

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	
	Building Type		Site Transaction History
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-5-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 10.98 ac	New gross floor area: 320,186 sf
# of parking spaces required: 419	Total sf gross (to remain and new): 320,186 sf
# of parking spaces proposed: 505	Proposed # of buildings: 4
Overlay District (if applicable): SHOD-2	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Multi-unit Living	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.22 Square Feet: 9,546	Proposed Impervious Surface: Acres: 6.91 Square Feet: 300,938
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: <u>yes</u>	
Flood study: <u>LOMAR 13-04</u>	
FEMA Map Panel #: <u>3720170500J</u>	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units: 348	Total # of hotel units: 0
# of bedroom units: 1br 207 2br 141 3br	4br or more
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, David M Boyette will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 2022.01.14
Printed Name: David M Boyette	

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Office Use Only: Case #: _____ Planner (print): _____

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type: Detached General Subdivision case #: _____
 Attached Mixed use Scoping/sketch plan case #: _____
 Apartment Open lot Certificate of Appropriateness #: _____
 Townhouse Civic Board of Adjustment #: _____
 Administrative Alternate #: _____

GENERAL INFORMATION

Development name: 100 Knowles Street
 Inside City limits? Yes No
 Property address(es): 100 Knowles Street
 Site P.I.N.(s): 1702760750

Please describe the scope of work. Include any additions, expansions, and change of use.
 Construction of 207 1-bedroom and 141 2-bedroom apartment units in three apartment buildings along with associated amenity areas and surface parking.

Current Property Owner/Developer Contact Name: Mark Matthews
 NOTE: please attach purchase agreement when submitting this form.
 Company: Trammell Crow Residential Title: Development Associate
 Address: 4509 Creedmoor Road, Suite 308, Raleigh, NC 27612
 Phone #: 404.798.7927 Email: mmatthews@tcr.com
 Applicant Name: David Boyette
 Company: McAdams Address: One Glenwood Avenue, Suite 200, Raleigh, NC 27603
 Phone #: 919.244.9528 Email: boyette@mcadamsco.com

Page 1 of 2

REVISED 03.19.21
 raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

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Zoning district (if more than one, please provide the acreage of each): CX-5-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage: 10.98 ac	Existing gross floor area to be demolished: 0
# of parking spaces required: 419	New gross floor area: 320,186 sf
# of parking spaces proposed: 372 + 104 = 476 TOTAL	Total # of gross (to remain and new): 320,186 sf
Overlay District (if applicable): SHOD-2	Proposed # of buildings: 4
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 4
Proposed use (UDO 6.1.4): Multi-unit Living	

STORMWATER INFORMATION

Existing Impervious Surface: Square Feet: 9,546 Proposed Impervious Surface: Square Feet: 300,938
 Acres: 0.22 Acres: 6.91

Is this a flood hazard area? Yes No
 If yes, please provide:
 Attributed to: 304
 Flood study: LOMAR 13-04
 FEMA Map Panel #: 3720170500J

Neuse River Buffer Yes No Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 348 Total # of hotel units: 0
 # of bedroom units: 1br 207 2br 141 3br 4br or more
 # of lots: 1 Is your project a cottage court? Yes No

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is/are aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

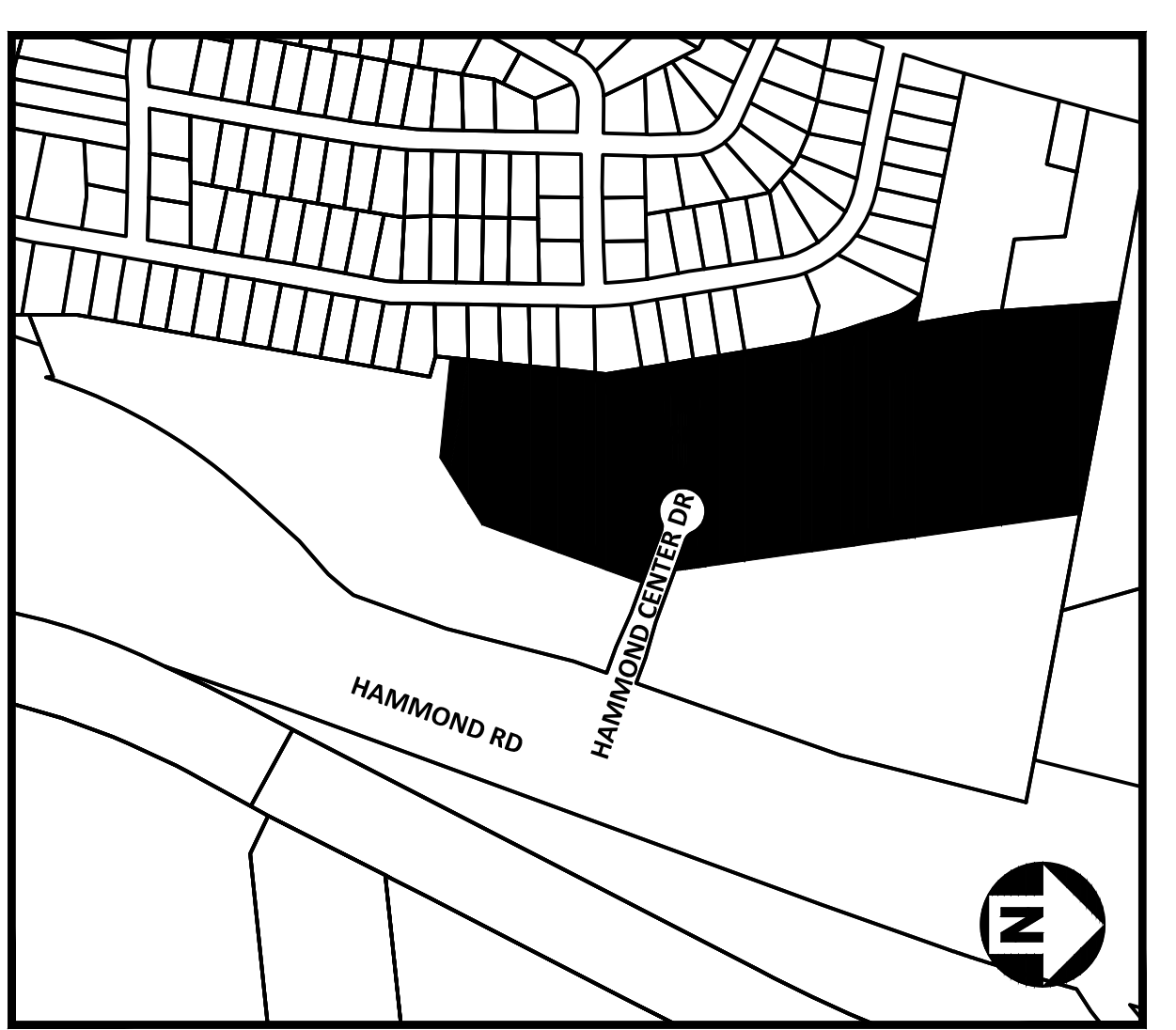
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Signature: David M Boyette Date: 2022.01.14
 Printed Name: David M Boyette

Page 2 of 2

REVISED 03.19.21
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VICINITY MAP
 N.T.S.

100 KNOWLES STREET

ADMINISTRATIVE SITE REVIEW

100 KNOWLES STREET
 RALEIGH, NORTH CAROLINA 27603
 PROJECT NUMBER: 2021110380
 CASE NUMBER: ASR-0004-2022
 DATE: JANUARY 14, 2022
 REVISED: JUNE 01, 2022

SITE DATA

SITE ADDRESS:	100 KNOWLES ST, RALEIGH NORTH CAROLINA 27603
PARCEL PIN NUMBER:	1702760750
EXISTING ZONING:	CX-5-CU: COMMERCIAL MIXED USE (83.96 AC.), CM: CONSERVATION MANAGEMENT (1.81 AC.)
OVERLAY DISTRICT:	SHOD-2
BLOCK PERIMETER:	MAX ALLOWABLE: 4,000 LF EXISTING BLOCK: 2,780 LF (BLOCK WAS CREATED PRIOR TO SEPT 2013 AND IS LESS THAN 150% OF THE MAXIMUM - UDO SEC. 8.3.2.A.1.VII)
WATERSHED:	WALNUT CREEK; NEUSE RIVER BASIN
FLOODPLAIN/FIRM PANEL:	3720170200J
SITE AREA:	EXISTING LOT 1 - 695,918 SF / 15.98 AC LOT 2 - 437,830 SF / 10.05 AC LOT 3 - 437,101 SF / 10.03 AC TOTAL (GROSS) - 1,570,848 SF / 36.06 AC TOTAL (NET) - 696,089 SF / 15.98 AC
EXISTING BUILDING TYPE:	N/A
PROPOSED BUILDING TYPES:	BLDG 1: APARTMENT- 104,510 SF; BLDG 2: LEASING/AMENITY-6,656 SF; BLDG 3: APARTMENT- 104,510 SF; BLDG 4: APARTMENT- 104,510 SF
EXISTING USE:	LOT 1 - VACANT; LOT 2 - VACANT; LOT 3 - VACANT
PROPOSED USE:	LOT 1 - MULTI-UNIT LIVING; LOT 2 - VACANT; LOT 3 - VACANT
PARKING DATA:	VEHICLE PARKING REQUIRED PARKING: MULTI-UNIT: 1 BEDROOM - 1 SPACE/UNIT; 207 UNITS = 207 SPACES MULTI-UNIT: 2 BEDROOM - 1.5 SPACE/UNIT; 141 UNITS = 212 SPACES TOTL. REQUIRED SPACES = 419 SPACES PARKING PROVIDED: SURFACE PARKING PROVIDED = 356 SPACES GARAGE PARKING PROVIDED = 16 SPACES TOTAL PROVIDED SPACES = 372 SPACES (+ 104 SPACES PROVIDED IN PSP SUBMITTAL) = 476 ACCESSIBLE PARKING REQUIRED: SURFACE SPACES PROVIDED = 356 SPACES REQUIRES 8 TOTAL ADA SPACES (2 VAN SPACES) GARAGE SPACES PROVIDED = 16 SPACES REQUIRES 1 TOTAL ADA SPACE (1 VAN SPACE) PROVIDED: SURFACE ADA PARKING PROVIDED = 13 STD ADA & 1 VAN ADA (+ 10 STD ADA & 7 VAN ADA PROVIDED IN PSP SUBMITTAL) = 13 STD ADA & 8 VAN ADA GARAGE ADA PARKING PROVIDED = 1 VAN ADA BIKE PARKING REQUIRED: SHORT TERM: 1 SP/20 UNITS; 348 UNITS - 17 BIKE SPACES LONG TERM: NONE PROVIDED: 18 SHORT TERM BIKE SPACES, 0 LONG TERM BIKE SPACES
BUILDING + PARKING SETBACK:	PARKING SETBACK: FROM PRIMARY STREET: 10' FROM SIDE STREET: 10' FROM SIDE LOT LINE: 0' FROM REAR LOT LINE: 0' FROM ALLEY: 4' BUILDING SETBACK: FROM PRIMARY STREET: 5' FROM SIDE STREET: 5' FROM SIDE LOT LINE: 0' or 6' FROM REAR LOT LINE: 0' or 6' FROM ALLEY/GARAGE ONLY: 4' or 20' min.
BUILDING HEIGHT:	MAXIMUM ALLOWED: 5 STORIES / 80 FEET PROPOSED: 4 STORIES / 61 FEET
OUTDOOR AMENITY AREA:	REQUIRED: TOTAL SITE AREA (LOT 1 ONLY): 695,918 SF 10% OF SITE AREA: 69,592 SF (1.60 AC) PROVIDED: TOTAL PROVIDED OUTDOOR AMENITY AREA: 91,693 SF (2.10 AC)

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	OVERALL EXISTING CONDITIONS
C1.01	EXISTING CONDITIONS
C1.02	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C3.00	OVERALL GRADING PLAN
C3.01	GRADING PLAN
C4.00	UTILITY PLAN
C4.01	FIRE ACCESS PLAN
C8.00	SITE DETAILS
C8.01	WATER DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	SANITARY SEWER DETAILS
L2.00	TREE CONSERVATION PLAN
L5.00	OVERALL LANDSCAPE PLAN
L5.01	LANDSCAPE PLAN
L5.02	LANDSCAPE NOTES AND DETAILS
L6.00	LIGHTING PLAN
A4-01	BUILDING ELEVATIONS
A4-02	BUILDING ELEVATIONS
A4-03	BUILDING ELEVATIONS

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540, at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

McADAMS
 The John R. McAdams Company, Inc.
 2905 Meridian Parkway
 Durham, NC 27713
 phone 919.361.5000
 fax 919.361.2269
 license number: C-0293, C-187
 www.mcadamsco.com

CONTACT
 DAVID BOYETTE
 boyette@mcadamsco.com
 PHONE: 919.244.9528

CLIENT
 TRAMMELL CROW RESIDENTIAL
 4509 CREEDMOOR ROAD, SUITE 308
 RALEIGH, NORTH CAROLINA 27612
 PHONE: 404.798.7927

TCR
 TRAMMELL CROW RESIDENTIAL

PROJECT DIRECTORY
 DEVELOPER
 TRAMMELL CROW RESIDENTIAL
 4509 CREEDMOOR ROAD, SUITE 308
 RALEIGH, NORTH CAROLINA 27612
 PHONE: 404.798.7927
 ARCHITECT
 DWELL DESIGN STUDIO
 8200 GREENSBORO DRIVE, SUITE 650
 MCLEAN, VIRGINIA, 22102
 PHONE: 571.253.6950

REVISIONS

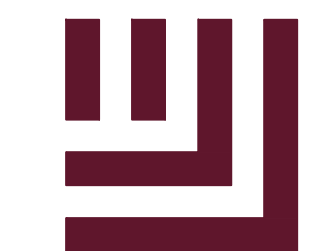
NO.	DATE	REVISION PER COR 1ST REVIEW COMMENTS
1	06.01.2022	REVISED PER COR 1ST REVIEW COMMENTS

ADMINISTRATIVE SITE REVIEW FOR:
 100 KNOWLES STREET
 RALEIGH, NC. 27603
 PROJECT NUMBER:
 2021110380



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



MCADAMS

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4509 CREEDMOOR ROAD, SUITE 308
RALEIGH, NORTH CAROLINA 27612
PHONE: 404.738.7927

TCR
TRAMMELL CROW RESIDENTIAL

100 KNOWLES STREET
ADMINISTRATIVE SITE REVIEW
100 KNOWLES STREET
RALEIGH, NORTH CAROLINA, 27603

REVISIONS

NO.	DATE	REVISION
1	06.01.2022	REVISED PER COR 1ST REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. 2021110380
FILENAME 2021110380-ASR-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=100'
DATE 01.14.2022

SHEET

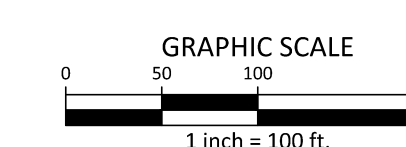
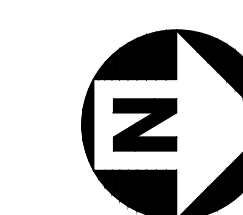
OVERALL SITE PLAN

C2.00

SITE LEGEND

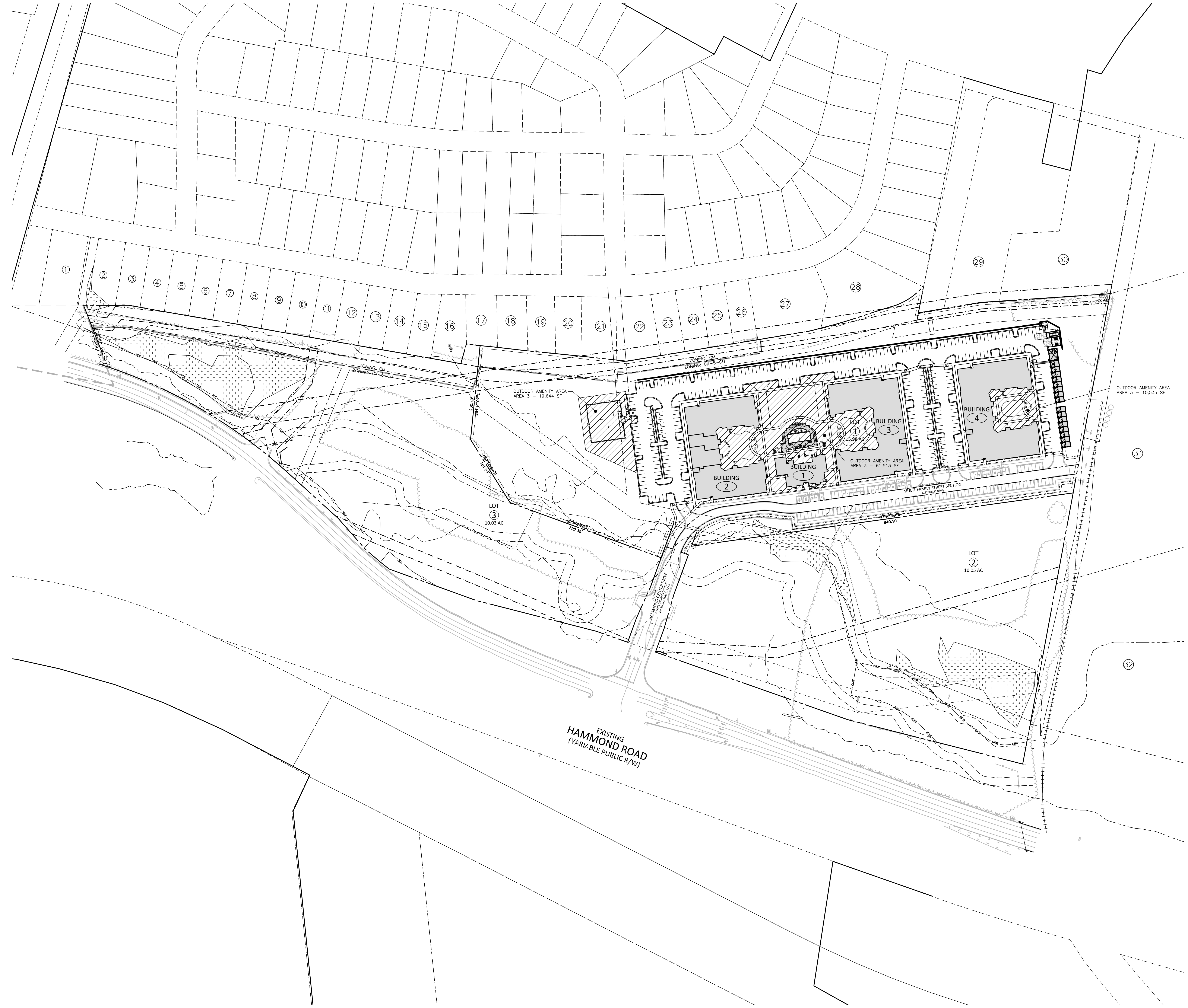
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- OUTDOOR AMENITY AREA

PROPERTY OWNER TABLE			
OWNER	PIN	ZONING	
1 WALL, NEEDHAM A	1702654611	R-10	
2 PEREZ, ANGELA RAE	1702654720	R-10	
3 PEREIRA, SEAN M	1702654738	R-10	
4 WINDSOR CREST PROPERTIES INC	1702654854	R-10	
5 DUMONT, WILLIAM	1702654960	R-10	
6 DUPREE, GARY LOUIS	1702654976	R-10	
7 MCGEE, ROY T III MCGEE, TAMMY B	1702664072	R-10	
8 TERLIZZI, HILLARY A	1702664088	R-10	
9 WATERS, LYNWOOD E WATERS, CAROLYN A	1702665104	R-10	
10 WOODARD, THOMAS C WOODARD, PHYLLIS T	1702665220	R-10	
11 BASKERVILLE, MATTHEW	1702665206	R-10	
12 TESSENBAR, ELMER GEORGE TRUSTEE ELMER GEORGE TESSENBAR REVOCABLE LIVING TRUST THE	1702665322	R-10	
13 COATES, GARY TRUSTEE	1702665358	R-10	
14 SHANKS, ROBERT G SHANKS, MERI C	1702665444	R-10	
15 HOLLIDAY, SARA M	1702665560	R-10	
16 JONES, KYLE	1702665596	R-10	
17 VASQUEZ-MICHEL, LUIS A ENG, STEPHANIE M	1702665653	R-10	
18 RALEIGH RESTORATION GROUP LLC	1702665790	R-10	
19 WISE, JORDAN R	1702665798	R-10	
20 OVERTON, ELIZABETH WHEELER OVERTON, VICTOR DALE	1702665876	R-10	
21 WATKINS, VIRGINIA G WATKINS, ANDREW P	1702665951	R-10	
22 BALDWIN, LARA GILMORE TRUSTEE TRUSTEE OF STEPHANIE LYNN GILMORE, THIRD PARTY SPEC	1702675042	R-10	
23 LEE, RASHM LATEEF	1702675049	R-10	
24 YACOBUCCI, MICHAEL A	1702675135	R-10	
25 WINDSOR CREST PROPERTIES INC	1702675221	R-10	
26 PJC & RWC INVESTMENTS, LLC	1702675217	R-10	
27 OHAGAN LLC	1702675307	R-10	
28 SMITH, VANESSA A	1702674576	R-10	
29 HAYWOOD FUNERAL HOME INC	1702672837	IX-3-PL	
30 SOHRAN ACQUISITION LP	1702682182	IX-3-PL	
31 EVERGREEN PACKAGING INC	1702687425	IX-3-PL	
32 PENNYBACKER CAPITAL	1702689947	IX-3-PL	



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\TCR\2021110380\04-Production\Engineering\Construction Drawings\2021110380-ASR-S1.dwg, 6/1/2022 4:08:31 PM, David Boyette



EXISTING
HAMMOND ROAD
(VARIABLE PUBLIC R/W)



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REVISIONS

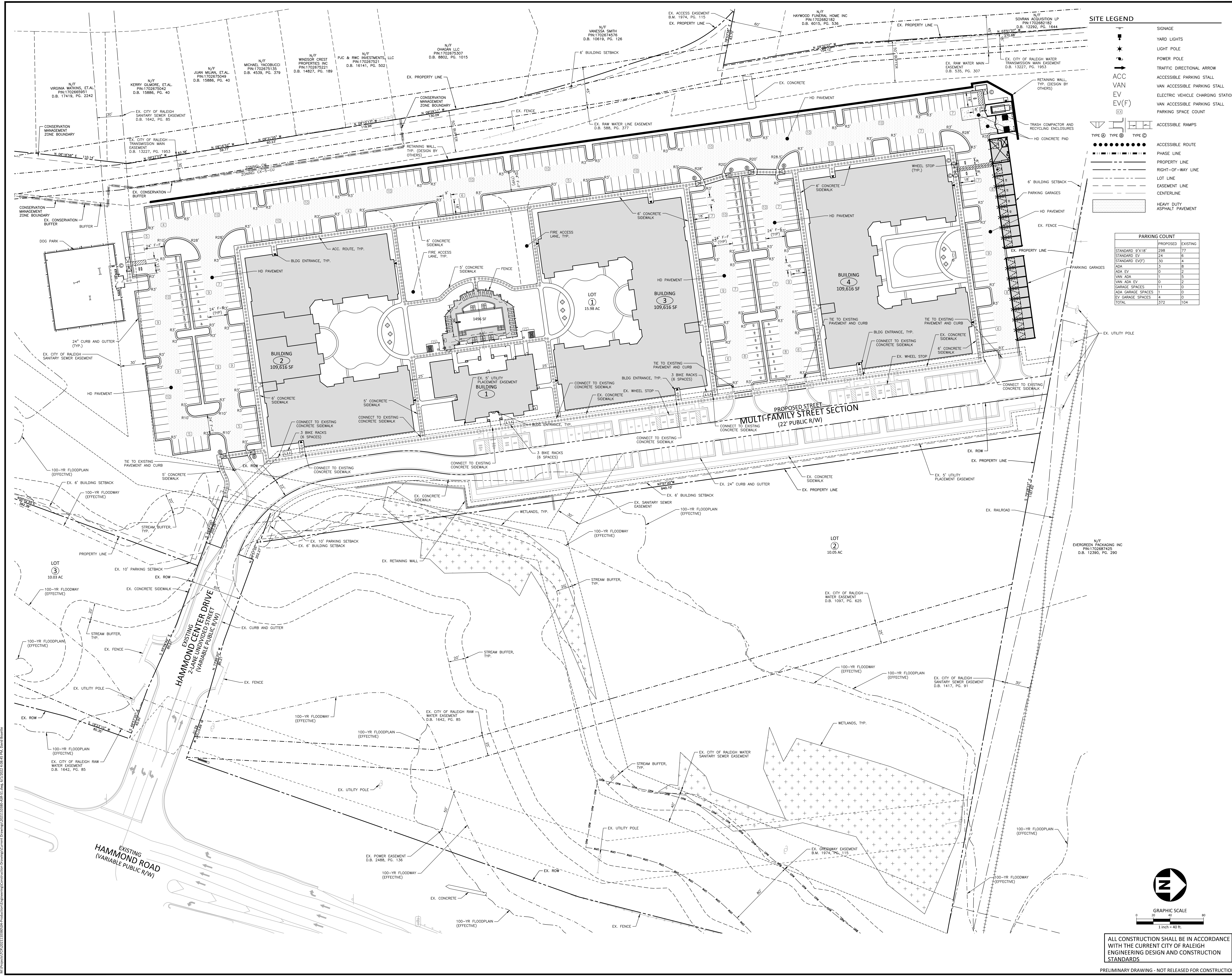
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SHEET
SITE PLAN

C2.01

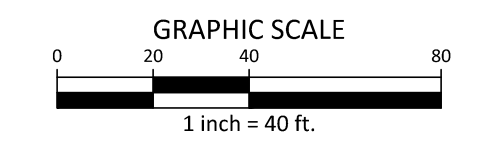
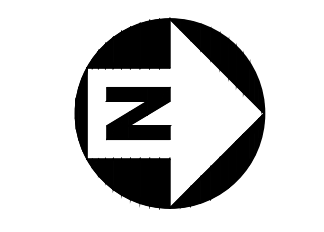


SITE LEGEND

- ACCURATE VAN EV EV(F)
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT

PARKING COUNT

	PROPOSED	EXISTING
STANDARD 9'X18'	288	77
STANDARD EV	24	6
STANDARD EV(F)	30	4
ADA	3	6
ADA EV	0	2
VAN ADA	1	0
VAN ADA EV	0	2
GARAGE SPACES	11	0
ADA GARAGE SPACES	1	0
EV GARAGE SPACES	4	0
TOTAL	372	104



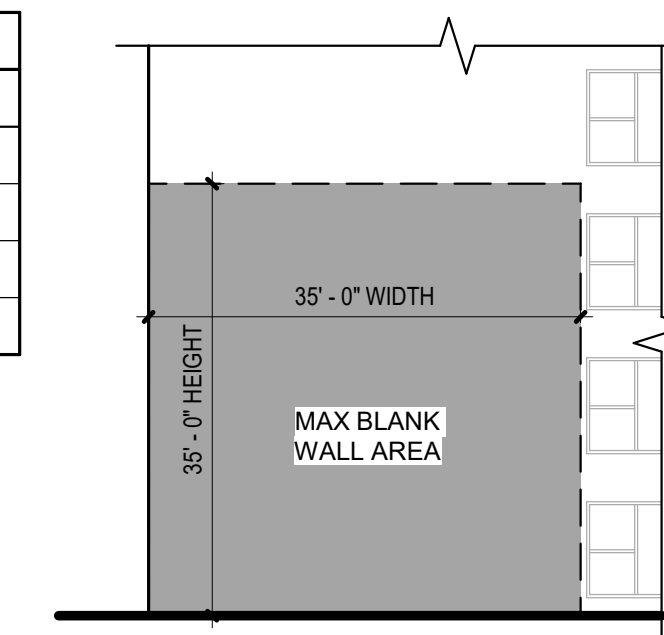
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

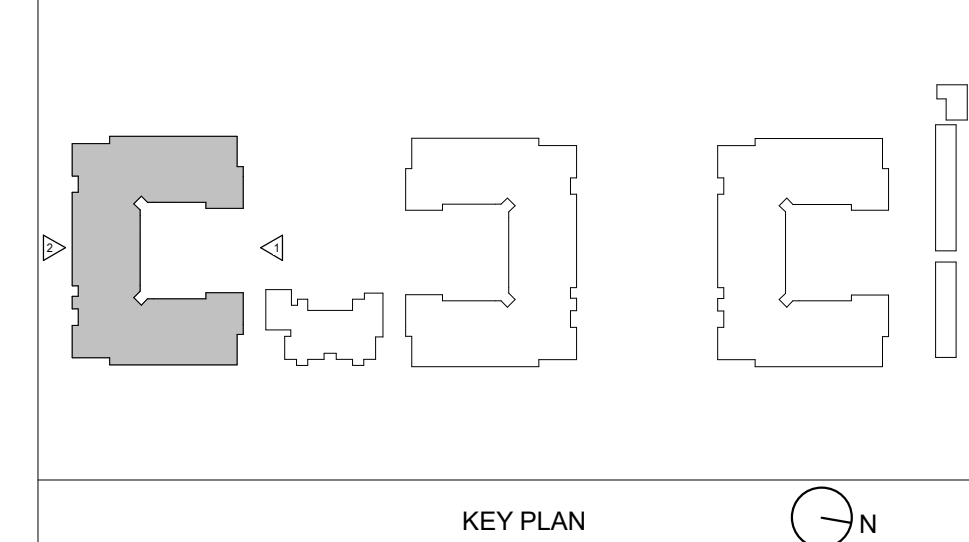
M:\Projects\TCR\2021110380\Production\Engineering\Construction\Drawings\Current\Drawing\2021110380-ASR-S1.dwg, 6/1/2022, 4:08:45 PM, David Boyette

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE:
 UNIFIED DEVELOPMENT ORDINANCE
 SEC. 1.5.10.
 MAX. BLANK WALL SHALL NOT EXCEED
 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUBHOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS
 THAT EXCEED 35' IN HEIGHT OR WIDTH



2 BUILDING 2000 - NORTH ELEVATION
 1/8" = 1'-0"



1 BUILDING 2000 - SOUTH ELEVATION
 1/8" = 1'-0"

DOWNTOWN SOUTH
 100 KNOWLES STREET RALEIGH, NC 27603

A DEVELOPMENT FOR
MAPLE MULTIFAMILY SE LLC

ISSUE	DESCRIPTION	DATE	BY
01/2022	ASR SUBMISSION		
02/2022	SD SUBMISSION		
04/2022	REVISED SD SUBMISSION		
05/2022	UPDATED SD SET		

REVISION	DESCRIPTION	REV

DATE	DESCRIPTION	REV

DISCLAIMER
 THE DRAWINGS ARE ASSUMED TO BE ACCURATE AND THE EXCLUSIVE PROPERTY OF DWELL DESIGN STUDIO. ANY AND ALL REVISIONS TO THESE DRAWINGS SHALL BE MADE BY DWELL DESIGN STUDIO. NO OTHER PARTY SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

BUILDING ELEVATION
 SCHEMATIC DESIGN PACKAGE

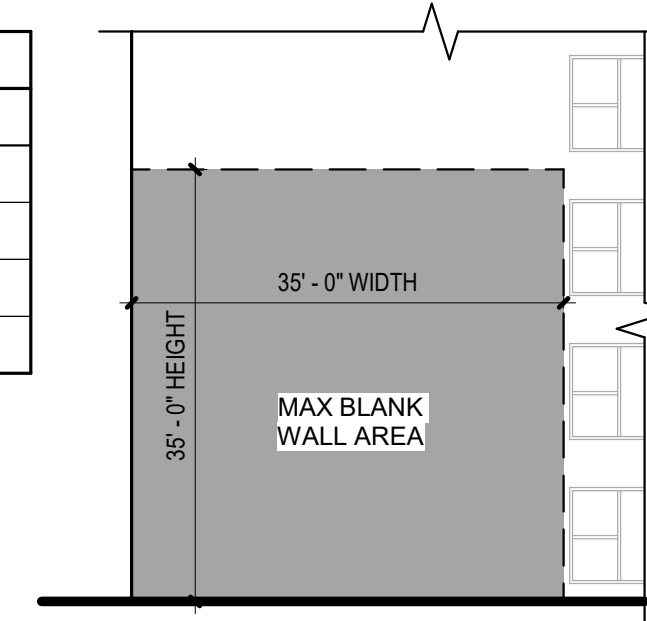
JOB NUMBER: 2103423

DRAWN BY: Author
 CHECKED BY: Checker

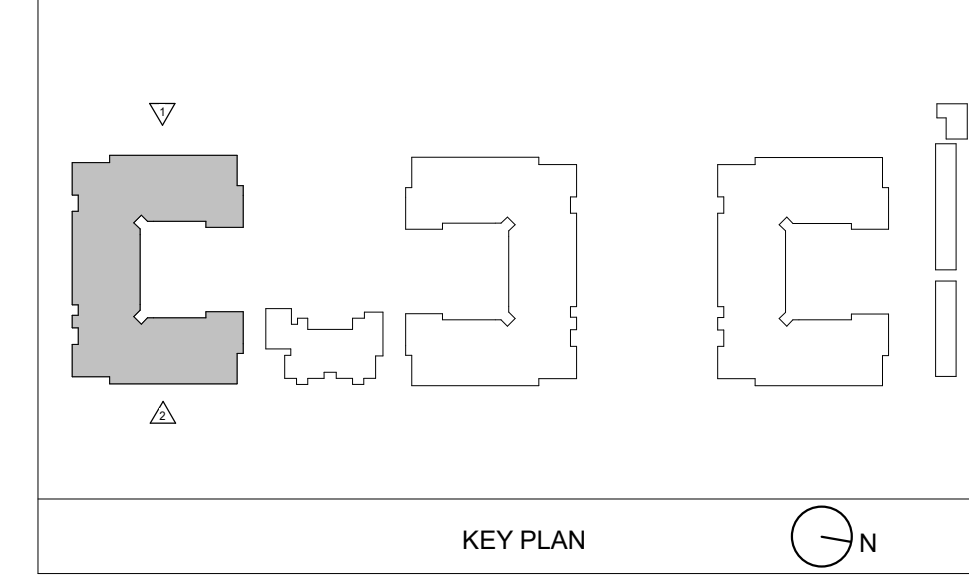
A4.01

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE: UNIFIED DEVELOPMENT ORDINANCE, SEC. 1.8.10
 MAX. BLANK WALL SHALL NOT EXCEED 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUB HOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS THAT EXCEED 35 IN HEIGHT OR WIDTH



2 BUILDING 2000 - EAST ELEVATION
 1/8" = 1'-0"



1 BUILDING 2000 - WEST ELEVATION
 1/8" = 1'-0"

DOWNTOWN SOUTH
 100 KNOWLES STREET RALEIGH, NC 27603
 A DEVELOPMENT FOR
MAPLE MULTIFAMILY SE LLC

ISSUE	DESCRIPTION	DATE	BY
01/20/2022	ASR SUBMISSION		
02/09/2022	SD SUBMISSION		
02/04/2022	REVISED SD SUBMISSION		
02/02/2022	UPDATED SD SET		

REVISION	DESCRIPTION	REV

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PROJECT NAME:
BUILDING ELEVATION

PACKAGE:
 SCHEMATIC DESIGN PACKAGE

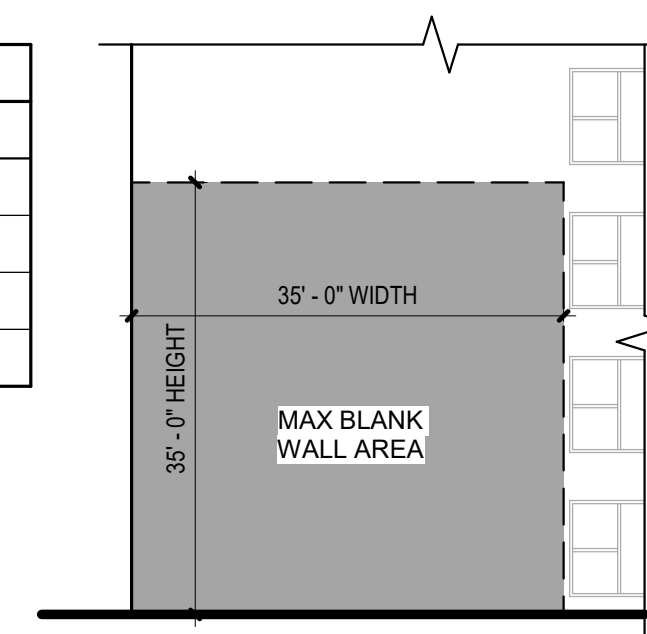
JOB NUMBER: 2103423

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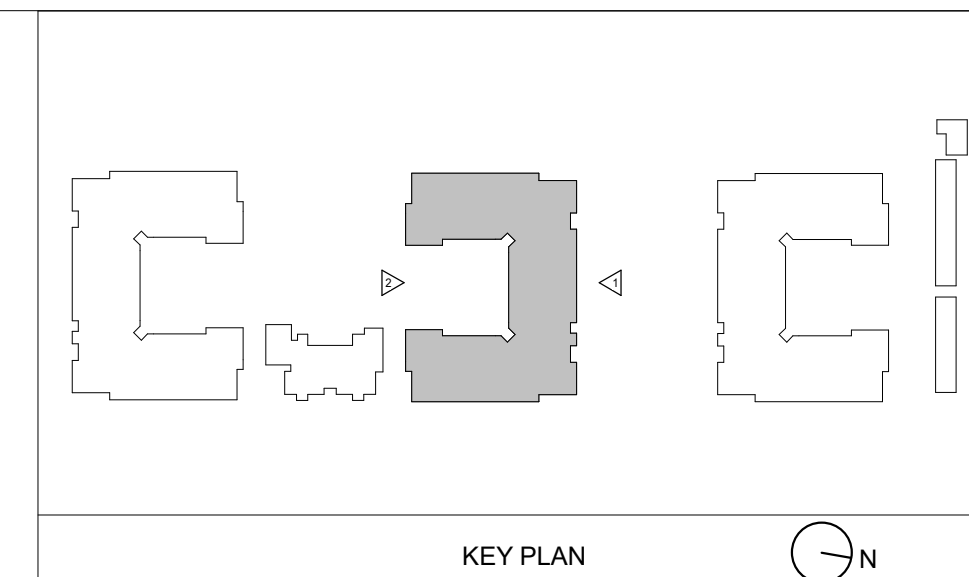
A4.02

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE: UNIFIED DEVELOPMENT ORDINANCE, SEC. 1.5.10
 MAX. BLANK WALL SHALL NOT EXCEED 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUB HOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS THAT EXCEED 35 IN HEIGHT OR WIDTH



2 BUILDING 3000 - NORTH ELEVATION
 1/8" = 1'-0"



1 BUILDING 3000 - SOUTH ELEVATION
 1/8" = 1'-0"

DOWNTOWN SOUTH
 100 KNOWLES STREET RALEIGH, NC 27603
 A DEVELOPMENT FOR
MAPLE MULTIFAMILY SE LLC

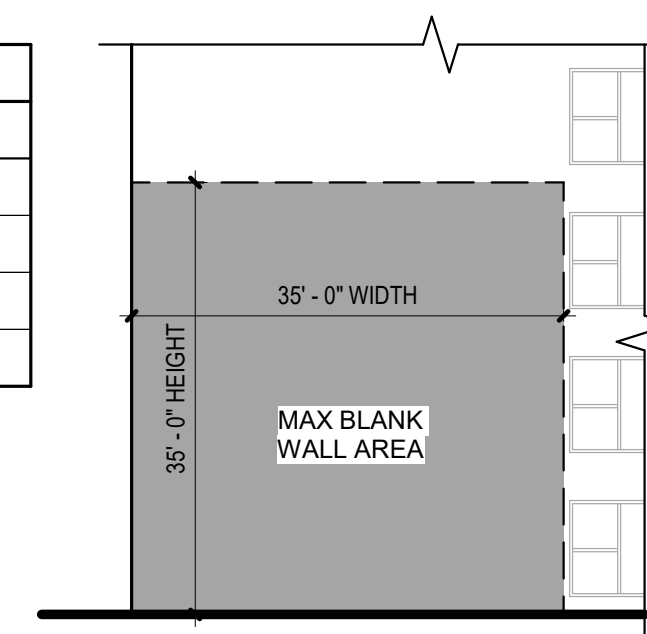
ISSUE DATE	DESCRIPTION	ISSUED BY
01/05/2022	ASR SUBMISSION	
02/09/2022	SD SUBMISSION	
03/04/2022	REVISED SD SUBMISSION	
03/16/2022	UPDATED SD SET	

REVISION DATE	DESCRIPTION	REV

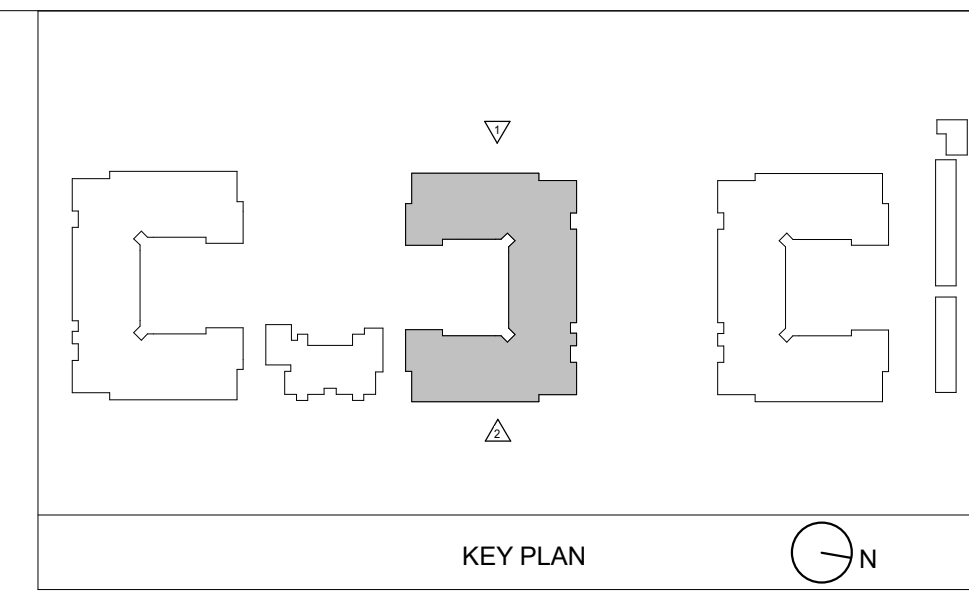
BUILDING ELEVATION
 SCHEMATIC DESIGN PACKAGE
 JOB NUMBER: 2103423
 DRAWN BY: Author
 CHECKED BY: Checker

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE: UNIFIED DEVELOPMENT ORDINANCE, SEC. 13.10
 MAX. BLANK WALL SHALL NOT EXCEED 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUBHOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS THAT EXCEED 35' IN HEIGHT OR WIDTH



2 BUILDING 3000 - EAST ELEVATION
 1/8" = 1'-0"



1 BUILDING 3000 - WEST ELEVATION
 1/8" = 1'-0"

DOWNTOWN SOUTH
 100 KNOWLES STREET RALEIGH, NC 27603

MAPLE MULTIFAMILY SE LLC

ISSUE DATE	DESCRIPTION	ISSUED BY
01/05/2022	ASR SUBMISSION	
02/09/2022	SD SUBMISSION	
03/04/2022	REVISED SD SUBMISSION	
03/04/2022	UPDATED SD SET	

REVISION DATE	DESCRIPTION	REV

BUILDING ELEVATION

SCHMATIC DESIGN PACKAGE

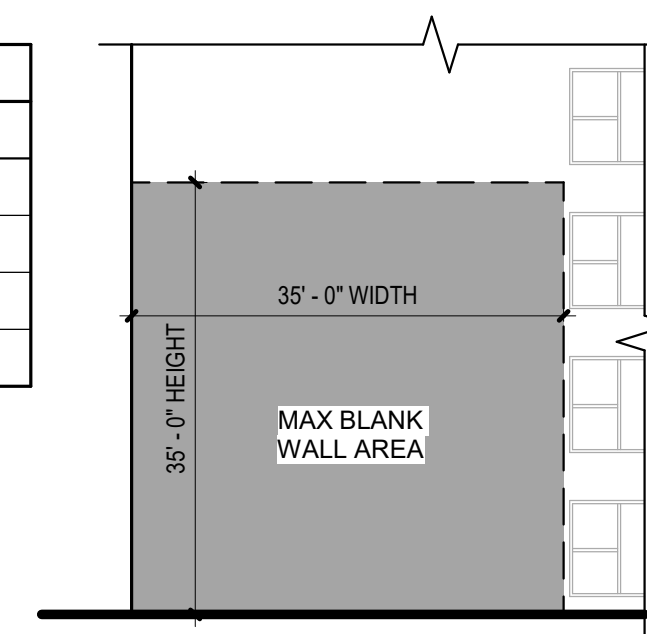
JOB NUMBER: 2103423

DRAWN BY: Author
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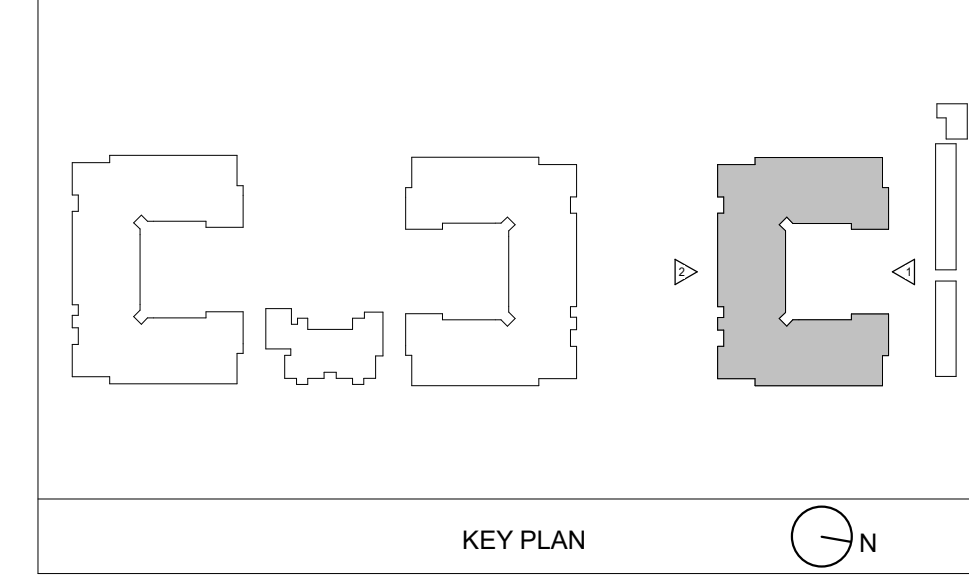
A4.04

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 0"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE: UNIFIED DEVELOPMENT ORDINANCE, SEC. 1.5.10
 MAX. BLANK WALL SHALL NOT EXCEED 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUB HOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS THAT EXCEED 35' IN HEIGHT OR WIDTH



2 BUILDING 4000 - SOUTH ELEVATION
 1/8" = 1'-0"



3 BUILDING 4000 - NORTH ELEVATION
 1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION	BY
01/20/2022	ASR SUBMISSION		
02/09/2022	SD SUBMISSION		
03/04/2022	RE-USED SD SUBMISSION		
03/16/2022	UPDATED SD SET		

REVISION	DATE	DESCRIPTION	BY

SCALE
 1/8" = 1'-0"

DATE
 3/17/2022 4:51:33 PM

PROJECT NAME
 BUILDING ELEVATION

PROJECT NUMBER
 2103423

DRAWN BY
 Author

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PROJECT NAME
 BUILDING ELEVATION

PROJECT NUMBER
 2103423

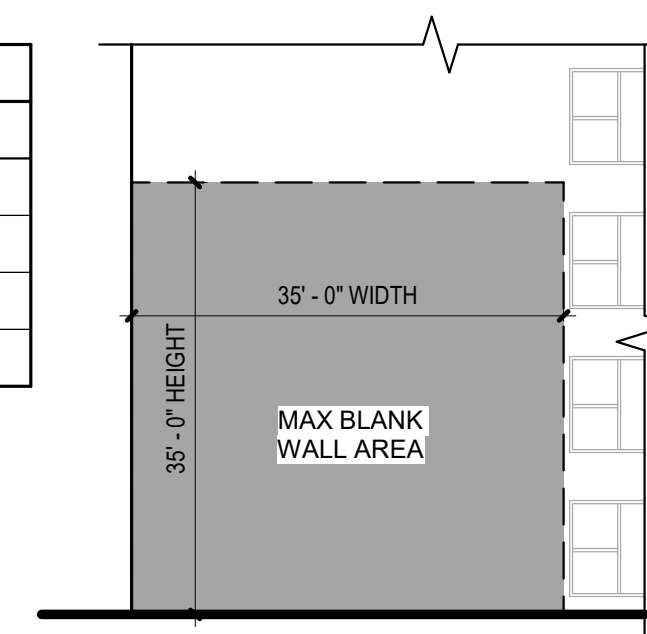
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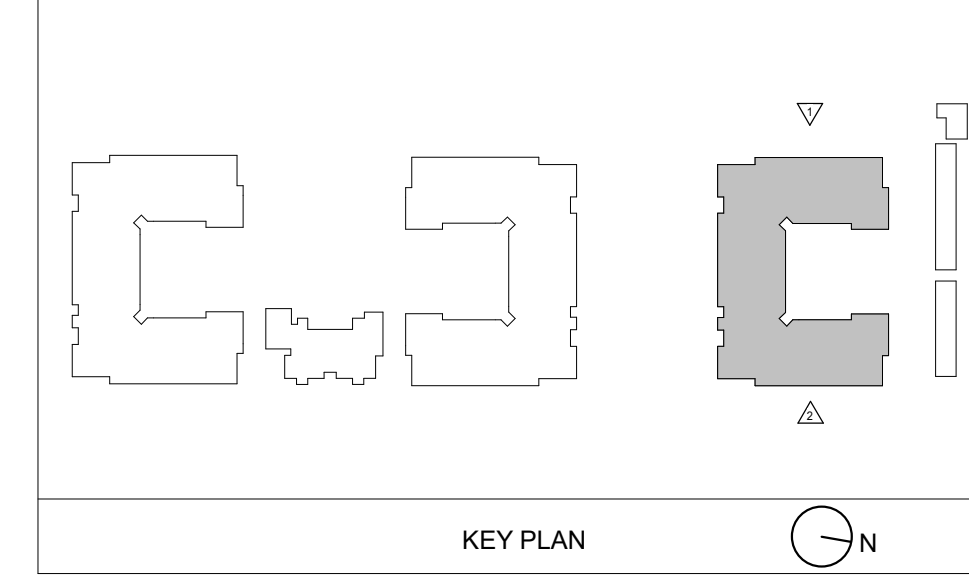
A4.05

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

BLDG AVERAGE GRADE			
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE:
 UNIFIED DEVELOPMENT ORDINANCE
 SEC. 1.8.10
 MAX. BLANK WALL SHALL NOT EXCEED
 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUB HOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS
 THAT EXCEED 35' IN HEIGHT OR WIDTH



2 BUILDING 4000 - EAST ELEVATION
 1/8" = 1'-0"



1 BUILDING 4000 - WEST ELEVATION
 1/8" = 1'-0"

DOWNTOWN SOUTH
 100 KNOWLES STREET RALEIGH, NC 27603
 A DEVELOPMENT FOR
MAPLE MULTIFAMILY SE LLC

ISSUE	DATE	DESCRIPTION	REV
01/07/2022	01/07/2022	ASR SUBMISSION	01
02/09/2022	02/09/2022	SD SUBMISSION	02
03/04/2022	03/04/2022	REVISED SD SUBMISSION	03
03/04/2022	03/04/2022	UPDATED SD SET	04

REVISION	DATE	DESCRIPTION	REV

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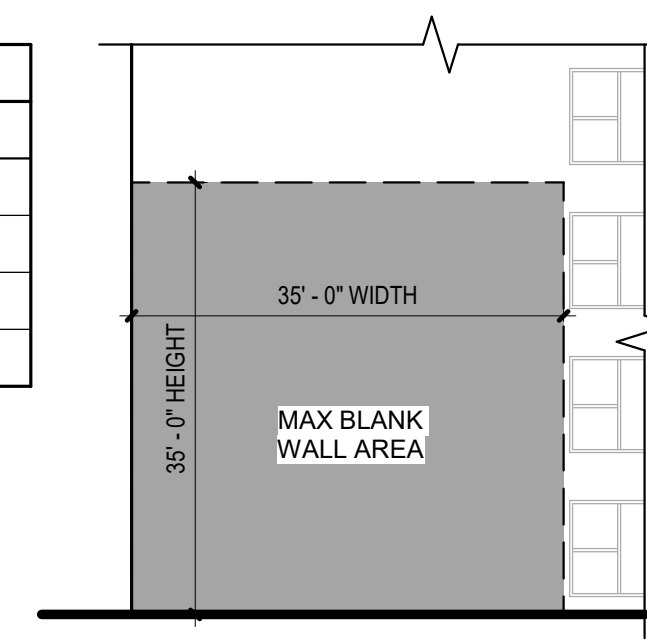
BUILDING ELEVATION
 SCHEMATIC DESIGN PACKAGE

JOB NUMBER: 2103423
 DRAWN BY: Author
 CHECKED BY: Checker

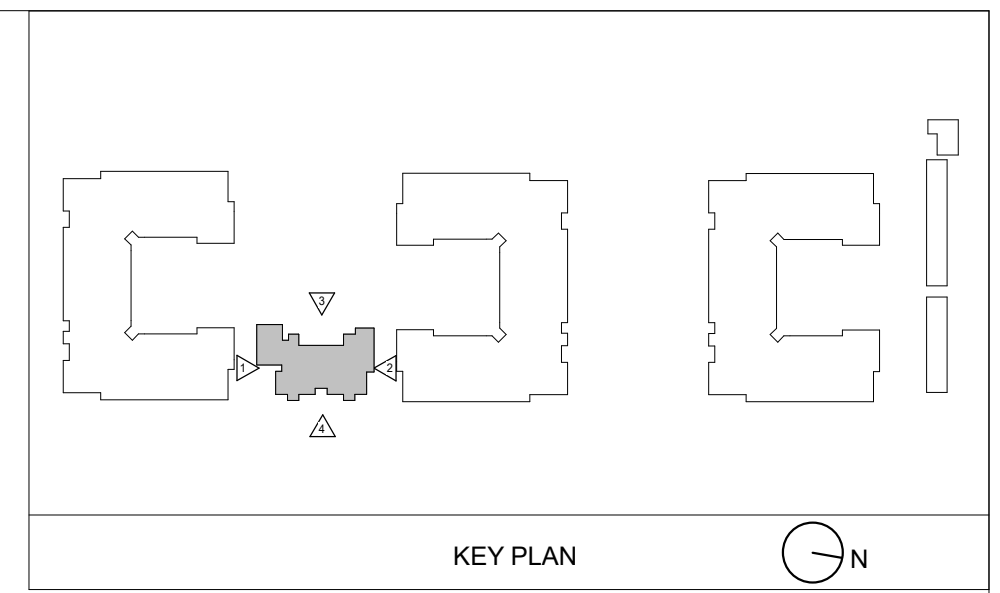
A4.06

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL WINDOW
06	WINDOW TRIM
07	FRIEZE BOARD
08	PICKET RAILING
09	STOREFRONT
10	CEMENTITIOUS PANEL
11	ASPHALT SHINGLES
12	STANDING SEAM METAL ROOF

	BLDG AVERAGE GRADE		
	HIGH	LOW	AVERAGE
BLDG 1000 (CLUBHOUSE)	252' - 6"	252' - 0"	252' - 3"
BLDG 2000	252' - 0"	251' - 6"	251' - 9"
BLDG 3000	253' - 0"	252' - 6"	252' - 9"
BLDG 4000	254' - 0"	253' - 6"	253' - 9"



BLANK WALL AREA
 APPLICABLE CODE:
 UNIFIED DEVELOPMENT ORDINANCE
 SEC. 15.10
 MAX. BLANK WALL SHALL NOT EXCEED
 35 LINEAR FEET IN EITHER DIRECTION
 MAX BLANK WALL AREA: 35' H x 35' W
 BLDG 1000 (CLUB HOUSE): COMPLIES
 BLDG 2000: COMPLIES
 BLDG 3000: COMPLIES
 BLDG 4000: COMPLIES
 *THERE ARE NO BLANK WALL AREAS
 THAT EXCEED 35' IN HEIGHT OR WIDTH



4 CLUB HOUSE - EAST ELEVATION
 1/8" = 1'-0"



2 CLUB HOUSE - SOUTH ELEVATION
 1/8" = 1'-0"



3 CLUB HOUSE - WEST ELEVATION
 1/8" = 1'-0"



1 CLUB HOUSE - NORTH ELEVATION
 1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION	BY
01/02/2022	ASR SUBMISSION		
02/09/2022	SD SUBMISSION		
03/04/2022	REVISED SD SUBMISSION		
03/16/2022	UPDATED SD SET		

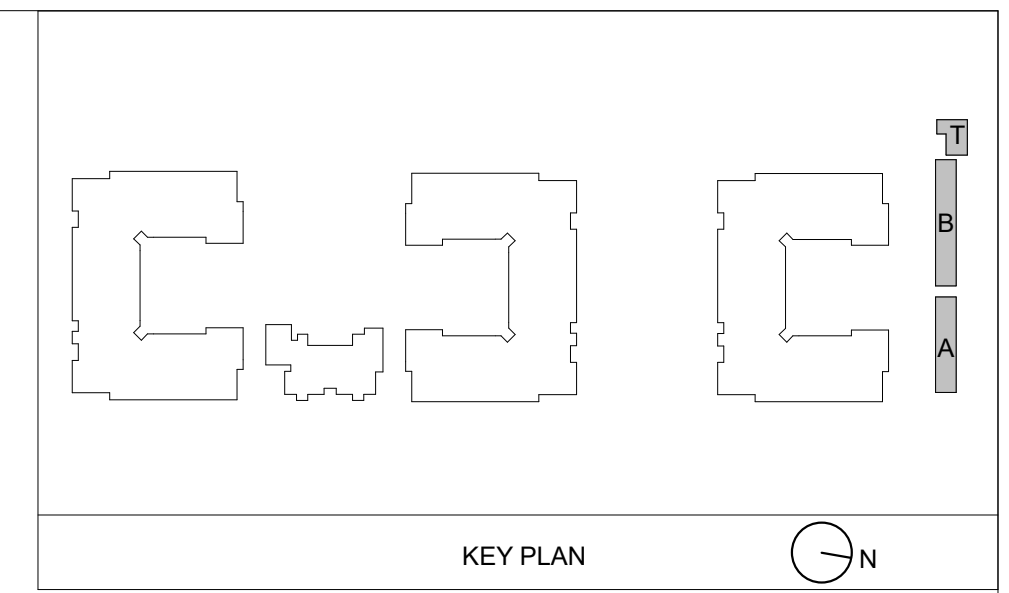
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CLUB HOUSE ELEVATIONS
 SCHEMATIC DESIGN PACKAGE

JOB NUMBER: 2103423
 DRAWN BY: Author
 CHECKED BY: Checker

TAG NO.	MATERIAL INFORMATION
01	BRICK -01
02	CEMENTITIOUS LAP-01
03	CEMENTITIOUS LAP-02
04	CEMENTITIOUS LAP-03
05	VINYL LAP SIDING (WOOD FINISH) -01
06	VINYL WINDOW
07	VINYL WINDOW TRIM
08	FRIEZE BOARD
09	PICKET RAILING
10	STOREFRONT
11	CEMENTITIOUS PANEL
12	ASPHALT SHINGLES
13	STANDING SEAM METAL ROOF



ISSUE	DATE	DESCRIPTION	BY	REV
01/07/2022		ASR SUBMISSION		
02/09/2022		SD SUBMISSION		
03/04/2022		REVISED SD SUBMISSION		
03/16/2022		UPDATED SD SET		

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION

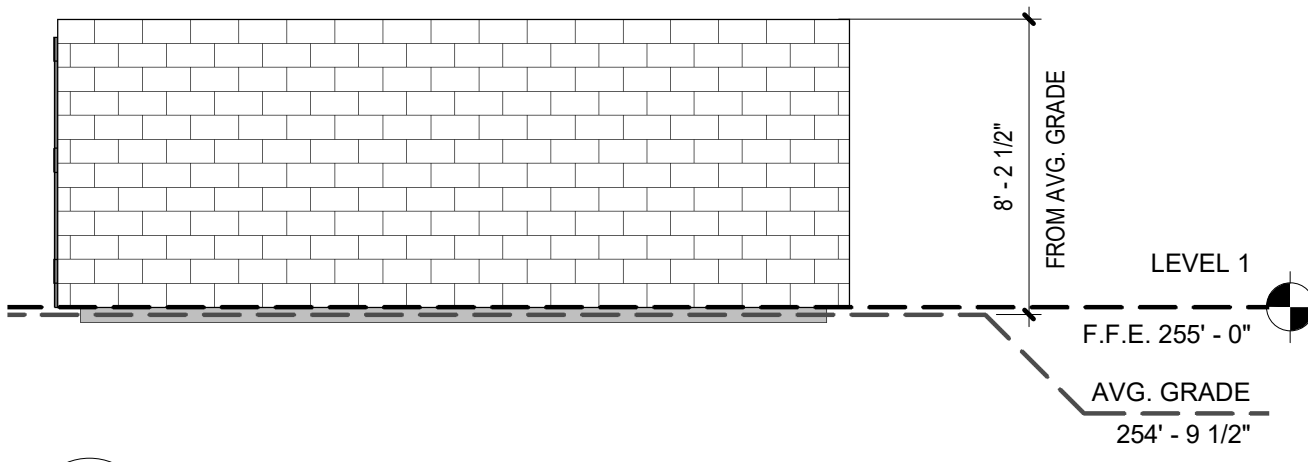
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MISC. ELEVATIONS

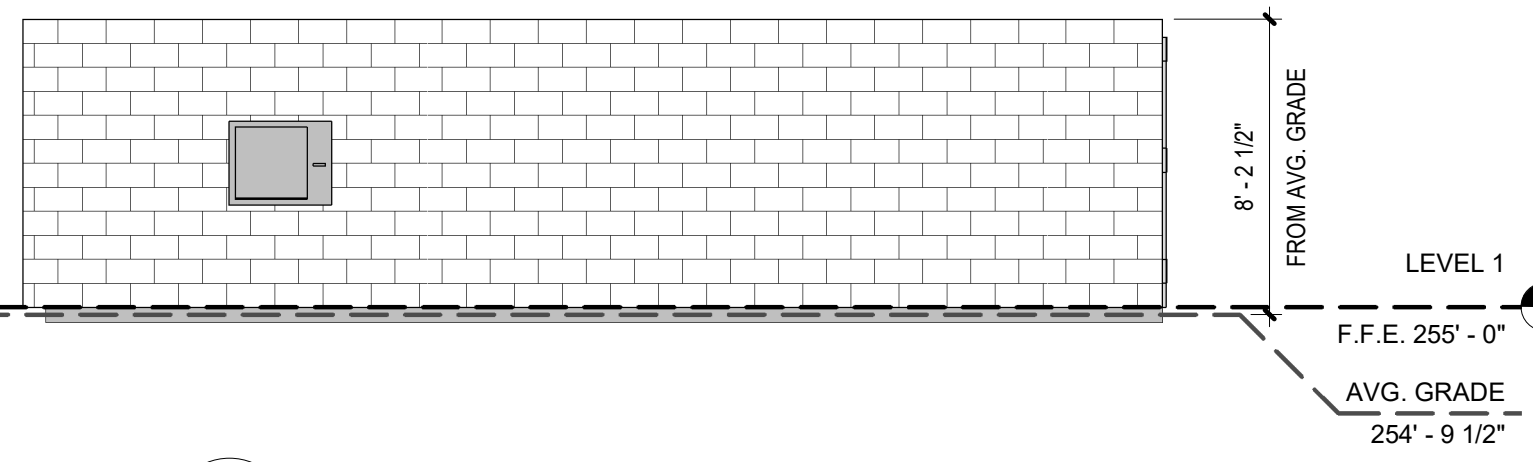
SCHEMATIC DESIGN PACKAGE

JOB NUMBER: 2103423

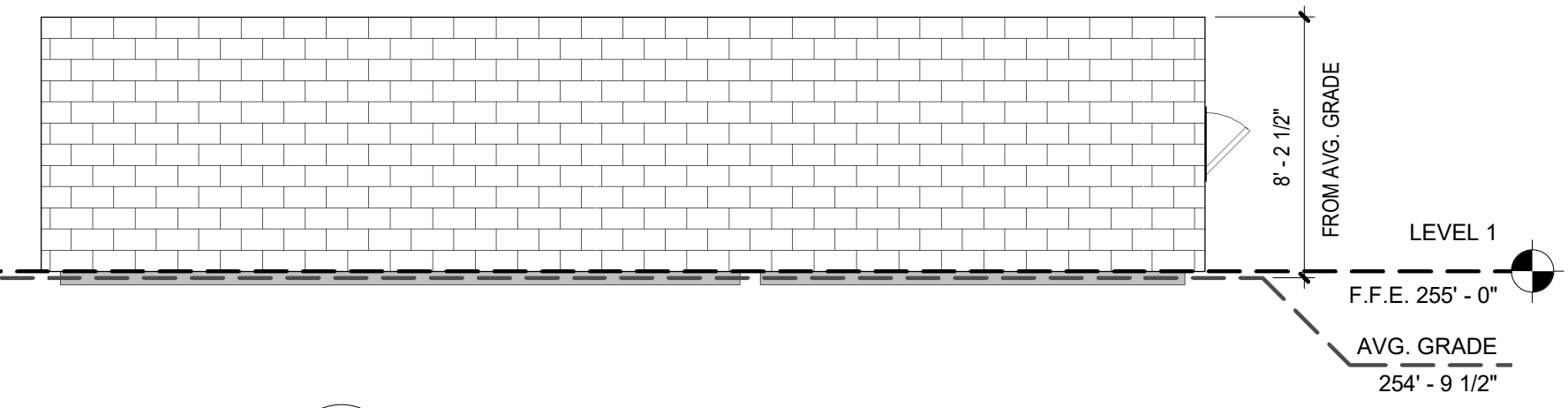
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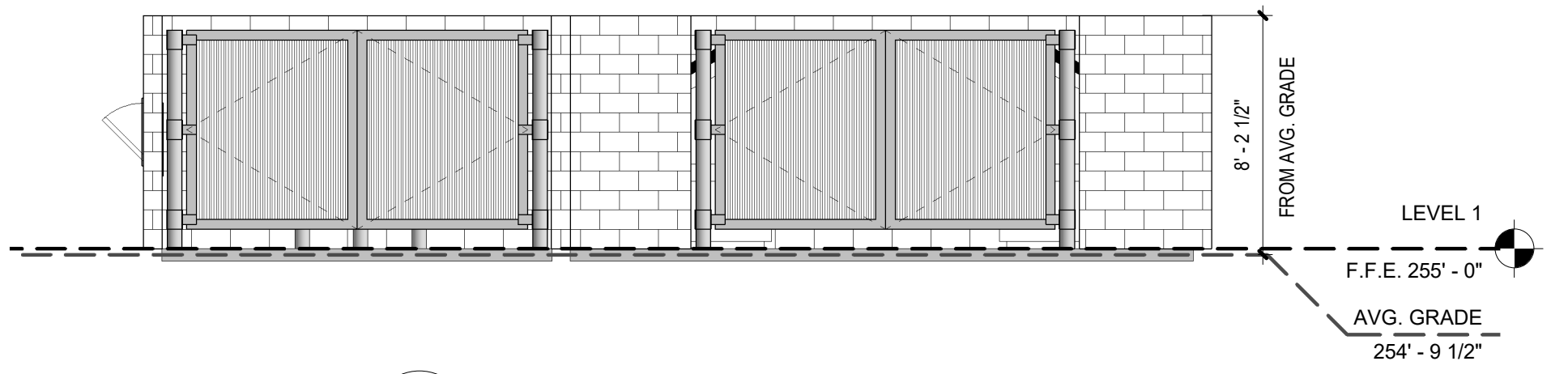
12 TRASH ENCLOSURE - EAST ELEVATION
 3/16" = 1'-0"



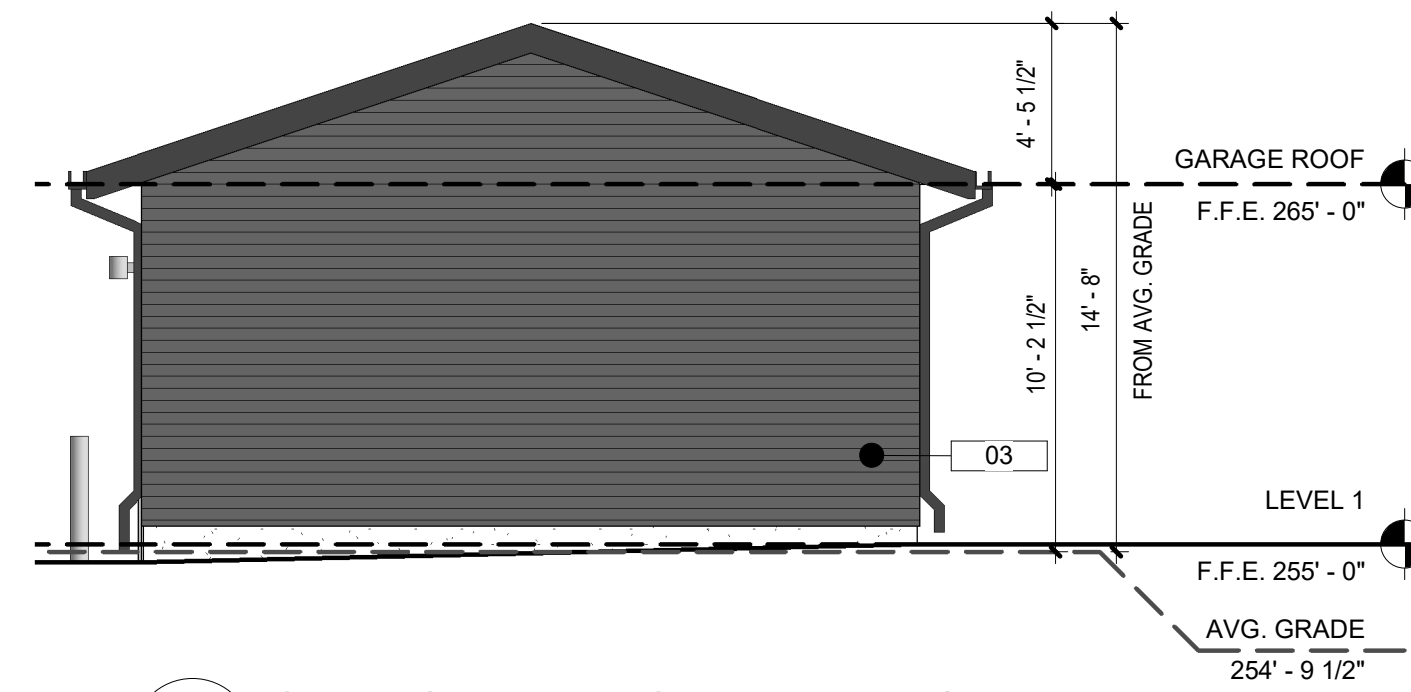
11 TRASH ENCLOSURE - WEST ELEVATION
 3/16" = 1'-0"



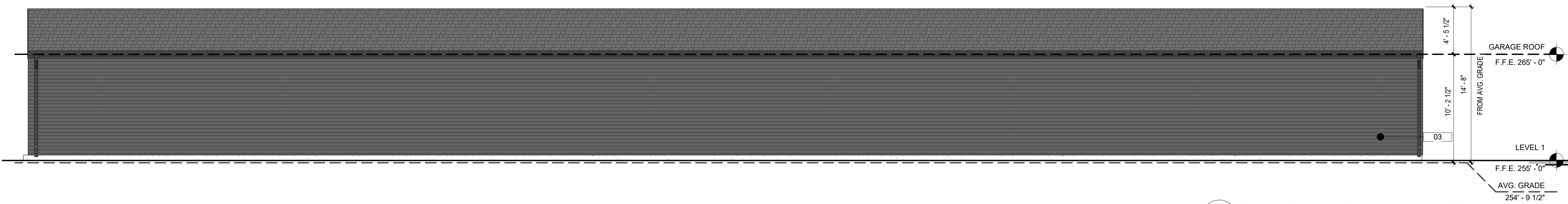
10 TRASH ENCLOSURE - NORTH ELEVATION
 3/16" = 1'-0"



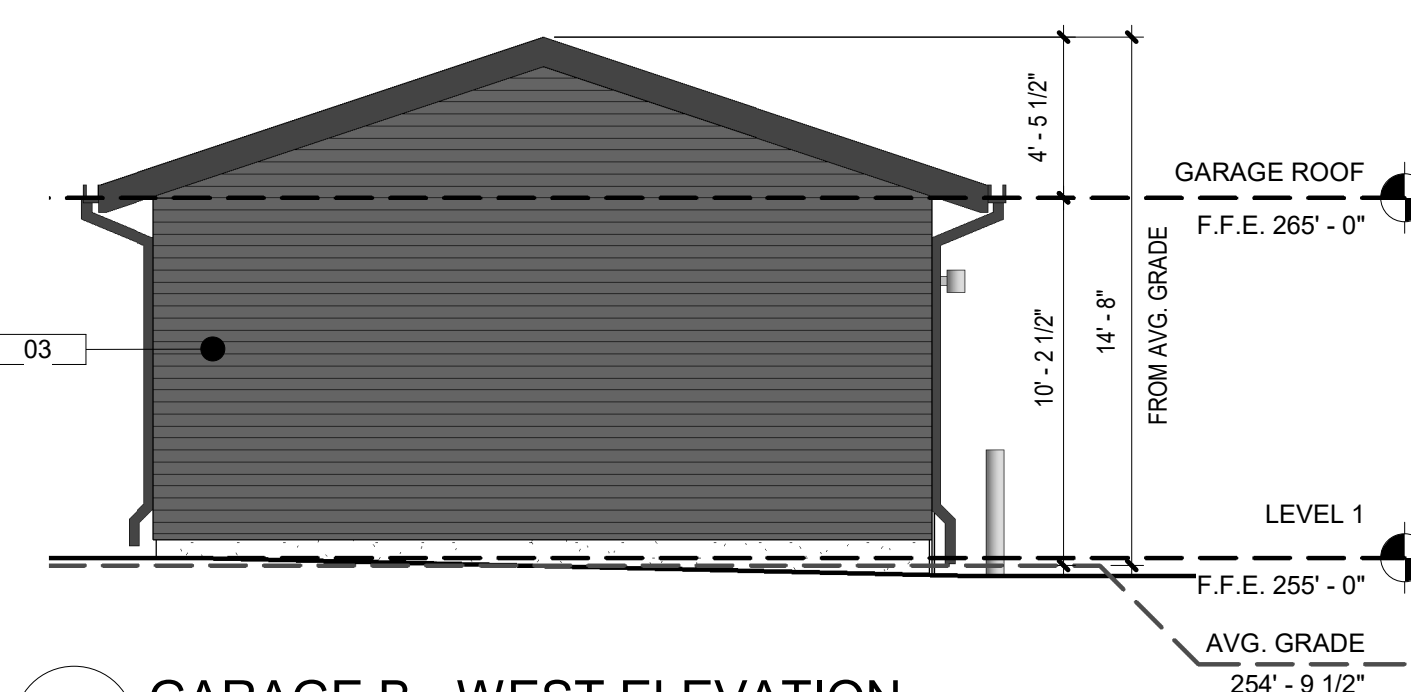
9 TRASH ENCLOSURE - SOUTH ELEVATION
 3/16" = 1'-0"



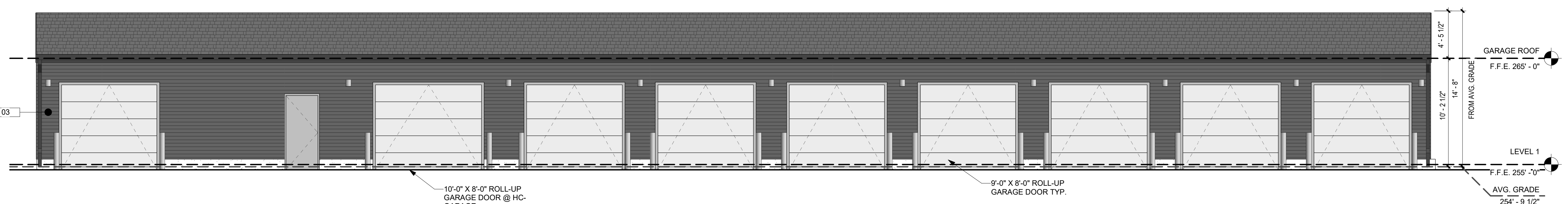
8 GARAGE B - EAST ELEVATION
 3/16" = 1'-0"



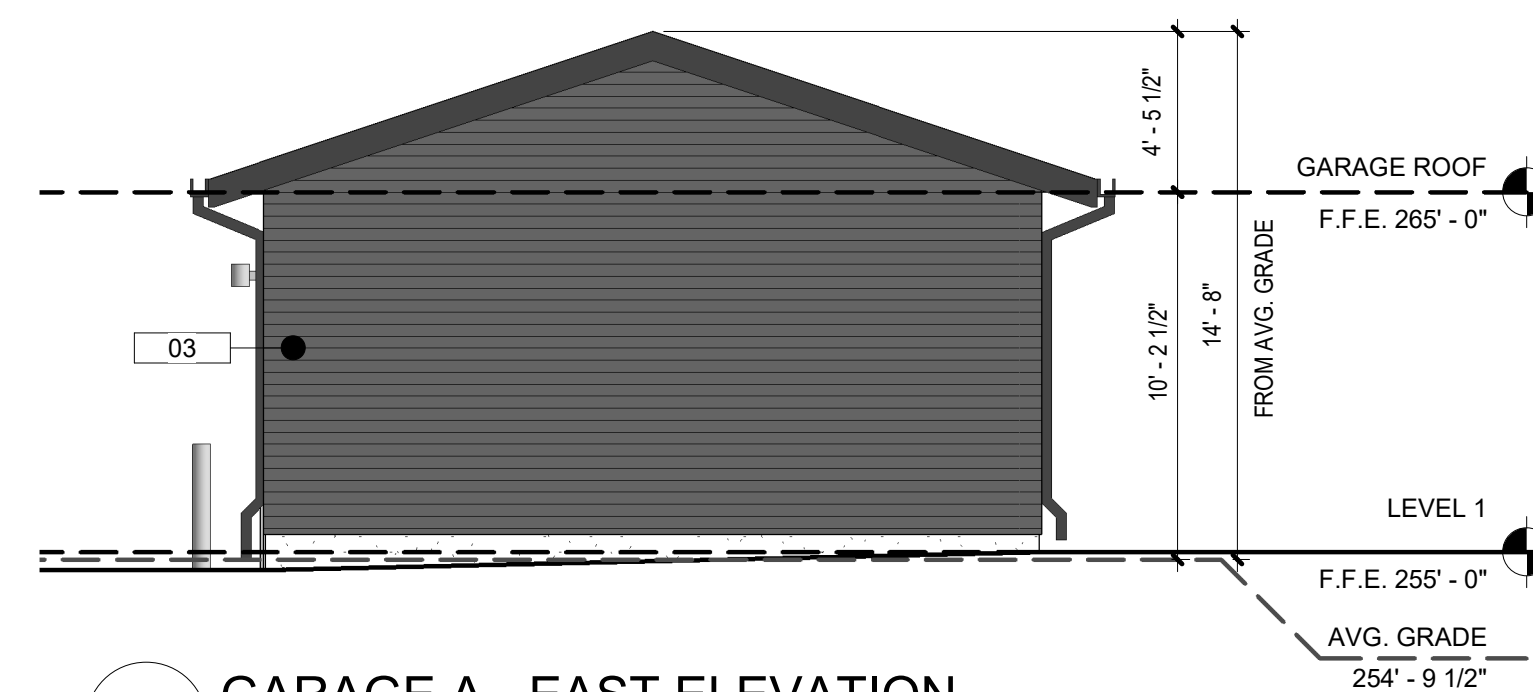
7 GARAGE B - NORTH ELEVATION
 3/16" = 1'-0"



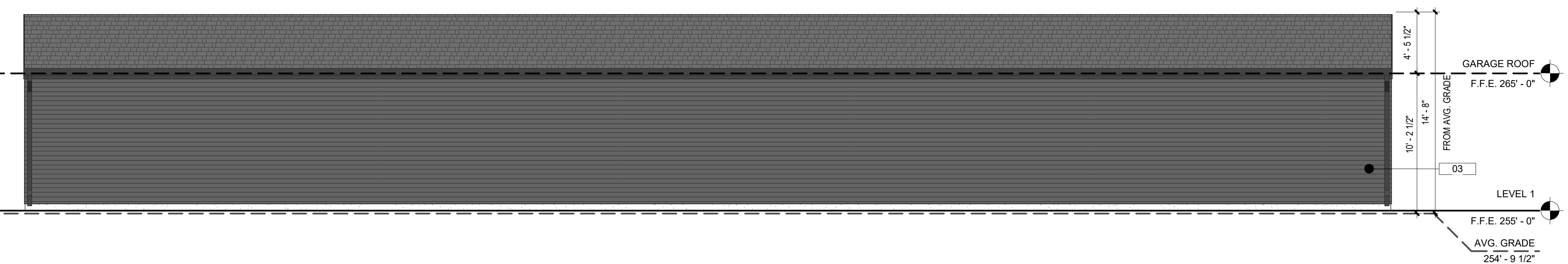
6 GARAGE B - WEST ELEVATION
 3/16" = 1'-0"



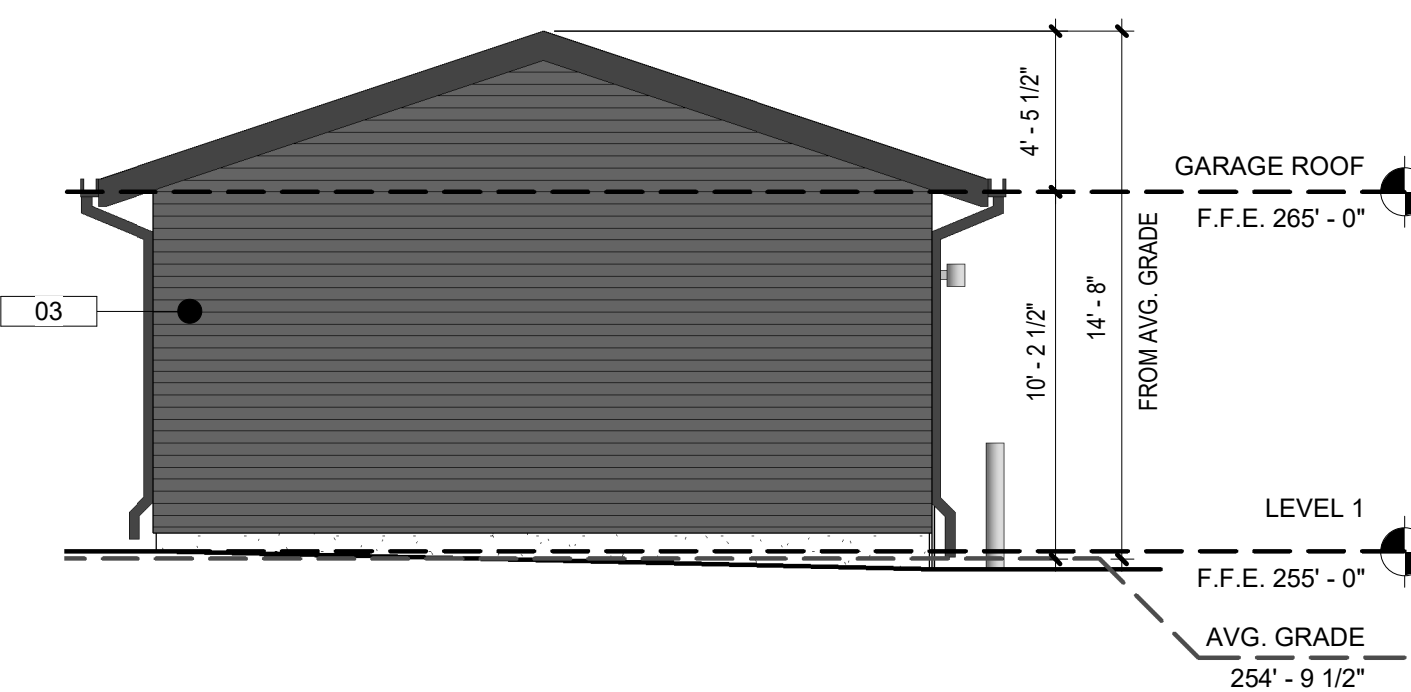
5 GARAGE B - SOUTH ELEVATION
 3/16" = 1'-0"



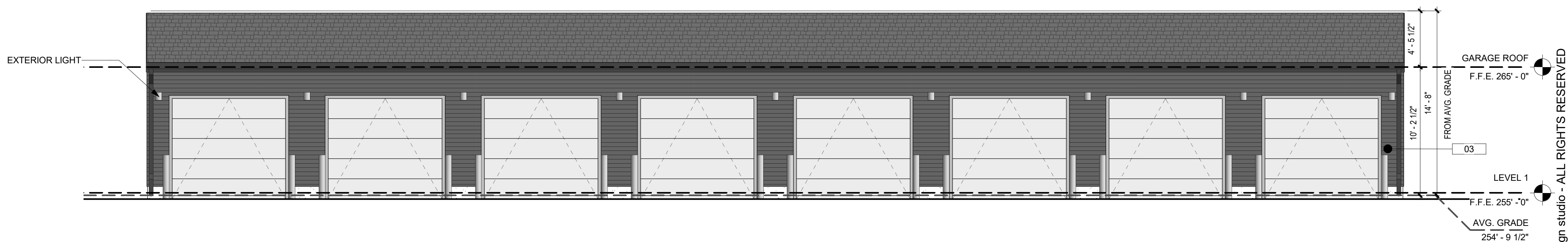
4 GARAGE A - EAST ELEVATION
 3/16" = 1'-0"



3 GARAGE A - NORTH ELEVATION
 3/16" = 1'-0"



2 GARAGE A - WEST ELEVATION
 3/16" = 1'-0"



1 GARAGE A - SOUTH ELEVATION
 3/16" = 1'-0"