG 61
PIN: 1705-20-6887
ZONING: R-4
USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
ELIZABETH MOORE
D.B. 16426 PG 2381
B.M. 1911 PG 5
PIN: 1705-20-8815
ZONING: R-4
USE: SINGLE-UNIT LIVING

BUDLEIGH EAST
SUBDIVISION LOT 30
PER RCMP-0324-2023
0.66 AC (28,802 SF)
ZONING: R-10 & RX-7-CU

BUDLEIGH EAST
SUBDIVISION LOT 16
PER RCMP-0324-2023
0.59 AC (25,803 SF)
ZONING: R-10

BUDLEIGH EAST
TOWNHOMES (REFER TO
BM 2022 PG 0387)
ZONING: R-10
USE: MULTI-UNIT LIVING

BUDLEIGH EAST LOT 54
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: OPEN LOT

BUDLEIGH EAST LOT 65
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: SINGLE-UNIT LIVING

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	XXX AREAS TO BE REMOVED
	FENCE TO BE REMOVED
	STORM PIPE TO BE REMOVED
	WETLANDS TO BE IMPACTED
	TREE TO BE REMOVED

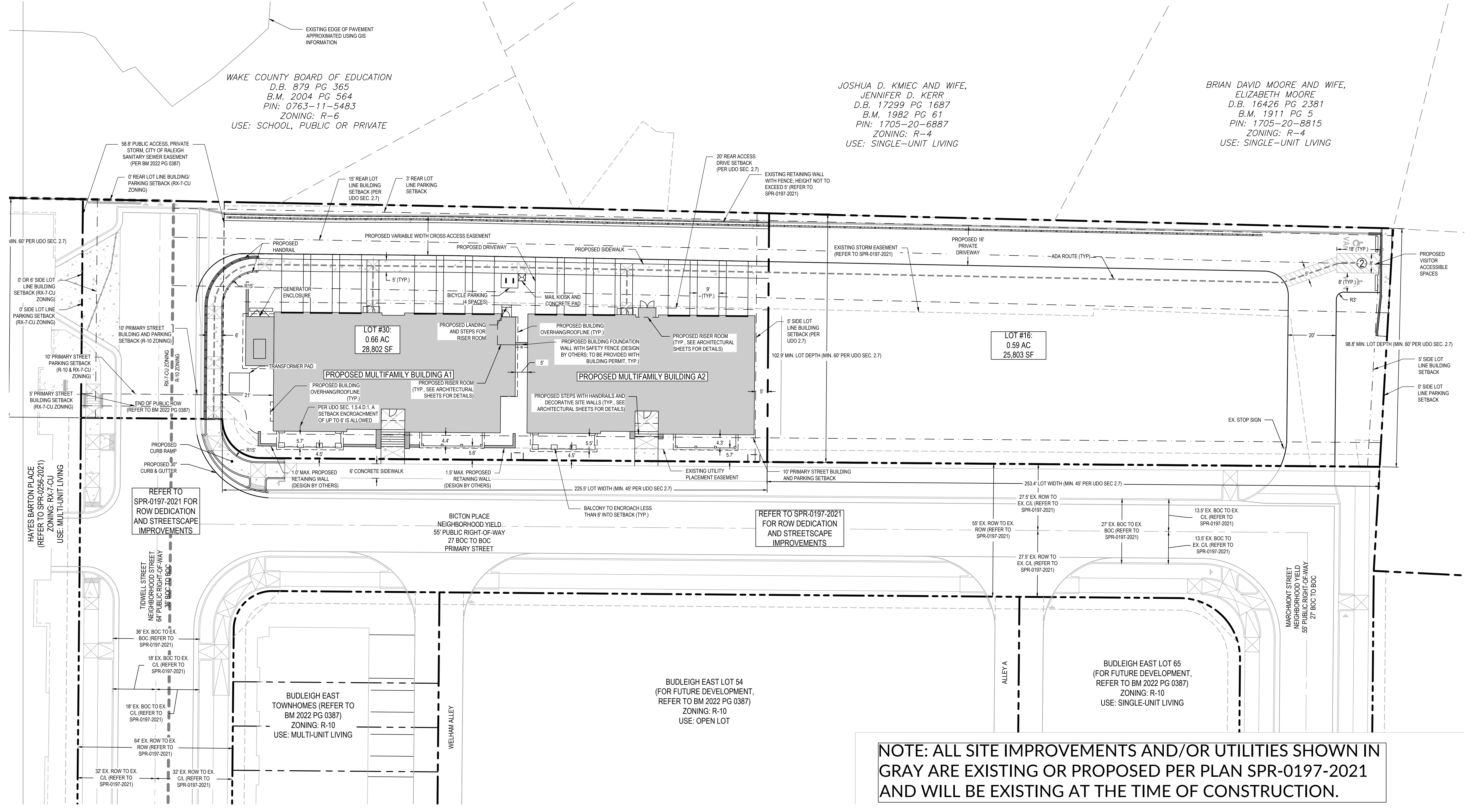
EXISTING CONDITIONS AND DEMOLITION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

K:\17\4481\170437\24-Budleigh East Flats - W/RCMP-0324-2023\Drawings\Site\1-C1.00 Existing Conditions and Demolition Plan.dwg Friday, January 5, 2024 4:43:05 PM - ADRNLLA

EST: 1993

our people • your success



WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

REFER TO
 SPR-0197-2021 FOR
 ROW DEDICATION
 AND STREETScape
 IMPROVEMENTS

REFER TO SPR-0197-2021
 FOR ROW DEDICATION
 AND STREETScape
 IMPROVEMENTS

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.

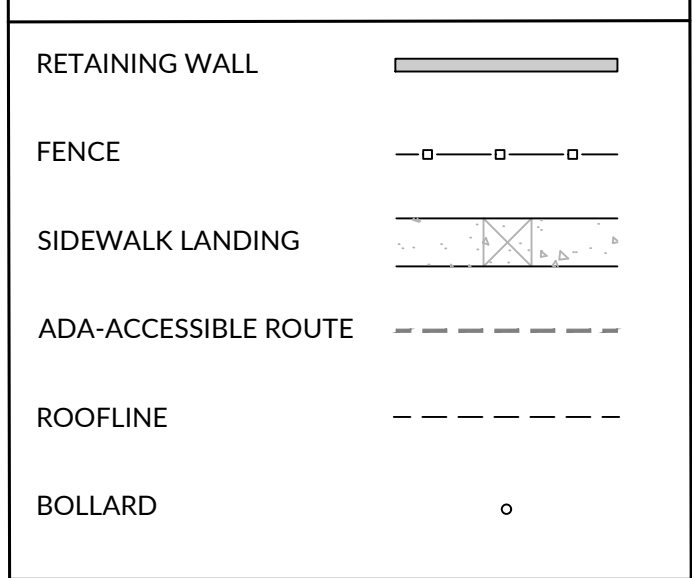
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT CNC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACES AND HC ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTIONS) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS OR ENCROACHMENT.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010

- ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
- ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
- FIRE/SOLID WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

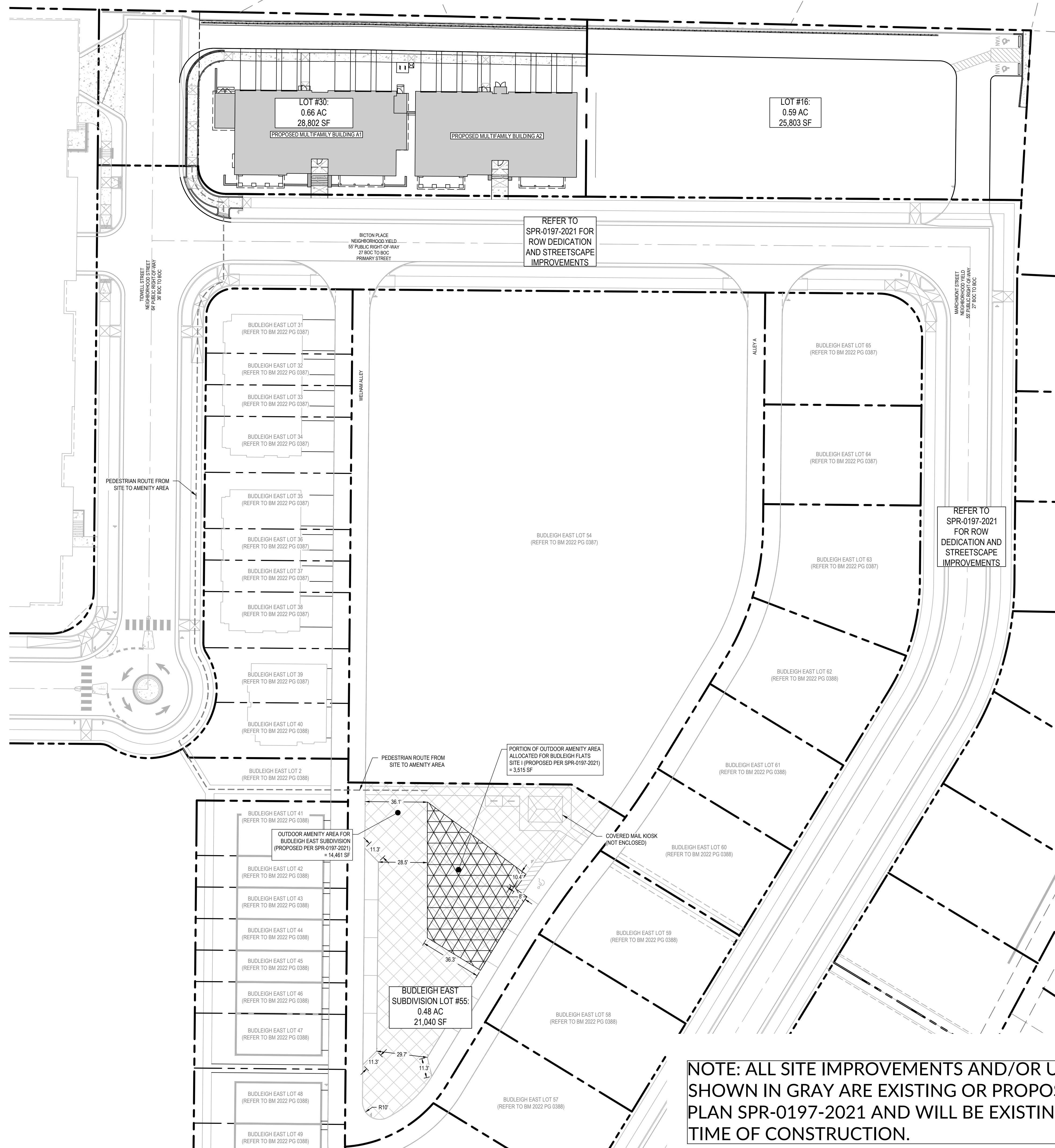
SITE CALCULATIONS:

TOTAL UNITS: 12 (ALL 2 BEDROOMS)	
MAXIMUM PARKING CALCULATIONS	
MAXIMUM:	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 2.25 SPACES PER UNIT 12 UNITS X 2.25 SPACES PER UNIT = 27 SPACES
PROVIDED:	26 SPACES (24 GARAGE SPACES (2 PER UNIT) & 2 SURFACE SPACES) 2 ADA-ACCESSIBLE SPACES (BOTH SURFACE SPACES)
MINIMUM BICYCLE PARKING CALCULATIONS	
REQUIRED (LONG TERM):	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 1 SPACE PER 7 BEDROOMS 12 BEDROOMS X 1/7 SPACES PER UNIT = 2 SPACES
PROVIDED (LONG TERM):	2 SPACES INTERNAL TO GARAGE (REFER TO SHEET)
REQUIRED (SHORT TERM):	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 1 SPACE PER 20 UNITS, MIN. 4 12 UNITS X 1 SPACE PER 20 UNITS = 1 SPACE, USE 4 SPACES
PROVIDED (SHORT TERM):	4 SPACES
MINIMUM LOT AREA CALCULATIONS (LOT 30 ONLY)	
REQUIRED:	800 SF/DU (PER UDO SEC 2.7.1 REFER TO SHEET CO.1)
PROVIDED:	TOTAL DWELLING UNITS: 12 DUs LOT AREA: 28,802 SF (0.66 AC) LOT AREA PER UNIT: 2,400 SF/DU

SITE LEGEND:



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- AMENITY AREA NOTES:**
1. THE AMENITY AREA FOR THIS SITE IS PROVIDED ENTIRELY ON BUDLEIGH EAST SUBDIVISION LOT 55, WHICH IS SHOWN HEREIN. REFER TO APPROVED SPR-0197-2021 FOR THE OVERALL BUDLEIGH EAST SUBDIVISION PLAN.
 2. A CALCULATION BREAKDOWN OF AMENITY AREA PROVIDED WITH SPR-0197-2021 IS ON THIS SHEET (SEE "BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN").
 3. A UDD COMPLIANCE TABLE FOR PROVIDED AMENITY AREA HAS BEEN PROVIDED ON THIS SHEET (SEE "BUDLEIGH EAST FLATS AMENITY AREA COMPLIANCE TABLE").
 4. A SHARED AGREEMENT FOR THE BUDLEIGH EAST FLATS I (NEW LOT 30 AND BUDLEIGH EAST SUBDIVISION LOT 55) WILL BE PROVIDED PRIOR TO OR IN CONJUNCTION WITH THE RECOMBINATION PLAN.

AMENITY AREA CALCULATIONS:

LOT SIZE (NEW LOT 30): 28,802 SF [0.66 AC]
 *NO OUTDOOR AMENITY AREA IS REQUIRED FOR OPEN LOT, THEREFORE LOT 55 IS NOT INCLUDED IN THIS CALCULATION

AMENITY AREA REQUIRED FOR BUDLEIGH EAST FLATS I (MINIMUM):
 10% OF SITE AREA (PER SEC. 2.7.1.B.5)
 10% X 28,802 SF = **2,880 SF [0.066 AC]**

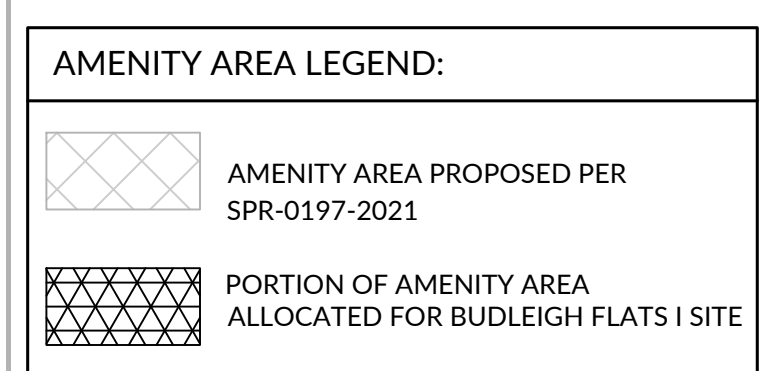
AMENITY AREA PROPOSED WITH BUDLEIGH EAST SUBDIVISION (SUB-0054-2020 & SPR-0197-2021):
14,164 SF [0.33 AC] TOTAL
7,030 SF [0.14 AC] FOR EXISTING LOTS 16-29

AMENITY AREA PROPOSED FOR BUDLEIGH EAST FLATS I:
3,515 SF [0.08 AC]
 3,515 / 28,802 = **12.2%**

*NOTE: REFER TO THE AMENITY AREA CALCULATION TABLE BELOW, WHICH SHOWS A BREAKDOWN OF THE PROVIDED AMENITY AREA PER THE BUDLEIGH EAST SUBDIVISION PLAN (SPR-0197-2021). SEE THE ROW HIGHLIGHTED IN GREEN FOR THE TOTAL REQUIRED AND PROPOSED AMENITY AREA FOR THE BUDLEIGH FLATS I AND IT SITES.

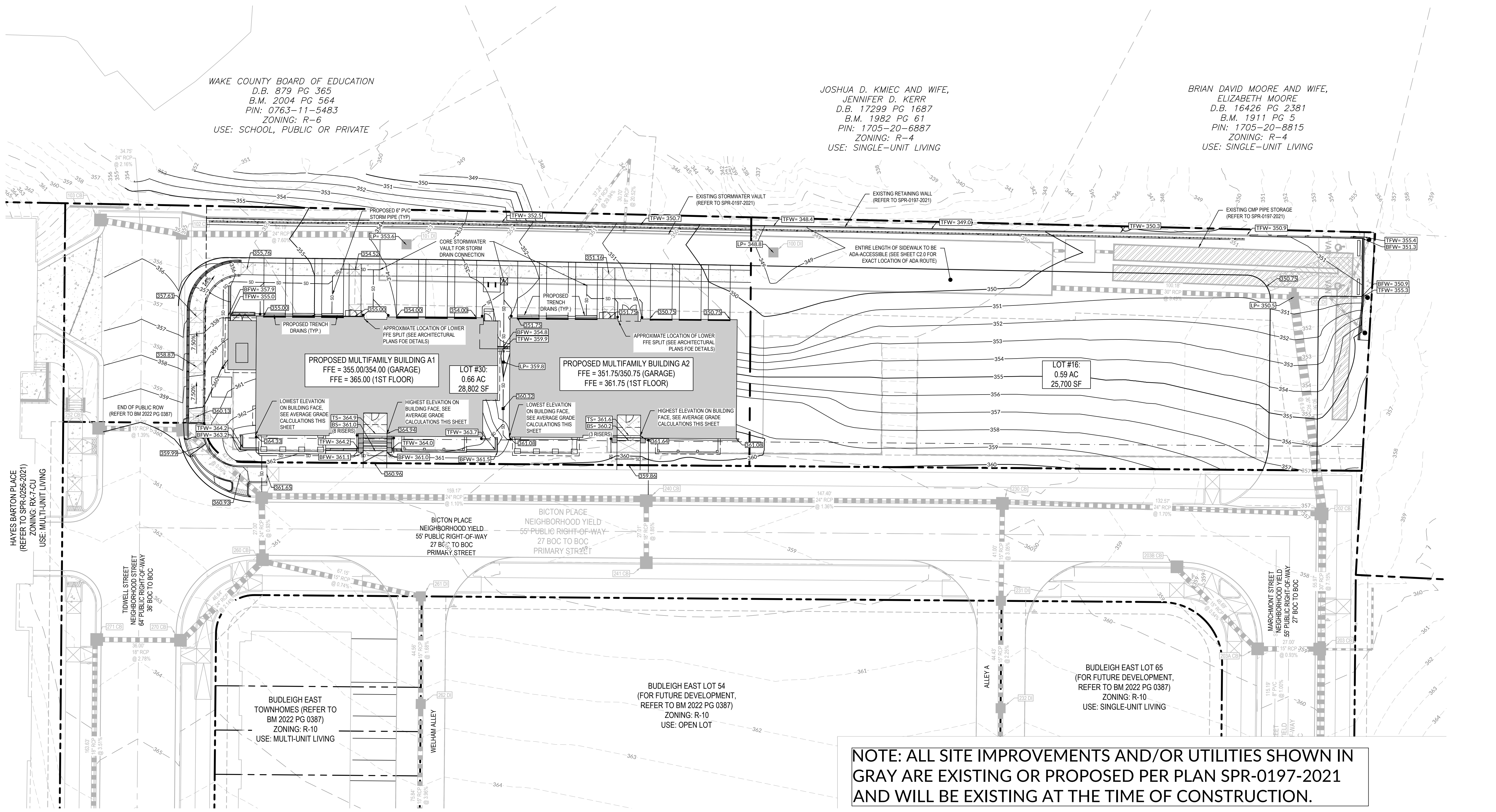
BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN			
NOTE: THIS CALCULATION IS SHOWN FOR PROVIDING AMENITY AREA COMPLIANCE WITH UDD REQUIREMENTS FOR THE BUDLEIGH EAST FLATS I AND IS NOT INTENDING TO BE APPLIED TO THE ENTIRE BUDLEIGH EAST SUBDIVISION SITE.			
LOT NUMBER	LOT AREA (SQ)	REQUIRED AMENITY AREA (SQ)	PROVIDED AMENITY AREA (SQ) (WITH SPR-0197-2021)
BUDLEIGH EAST EXISTING LOTS 16-29			
16	7,549	755	1,076
17	2,706	271	386
18	2,738	274	387
19	2,750	275	389
20	3,760	376	536
21	3,763	376	537
22	2,774	277	395
23	2,789	279	397
24	3,838	384	547
25	3,859	386	550
26	2,829	283	403
27	2,834	283	404
28	2,843	284	405
29	4,231	423	616
TOTAL FOR EXISTING LOTS 16-29 (BUDLEIGH FLATS I AND IT SITES)		4,933	7,030
BUDLEIGH EAST EXISTING LOTS 31-59 (PROPOSED FOR REFERENCE ONLY)			
31	3,147	315	448
32	1,558	156	222
33	1,558	156	222
34	2,777	278	396
35	2,777	278	396
36	1,558	156	222
37	1,558	156	222
38	2,776	278	396
39	2,511	251	358
40	2,767	277	394
41	2,816	282	401
42	1,613	161	230
43	1,613	161	230
44	1,613	161	230
45	1,613	161	230
46	1,613	161	230
47	2,816	282	401
48	2,816	282	401
49	1,613	161	230
50	1,613	161	230
51	1,743	174	248
52	1,829	183	261
53	3,711	371	529
TOTAL FOR EXISTING LOTS 31-53		5,006	7,134
TOTAL PROVIDED AMENITY AREA FOR BUDLEIGH SUBDIVISION		14,164	

BUDLEIGH EAST FLATS I AMENITY AREA COMPLIANCE TABLE		
UDD SECTION 1.5.3 - OUTDOOR AMENITY AREA		
#	REQUIREMENT	REQUIREMENT MET?
81	Where outdoor amenity area is required, it must be provided on-site and must be available for use by or an amenity for the occupants, unless prohibited by the development.	MET (per sheet C1.5)
82	A minimum of 50% of the required outdoor amenity area must be usable by the pedestrians described in subsection 1.5.3.1. Above. All areas usable by pedestrians must also be ADA accessible. Outdoor amenity areas required for existing buildings that do not have elevators or do not otherwise require them, may be located on upper levels as allowed by Sec. 1.5.3.C.2.	MET (see sheet C1.1)
83	Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the site; however, no reserve credit, each area must be at least 100 feet (width and length).	MET
84	Required outdoor amenity area may be located at or above grade.	MET
85	Required outdoor amenity area must be provided or otherwise covered for emergency access and permitted emergency egress.	MET
86	Required outdoor amenity area must be provided or otherwise covered by structures with a clear height no less than 10 feet and less than the proposed structure ground level height must account for more than 50% of the required area. Permitted structures, where the sum area of the openings is greater than 50% or more of the surface area of the structure, shall not be considered covered for the purposes of this subsection.	MET
87	Green Stormwater Infrastructure (GSI) practices may be located within a required outdoor amenity area provided all other requirements of this subsection are met. Tree Conservation areas, stormwater detention wet ponds and dry ponds, slope construction treatments, riparian buffers, all protective parks, Zone A of neighborhood transitional protective parks and parking lots shall not be considered outdoor amenity area.	N/A (no GSI practices proposed)
88	Outdoor areas outside of the right-of-way, even if located within street-level requirements, shall also be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	MET
89	Areas outside of the right-of-way required to be set aside for required street trees shall be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	MET
90	Outdoor amenity area meeting the requirements of Section 1.5.3 shall also be eligible to count towards required open space provided it also meets Article 2.5.	N/A (no open space required)



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

K:\17\04001\17040017\040017-01-Budleigh East Flats I - WBS\CD\CAD\Drawing\Set\08\Plan\11020 Site Plan.dwg, Friday, January 5, 2024 4:46:46 PM - JAB/MLLA



WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

PROPOSED MULTIFAMILY BUILDING A1
 FFE = 355.00/354.00 (GARAGE)
 FFE = 365.00 (1ST FLOOR)

PROPOSED MULTIFAMILY BUILDING A2
 FFE = 351.75/350.75 (GARAGE)
 FFE = 361.75 (1ST FLOOR)

BUDLEIGH EAST LOT 65
 (FOR FUTURE DEVELOPMENT,
 REFER TO BM 2022 PG 0387)
 ZONING: R-10
 USE: SINGLE-UNIT LIVING

BUDLEIGH EAST LOT 54
 (FOR FUTURE DEVELOPMENT,
 REFER TO BM 2022 PG 0387)
 ZONING: R-10
 USE: OPEN LOT

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CONSTRUCTION NOTES:

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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
- NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CUT PERMIT.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

STORM DRAINAGE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
- MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
- STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-5-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.

AVERAGE GRADE CALCULATION ALONG BICTON PLACE:

(LOWEST ELEVATION + HIGHEST ELEVATION) / 2 = AVERAGE GRADE

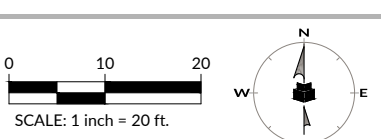
BUILDING A1:
 • LOWEST ELEVATION = 364.33
 • HIGHEST ELEVATION = 364.94
 (364.33 + 364.94) / 2 = **364.64**

BUILDING A2:
 • LOWEST ELEVATION = 361.08
 • HIGHEST ELEVATION = 361.64
 (361.08 + 361.64) / 2 = **361.36**

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING MINOR CONTOUR
- - - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
- - - -	PROPOSED MAJOR CONTOUR
---	PROPOSED RETAINING WALL
---	EXISTING CATCH BASIN
---	EXISTING STORM DROP INLET WITH GRATE
---	EXISTING STORM JUNCTION BOX
---	EXISTING STORM PIPE
---	PROPOSED AREA DRAIN
---	PROPOSED STORM CLEANOUT
---	PROPOSED STORM PIPE

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
 REVISIONS:

WR JOB NUMBER: 02170437.05
 DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C3.00

WILLIAMS REALTY & BUILDING CO., INC.
 3111 GLENWOOD AVE.
 RALEIGH, NC 27612

BUDLEIGH EAST FLATS I ASR-XXXX-2024

2538 & 2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

WithersRavenel
 137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

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K:\17\4201\170437\02-Budleigh East Flats - WithersRavenel\Drawings\Sheet\170437-02-Budleigh East Flats I C3D Grading and Drainage Plan.dwg Plot: January 5, 2024 10:27 AM - ADR/MLA

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



CONSTRUCTION NOTES:

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STORM DRAINAGE NOTES

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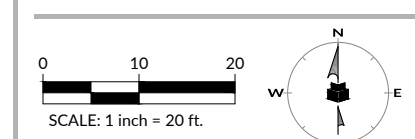
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GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
--- (dashed line)	EXISTING MINOR CONTOUR
--- (long dashed line)	EXISTING MAJOR CONTOUR
--- (short dashed line)	PROPOSED MINOR CONTOUR
--- (long short dashed line)	PROPOSED MAJOR CONTOUR
--- (thick solid line)	PROPOSED RETAINING WALL
■ (square)	EXISTING CATCH BASIN
■ (square with cross-hatch)	EXISTING STORM DROP INLET WITH GRATE
■ (square with dot)	EXISTING STORM JUNCTION BOX
--- (dashed line with dots)	EXISTING STORM PIPE
--- (dashed line with squares)	PROPOSED AREA DRAIN
--- (dashed line with triangles)	PROPOSED STORM CLEANOUT
--- (solid line)	PROPOSED STORM PIPE

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
REVISIONS:

WR JOB NUMBER 02170437.05
DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C3.10

WILLIAMS REALTY & BUILDING CO., INC.
3111 GLENWOOD AVE.
RALEIGH, NC 27612

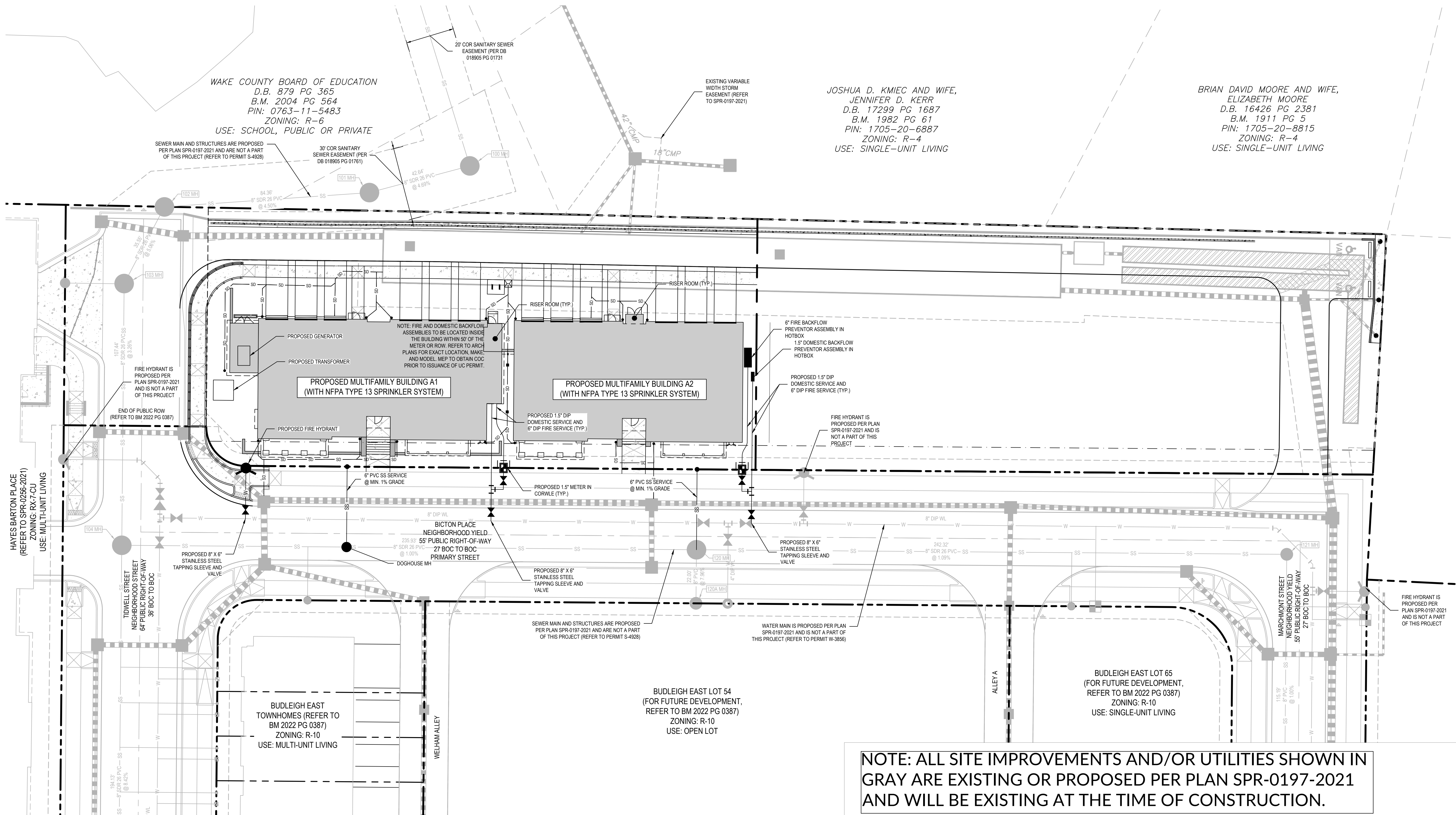
BUDLEIGH EAST FLATS I
ASR-XXXX-2024

2538 & 2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

WithersRavenel
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

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K:\17\0437\170437-05-Budleigh East Flats - WR\DCD\CAD\Drawing Set\028 Plan 1-C3D Grading and Drainage Plan.dwg Plotter: January 5, 2024 4:47:52 PM - ADR\ALLIA



WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

PROPOSED MULTIFAMILY BUILDING A1
 (WITH NFPA TYPE 13 SPRINKLER SYSTEM)

PROPOSED MULTIFAMILY BUILDING A2
 (WITH NFPA TYPE 13 SPRINKLER SYSTEM)

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

UTILITIES NOTES:

- MANHOLES TO BE CORE DRILLED AND BOOTED AT ALL PRIVATE SEWER SERVICE CONNECTIONS
- FOG APPROVAL IS REQUIRED PRIOR TO ISSUANCE OF UC PERMIT

COR APPENDIX D STANDARD UTILITY NOTES:

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS

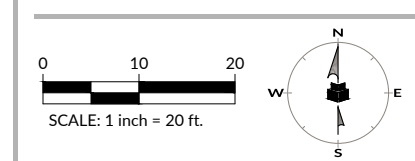
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1.5" DIP WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. **NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.**
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION

- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

UTILITIES LEGEND:

SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED FOG
	PROPOSED WATER LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
 REVISIONS:

WR JOB NUMBER 02170437.05
 DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C4.00

WILLIAMS REALTY & BUILDING CO., INC.
 3111 GLENWOOD AVE.
 RALEIGH, NC 27612

BUDLEIGH EAST FLATS I ASR-XXXX-2024
 ADMINISTRATIVE SITE REVIEW

2538 & 2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

WithersRavenel
 137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

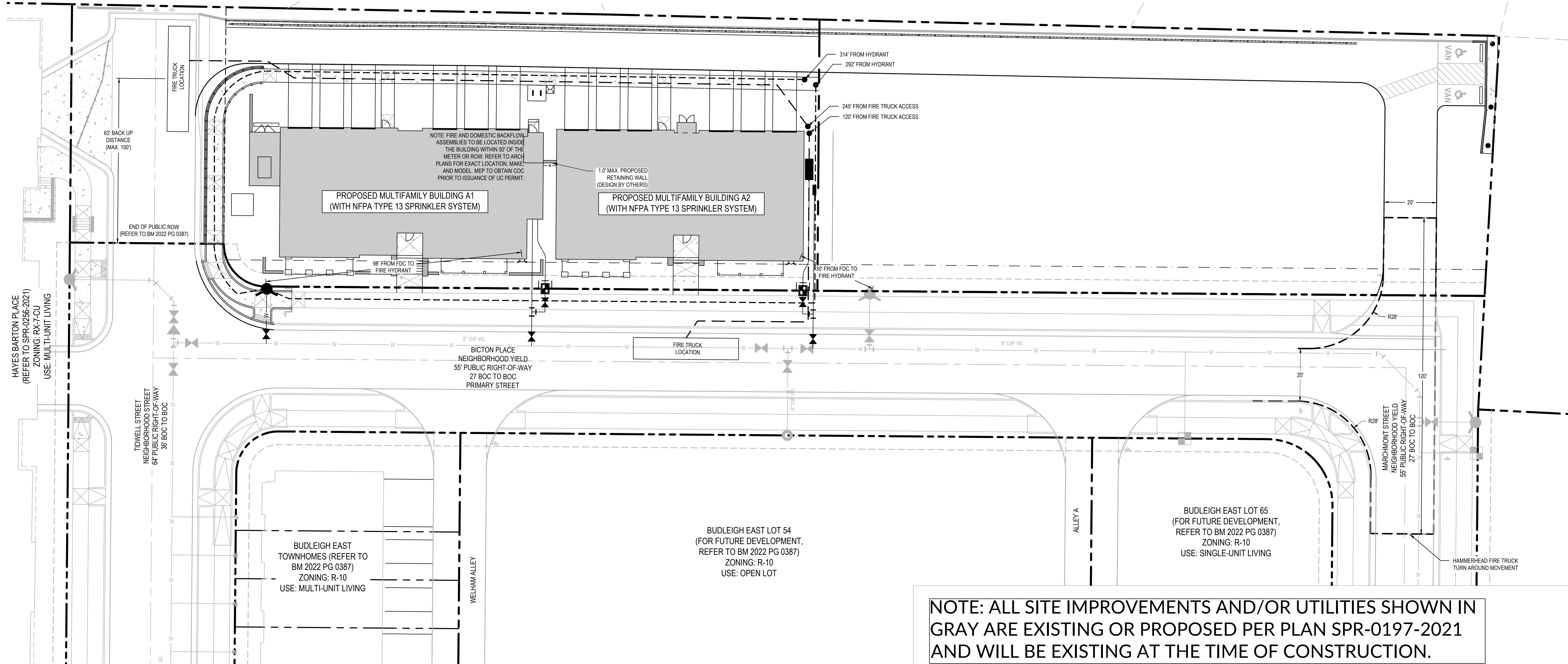
our people • your success

K:\17\0400\17040075-Budleigh East Flats - WDR\CD\CD\Drawing Set\Draw - Utilities\Utilities.dwg, January 5, 2024, 4:08:27 PM, ABBNLLA

WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING



NOTE: FIRE AND DOMESTIC BACKFLOW ASSEMBLIES TO BE LOCATED INSIDE THE BUILDING WITHIN 50' OF THE METER OR ROW. REFER TO ARCH PLANS FOR EXACT LOCATION, MAKE AND MODEL. MEP TO OBTAIN DOC PRIOR TO ISSUANCE OF LC PERMIT.

1.0' MAX. PROPOSED RETAINING WALL (DESIGN BY OTHERS)

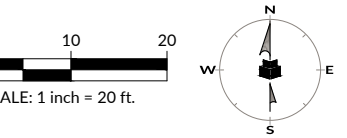
NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

- FIRE NOTES:**
- HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 - HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFC 503.2.3.

WILLIAMS REALTY & BUILDING CO., INC.
 3111 GLENWOOD AVE.
 RALEIGH, NC 27612

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS I
ASR-XXXX-2024

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

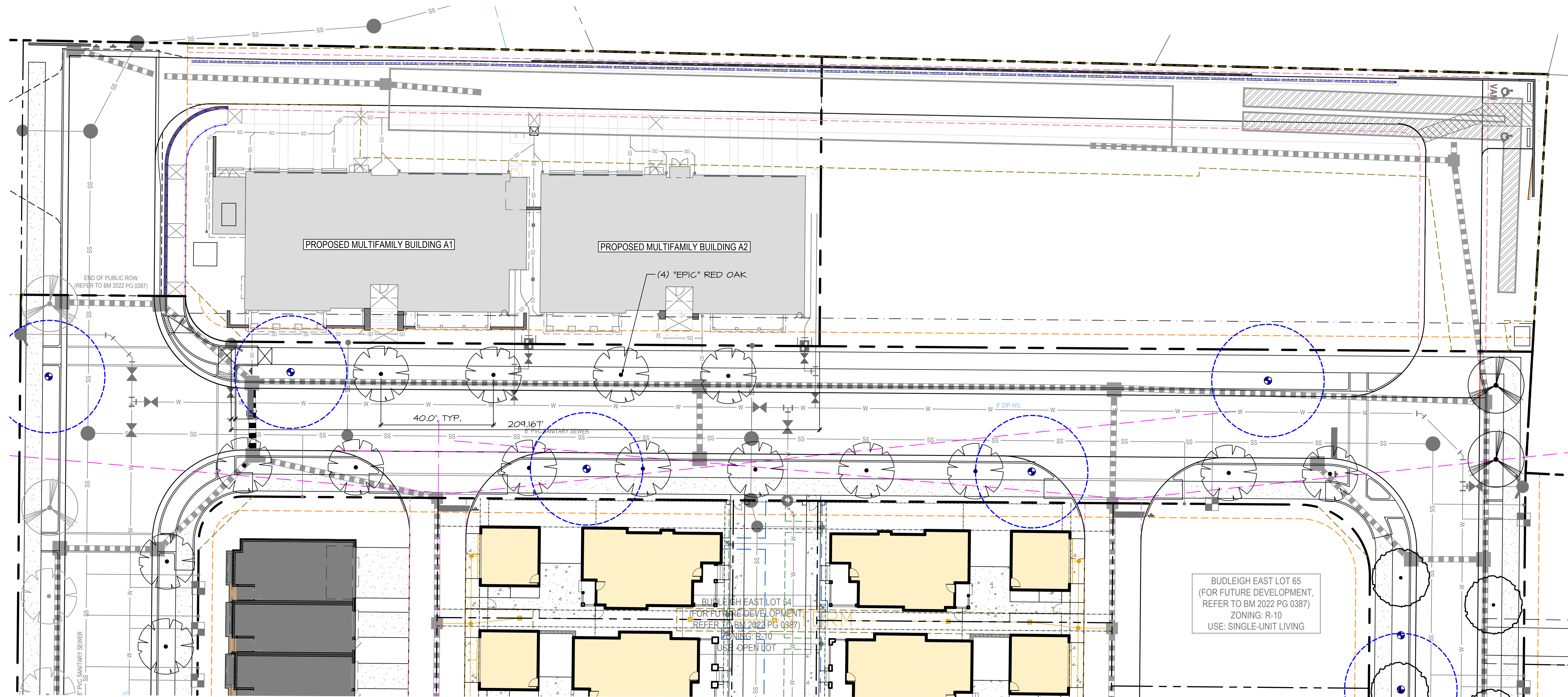


INITIAL PLAN DATE: 1/5/2024
 REVISIONS:

WR JOB NUMBER 02170437.05
 DRN: WR DGN: WR CKD: WR

FIRE ACCESS PLAN

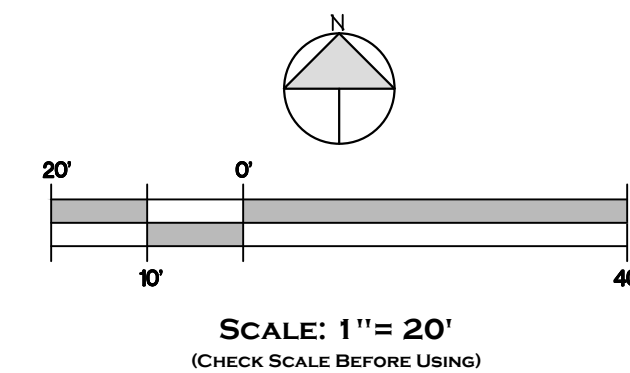
C5.00



STREET TREE CALCULATIONS
 BICTON PLACE STREET TREES
 209.167 LF
 1 LARGE TREE/40 LF
 209.167 - 1.5 (SIDEWALKS) = 207.33 LF
 207.33/40 = 5.18 TREE REQUIRED
 4 TREES PROVIDED
 INSTALL 3" CALIPER, 10' TALL

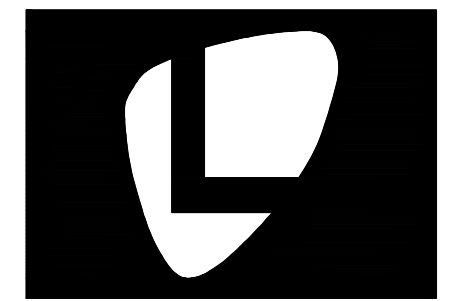
QUAN.	CODE REQUIRED PLANT SCHEDULE		SIZE	NOTES
	BOTANICAL NAME	COMMON NAME		
TREES AND LARGE EVERGREENS				
4	QUERCUS S. EPIC	EPIC RED OAK	3" CAL., 10' TALL	FULL MATCHING STREET TREES

NOTE:
 1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

CITY OF RALEIGH DEVELOPMENT APPROVAL _____



LIGGETT DESIGN GROUP

LANDSCAPE ARCHITECTURE
 SITE PLANNING & DESIGN

725A PITCHING ROAD RALEIGH, NC 27608
 PHONE 919.853.0303 FAX 919.853.1118
 MAIL@LIGGETTDESIGNGROUP.COM

SURVEYOR:
 WITHERS & RAVENEL
 115 MACKLEMAN DRIVE, CARY, NC 27511
 (919) 851-2344

SEALS/SIGNATURE

CONSTRUCTION UNLESS SIGNED
 BY LANDSCAPE ARCHITECT

CLIENT



BUDLEIGH EAST FLATS
 BICTON PLACE
 RALEIGH, NORTH CAROLINA

ISSUED FOR:
 SUBMITTAL

ISSUED DATE:
 12/13/2022

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
 CODE COMPLIANT
 LANDSCAPE PLAN

DRAWN BY: RW/WAB

CHECKED BY: FL

SCALE: 1"=20'

SHEET NUMBER:

L-1
 OF 2

PLANTING NOTES

1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1/2% to ensure smooth transitions between planting beds and lawn areas.
6. Mulch - install 3" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
9. Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
10. All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 6' from fire hydrants and other utilities, unless otherwise noted on plans.
12. All plants shall be installed as per generally accepted planting standards.
13. All dead and or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
14. All plants and stakes shall be set plumb unless otherwise specified.
15. Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
16. Landscape Architect shall select and layout all the perennial beds.
17. All planting bed edges to be smooth flowing arcs, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 3 to 4 inches deep, and "V" shaped. All excavated material shall be removed from the bed edge and planting bed.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including raking uneven areas, seeding grassed areas and for natural areas spreading minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

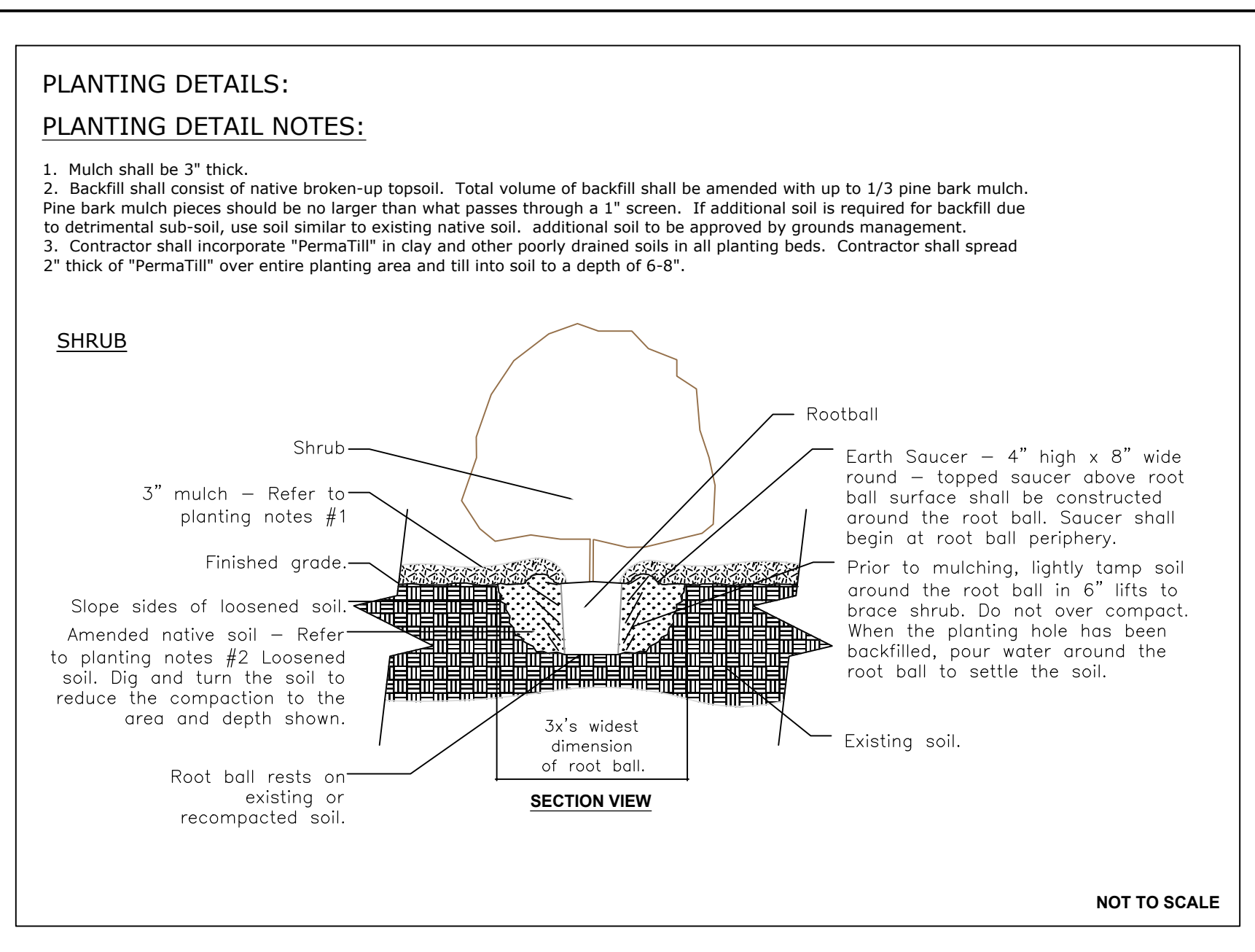
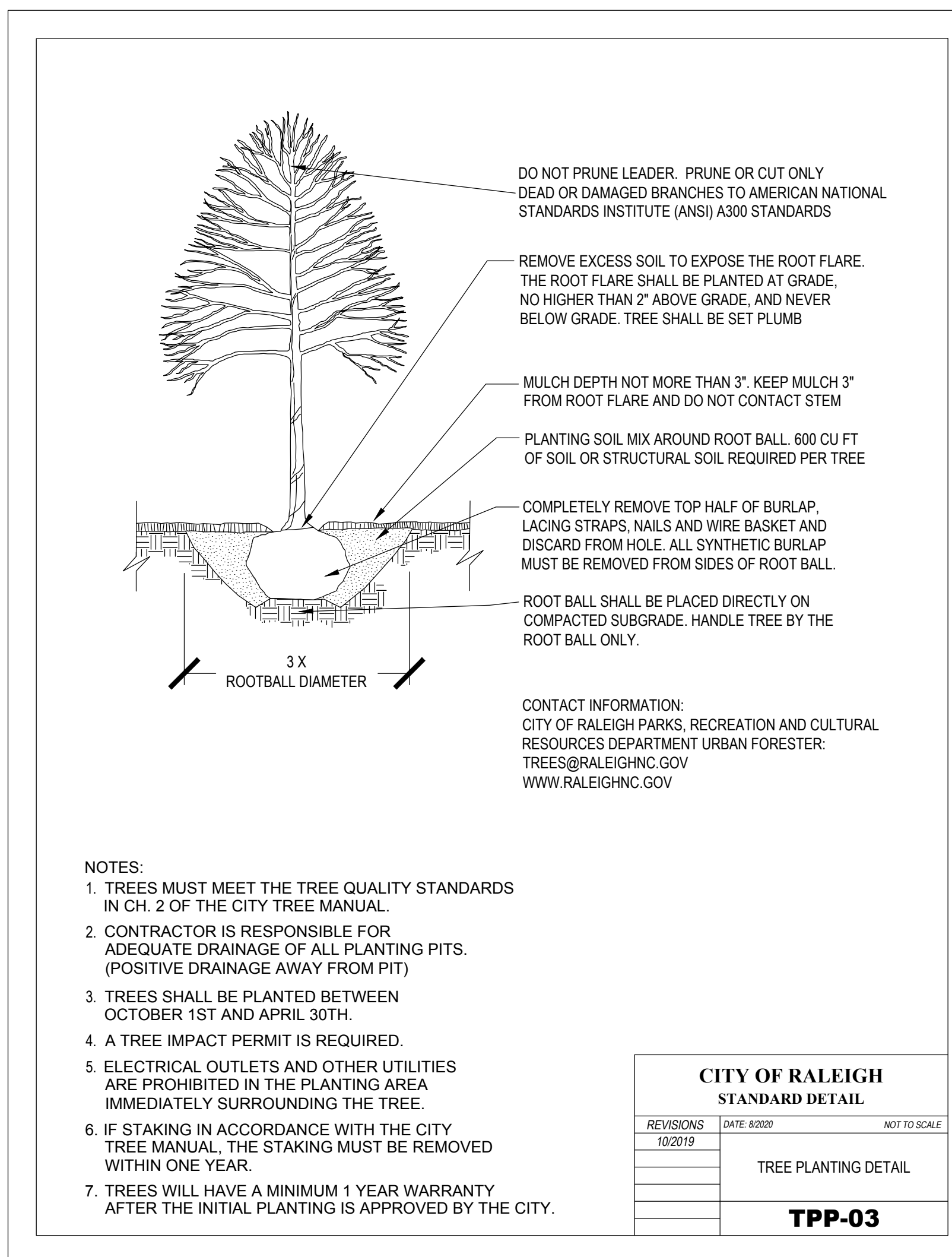
LANDSCAPE MAINTENANCE AGREEMENT

"The Owners of the Property and their Agents, Heirs or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owners shall be responsible for annual maintenance of the vegetation to include but not limited to:"

1. a. Fertilization: Zeon Zoysia lawns: Fertilize lawns twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawns: fertilize lawns twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
1. b. Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilizer shall be watered in.
1. c. Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2): Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be spread evenly under all plants (where applicable) and watered in. "(Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the planting "arrangement", however, over-fertilization shall not be acceptable.
2. Pruning: Removal of dead or diseased wood, or removal of tree branches for sight distance/safety reasons; the Shigo standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
3. Pest control: Pre-emergent weed control for lawns to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.
4. Mulching: Mulching shall be maintained at a depth of 2 - 3" in plant beds and tree saucers. As a minimum, mulch shall be reapplied at least every year during the months of February and March.
5. Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
6. Plant protection: Avoid excess intrusion into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
7. Watering: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
8. Warranty: Remove/replace all dead and or diseased plant material at each maintenance visit.

PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS

1. Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and superphosphate uniformly at the rate specified per soil pH testing results.
2. Site to be fine graded before permanent planting and seeding or sodding is installed.
3. Soil shall be loosened to a depth of 4 - 6 inches by disking, raking, roto-tilling or other acceptable means. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Chisel compacted areas and spread topsoil 3 inches deep over adverse soil conditions.
4. Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate/till-in 50/50 soil amendment in all plant beds.
5. All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
6. Sod areas to be sodded with workable size rolls that are not broken or stretched. Sod shall be free of thatch. Sod shall be installed within 24 hours of arrival at the site.
7. Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
8. Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be staked.
9. Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
10. Inspect all sodded areas and make necessary repairs or resod within the planting season, if possible. If grass stand should be over 60% damaged, Contractor shall consult with a conservation inspector on maintenance treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
11. Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
12. Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has been modified and the digital signature below is valid:
 CITY OF RALEIGH DEVELOPMENT APPROVAL _____

LANDSCAPE ARCHITECTURE
 SITE PLANNING & DESIGN
 725A PETERSHAW ROAD RALEIGH, NC 27608
 PHONE 919.853.0303 FAX 919.853.1118
 MAIL@LIGGETTDESIGNGROUP.COM
 SURVEYOR:
 WITHERS & RAVENEL
 115 MACKEYMAN DRIVE-CARY, NC 27511
 (919) 851-2344
 SEALS/SIGNATURE
 BY LANDSCAPE ARCHITECT
 CLIENT
 GRUBB VENTURES

BUDLEIGH EAST FLATS
 BICTON PLACE
 RALEIGH, NORTH CAROLINA

ISSUED FOR:
SUBMITTAL

ISSUED DATE:
12/13/2023

REVISIONS:

NO.	ITEM	DATE

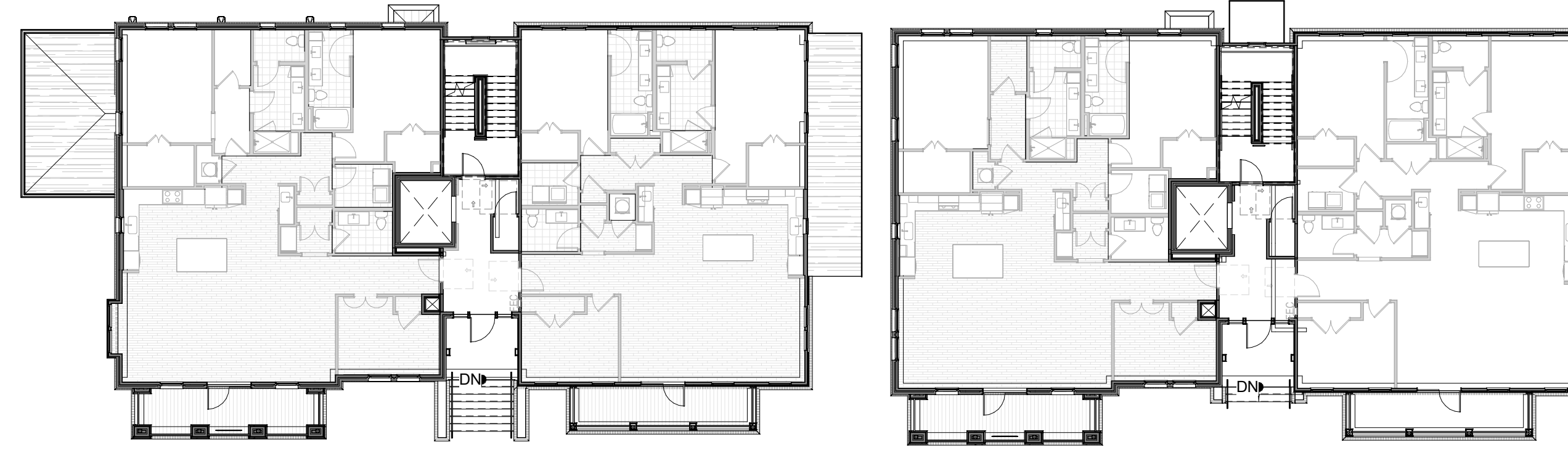
DRAWING TITLE:
**PLANTING PLAN
 DETAILS AND
 NOTES**

DRAWN BY: **RW/WAB**
 CHECKED BY: **FL**
 SCALE: **AS SHOWN**
 SHEET NUMBER:

L-2
 OF 2

BUILDING A1

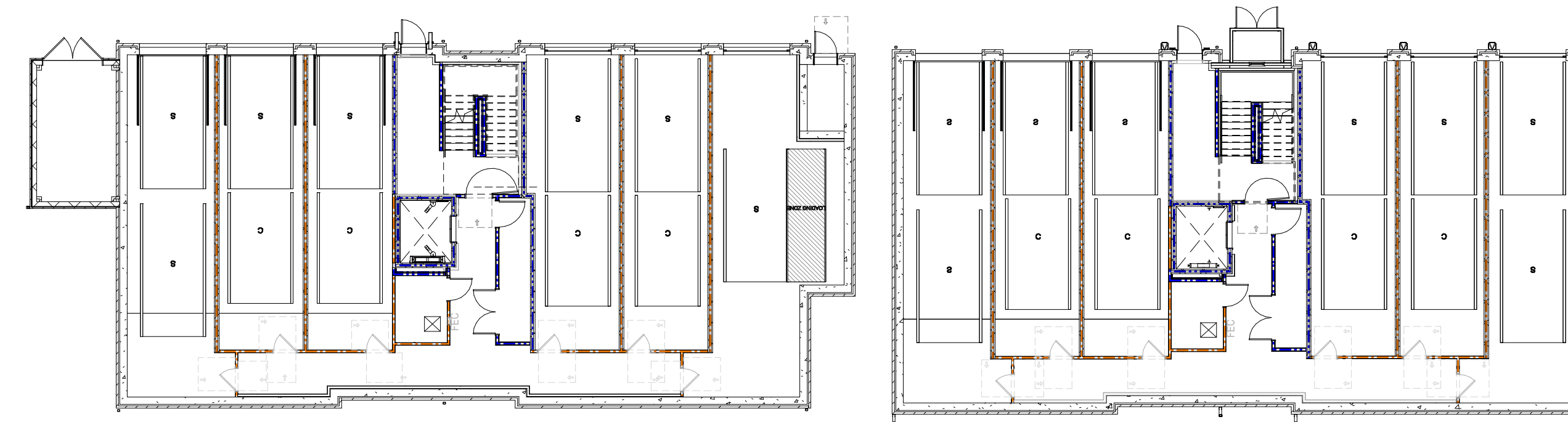
BUILDING A2



BUDLEIGH I-1ST FLOOR OVERALL

3

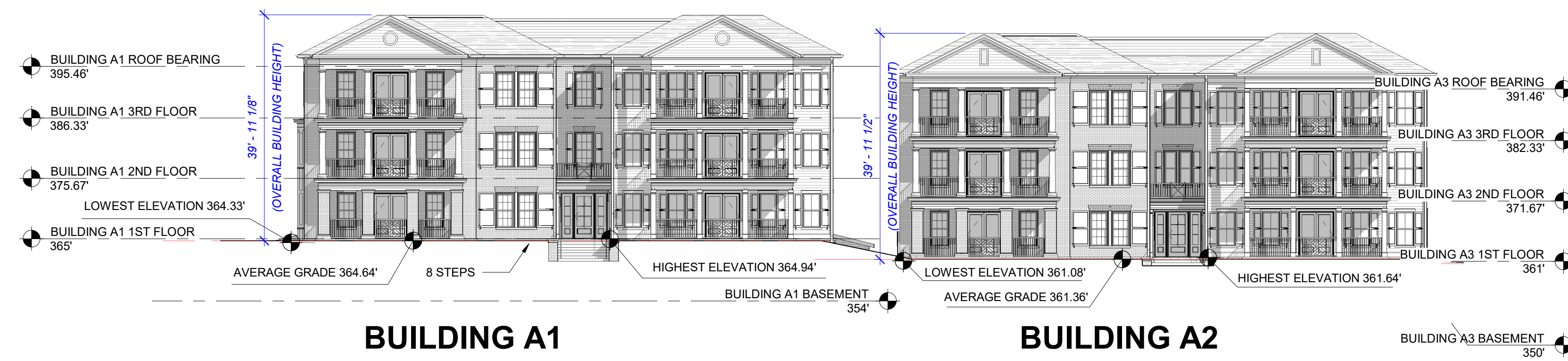
1/16" = 1'-0"



BUDLEIGH I-GARAGE PLAN OVERALL

2

1/16" = 1'-0"



BUDLEIGH I-ELEVATION OVERALL

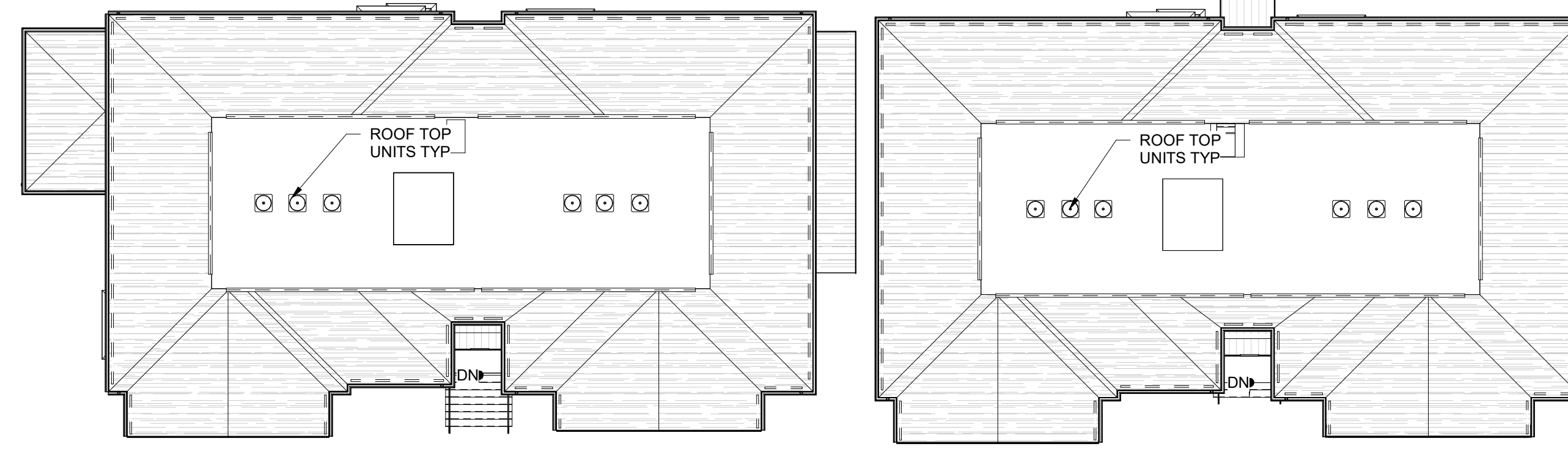
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1/16" = 1'-0"



BUILDING A1

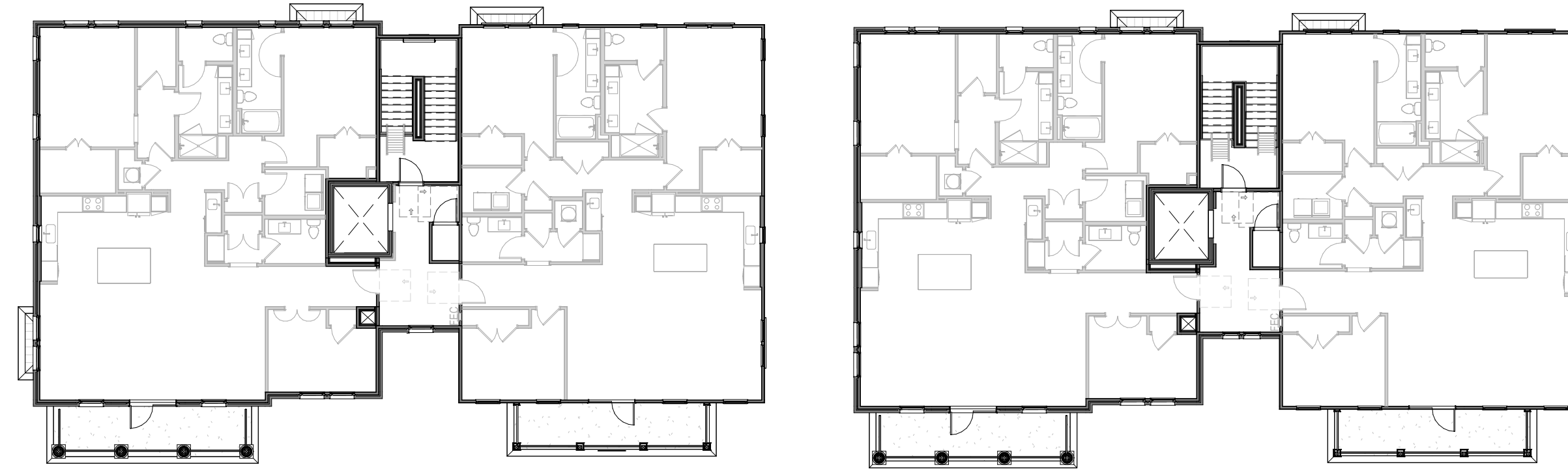
BUILDING A2



BUDLEIGH I-ROOF PLAN OVERALL

3

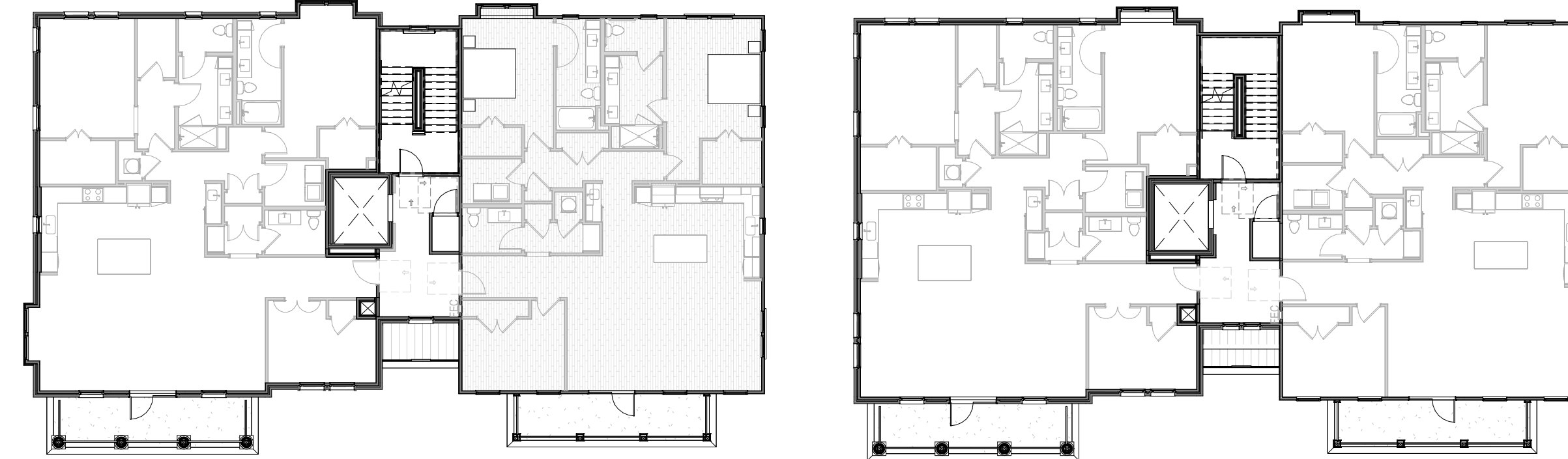
1/16" = 1'-0"



BUDLEIGH I-3RD FLOOR OVERALL

2

1/16" = 1'-0"

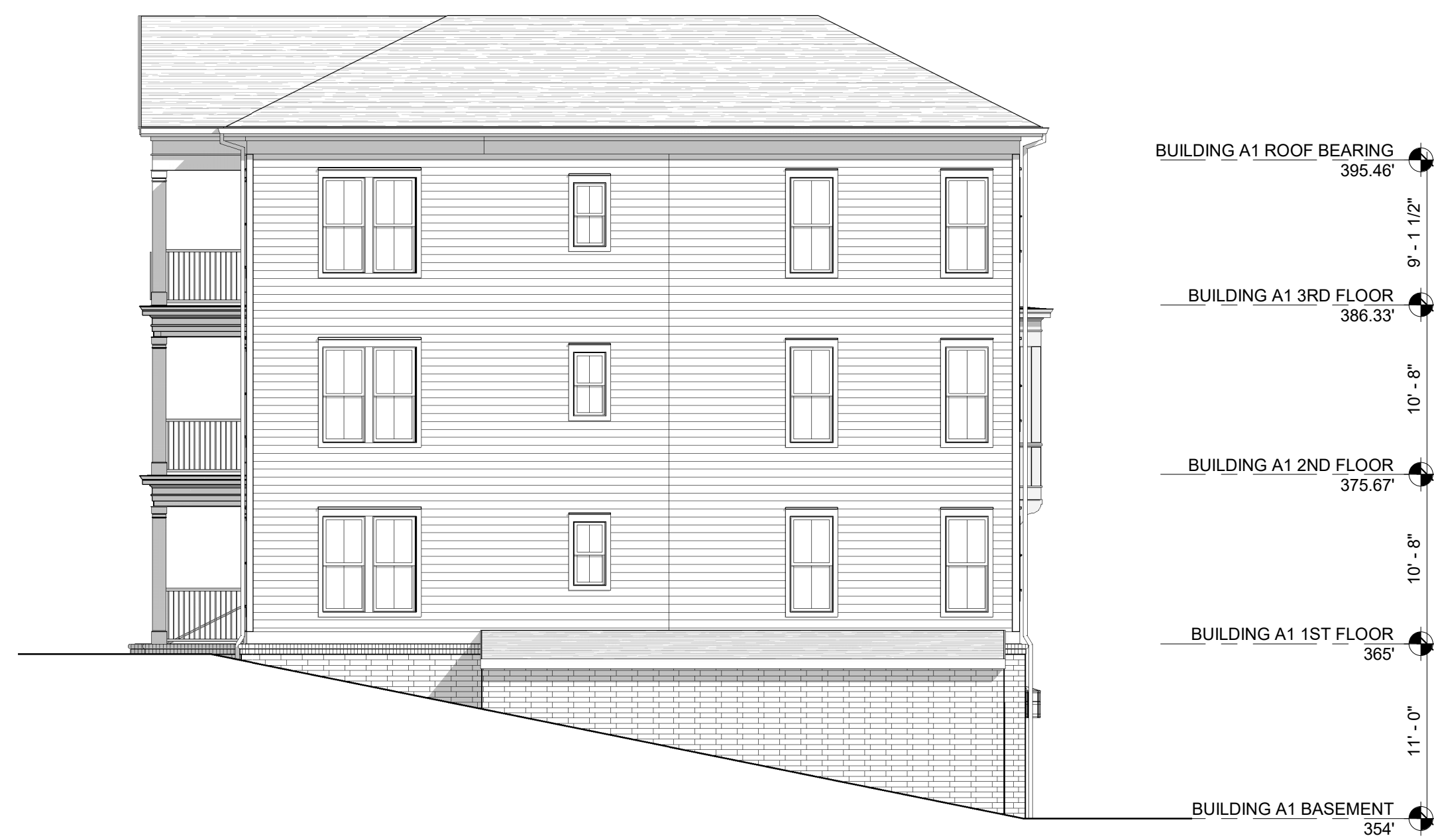


BUDLEIGH I-2ND FLOOR OVERALL

1

1/16" = 1'-0"





BUILDING A1 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A1 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A1 - WEST ELEVATION 3
1/8" = 1'-0"



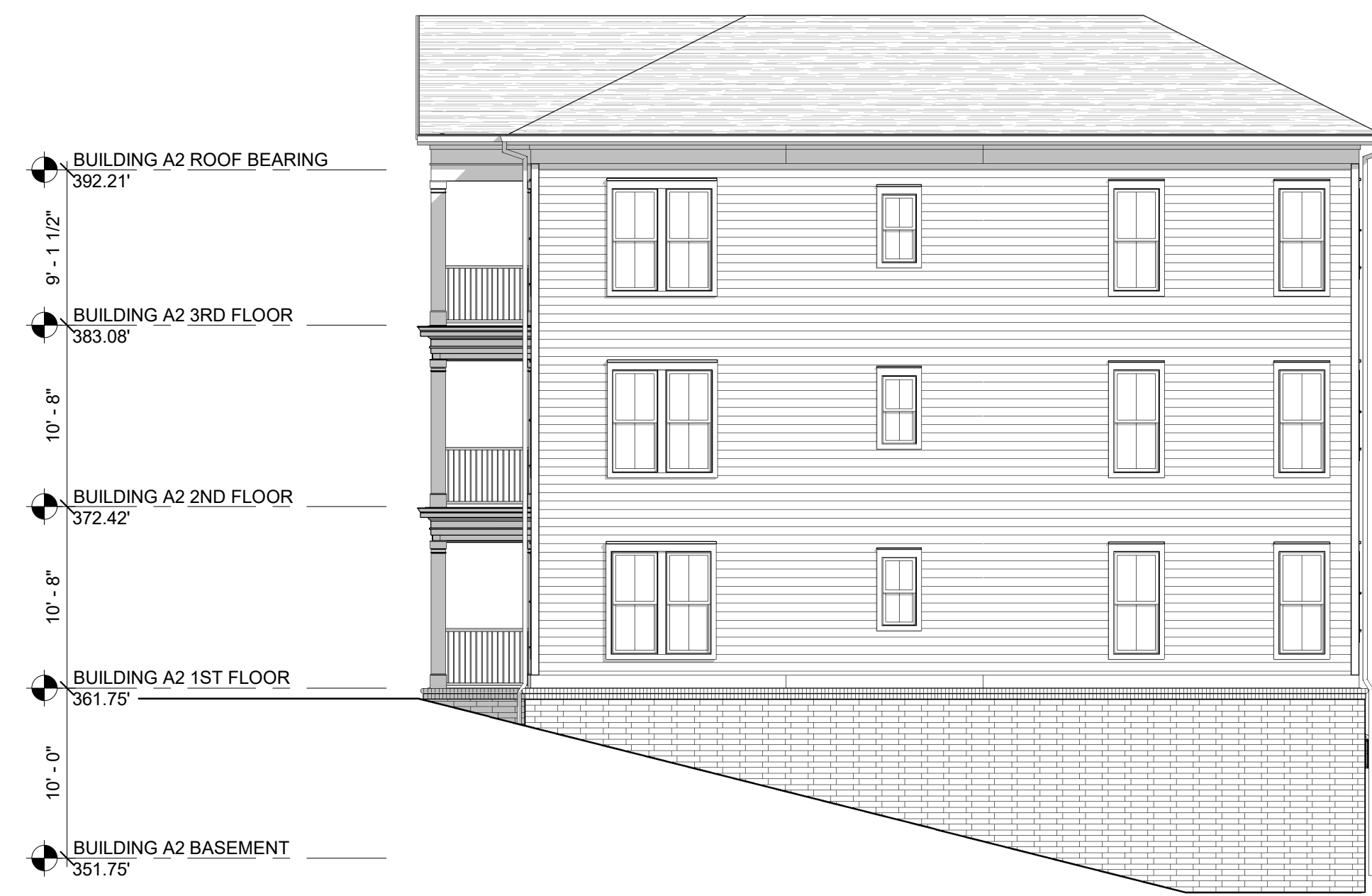
BUILDING A1 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH I-BUILDING A1 ELEVATIONS A1/A2-03

1/8" = 1'-0" | 023154 | 01.05.2024



BUILDING A2 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A2 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A2 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A2 - SOUTH ELEVATION 1
1/8" = 1'-0"

