



Administrative Approval Action

Case File / Name: ASR-0003-2024
DSLCL - Budleigh East Flats I

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 0.661 acre vacant site composed of two parcels zoned R-10 and a small portion zoned RX-7 CU is located on the north side of Bicton Place between Tidwell and Marchmont Streets at 2538 and 2504 Bicton Place.
- REQUEST:** This proposal is for two multi-family apartment buildings of 35,288 square foot size and 12 residential units total with associated site improvements. This site is in a Frequent Transit Area and utilizing the Frequent Transit Development Option.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 9, 2024 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- There are several existing water and sewer laterals along Bicton Place from the previously approved SPR that must be abandoned back to the main per CORPUD standards.

Stormwater

- A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

Engineering

1. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Record the recombination map recombining the two lots as shown on the preliminary plan (RCMP-0324-2023).

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

3. Tree impact permits must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 4 street trees along Bicton Place.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.



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- 4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

- 5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 11, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 06/11/2024
Development Services Dir/Designee

Staff Coordinator: Michael Walters

ADMINISTRATIVE SITE REVIEW BUDLEIGH EAST FLATS I ASR-0003-2024

2538 & 2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

BENCHMARK

BENCHMARK IS LOCAL TO SITE.
VERTICAL DATUM BASED ON NAVD 88.

SITE DATA

SITE ADDRESSES:	2538 & 2504 BICTON PL RALEIGH, NC 27608
FIN NUMBERS:	170520234; 1705200701
DEED BOOK AND PAGE:	080370464 AC 0326; 186370464 PG 02215
ZONING DISTRICTS:	R6-B, R6-C-CU (PORTION OF LOT 30) SR-PR-017-2021 (R 6X-7-CU ZONING)
ZONING CONDITION:	21-2020; ORDINANCE 84 ZC 797
OVERLAY DISTRICTS:	N/A
SITE ACREAGE:	28.802 SF (0.664 AC) (LOT 30); 25,800 SF (0.59 AC) (LOT 16)
EXISTING USE:	MULTIFAMILY OPEN LOT (LOT 30)
PROPOSED USE:	MULTIFAMILY OPEN LOT (LOT 16)
BUILDING INFORMATION:	PROPOSED BUILDINGS: 2 GROSS BUILDING SF: 17,544 SF PER BUILDING TOTAL UNITS: 12 UNITS
PARKING:	MAXIMUM: 2.58 SPACES PER UNIT PER UDO 7.1.2(C) PROVIDED: 28 SPACES (28 GARAGE (2 PER UNIT) & 2 SURFACE) (SEE SHEET C2.00 FOR PARKING CALCULATIONS)
BI-CYCLE PARKING:	REQUIRED: LONG-TERM - 1 SPACE PER 2 BEDROOMS PER UDO 7.1.2(C) REQUIRED: LONG-TERM - 2 SPACES REQUIRED: SHORT-TERM - 1 SPACE PER 20 UNITS, MINIMUM OF 4 SPACES PER UDO 7.1.2(C) REQUIRED: SHORT-TERM - 4 SPACES (SEE SHEET C2.00 FOR BI-CYCLE PARKING CALCULATIONS)
OUTDOOR AMENITY AREA:	REQUIRED: 10% FLOOR LOT 30 ONLY LOT 16 IS AN OPEN LOT AND DOES NOT HAVE AN AMENITY AREA REQUIREMENT PROVIDED: 32.2% PROVIDED ON BUDLEIGH SUBDIVISION LOT 35 ONLY. REFER TO SHEET C2.10 FOR LOCATION AND CALCULATION. NO ADDITIONAL AMENITY AREAS PROPOSED ON LOTS 16 OR 30.
LOT AREA PER UNIT (LOT 30 ONLY):	REQUIRED: 800 SF PER UNIT PER UDO SEC 2.7.1 PROVIDED: 2,800 SF PER UNIT (SEE SHEET C2.00 FOR PARKING CALCULATIONS)

NOTE: SEE THIS SHEET FOR UDO SEC 2.7.1 COMPLIANCE TABLE, WHICH SHOWS VARIOUS DIMENSIONAL REQUIREMENTS AND PROVISIONS.

Administrative Site Review Application

NOTE: please attach purchase agreement or contract, lease or statement when submitting this form.

Developer Contact: Alex Dillon
Company: Williams Realty & Building Co., Inc.
Address: 3111 Glenwood Ave., Raleigh, NC 27612
Phone #: 919-238-9060 | Email: alex.dillon@wrbc.com

Applicant Name: Amber Mason
Company: WilliamsRavenel
Address: 137 S. Wilmington St. Suite 200
Phone #: 919-238-9060 | Email: amber@williamsravenel.com

DEVELOPMENT TYPE - SITE DATA TABLE
(Applicable to all developments)

SITE DATA		BUILDING DATA	
zoning district: R6-B/R6-C-CU	Subdivision case #: SPR-0197-2021	Existing gross floor area (not to be demolished):	0
Gross site acreage: 1.28 AC (54,650 SF)	Occupancy plan case #:	Existing gross floor area to be demolished:	0
# of parking spaces proposed: 28	Certificate of Appropriateness #:	New gross floor area: 35,288 SF	Total # of gross floor area to be demolished: 0
New parking permitted: 71.2 (2) 27	Zoning Case #:	Proposed use (UDO 6.1.4): Multifamily Open Lot	Proposed # of units per acre: 167 A & D
Overlay District (if applicable):	Design Alteration #:		
Existing use (UDO 6.1.4): Multifamily Open Lot			
Proposed use (UDO 6.1.4): Multifamily Open Lot			

GENERAL INFORMATION

Development Name: Budleigh East Flats I
Case City/County: Yes [X] No []
Property Address(es): 2538 Bicton Place, 2504 Bicton Place, Raleigh, NC 27608
Site # (N/A or 170520234; 1705200701)
Please describe the scope of work. Include any addition, expansion, and use (UDO 6.1.4).

Construction of two (2) multi-unit apartment buildings and associated site improvements.

Current Property Owner(s): LW Budleigh LLC
Company: Williams Realty & Building Co., Inc.
Address: 3111 Glenwood Ave., Raleigh, NC 27612
Phone #: 919-238-9060 | Email: alex.dillon@wrbc.com

Applicant Name (if different from owner, Site # who can apply) (if instructed):
Relationship to owner: [] lease or contract purchaser [X] other subcontract agent [] licensed holder
Company: WilliamsRavenel | Address: 137 S. Wilmington St. Suite 200
Phone #: 919-238-9060 | Email: amber@williamsravenel.com

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-400(b)), applications for development approvals may be made by the landowner, a leasee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An applicant holder may also seek development approval for such development as is authorized by the applicant.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-400(b)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in this application are correct and that the undersigned understands the development approvals are subject to resolution by state appearance or non-appearance in accordance with the development approval, pursuant to N.C. Gen. Stat. § 160D-402.

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project development is in compliance with all requirements in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 160D-200.1), if this permit application is approved, the applicant shall be deemed to have accepted the conditions of the application, and if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application moves to disapproval and a new application is required to be submitted and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Amber Mason*
Printed Name: Amber Mason
Date: 10/20/24

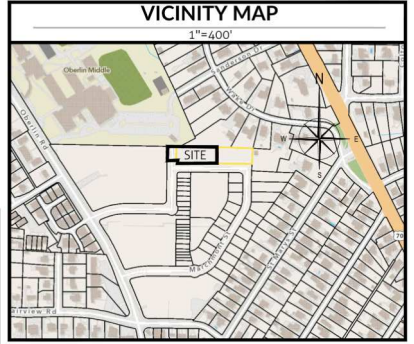
STORMWATER INFORMATION

Impervious Area (in Percent):
Existing (sf): 0 Proposed (sf): 18,871 Existing (sf) % Proposed (sf) %

RESIDENTIAL AND OVERSIGHT DEVELOPMENT REQUIREMENTS

Total # of dwelling units: 12 Total # of hotel bedrooms: 0
of bathroom units: 12 # of kitchen units: 0
of units: 12 Is any unit a cottage/courtyard? [X] Yes [] No
Is a frequent transit development? [X] Yes [] No

Continue to Applicant Signature Block on Page Three.



INDEX OF SHEETS

Sheet Number	Sheet Title
C0.00	GENERAL NOTES, LEGEND, AND TABLES
C0.01	PRELIMINARY PLAN
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C2.10	OUTDOOR AMENITY AREA
C3.00	GRADING AND DRAINAGE PLAN
C3.10	GRADING AND DRAINAGE PLAN
C4.00	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
L-1	CODE COMPLIANT LANDSCAPE PLAN
L-2	PLANTING PLAN DETAILS AND NOTES
A1/A2-01	ASR-BUDLEIGH I-BLDGS A1-A2 OVERALL ELEVATIONS & PLANS
A1/A2-02	ASR-BUDLEIGH I-BLDGS A1-A2 PLANS
A1/A2-03	ASR-BUDLEIGH I-BUDLEIGH A1 ELEVATIONS
A1/A2-04	ASR-BUDLEIGH I-BUDLEIGH A2 ELEVATIONS

RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND RESTRICTION PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES PRIOR TO THE START OF WORK. THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND ENSURE ALL PERMITS ARE ACQUIRED.
- THE CITY OF RALEIGH REQUIRES APPROVED RIGHT-OF-WAY OBSTRUCTION PERMITS FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITH RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL, SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM CONTROLLED DEVICES AND THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY AND STRUCTURES' NCDOT ROADWAY STANDARD DRAWING MANUAL, AND THE NCDOT SIGNAGE HANDBOOK TO THE M.U.C.D.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEOPLE WITH MOBILITY CONCERNS AND/OR PEOPLE WITH HEARING CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. ACCESSIBILITY GUIDELINES (PROVIDING) THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES ARE APPLICABLE.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PROJECT NOTES

- THIS PROJECT IS AN ADMINISTRATIVE SITE REVIEW (ASR) AND IS CLASSIFIED AS A TIER THREE (3) SITE PLAN IN ACCORD WITH RECENTLY ADOPTED CITY OF RALEIGH ORDINANCE 2020-149 FC 438
- THE CURRENT USE OF THE SUBJECT PROPERTY IS ACATE.
- PUBLIC INFRASTRUCTURE IS REQUIRED (PROPOSED) UNDER APPROVED SPR-0197-2021.
- LAND DEVELOPMENT IS GREATER THAN 1,000 SQUARE FEET.
- ASSESSMENT CHANGES REQUIRING A PLAN TO BE RECORDED ARE PROPOSED.
- NO AREAS ON THIS PROPERTY OR WITHIN THE PROPERTY TRACT HAVE BECOME THE CONSERVATION AREAS AND TITLES PROPOSED WITH THE PROJECT REFER TO SPR-0197-2021 FOR CRITICAL ROOT ZONE ANALYSIS RESULTS.
- THE PROPOSED SCOPE OF WORK PROPOSED BY THIS ASR DOES NOT IMPACT A PRIMARY TREE CONSERVATION AREA.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFA 13 SPRINKLER SYSTEM REQUIREMENTS).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600 AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NFA 13).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5/8" SNOUT CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NFA, SECTION 307.3.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR, TWO (2) 44 GALLON TRASH CANS WILL BE LOCATED PERIODICALLY THROUGHOUT EACH BLOCK, THREE (3) WEEKS, A PROPERTY MANAGER EMPLOYEE WILL COLLECT THE WASTE AND BRING IT TO THE NEAREST CURB SIDE (PH 1705105959), WHERE IT WILL BE PICKED UP BY A PRIVATE FIRM.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

CONTACT LIST:

Civil Engineer Ron Casali, PE WRBC/WRBened 137 S. Wilmington Street, Suite 200 Raleigh, NC 27601 919-533-5290 ron@williamsravenel.com	Developer Alex Dillon Williams Realty & Realty Co. 3111 Glenwood Ave Raleigh, NC 27612 336-337-4461 alex.dillon@wrbc.com	Owner The Mason LW Budleigh LLC 2334 S. 4th St. Wilmington, NC 28403 919-832-7042 mason@lwmasonllc.com
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PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



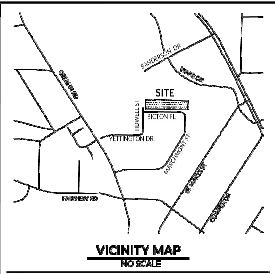
WithersRavenel
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | 919-466-3560 | www.williamsravenel.com

PREPARED BY:

DEVELOPER: WILLIAMS REALTY & BUILDING CO., INC.

3111 GLENWOOD AVE.
RALEIGH, NC 27612
PHONE #: 336-337-4461
ATTENTION: ALEX DILLON

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS I
ASR-0003-2024
WR PROJECT NO. 0217043726
RALEIGH
MUNI PROJ NO. ASR-XXXX-2024
INITIAL PLAN DATE: 1/5/2024

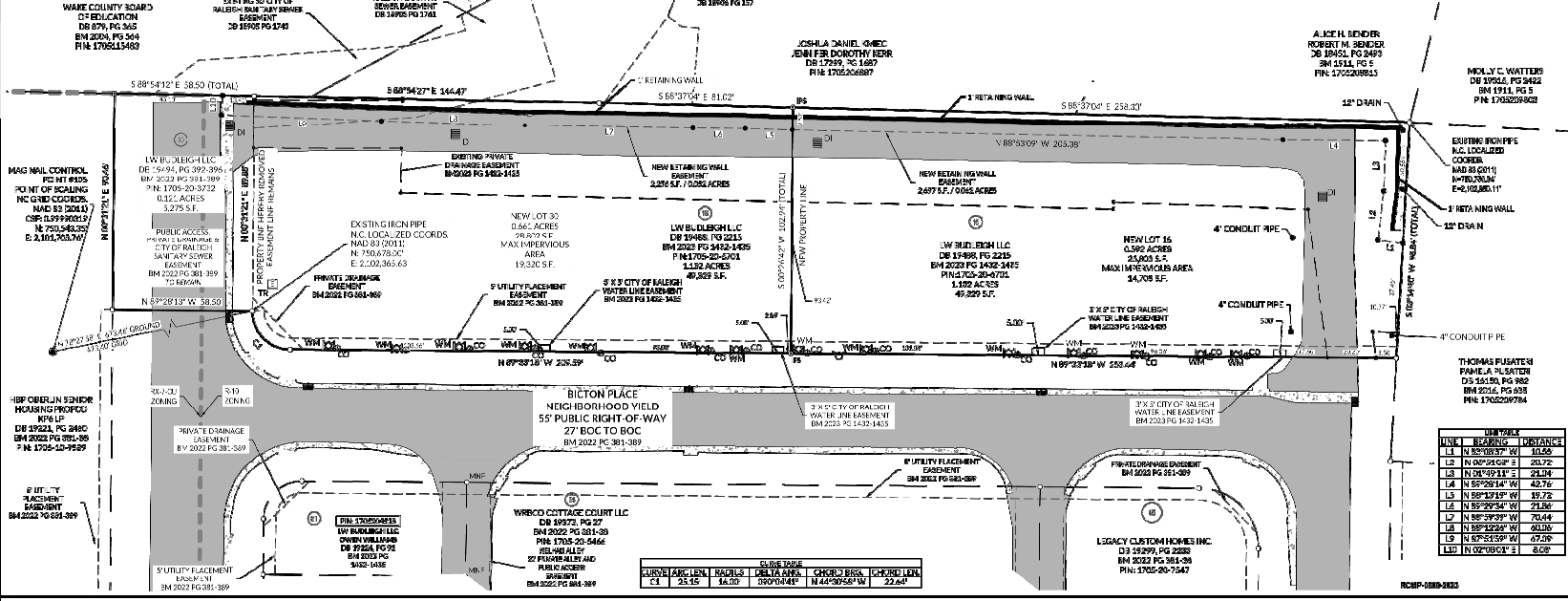


MISCELLANEOUS/PRELIMINARY CERTIFICATE
THIS PLAT OR MAP DOES NOT REQUIRE PRELIMINARY APPROVAL AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

PLANNING AND DEVELOPMENT OFFICER/WAKE COUNTY REVIEW OFFICER

CITY LIMITS CERTIFICATION
THIS PLAT IS NOT TO BE RECORDED AFTER CITY OF WAKE COUNTY HAS REVIEWED THIS PLAT AND IS OUT OF THE CITY LIMITS.

WAKE COUNTY SCARD RELOCATION
DB 879, PG 345
BM 2022, PG 346
PIN: 1705251583



- SURVEY NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BEARS OF BEARINGS: NAD 83(2011).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD REVEAL.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 1702170400K, PANEL 1704 AND NO. 1722170202K, PANEL 1702, EFFECTIVE DATE JULY 19, 2022.
 - THE PURPOSE OF THIS PLAT IS TO RECOMBINE AND REALLOCATE IMPERVIOUS AREAS OF LOTS 16 AND 30 AND ESTABLISH RETAINING WALL EASEMENT.

PROPERTY OWNERS CERTIFICATE
THE CERTAIN AND NEARLY THE UNDERSIGNED IS/ARE THE SOLE OWNERS OF THE PROPERTY SHOWN ON THIS MAP OR PLAT AND ANY ACCOMPANYING SHEETS WHICH HAVE ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEEDS RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE, WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS/HAVE THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE.

BOOK NO. 1848 (PGS 15-16) 1849 (PG 17)
PAGE NO. 2415 (LOT 16, 2416 (LOT 30))
SIGNATURES & TITLE POSITION OF PROPERTY OWNER: W. J. WILSON (N.C. 25440-1302)

NOTARY STATEMENT
STATE OF NORTH CAROLINA
COUNTY OF _____

I, _____, NOTARY PUBLIC, DO HEREBY CERTIFY THAT THE FOREGOING DOCUMENT WAS PRESENTED TO ME BY THE PERSONS WHOSE NAMES ARE THEREIN AND THAT THE SIGNATURES THEREON ARE THE SIGNATURES OF THE PERSONS WHOSE NAMES ARE THEREIN AND THAT THE SIGNATURES ARE VOLUNTARILY MADE BY THE FOREGOING PERSONS FOR THE PURPOSES SET FORTH THEREIN AND IN THE CAPACITY INDICATED.

DATE: _____, 2023
PRINTED NAME: _____, NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

LEGEND (UNLESS OTHERWISE NOTED)

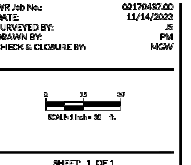
- ADJOINER
- BOUNDARY
- BUILDING
- CONCRETE
- EASEMENT
- PAVEMENT
- RETAINING WALL
- RIGHT OF WAY
- ZONING
- CALCULATED POINT
- CATCH BASIN
- CLEANOUT
- DROP INLET
- EDGE OF PAVEMENT
- FIRE HYDRANT
- IRON PIPE SET
- LOT NUMBER
- MAGNETIC NAIL FOUND
- REBAR FOUND
- RIGHT OF WAY
- TRANSFORMER
- WATER METER
- WIRE CONTROL POINT
- PAVED AREA
- CONCRETE

SURVEYOR'S CERTIFICATE
I, _____, SURVEYOR, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND THAT THE PLAT IS ACCURATE AND CORRECT AND THAT THE RECOMBINATION OF IMPERVIOUS AREAS AND REALLOCATION OF AREAS SHOWN HEREON IS IN ACCORDANCE WITH THE STATUTES OF THE STATE OF NORTH CAROLINA AND THAT THE PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 41-21 AS AMENDED BY ANY CHANGING STATUTES, LOCAL ORDINANCES AND RESOLUTIONS.

THIS PLAT WAS PREPARED ON _____, 2023.
PREPARED BY: _____
LICENSE NUMBER: 1-1244

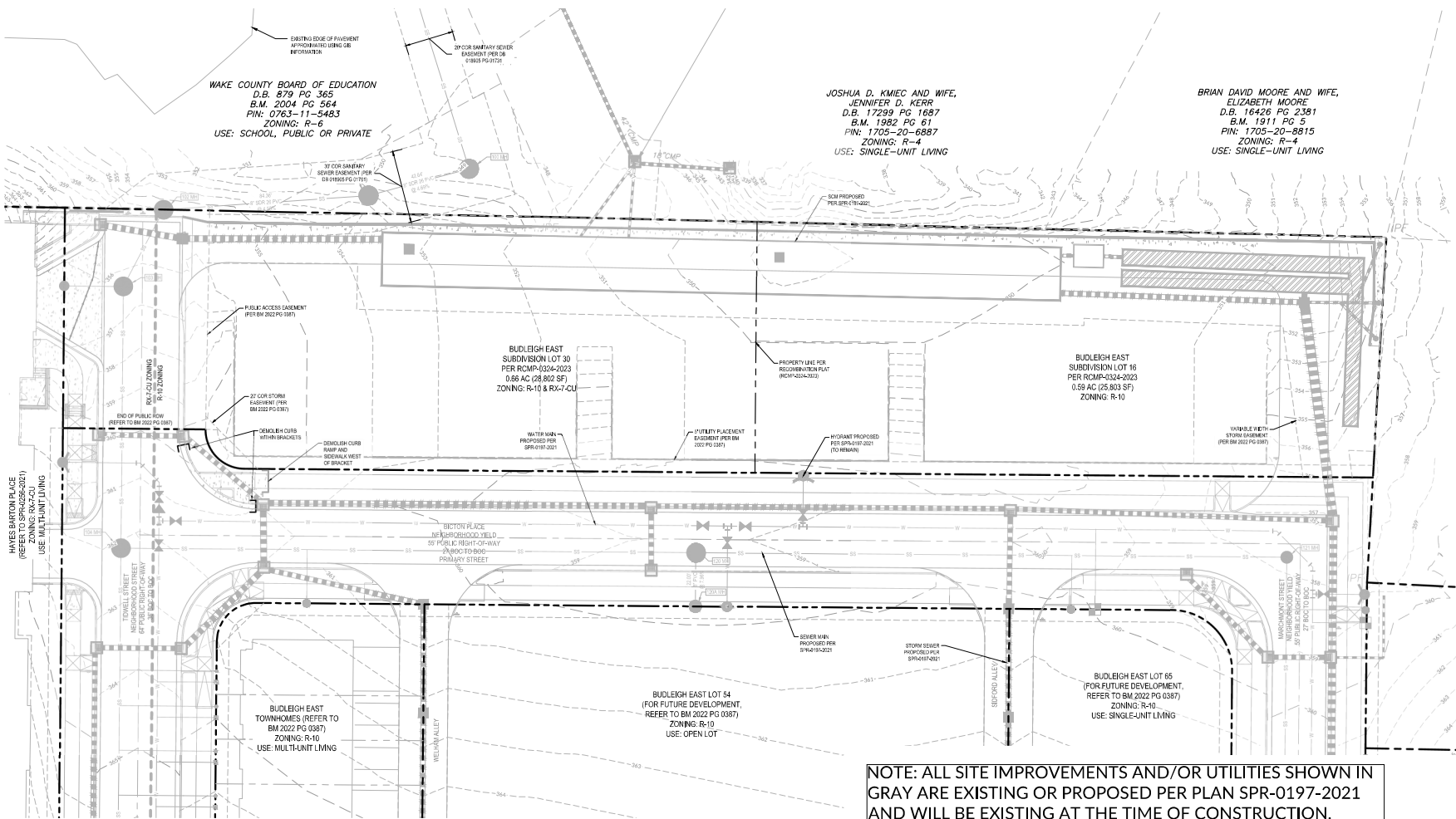
RECOMBINATION, RETAINING WALL EASEMENT AND IMPERVIOUS REALLOCATION PLAT
BUDLEIGH EAST, LOTS 16 & 30
PROPERTY OF
LW BUDLEIGH LLC
RALEIGH TOWNSHIP | WAKE COUNTY | NORTH CAROLINA
PIN: 1705-20-3732, 1705-20-1435
ZONING: R-10, RX-5-CU

WR JOB NO: 2415
DATE SURVEYED BY: 06/04/2023
CHECK & CORRECT BY: _____
DATE: 11/14/2023
BY: PJM
MCM



WithersRavenel
115 MacKinnon Drive | Cary, NC 27511
License #: F-1477 | t: 919-469-2540 | www.withersravenel.com

LINE	BEARING	DISTANCE
L1	N 89°58'57" W	10.50
L2	N 0°00'00" E	20.72
L3	N 0°00'00" E	21.24
L4	N 89°28'14" W	42.76
L5	N 89°28'14" W	39.72
L6	N 89°28'54" W	21.30
L7	N 89°59'39" W	70.44
L8	N 89°28'54" W	42.76
L9	N 0°00'00" E	8.00



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

DEMOLITION LEGEND

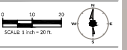
SYMBOL	DESCRIPTION
	XXX AREAS TO BE REMOVED
	FENCE TO BE REMOVED
	STORM PIPE TO BE REMOVED
	WETLANDS TO BE IMPACTED
	TREE TO BE REMOVED

EXISTING CONDITIONS AND DEMOLITION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITIONS AS OF START OF WORK.
4. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
5. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATIONS DIVISION/PUBLIC WORKS DEPARTMENT.
7. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG) 2019 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
9. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT, TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
10. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
12. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE 'RIGHT-OF-WAY CLOSURES' ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
13. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
14. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
15. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

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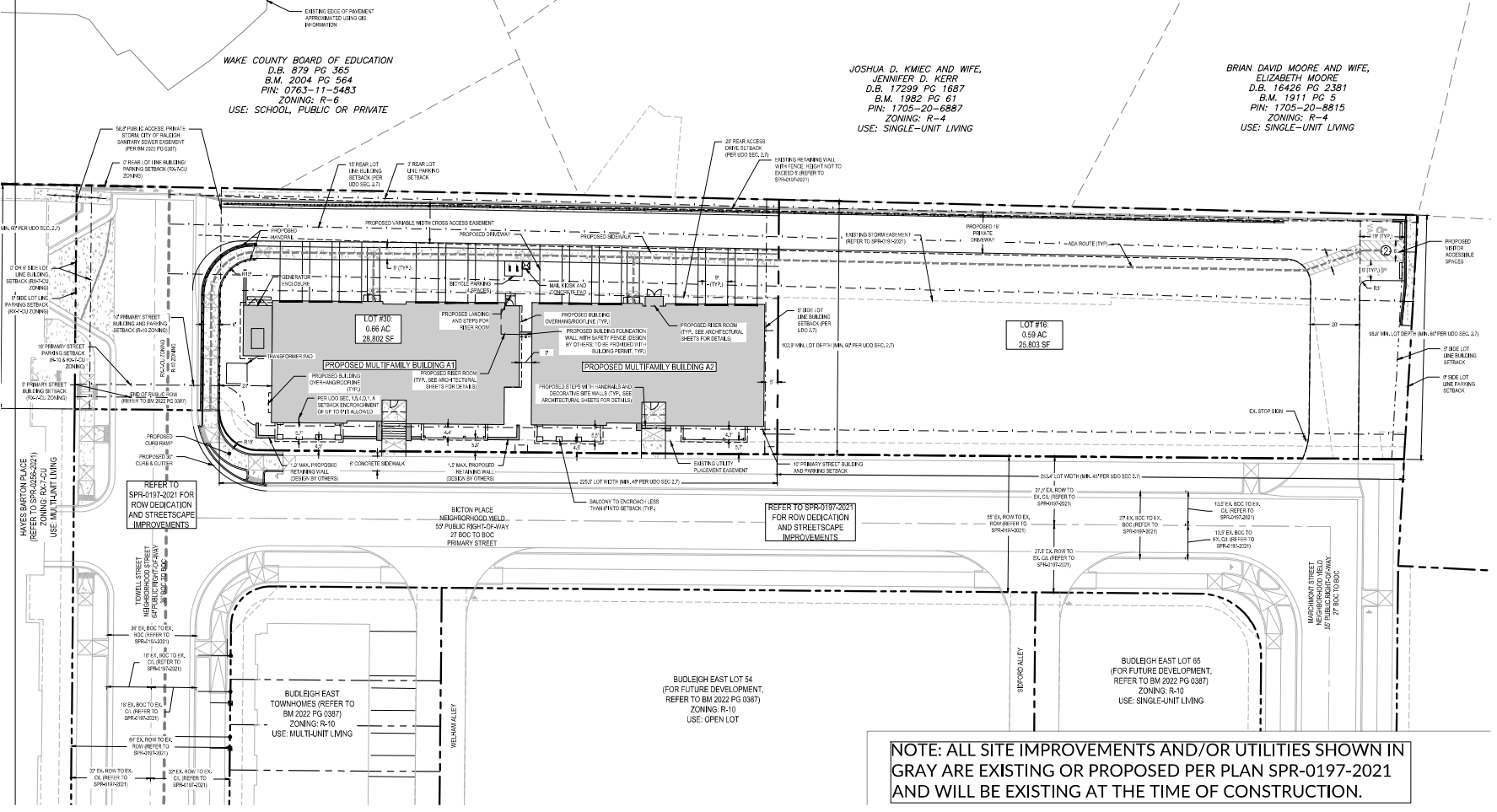
PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



INITIAL PLAN DATE: 3/15/2024
R. WILSON
E. WILSON
C. WILSON
S. WILSON
C. WILSON

VR JOB NUMBER: 00170477.00
DATE: 03/15/24
CDS: WIL

SITE PLAN
C2.00



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 60 DAYS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE IN DECEMBER 2023 AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY ON 3/15/2024.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH 15" FINISHED CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE SHOWN ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE RIGHT OF WAY SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY FORM OF SIGNAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTES FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND OR COLOR OF THE PRINCIPAL BUILDINGS.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DEVIANCES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NCDOT AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND VAN ACCESSIBLE SPACES SHALL BE NO GREATER THAN TWO PERCENT (2%) EACH IN ANY DIRECTIONS AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 20" IN HEIGHT TO INCLUDE SAFETY WALL OR FENCE, NO STAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENGINEER/ARCHITECT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR CONCRETE AND 50 FEET FOR ASPHALT. NO DRIVEWAYS SHALL ENDOVER ON THE MINIMUM CORNER CLEARANCE.
 - WE ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVIDING FINISHES AND SLOPING SPECIFICATIONS TO AN STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE POSTS, ELECTRICAL TRANSFORMERS, BRICK LOW VOLTAGE (HOUSE) ETC SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIGNAGE MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY CHALLENGES. PEDESTRIAN CROSSING ROUTES AND AT LEAST PASSENGER HOUSING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG) 2010

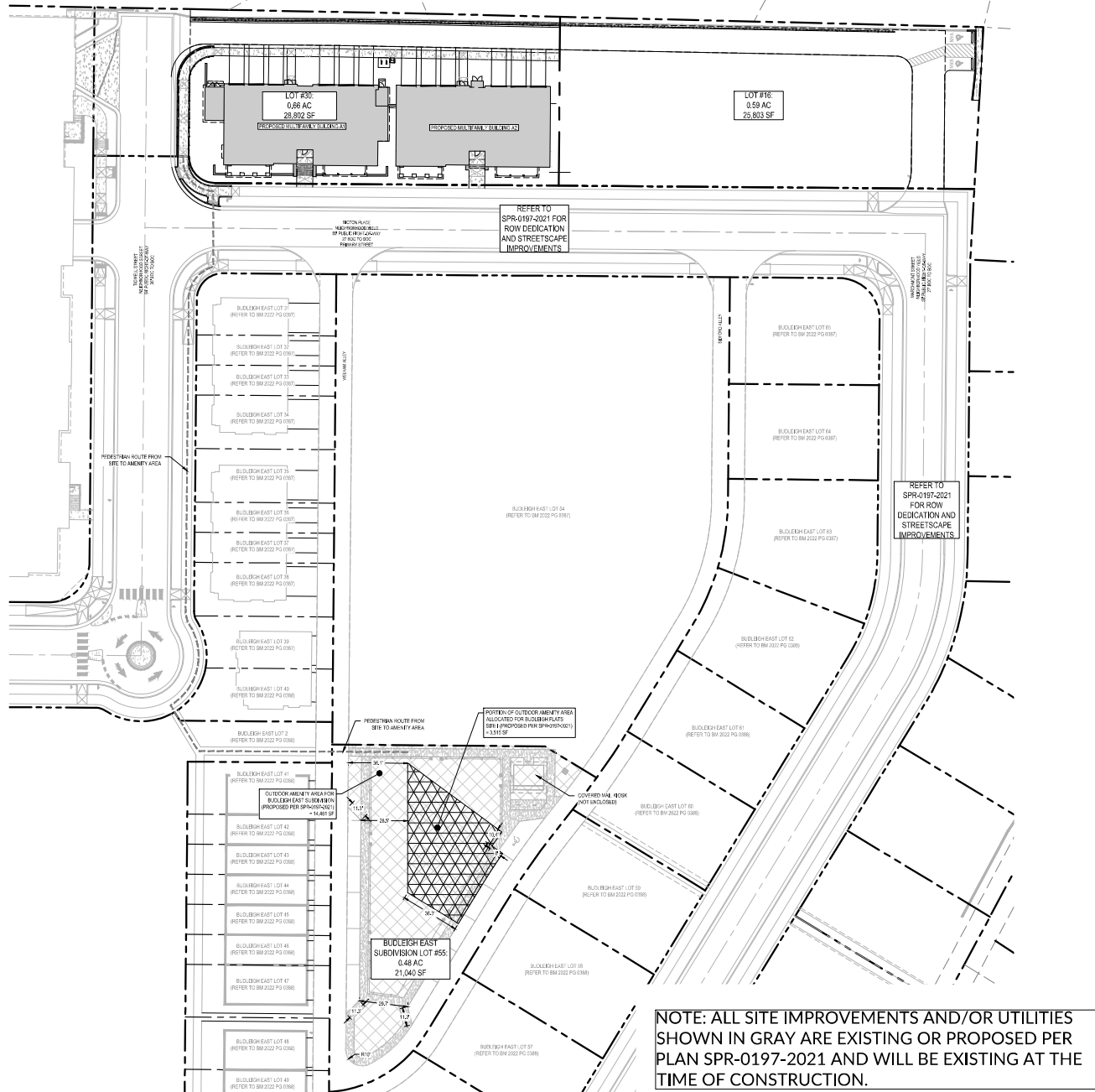
- ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)**
- IF UNDETERMINED CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER CLARIFICATION.
 - PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FEATURES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTOR AT 919.974.9000 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "HEIGHT-OF-WAY OBSTRUCTIONS" ON WWW.BUDLEIGH.CO. NC FOR MORE INFORMATION.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - ALL WALLS WITH HEIGHTS IN EXCESS OF 20" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
 - ALL HANDRAILS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
 - PRE-COLORED WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

SITE CALCULATIONS:

TOTAL UNITS: 32 (ALL 2 BEDROOMS)	
MAXIMUM PARKING CALCULATIONS	
MAXIMUM:	MULTIFAMILY LIVING 2 BEDROOMS (PER UDC SEC. 7.1.2.C)
	2.25 SPACES PER UNIT
	12 UNITS X 2.25 SPACES PER UNIT = 27 SPACES
PROVIDED:	28 SPACES (24 GARAGE SPACES (2 PER UNIT) & 4 SURFACE SPACES)
	2 ADA ACCESSIBLE SPACES (BOTH SURFACE SPACES)
MINIMUM BI-CYCLE PARKING CALCULATIONS	
REQUIRED (LONG TERM):	MULTIFAMILY LIVING 2 BEDROOMS (PER UDC SEC. 7.1.2.C)
	1 SPACE PER 7 BEDROOMS
	12 BEDROOMS X 1/7 SPACES PER UNIT = 2 SPACES
PROVIDED (LONG TERM):	2 SPACES (2 PER UNIT) TO GARAGE. REFER TO SHEET 030404-01
REQUIRED (SHORT TERM):	MULTIFAMILY LIVING 2 BEDROOMS (PER UDC SEC. 7.1.2.C)
	1 SPACE PER 20 UNITS, MIN 4
	12 UNITS X 1 SPACE PER 20 UNITS = 1 SPACE. USE 4 SPACES
MINIMUM LOT AREA CALCULATIONS (LOT 30 ONLY)	
REQUIRED:	300.00 SQ. FT. (PER UDC SEC. 2.1.1 REFER TO SHEET #888)
PROVIDED:	TOTAL BUILDING UNITS: 12 UNITS LOT AREA: 28,802 SF (0.66 AC) LOT AREA PER UNIT: 2,400 SF/UNIT

SITE LEGEND:

RETAINING WALL	
FENCE	
SIDEWALK LANDING	
ADA-ACCESSIBLE ROUTE	
ROOFLINE	
BOLLARD	



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

AMENITY AREA NOTES:

1. THE AMENITY AREA FOR THIS SITE IS PROVIDED ENTIRELY ON BUDLEIGH EAST SUBDIVISION LOT 55, WHICH IS SHOWN HEREIN. REFER TO APPROVED SPR-0197-2021 FOR THE OVERALL BUDLEIGH EAST SUBDIVISION PLAN.
2. A CALCULATION BREAKDOWN OF AMENITY AREA PROVIDED WITH SPR-0197-2021 IS ON THE SHEETS TITLED "BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN".
3. A CUDO COMPLIANCE TABLE FOR PROVIDED AMENITY AREA HAS BEEN PROVIDED ON THIS SHEET (BUDLEIGH EAST FLATS 1 AMENITY AREA COMPLIANCE TABLE).
4. A SHARED AGREEMENT FOR THE BUDLEIGH EAST FLATS 1 (NEW LOT 55) AND BUDLEIGH EAST SUBDIVISION LOT 55 WILL BE PROVIDED PRIOR TO THE CONSTRUCTION WITH THE RECOMMENDATION PLAN.

AMENITY AREA CALCULATIONS:

LOT SIZE (NEW LOT 55): 28,800 SF (0.66 AC)

*NO OUTDOOR AMENITY AREA IS REQUIRED FOR OPEN LOT THEREFORE LOT 55 IS NOT INCLUDED IN THIS CALCULATION

AMENITY AREA REQUIRED FOR BUDLEIGH EAST FLATS 1 (MINIMUM):

10% OF SITE AREA PER SEC. 2-1.1(b)(1)

10% X 28,800 SF = 2,880 SF (0.066 AC)

AMENITY AREA PROPOSED WITH BUDLEIGH EAST SUBDIVISION (SUB-CDD-15-2008-0001817-200111)*:

15,464 SF (0.35 AC) TOTAL

7,920 SF (0.18 AC) FOR EXISTING LOTS 1-54

AMENITY AREA PROPOSED FOR BUDLEIGH EAST FLATS 1:

3,515 / 28,800 = 12.2%

*NOTE: REFER TO THE AMENITY AREA CALCULATION TABLE BELOW WHICH SHOWS A BREAKDOWN OF THE PROVIDED AMENITY AREA FOR THE BUDLEIGH EAST SUBDIVISION PLAN APPROX. 2000. SEE THE HIGH HIGHLIGHTED IN GREEN FOR THE TOTAL REQUIRED AND PROVIDED AMENITY AREA FOR THE BUDLEIGH EAST FLATS 1 SITE.

BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION TABLE

LOT NUMBER	LOT AREA (SQ FT)	PROVIDED AMENITY AREA (SQ FT)	REQUIRED AMENITY AREA (SQ FT)
1	17,175	1,717	1,717
2	17,175	1,717	1,717
3	17,175	1,717	1,717
4	17,175	1,717	1,717
5	17,175	1,717	1,717
6	17,175	1,717	1,717
7	17,175	1,717	1,717
8	17,175	1,717	1,717
9	17,175	1,717	1,717
10	17,175	1,717	1,717
11	17,175	1,717	1,717
12	17,175	1,717	1,717
13	17,175	1,717	1,717
14	17,175	1,717	1,717
15	17,175	1,717	1,717
16	17,175	1,717	1,717
17	17,175	1,717	1,717
18	17,175	1,717	1,717
19	17,175	1,717	1,717
20	17,175	1,717	1,717
21	17,175	1,717	1,717
22	17,175	1,717	1,717
23	17,175	1,717	1,717
24	17,175	1,717	1,717
25	17,175	1,717	1,717
26	17,175	1,717	1,717
27	17,175	1,717	1,717
28	17,175	1,717	1,717
29	17,175	1,717	1,717
30	17,175	1,717	1,717
31	17,175	1,717	1,717
32	17,175	1,717	1,717
33	17,175	1,717	1,717
34	17,175	1,717	1,717
35	17,175	1,717	1,717
36	17,175	1,717	1,717
37	17,175	1,717	1,717
38	17,175	1,717	1,717
39	17,175	1,717	1,717
40	17,175	1,717	1,717
41	17,175	1,717	1,717
42	17,175	1,717	1,717
43	17,175	1,717	1,717
44	17,175	1,717	1,717
45	17,175	1,717	1,717
46	17,175	1,717	1,717
47	17,175	1,717	1,717
48	17,175	1,717	1,717
49	17,175	1,717	1,717
50	17,175	1,717	1,717
51	17,175	1,717	1,717
52	17,175	1,717	1,717
53	17,175	1,717	1,717
54	17,175	1,717	1,717
55	28,800	3,515	2,880
TOTAL PROVIDED AMENITY AREA (BUDLEIGH EAST SUBDIVISION)		15,464	15,464

BUDLEIGH EAST FLATS 1 AMENITY AREA COMPLIANCE TABLE

MSD SECTION 1-12 - OUTDOOR AMENITY AREAS

SECTION	REQUIREMENT	REQUIREMENT MET?
12.01	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO (Refer to 12.01)
12.02	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO (Refer to 12.01)
12.03	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.04	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.05	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.06	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.07	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.08	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.09	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.10	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.11	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.12	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.13	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.14	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.15	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.16	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.17	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.18	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.19	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO
12.20	Outdoor amenity areas shall be provided for all residential lots in accordance with the minimum requirements set forth in this section.	NO

AMENITY AREA LEGEND:

AMENITY AREA PROPOSED PER SPR-0197-2021

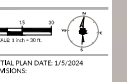
PORTION OF AMENITY AREA ALLOCATED FOR BUDLEIGH FLATS 1 SITE



WILLIAMS REALTY & BUILDING CO., INC.
 LICENSE # FC-4271 | TEL: 919-469-3200 | WWW.WITHERSRAVENEL.COM
 HUNTER, NC 27832

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS 1
ASR-0003-2024
 2538 & 2504 BICTON PLACE | RALEIGH, NC 27608 | WAME.CO

PRELIMINARY
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 FOR CONSTRUCTION

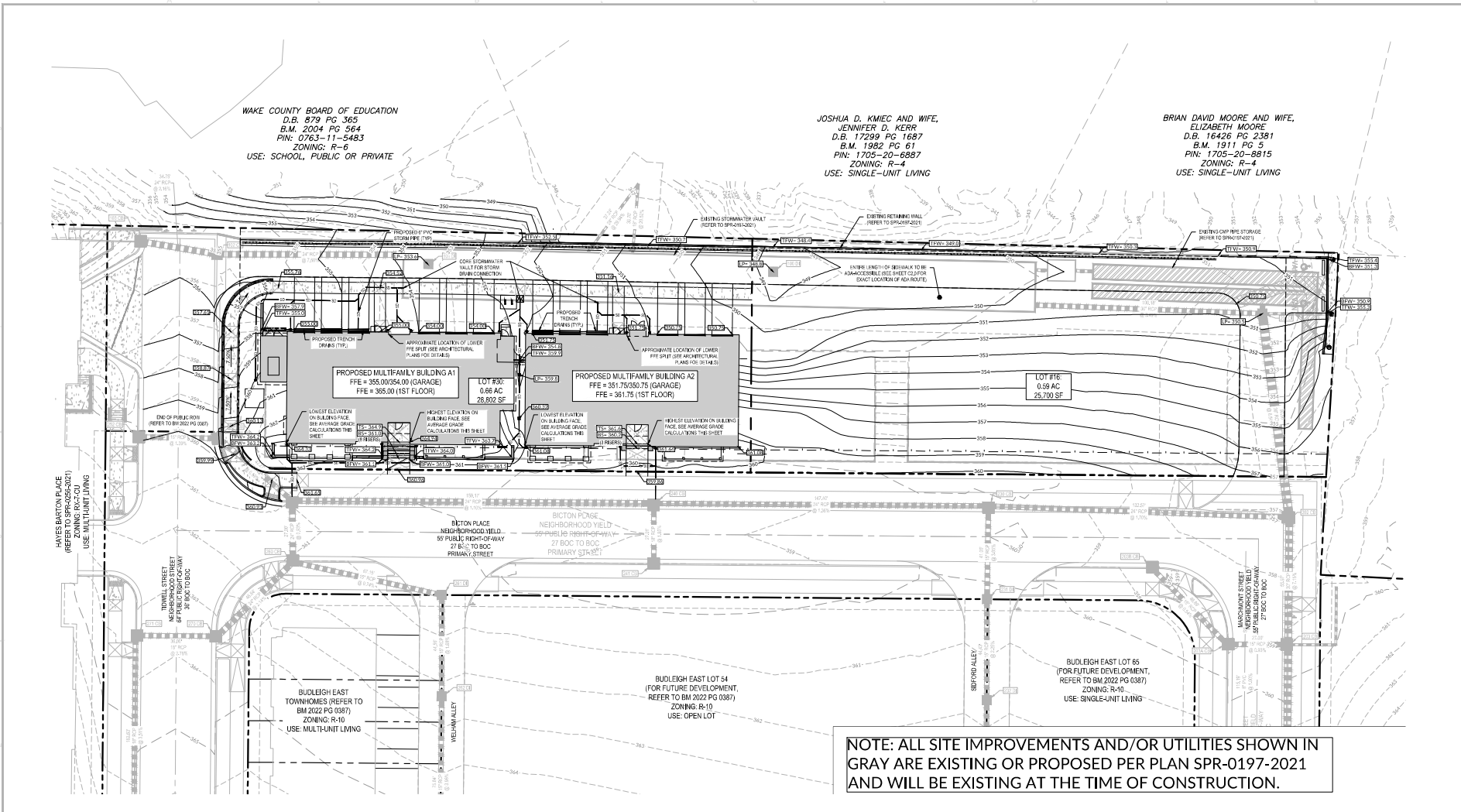


INITIAL PLAN DATE: 1/5/2024
 16:03:25

WR JOB NUMBER: 02120427.A01
 DRAWING NO.: 1000.WR - CND.WR

OUTDOOR AMENITY AREA

C2.10



WAKE COUNTY BOARD OF EDUCATION
D.B. 879 PG 365
B.M. 2004 PG 564
P.W. 0763-11-5483
ZONING: R-6
USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KWIEC AND WIFE,
JENNIFER D. KERR
D.B. 17299 PG 1687
B.M. 1982 PG 61
PIN: 1705-20-6887
ZONING: R-4
USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
ELIZABETH MOORE
D.B. 16426 PG 2381
B.M. 1911 PG 5
PIN: 1705-20-8815
ZONING: R-4
USE: SINGLE-UNIT LIVING

PROPOSED MULTIFAMILY BUILDING A1
FFE = 355,000/354.00 (GARAGE)
FFE = 365.00 (1ST FLOOR)

LOT #00
0.66 AC
26,802 SF

PROPOSED MULTIFAMILY BUILDING A2
FFE = 351.75/350.75 (GARAGE)
FFE = 361.75 (1ST FLOOR)

LOT #16
0.56 AC
25,700 SF

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A REASONABLE AMOUNT OF TIME PERMITTED BY THE CITY.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADVISE TO THE PROVIDER OR THE MUTED (MUTED) CURRENT CONDITIONS AND ALL CONDITIONS OF THE APPROVED DRAINAGE PERMIT AND OR ENCROACHMENT AGREEMENT.
 3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-AM AND 4PM-PM MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT. TRANSPORTATION OPERATIONS DIVISION AT 919-960-3100 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-562-2495 TO OBTAIN A STREET CLOSURE PERMIT.
 5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
 7. THE CONTRACTOR SHALL REPAIR ALL EXISTING DRIVEWAY, DRIVEWAY, CURB & GUTTER, SIDEWALKS & STREET TO DRAINAGE CONDITION OR BETTER.
 8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE SHALL BE REQUIRED FOR THE MUTED OR THE NEAREST STANDARD DRAWING(S) 10107 (SHEET 1) 10109 (SHEET 1) 10111.
 9. ALL WALLS WITH HEIGHTS IN EXCESS OF 20' REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
 10. ALL HANDICAP RAMP AND STAIRS REQUIRE A HANDRAIL TO BE PROVIDED ALONG THE LENGTH OF IT.

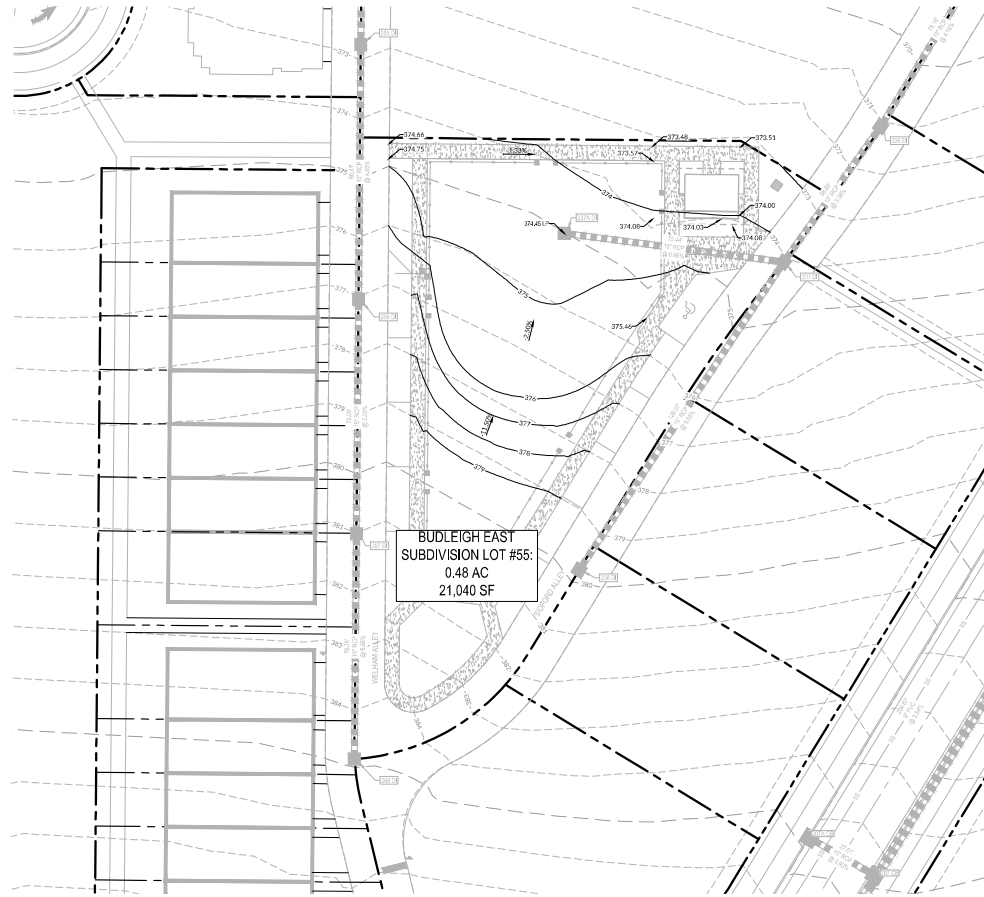
- STORM DRAINAGE NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 3 FEET TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
 4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
 5. MAINTAIN 12" VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DEPT. MATERIALS & CONCRETE CRAWLING & 1/4" MIN. CLEARANCE PER COR PLUG DETAILS 1941-54-09.
 6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
 7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C754, TABLE B OR TABLE F. JOINTS SHALL BE SEALED WITH A PLASTIC JOINT PUTTY PER THE MANUFACTURER'S SPECIFICATIONS (S&G-400715), SUCH AS RAMM-SEAL OR BUTYL RUBBER SEALANT.

- AVERAGE GRADE CALCULATION ALONG BICKTON PLACE:**
- LOWEST ELEVATION + HIGHEST ELEVATION / 2 = AVERAGE GRADE
- BUILDING A1:**
 • LOWEST ELEVATION = 364.33
 • HIGHEST ELEVATION = 364.94
 (364.33 + 364.94) / 2 = **364.64**
- BUILDING A2:**
 • LOWEST ELEVATION = 361.08
 • HIGHEST ELEVATION = 361.64
 (361.08 + 361.64) / 2 = **361.36**
8. STORM SEWER PIPE ENDS SHALL BE REINFORCED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE IN A BRANCH WITH A MINIMUM 1% SLOPE. THE BRANCH SHALL BEGIN AT A HIGHER OR EQUAL TO THE PIPE DIAMETER FOR 12 TO 24 INCHES. THE BRANCH SHALL BE 1/2" GREATER FOR 30" DIAMETER PIPE AND ONE FOOT FOR THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
 10. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. IF PUBLIC OR MARKED STONE BARBERS SHALL BE INSTALLED BETWEEN THE DISCHARGE PAD AND THE NATURAL GROUND.
 11. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
 12. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT PROPOSED TO SCHEDULE CONSTRUCTION INSPECTIONS.
 13. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 14. CONTRACTOR TO RESET THE TOP OF EXISTING STORM STRUCTURES AS NECESSARY TO PROPOSED GRADES. CONTRACTOR TO MAKE IMPACT TO EXISTING STRUCTURES AND ENSURE THEY REMAIN OPERABLE DURING CONSTRUCTION.

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED RETAINING WALL
---	EXISTING CATCH BASIN
---	EXISTING STORM DRAIN INLET WITH GRATE
---	EXISTING STORM JUNCTION BOX
---	PROPOSED AREA DRAIN
---	PROPOSED STORM CLEAN-OUT
---	PROPOSED STORM PIPE

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF DISRUPTION TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL COMPONENTS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-6AM AND 4PM-6PM MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT. TRANSPORTATION OPERATIONS DIVISION AT 919.246.0001 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURES, CONTACT PERSON AND FAX NUMBER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTOR'S DEPARTMENT AT 919.256.2495 TO OBTAIN A STREET CUT PERMIT.

5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND COMMENTS ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURBS & GUTTERS, SIDEWALKS & STREET TO MEETING CONDITION OR BETTER.
8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED FOR THE MUTCD OR THE MUTCD STANDARD DRAWINGS 1103.02 (SHEET 1), 1103.04 & 1103.11.
9. ALL WALLS WITH HEIGHTS IN EXCESS OF 30" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
10. ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.

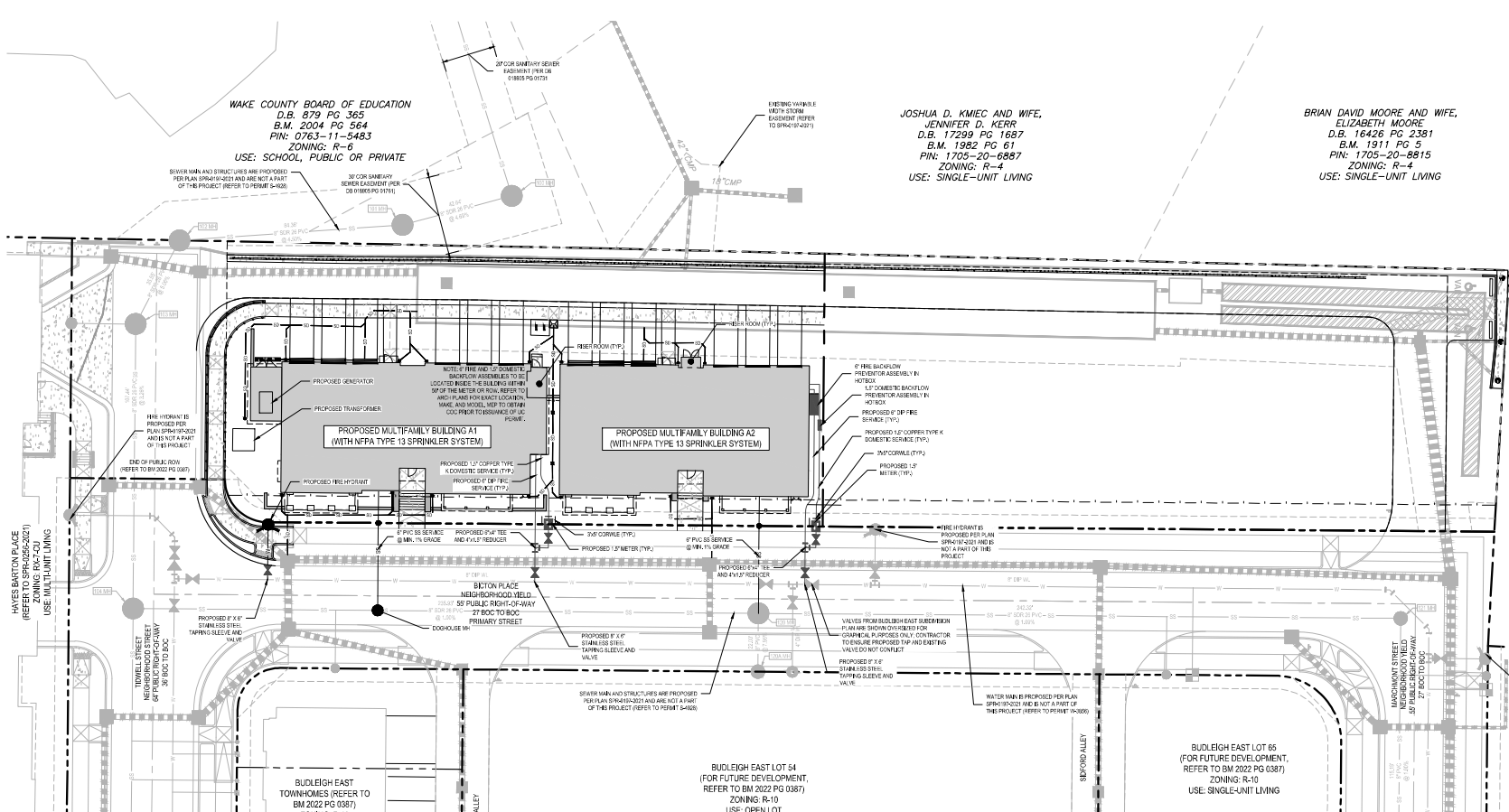
STORM DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN HIGH TRAFFIC AREAS.
4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN HIGH TRAFFIC AREAS.
5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY TOP PART TABLE & CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER COR PUD DETAILS WALLS 5-491.
6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE II OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC GUMBIT BUT NOT WITH RESINAL. SPECIFIC JOINTS (S-S-CROSS), SUCH AS RAIN-NEK OR BUTYL RUBBER SEALANT.

8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON P-PLANS.
9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHARED INVERT CONSTRUCTED FROM CONCRETE AND A BRANCH WITH A MINIMUM 1:3 SLOPE. THE BRANCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 36 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
10. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. A PAVED OR WASHED STONE BARRIERS SHALL BE PROVIDED BETWEEN THE DISCHARGE PAD AND THE NATURAL GROUND.
11. ALL STORM DRAINAGE FASHMENTS SHALL BE "P-RW" UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT 919.246.0001 TO SCHEDULE CONSTRUCTION INSPECTIONS.
13. STORM PIPE TRENCH EXCAVATION AND BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
14. CONTRACTOR TO RESET THE TOP OF EXISTING STORM STRUCTURES AS NECESSARY TO MEET PROPOSED GRADES. CONTRACTOR TO MINIMIZE IMPACT TO EXISTING STRUCTURES AND ENSURE THEY REMAIN OPERABLE DURING CONSTRUCTION.

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED RETAINING WALL
---	EXISTING CATCH BASIN
---	EXISTING STORM DRAIN INLET WITH GRATE
---	EXISTING STORM JUNCTION BOX
---	EXISTING STORM PIPE
---	PROPOSED AREA DRAIN
---	PROPOSED STORM CLEANOUT
---	PROPOSED STORM PIPE



WAKE COUNTY BOARD OF EDUCATION
D.B. 079 PG 365
B.M. 2004 PG 564
PIN: 0763-11-5483
ZONING: R-6
USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
JENNIFER D. KERR
D.B. 17299 PG 1687
B.M. 1982 PG 61
PIN: 1705-20-6687
ZONING: R-4
USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
ELIZABETH MOORE
D.B. 16426 PG 2381
B.M. 1911 PG 5
PIN: 1705-20-6615
ZONING: R-4
USE: SINGLE-UNIT LIVING

BUDLEIGH EAST LOT 54
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: OPEN LOT

BUDLEIGH EAST LOT 65
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: SINGLE-UNIT LIVING

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

UTILITIES NOTES:

1. MANHOLES TO BE COKE BRICKED AND BOOTED AT ALL PRIVATE SEWER SOURCE CONNECTIONS
2. FOG APPROVAL IS REQUIRED PRIOR TO ISSUANCE OF UC PERMIT

FOR APPENDIX STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH SEWER STANDARDS, DETAILS & SPECIFICATIONS REFERENCE COMPARE HANDBOOK, CURRENT EDITION
2. UTILITY SEPARATION REQUIREMENTS
 - a. A MINIMUM OF 30" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE UNLESS AN APPROVED RESISTOR (USED AS A SOURCE OF CORROSION RESISTANCE) IS INSTALLED. STORM SEWER CANNOT BE AGRADIENT, PERVIOUS SANITARY SEWER PIPE SHALL BE SLOPED & BENTILES TO WATER TIGHT PROTECTIVE COVER. THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20" FROM A PRIVATE WELL OR 30" FROM A PUBLIC WELL.
 - b. WHEN THE UTILITY IS LOCATED UNDER THE SAME COVER, THE SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO LIMITED COVERING. THE SEPARATION SHALL BE 18" ABOVE THE TOP OF THE SEWER. THIS SEPARATION SHALL BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - c. ALL UTILITIES ARE REQUIRED FROM CURB TO WATER TO CURB TO CURB DIAMETER. PROTECTIVE COVER SHALL BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - d. ALL SANITARY SEWER PASSES OVER WATER MAIN, OR WATER MAIN OR STEEL ENCLOSURE. PROTECTIVE COVER SHALL BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - e. ALL SANITARY SEWER PASSES OVER WATER MAIN, OR WATER MAIN OR STEEL ENCLOSURE. PROTECTIVE COVER SHALL BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
3. ALL SANITARY SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED, SHALL BE PERMITTED FOR SANITARY SEWER

4. MINIMUM 18" VERTICAL SEPARATION AT ALL WATER MAIN & ROP STORM DRAIN CONNECTIONS. MINIMUM 18" VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CONNECTIONS. WHERE APPLICABLE, SEPARATION CANNOT BE MAINTAINED, A CONCEALED TRADE CHANNEL SHALL BE INSTALLED. CLEARANCE PER CORPUS DETAILS (A-11 & A-14)
5. ALL OF THE NEIGHBORHOOD UTILITIES SHALL CROSS WATER MAIN FACILITIES WITH A MINIMUM VERTICAL SEPARATION REQUIRED
6. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO INCLUDE A PROVISION OF AN AMENDED PLAN FOR REVIEW BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
7. DEVELOPER SHALL PROVIDE SEPARATE ADVANCE WRITTEN NOTICES TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY SEWER TRAVELING PRIVATE PROPERTY
8. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER RECORDS TO DURING REVISIONS & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. AN NECESSARY SERVICE REVISIONS SHALL BE PRECEDED BY A 48-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
9. 1/2" MINIMUM COVER IS REQUIRED SHALL, WITH MANHOLE & SEWER FOREMAN, ALL UTILITY MANHOLES COVER IS REQUIRED ON ALL ROAD MARKS
10. IT IS THE DEVELOPER'S RESPONSIBILITY TO ASSIGN OR RENOVATE EXISTING WATER & SEWER SERVICES NOTING EXISTING RECORDS OR USE UNLESS OTHERWISE SPECIFIED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THE INCLUDES ANY RECORDS OF UTILITY RECORDS OR SERVICE FROM ANY OF THE FOLLOWING: CORPUS HANDBOOK PROCEDURES

11. INSTALL 1/2" OP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'00" INTERFERE EXISTING PRIVATE UTILITY. ADVISORY NOTE: PER THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ASSURANCE FOR A PROVISION
12. INSTALL 1/2" OP SEWER SERVICES @ 1/8" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR BASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
13. PRESSURE TESTING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 6" DIA. MANHOLES VALVES ARE REQUIRED ON ALL WATER SERVICE EXCEEDING 6" DIA. BUILDING DRAINS OVER 1" DIA. LOCATED THE NEXT UPSTREAM MANHOLE
14. ALL INCREMENTAL REVISIONS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDM, USACE, OR FEMA FOR ANY FURNISH & FINISH, WETLAND, SOIL FLOODPLAIN IMPACTS PROJECTS PRIOR TO CONSTRUCTION
15. ACCORD TO ROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN TENDERS SERVICE TAPS WITHIN STAY-OR-PAY ROAD ROW PRIOR TO CONSTRUCTION
16. GREATERTORON CAL WATER SEPARATION BEING CALCULATIONS INSTALLATION SPECIFICATIONS ARE APPROVED BY THE NCDM PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UG LOG DRAWING. CONTACT P31 86-4518 OR P31 86-4519 FOR MORE INFORMATION
17. CROSS-CORRELATION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DISCHARGE OF HEAVY METALS INVOLVED AS BEING APPLICABLE OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY

- ENGINEERING ASSESS STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL. THE DEVICES SHALL BE INSTALLED AND TESTED BY THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ASSURANCE FOR A PROVISION. THE DEVICES SHALL BE INSTALLED AND TESTED BY THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ASSURANCE FOR A PROVISION. THE DEVICES SHALL BE INSTALLED AND TESTED BY THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ASSURANCE FOR A PROVISION.

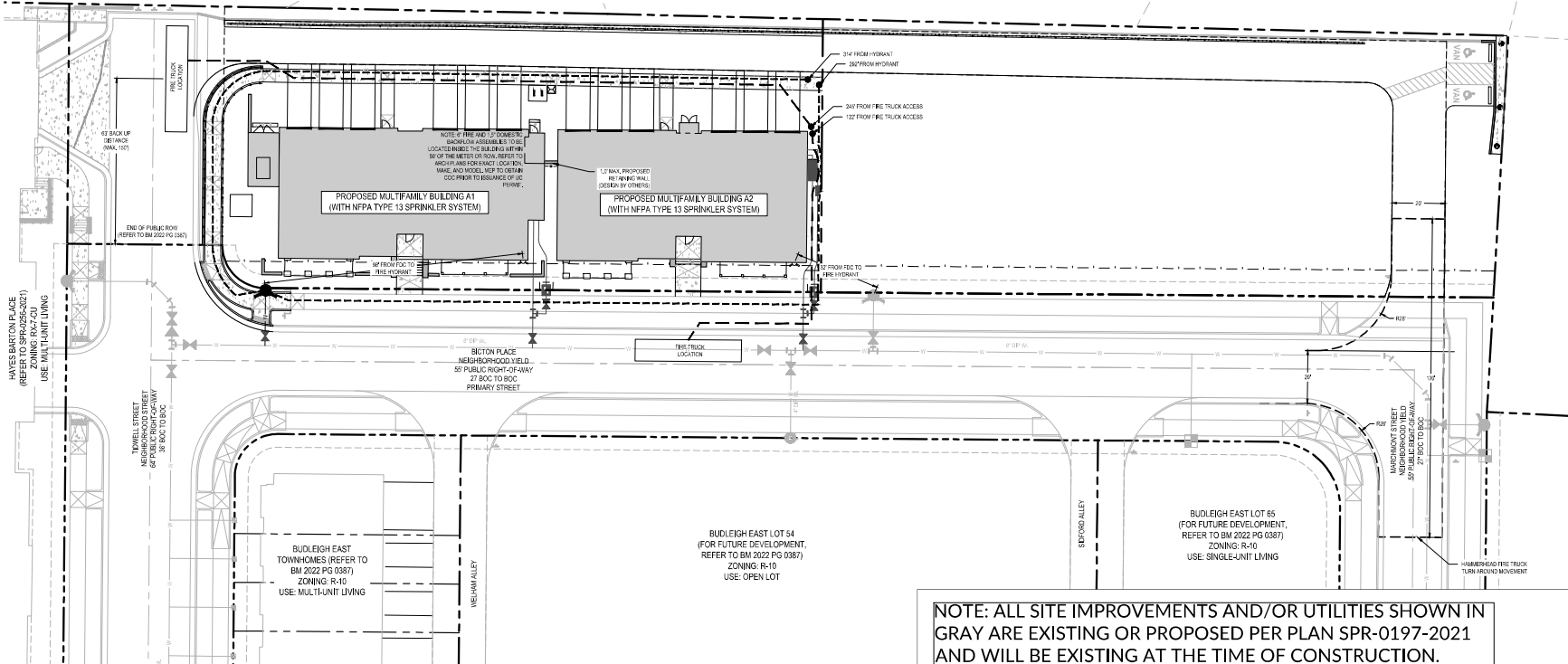
UTILITIES LEGEND:

SYMBOL	DESCRIPTION
	PROPOSED 18" HYDRANT
	PROPOSED 6" FC
	PROPOSED WATER LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE

WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8615
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

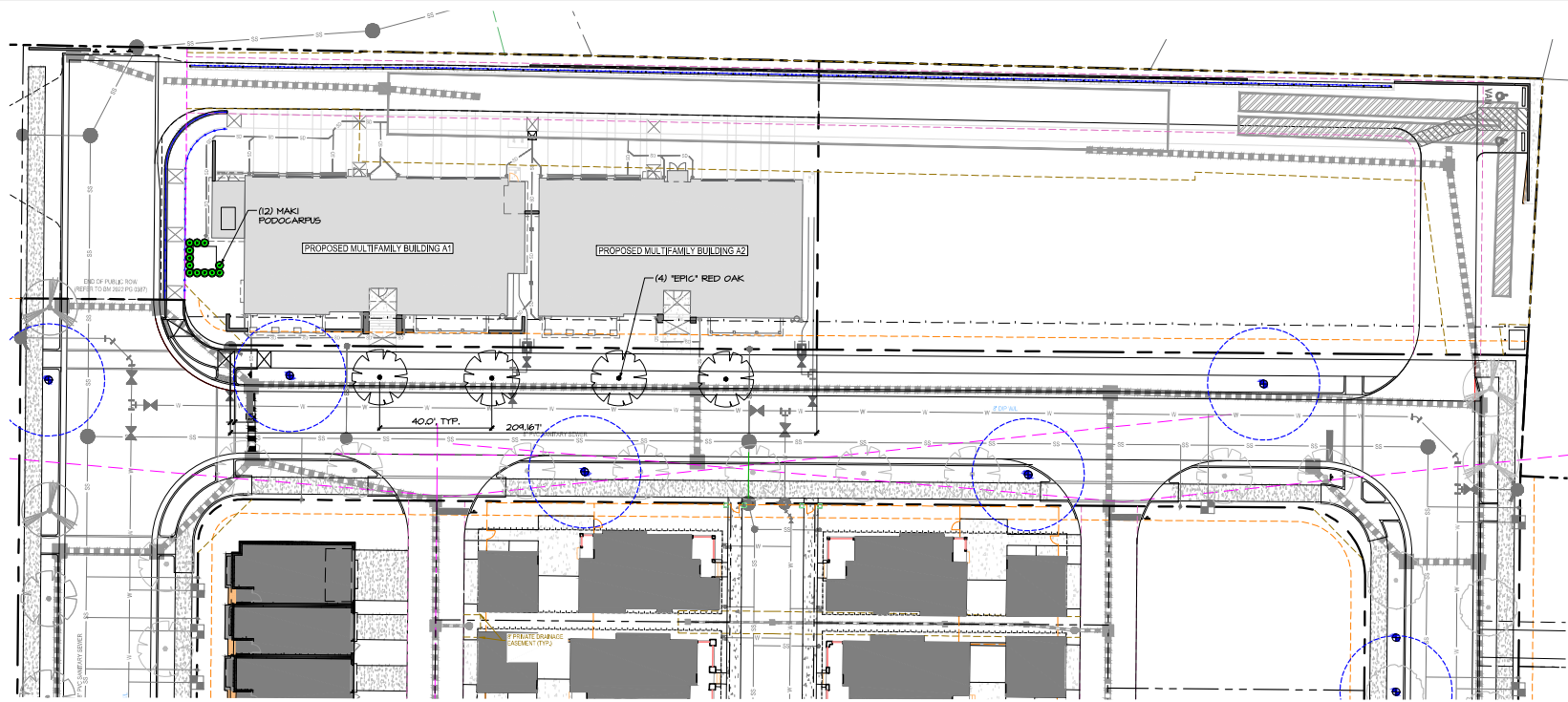


PROPOSED MULTIFAMILY BUILDING A1
 (WITH NFPA TYPE 13 SPRINKLER SYSTEM)

PROPOSED MULTIFAMILY BUILDING A2
 (WITH NFPA TYPE 13 SPRINKLER SYSTEM)

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

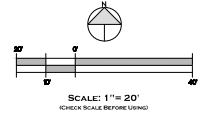
- FIRE NOTES:**
1. HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 2. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRAINING CAPABILITIES, PER NCFPC 503.2.3.



STREET TREE CALCULATIONS
BICTON PLACE STREET TREES
 208.167 LF
 1 LARGE TREE @ 40 LF
 208.167 - 40 (SIDEWALKS) = 207.33 LF
 207.33 / 40 = 5.18 TREE REQUIRED
 4 TREES PROVIDED
 INSTALL 3" CALIPER, 10' TALL

CODE REQUIRED PLANT SCHEDULE			
NO.	BOTANICAL NAME	COMMON NAME	NOTES
TREES AND LARGE EVERGREENS			
1	MAHOGANY	MAHOGANY	40' - 50' H. 4" - 6" DBH. 10' - 12' SPREAD
SHRUBS			
1	SPRING BURNING BUSH	SPRING BURNING BUSH	6' - 8' H.

NOTE:
 1. STREET TREES SHALL BE
 INSTALLED AND MAINTAINED
 IN ACCORDANCE WITH THE
 REQUIREMENTS OF CHAPTER
 2 OF THE CITY TREE MANUAL.



SURVEYOR:
 WITHERS & RAVENEL
 115 W. FAYETTE DRIVE, CARRIAGE HOUSE, RALEIGH, NC 27611
 919.883.0244

CONSTRUCTION UNDER SUPERVISION
 BY LANDSCAPE ARCHITECT



BUDLEIGH EAST FLATS
 BICTON PLACE
 RALEIGH, NORTH CAROLINA

ISSUED FOR:
 SUBMITTAL

ISSUED DATE:
 2/27/2024

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
 CODE COMPLIANT
 LANDSCAPE PLAN

DRAWN BY: RW/WAB
 CHECKED BY: FL
 SCALE: 1" = 20'
 SHEET NUMBER:

PLANTING NOTES

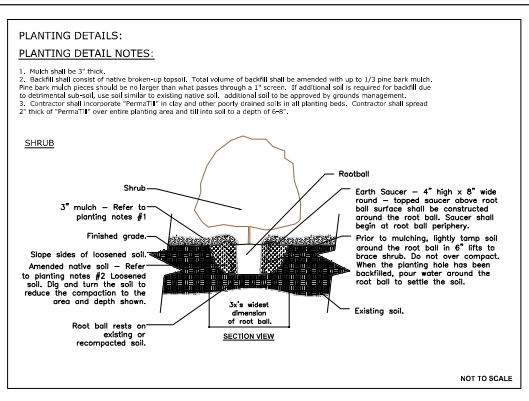
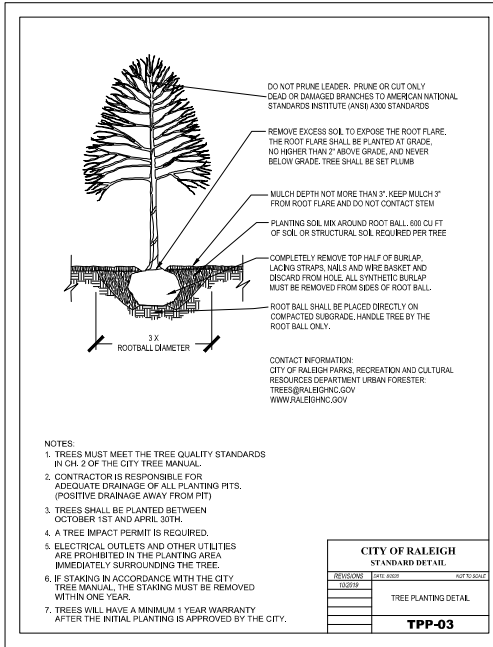
1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of + or - 1/2" to ensure smooth transitions between planting beds and lawn areas.
6. Mulch - Install 2" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
9. Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
10. All trees located adjacent to walks and drives shall have 6" of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 8' from fire hydrants and other utilities, unless otherwise noted on plans.
12. All plants shall be installed as per generally accepted planting standards.
13. All dead and/or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
14. All plants are stakes shall be set plumb unless otherwise specified.
15. Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
16. Landscape Architect shall select and layout all the perennial beds.
17. All planting bed edges to be smooth flowing areas, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 1/4 to 1/2 inches deep, and 7/8" angled. All excavated material shall be removed from the bed edge and planting bed.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be reseeded to their previous existing condition (including native grass areas, seedling grassed areas and for natural areas including minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

LANDSCAPE MAINTENANCE AGREEMENT

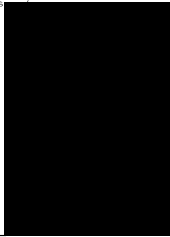
- The Owner of the Property and the Agents, Herein or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owner shall be responsible for annual maintenance of the vegetation to include but not limited to:
1. Fertilization: Zone Zoysia lawns: Fertilize lawns twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawns: fertilize lawns twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
 1. Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilize shrubs/waterfalls.
 1. Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2) Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be applied evenly over all plants (unless specifically noted otherwise). "Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the "planting management", however, over-fertilization shall not be acceptable.
 2. Pruning: Removal of dead or diseased wood, or removal of new branches for sight distance/utility reasons; the SIPC standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for stressed hedges and stressed upright evergreen trees.
 3. Pest control: Pre-emergent weed control/soil treatments to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and diseases may be applied and shall be specific to the problem.
 4. Mulching: Mulching shall be maintained at a depth of 2" - 3" in plant beds and lawn areas. As a minimum, mulch shall be supplied at least every year during the months of February and March.
 5. Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
 6. Plant protection: Avoid excess irrigation into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
 7. Warning: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
 8. Warranty: Remove/replace all dead and/or diseased plant material at each maintenance visit.

PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS

1. Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and appropriate soil uniform at the rate specified per soil pH testing results.
2. Site to be fine graded before permanent planting and seeding or sodding is installed.
3. Soil shall be loosened to a depth of 4-6 inches by disk, raking, rototilling or other acceptable means. Continue tillage until a well-aerated, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Check compacted areas and spread topsoil 3 inches deep over entire soil conditions.
4. Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate 1/4" to 3/8" soil amendment in all plant beds.
5. All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
6. Sod areas to be sodded with variable size rids that are not broken or stretched. Sod shall be installed within 24 hours of arrival at the site.
7. Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sod/seed or seeded area moist.
8. Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be stacked.
9. Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
10. Inspect all sodded areas and make necessary repairs or reseed within the planting season, if possible. If grass stand should be over 80% bare/missing. Contractor shall consult with a conservation inspector or the contractor's treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
11. Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
12. Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



SURVEYOR:
WITHERS & RAVENEL
115 W. FAYETTE ST. SUITE 200
RALEIGH, NC 27601
704.781.1111
WWW.WITHERSANDRAVENEL.COM



BUDLEIGH EAST FLATS
BUDLEIGH PLACE
RALEIGH, NORTH CAROLINA

ISSUED FOR: SUBMITTAL

ISSUED DATE: 2/27/2024

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
PLANTING PLAN DETAILS AND NOTES

DRAWN BY: RW/WAB

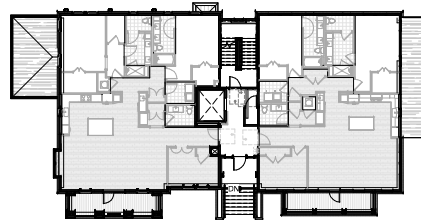
CHECKED BY: FL

SCALE: AS SHOWN

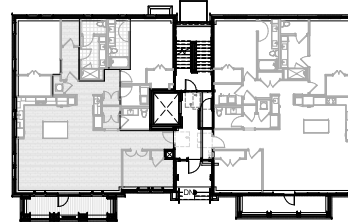
SHEET NUMBER:

L-2
OF 2

BUILDING A1



BUILDING A2



BUDLEIGH I-1ST FLOOR OVERALL

3

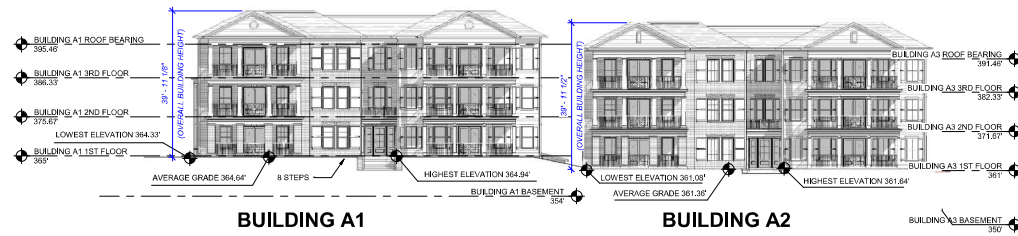
1/16" = 1'-0"



BUDLEIGH I-GARAGE PLAN OVERALL

2

1/16" = 1'-0"



BUDLEIGH I-ELEVATION OVERALL

1

1/16" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

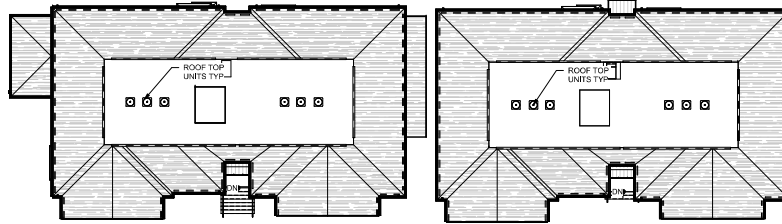
ASR-BUDLEIGH I-BLDGS A1-A2 OVERALL ELEVATIONS & PLANS

A1/A2-01

1/16" = 1'-0" | 023154 | 01.05.2024

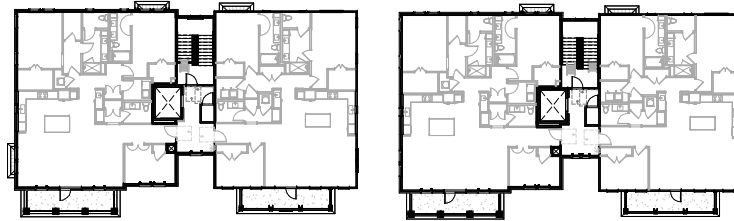
BUILDING A1

BUILDING A2



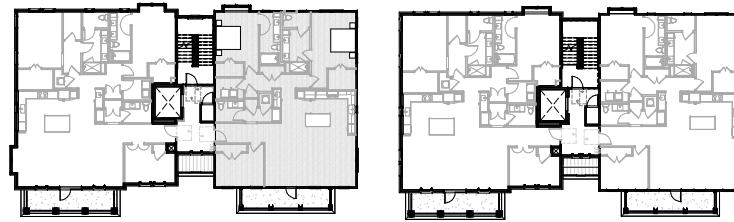
BUDLEIGH I-ROOF PLAN OVERALL 3

1/16" = 1'-0"



BUDLEIGH I-3RD FLOOR OVERALL 2

1/16" = 1'-0"



BUDLEIGH I-2ND FLOOR OVERALL 1

1/16" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH I-BLDGS A1-A2 PLANS A1/A2-02

1/16" = 1'-0" | 023154 | 01.05.2024



BUILDING A1 ROOF BEARING 395.46
 9'-1 1/2"
 BUILDING A1 3RD FLOOR 386.33
 10'-8"
 BUILDING A1 2ND FLOOR 375.67
 10'-8"
 BUILDING A1 1ST FLOOR 365
 11'-0"
 BUILDING A1 BASEMENT 354

BUILDING A1 - EAST ELEVATION 4
 1/8" = 1'-0"



BUILDING A1 ROOF BEARING 395.46
 9'-1 1/2"
 BUILDING A1 3RD FLOOR 386.33
 10'-8"
 BUILDING A1 2ND FLOOR 375.67
 10'-8"
 BUILDING A1 1ST FLOOR 365
 11'-0"
 BUILDING A1 BASEMENT 354

RETAINING WALL

BUILDING A1 - NORTH ELEVATION 2
 1/8" = 1'-0"



BUILDING A1 ROOF BEARING 395.46
 9'-1 1/2"
 BUILDING A1 3RD FLOOR 386.33
 10'-8"
 BUILDING A1 2ND FLOOR 375.67
 10'-8"
 BUILDING A1 1ST FLOOR 365
 11'-0"
 BUILDING A1 BASEMENT 354

BUILDING A1 - WEST ELEVATION 3
 1/8" = 1'-0"



BUILDING A1 ROOF BEARING 395.46
 9'-1 1/2"
 BUILDING A1 3RD FLOOR 386.33
 10'-8"
 BUILDING A1 2ND FLOOR 375.67
 10'-8"
 BUILDING A1 1ST FLOOR 365

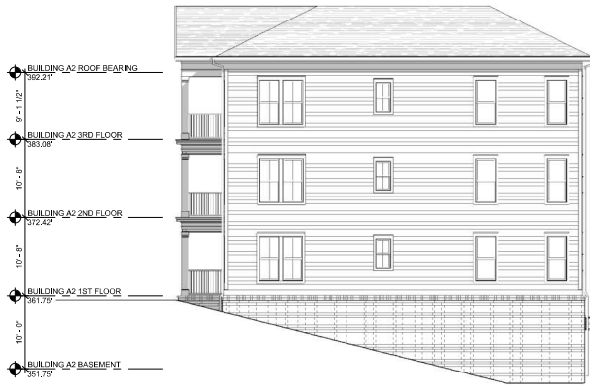
BUILDING A1 - SOUTH ELEVATION 1
 1/8" = 1'-0"



BUDLEIGH FLATS
 RALEIGH, NC

ASR-BUDLEIGH I-BUILDING A1 ELEVATIONS A1/A2-03

1/8" = 1'-0" | 023154 | 01.05.2024



BUILDING A2 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A2 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A2 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A2 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH I-BUILDING A2 ELEVATIONS A1/A2-04

1/8" = 1'-0" | 023154 | 01.05.2024