

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

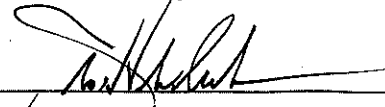
Office Use Only: Transaction #: <u>ASR-0004-2019</u>		Planning Coordinator: <u>PURIFOY</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: 8000 Kodiak Drive			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 8000 Kodiak Drive			
Site P.I.N.(s): 0777-85-0015			
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of a vehicle storage lot and associated infrastructure.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Frank R. Anderson Realty & Inv.		Title: George Anderson	
Address: PO Box 90367 Raleigh, NC 27675-0367			
Phone #: 919-616-4807		Email: ganderson@sirwalter.com	
Applicant Name: Sam Nye P.E.			
Company: The Site Group, PLLC		Address: 1111 Oberlin Rd. Raleigh, NC	
Phone #: 919-835-4787		Email: srn@thesitegroup.net	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3	Existing gross floor area (not to be demolished): N/A
	Existing gross floor area to be demolished: N/A
Gross site acreage: 2.803	New gross floor area: N/A
# of parking spaces required: N/A	Total sf gross (to remain and new): N/A
# of parking spaces proposed: 204	Proposed # of buildings: N/A
Overlay District (if applicable):	Proposed # of stories for each: N/A
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4): VEHICLE STORAGE	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.35 Square Feet: 15,103	Proposed Impervious Surface: Acres: 1.53 Square Feet: 66,533
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____	
FEMA Map Panel #: 3720077700J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots: N/A	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate _____ to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date:
Printed Name:	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) CX-3	Proposed building use(s) N/A
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross N/A
Overlay District	Proposed Building(s) sq. ft. gross N/A
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 2.803 AC.	Total sq. ft. gross (existing & proposed) N/A
Off street parking: Required <input type="checkbox"/> Provided	Proposed height of building(s) N/A
COA (Certificate of Appropriateness) case #	# of stories N/A
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor N/A
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.35 / 15,213 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.53 / 66,533 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel # 3720077700J
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units N/A	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units N/A	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units N/A	7. Open Space (only) or Amenity N/A
4. Overall Total # Of Dwelling Units (1-6 Above) N/A	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>The Site Group, PLLC</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u></u> Date <u>6.20.19</u></p> <p>Printed Name <u>George Anderson, Developer / Owner</u></p> <p>Signed _____ Date _____</p> <p>Printed Name _____</p>	

Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.
The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Demolition plan: Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B.)</i>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

NOTE: Revisions to previously approved site plans must contain the following minimum information:

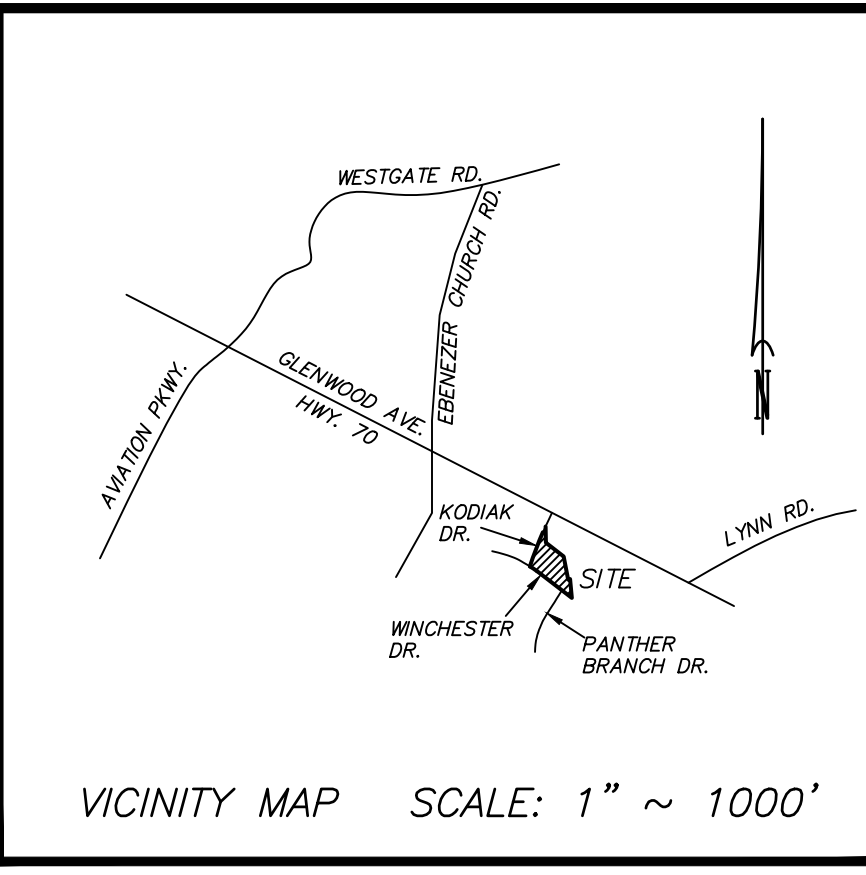
REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SIR WALTER CHEVROLET

8000 KODIAK DRIVE

Raleigh, North Carolina

VEHICLE SALES | ASR-0004-2019



NC ENGINEERING
LICENSE NO. P-0803

LEGEND	
	PROPERTY BOUNDARY
	EX. INTERIOR/ADJ LOT LINE
	EX. EASEMENTS
	PROPOSED ROW
	EXIST. BUILDING

SITE DATA SUMMARY

PROJECT NAME:	SIR WALTER CHEVROLET STORAGE LOT
PIN:	0777-85-0015
SITE ADDRESS:	8000 KODIAK DRIVE RALEIGH, NC
JURISDICTION:	CITY OF RALEIGH
TOTAL EXISTING ACREAGE:	2.803 AC./122,098 SF.
REQUIRED T.C.A.:	0.28 AC.
PROPOSED T.C.A.:	0.17 AC.
CURRENT USE:	VACANT
PROPOSED USE:	VEHICLE SALES
EXISTING IMPERVIOUS AREA:	0 SF./ 0.00 AC.
PROPOSED IMPERVIOUS AREA:	65,064 SF./ 1.49 AC.
TOTAL DISTURBED AREA:	2.70 AC.
PARKING SPACES	197
ZONING:	CX-3-PK

TREE CONSERVATION FEE-IN-LIEU:

9.1.5.E
1.REQUESTS FOR FEE-IN-LIEU PAYMENTS WILL BE CONSIDERED, BUT NOT LIMITED TO, THE FOLLOWING CASES:
g. SITE CONDITIONS CAUSED BY MAN-MADE OR NATURAL TOPOGRAPHY THAT WOULD REQUIRE USE OF A RETAINING WALL WHERE THE COST OF WALL CONSTRUCTION WOULD BE GREATER THAN THE FEE-IN-LIEU FOR THE AREA BEING RELIEVED FROM COMPLIANCE. IN SUCH CASES, JUSTIFICATION MUST BE PROVIDED TO DEMONSTRATE THERE ARE NO ALTERNATE METHODS OF CONSTRUCTION OTHER THAN USE OF A RETAINING WALL. QUOTES FORM 3 INDEPENDENT DESIGN FIRMS OR CONTRACTORS MUST BE PROVIDED TO ESTIMATE THE CONSTRUCTION COST OF THE RETAINING WALL.

THIS PROJECT REQUESTS A FEE-IN-LIEU FOR THE TCA REQUIREMENT BASED ON THE RETAINING WALLS REQUIRED. JUSTIFICATION LETTER AND PRICING FROM THREE CONTRACTORS IS INCLUDED. SEE THE DOCUMENTATION ATTACHED TO THIS SUBMITTAL FOR DETAILS.

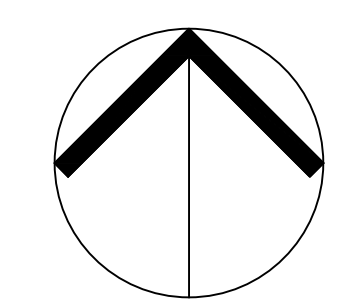
WINCHESTER DRIVE IMPROVEMENTS/CONNECTION:

WINCHESTER DRIVE HAS BEEN DEEMED A PUBLIC PRIVATE PARTNERSHIP PROJECT BETWEEN CITY OF RALEIGH AND THE OWNER OF 8000 KODIAK STORAGE LOT. CONSTRUCTION PLANS FOR THE ROAD, WATERLINE AND SEWER EXTENSION WILL BE SUBMITTED UNDER A SEPARATE PROCESS FOR REVIEW AND APPROVAL BY CITY OF RALEIGH.

PUBLIC UTILITY EXTENSIONS:

WINCHESTER DRIVE HAS BEEN DEEMED A PUBLIC PRIVATE PARTNERSHIP PROJECT BETWEEN CITY OF RALEIGH AND THE OWNER OF 8000 KODIAK STORAGE LOT. PUBLIC WATER AND SEWER DESIGN PLANS WILL BE SUBMITTED UNDER A SEPARATE PROCESS FOR REVIEW AND APPROVAL BY CITY OF RALEIGH.

NO UTILITIES ARE EXISTING ON-SITE AND NONE ARE PROPOSED WITH THIS SITE PLAN THEREFOR NO UTILITY PLAN IS INCLUDED WITH THIS SUBMITTAL

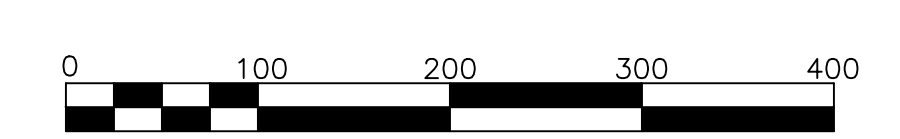


NORTH

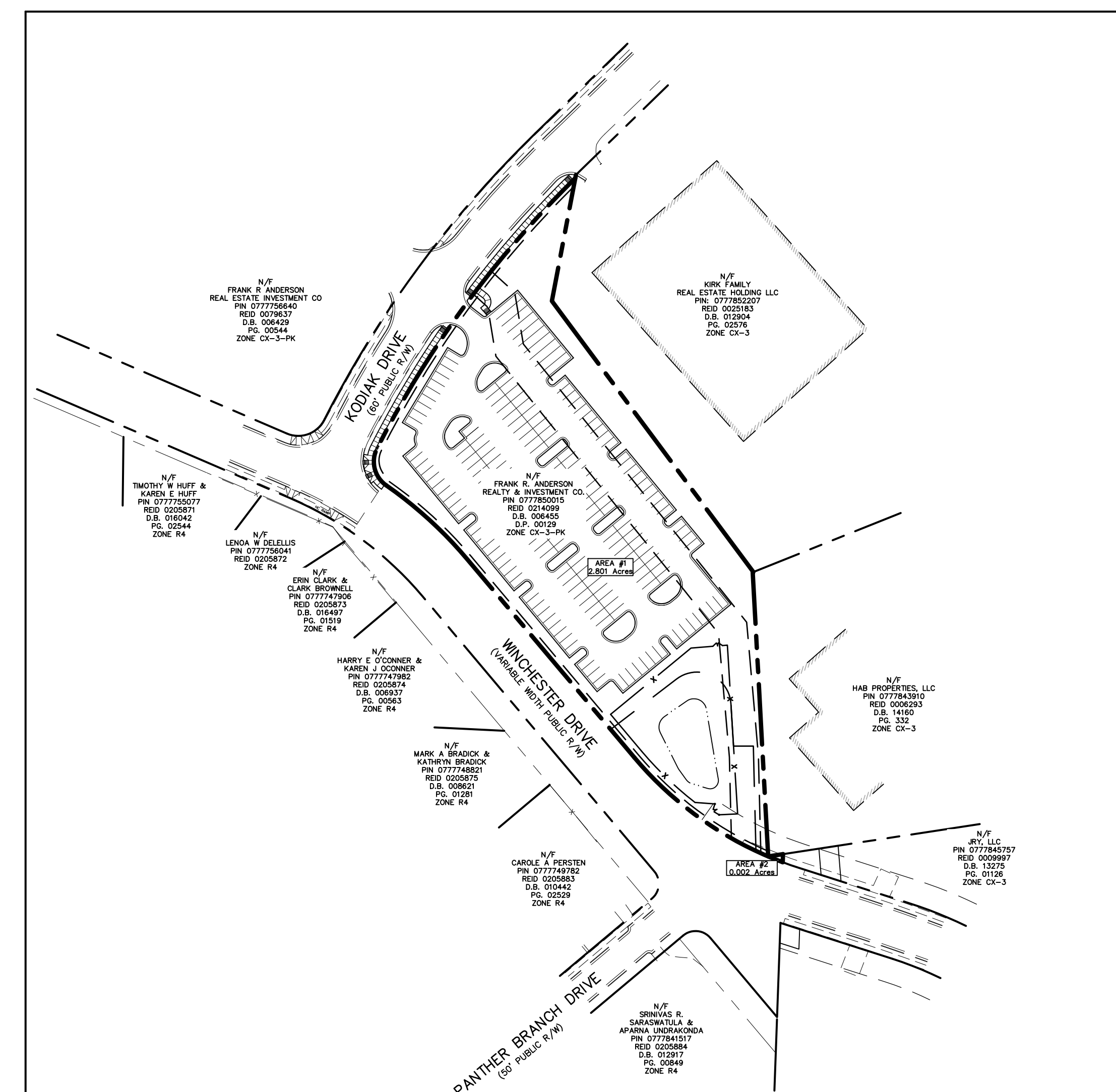
COVER SHEET

SCALE: 1" = 100'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION



GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ROBINSON & PLANTE, P.A. TITLED: BOUNDARY, TOPOGRAPHIC AND TREE SURVEY FOR SIR WALTER CHEVROLET - GEO DATED 29 JANUARY 2018.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- THE PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3720077700J PANEL 0777 EFFECTIVE DATE MAY 2, 2006.

ACKNOWLEDGEMENT OF EXISTING RECORDED MAP ERROR

DURING THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THIS PROPERTY THE EXISTING RECORDED MAP (BM 2006 PAGE 875) WAS FOUND TO BE IN ERROR.

CITY OF RALEIGH STAFF WILL REQUIRE A NEW PLAT BE RECORDED PRIOR TO APPROVAL OF SITE PLAN REVIEW OR BUILDING PERMIT, WHICHEVER IS FIRST OR REQUIRED FIRST.

THIS CONDITION WILL BE WRITTEN INTO THE ADMINISTRATIVE ACTION APPROVAL DOCUMENT.

DRAWINGS INDEX:

- | | |
|--------|---------------------------------------|
| PA 1.0 | COVER SHEET |
| PA 2.0 | EXISTING CONDITIONS & DEMOLITION PLAN |
| PA 3.0 | SITE LAYOUT PLAN |
| PA 4.0 | GRADING PLAN |
| PA 4.1 | STORMWATER PLAN |
| PA 5.0 | TREE CONSERVATION & LANDSCAPE PLAN |
| PA 6.0 | DETAILS |

OWNER:
FRANK R. ANDERSON REALTY AND INVESTMENT COMPANY, LLC
ATTN: GEORGE ANDERSON
P.O. BOX 90367
RALEIGH, NC 27675-0367
PHONE: 919-616-4807
EMAIL: g@sirwalter.com

CONTACT:
SAMUEL R. NYE, P.E.
THE SITE GROUP, PLLC
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 835-4787
FAX: (919) 839-2255
EMAIL: srn@thesitegroup.net

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:	Planning Coordinator:
Building Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Open lot <input type="checkbox"/> Civic
Subdivision transaction #: Sketch transaction #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Administrative Alternate #:	

GENERAL INFORMATION

Development name: 8000 Kodiak Drive Vehicle Sales and Storage Lot

Inside City limits? ☒ Yes ☐ No

Property address(es): 8000 Kodiak Drive

Site P.I.N. (s): 0777-02-85-0015

Please describe the scope of work. Include any additions, expansions, and change of use.

Principal parking lot use as defined by C.O.R. UDO will be Vehicle Sales. Sales employees and customers for Sir Walter Chevrolet will have access to the lot and vehicles. The lot will also be used for employee, overflow vehicles and fleet vehicle parking and storage.

Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.

Company: Frank R. Anderson Realty & Inv. Co., Inc. Title: President
Address: PO Box 90367 Raleigh NC 27675-0367
Phone #: 919-616-4807 Email: g@sirwalter.com

Applicant Name: George Anderson
Company: Frank R. Anderson Realty & Inv. Co., Inc. Address: PO Box 90367 Raleigh NC 27675-0367
Phone #: 919-616-4807 Email: g@sirwalter.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PK	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 2.803 Acres	New gross floor area: 0
# of parking spaces required: 0	Total # of gross (to remain and new): 0
# of parking spaces proposed: 197	Proposed # of buildings: 0
Overlay District (if applicable): N/A	Proposed # of stories for each: N/A
Existing use (UDO 6.1.4): VACANT	
Proposed use (UDO 6.1.4): VEHICLE SALES	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.00 Square Feet: 0	Proposed Impervious Surface: Acres: 1.49 Square Feet: 65,064
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: Flood stu: FEMA Map Panel #:	
Neuse River buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: # of bedroom units: 1br: 2br: 3br: 4br or more:	Total # of hotel units: # of hotel units: 1br: 2br: 3br: 4br or more:
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

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I hereby designate The Site Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which require applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 9-27-2019
Printed Name: George Anderson

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC
1111 OBERLIN ROAD
RALEIGH, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E Mail: srn@thesitegroup.net

ADMINISTRATIVE SITE PLAN (ASR-0004-2019) FOR:
8000 KODIAK SALES LOT
VEHICLE SALES
8000 KODIAK DRIVE
RALEIGH, NORTH CAROLINA

Drawn By: **SWJ**
Checked By: **SRN**

DATE: 25 JUN 2019
REVISED:
30 SEP 2019
02 DEC 2019

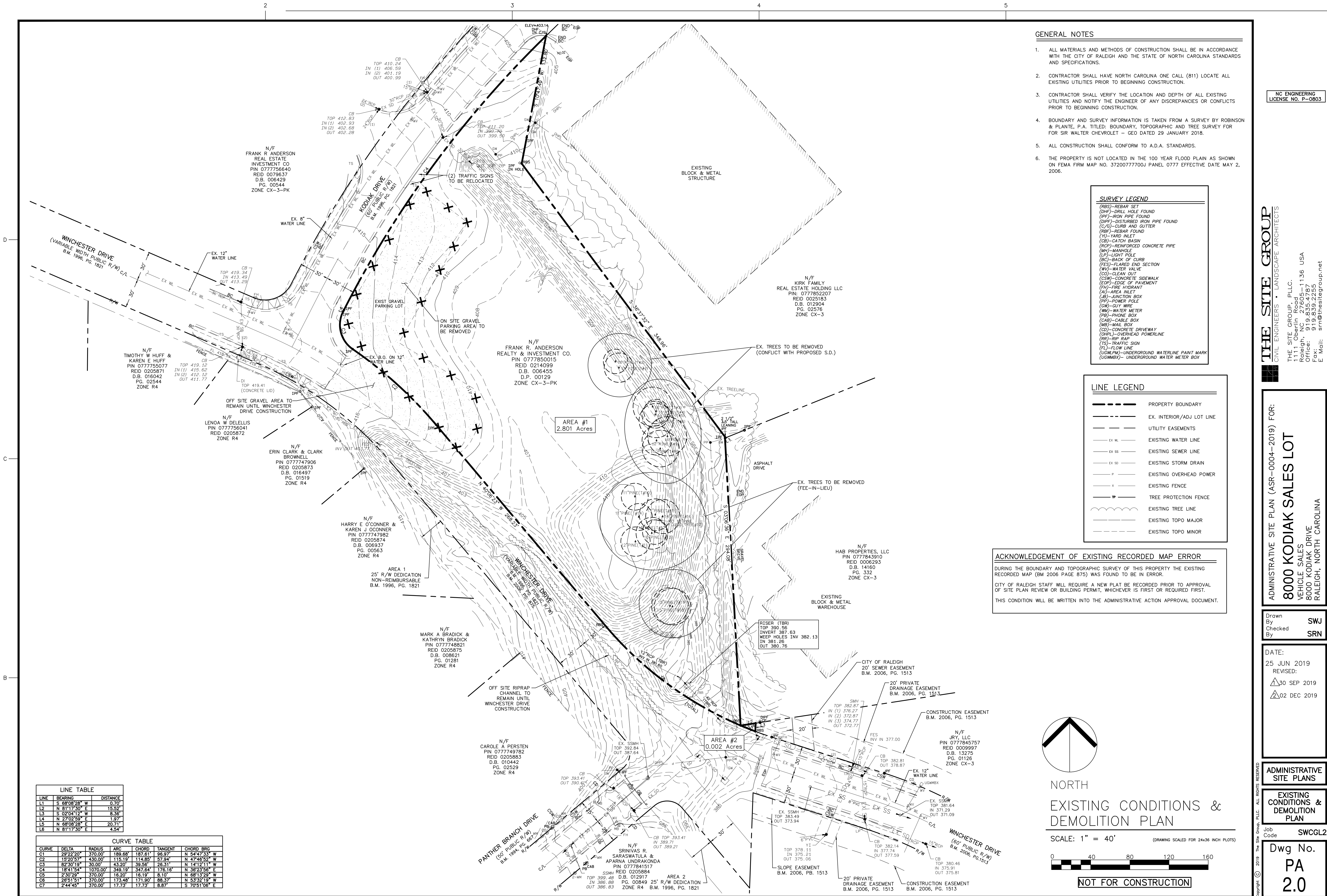
ADMINISTRATIVE
SITE PLANS

COVER
SHEET

Job Code: **SWCGL2**

Dwg No.
PA 1.0

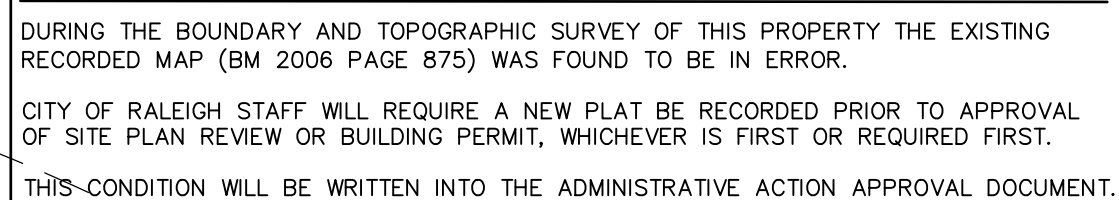
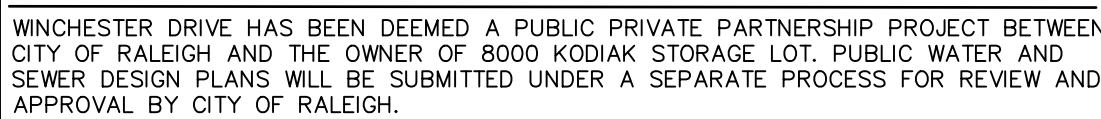
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NOT FOR CONSTRUCTION

Dwg No.
PA
3.0



NOT FOR CONSTRUCTION

Dwg No.
PA
5.0