

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent
		Easement holder
Company:		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units: 1br _____ 2br _____ 3br _____		4br or more _____	
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Amber Mason</i>	Date:
Printed Name:	

ADMINISTRATIVE SITE REVIEW

BUDLEIGH EAST FLATS II

ASR-XXXX-2024

2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

1ST SUBMITTAL: JANUARY 5, 2024

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
VERTICAL DATUM BASED ON NAVD 88.

SITE DATA

SITE ADDRESS(ES): 2504 BICTON PL, RALEIGH, NC 27608
 PIN NUMBER(S): 1705206701
 DEED BOOK AND PAGE: DB 019448 PG 02215
 ZONING DISTRICT(S): R-10
 ZONING CONDITION: N/A
 OVERLAY DISTRICT(S): N/A
 SITE ACREAGE: 25,803 SF [0.59 AC] (LOT 16)
 EXISTING USE: OPEN LOT
 PROPOSED USE: MULTIFAMILY

BUILDING INFORMATION: PROPOSED BUILDINGS: 2
 GROSS BUILDING SF: 17,644 SF PER BUILDING
 TOTAL UNITS: 12 UNITS

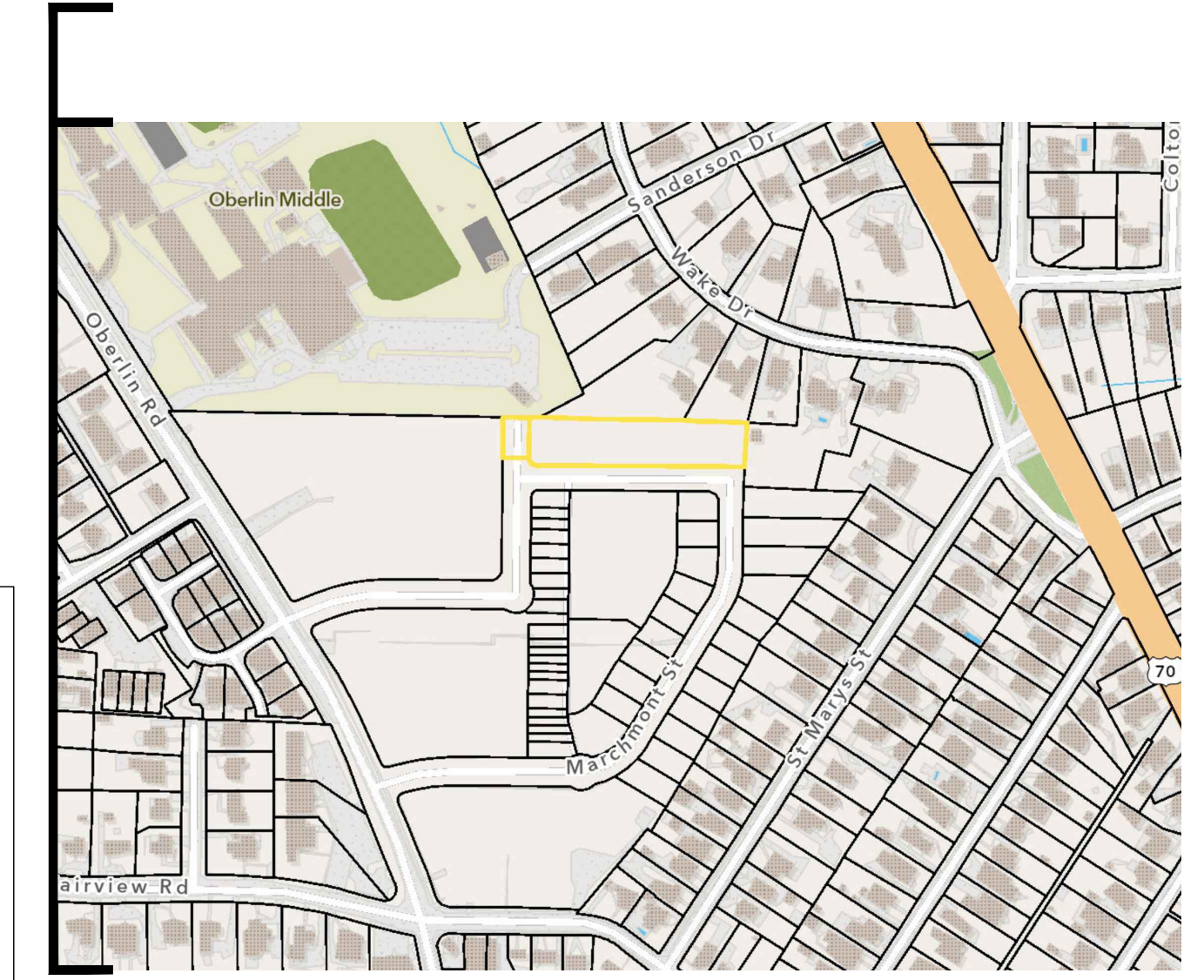
PARKING: MAXIMUM: 2.25 SPACES PER UNIT (PER UDO 7.1.2.C)
 PROVIDED: 26 SPACES (24 GARAGE (2 PER UNIT) & 2 SURFACE)
 (SEE SHEET C2.00 FOR PARKING CALCULATIONS)

BICYCLE PARKING: REQUIRED: LONG-TERM - 1 SPACE PER 7 BEDROOMS (PER UDO 7.1.2.C)
 PROVIDED: LONG-TERM - 2 SPACES
 REQUIRED: SHORT-TERM - 1 SPACE PER 20 UNITS, MINIMUM OF 4 SPACES (PER UDO 7.1.2.C)
 PROVIDED: SHORT-TERM - 4 SPACES
 (SEE SHEET C2.00 FOR BICYCLE PARKING CALCULATIONS)

OUTDOOR AMENITY AREA: REQUIRED: 10% (FOR LOT 16 ONLY; LOT 30 AMENITY AREA DEDICATED AS PART OF BUDLEIGH EAST FLATS SITE I)
 PROVIDED: 13.6% (PROVIDED ON BUDLEIGH SUBDIVISION LOT 55 ONLY, REFER TO SHEET C2.10 FOR LOCATION AND CALCULATION. NO ADDITIONAL AMENITY AREA IS PROPOSED ON LOTS 16 OR 30)

LOT AREA PER UNIT: REQUIRED: 800 SF PER UNIT (PER UDO SEC. 2.7.1)
 PROVIDED: 2,150 SF PER UNIT
 (SEE SHEET C2.00 FOR PARKING CALCULATIONS)

NOTE: SEE THIS SHEET FOR UDO SEC. 2.7.1 COMPLIANCE TABLE, WHICH SHOWS VARIOUS DIMENSIONAL REQUIREMENTS AND PROVISIONS.



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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permits and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier	Tier Two Site Plan	Tier Three Site Plan
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building and Development Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Frequent Transit Development Option

Development name: Budleigh East Flats II
 Inside City limits? Yes No
 Property address(es): 2504 Bicton Place, Raleigh, NC 27608
 Site P.I.N.(s): 1705206701
 Please describe the scope of work: Include any additions, expansions, and uses (UDO 6.1.4).
 Construction of two (2) multi-unit apartment buildings and associated site improvements.

Current Property Owner(s): LW Budleigh LLC
 Company: WithersRavenel | Title:
 Address: 3111 Glenwood Ave, Raleigh, NC 27612
 Phone # 919-238-9060 | Email: alex.dillon@wrbc.com
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: WithersRavenel | Address: 137 S. Wilmington St Suite 200, Raleigh, NC 27601

Page 1 of 3

Phone # 919-238-9060 | Email: amason@withersravenel.com
 NOTE: please attach purchase agreement or contract, lease or assessment when submitting this form.
 Developer Contact: Alex Dillon
 Company: Williams Realty & Building Co., Inc. | Title:
 Address: 3111 Glenwood Ave, Raleigh, NC 27612
 Phone # 919-238-9060 | Email: alex.dillon@wrbc.com
 Applicant Name: Amber Mason
 Company: WithersRavenel | Address: 137 S. Wilmington St Suite 200, Raleigh, NC 27601
 Phone # 919-238-9060 | Email: amason@withersravenel.com

DEVELOPMENT TYPE + SITE DATE TABLE	BUILDING DATA
SITE DATA Zoning district(s) (please provide the acreage of each): R-10 Gross site acreage: 0.59 AC (25,700 SF) # of parking spaces proposed: 26 Max # parking permitted (7.1.2.C): 27 Overlay District (if applicable): Existing use (UDO 6.1.4): Multifamily Proposed use (UDO 6.1.4): Multifamily	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0 New gross floor area: 35,288 SF Total sf gross (to remain and new): 35,288 SF Proposed # of buildings: 2 Proposed # of stories for each: 3 Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION
Imperious Area on Parcel(s): Existing (sf) 0 Proposed total (sf) 18,671 Imperious Area for Compliance (includes ROW): Existing (sf) 0 Proposed total (sf) 18,671

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS
Total # of dwelling units: 12 # of bedroom units: 1br 2br 3br # of lots: 1 Total # of hotel bedrooms: 0 # of rooms: 0br or more Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No A frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

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Signature: Amber Mason Date: 1/5/2024
 Printed Name: Amber Mason

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UDO SECTION 2.7.1 (PER TC-20-21) - FREQUENT TRANSIT DEVELOPMENT OPTION DIMENSIONAL REQUIREMENTS

NOTE: REQUIREMENTS LISTED ARE FOR R-10 ZONING

B. LOT DIMENSIONS			
	Requirement	Min./Max. Allowed	Provided
B1	Area (min)	2,500 SF	25,803 SF
B2	Lot width (min)	45'	225.5'
B3	Depth (min)	60'	98.8'
B4	Density (max)	N/A	N/A
B5	Outdoor Amenity Area (min)	10%	13.6% (via Lot 55, see sheet 2.1)

C. LOT AREA REQUIRED PER UNIT			
	Requirement	Min./Max. Allowed	Provided
C1	Single-unit living (min)	2,500 SF	N/A
C2	Two-unit living (min)	1,000 SF	N/A
C3	Multi-unit living (min)	800 SF	2,150 SF

D. PRINCIPAL BUILDING SETBACKS			
	Requirement	Min./Max. Allowed	Provided
D1	From primary street (min)	10'	Min. 10' (refer to C2.0)
D2	From side street (min)	10'	N/A
D3	From side lot line (min)	5'	Min. 5' (refer to C2.0)
D4	From rear lot line (min)	15'	Min. 15' (refer to C2.0)
D5	From alley or rear access drive (min)	4' or 20' min	Min. 20' (refer to C2.0)

E. HEIGHT			
	Requirement	Min./Max. Allowed	Provided
E1	Detached/Attached Principal Building (max)	40'/3 stories	N/A
E2	Townhouse/Apartment Principal Building (max)	45'/3 stories	Max. 39' 11.5" / 3 stories
E3	Tiny House (max)	26'/2 stories	N/A
E4	Accessory Structure (max)	25'	N/A

F. PARKING SETBACKS			
	Requirement	Min./Max. Allowed	Provided
F1	From primary street (min)	10'	Min. 10' (refer to C2.0)
F2	From side street (min)	10'	N/A
F3	From side lot line (min)	0'	Min. 0' (refer to C2.0)
F4	From rear lot line (min)	3'	Min. 3' (refer to C2.0)
F5	From alley (min)	4' or 20' min	N/A

RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES."
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13 SPRINKLER SYSTEM PROPOSED).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFE 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFE, SECTION 507.3.

PROJECT NOTES

- THIS PROJECT IS AN ADMINISTRATIVE SITE REVIEW (ASR), AND IS CLASSIFIED AS A TIER THREE (3) SITE PLAN IN ACCORD WITH RECENTLY ADOPTED CITY OF RALEIGH ORDINANCE 2020-149 TC 438
- THE CURRENT USE OF THE SUBJECT PROPERTY IS VACANT.
- PUBLIC INFRASTRUCTURE IS REQUIRED/PROPOSED UNDER APPROVED SPR-0197-2021.
- LAND DISTURBANCE IS GREATER THAN 12,000 SQUARE FEET.
- EASEMENT CHANGES REQUIRING A PLAT TO BE RECORDED ARE PROPOSED.
- NO AREAS ON THIS PROPERTY OR WITHIN THE PARENT TRACT HAVE REQUIRED TREE CONSERVATION AREAS. NO TCA IS PROPOSED WITH THE PROJECT. REFER TO SPR-0197-2021 FOR CRITICAL ROOT ZONE ANALYSIS EXHIBIT.
- THE PROPOSED SCOPE OF WORK PROPOSED BY THIS ASR DOES NOT IMPACT A "PRIMARY TREE CONSERVATION AREA".

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. A ROLL-OUT BIN WILL BE PROVIDED FOR EACH UNIT AND WILL BE STORED IN THE GARAGE. TWICE A WEEK, A PROPERTY MANAGER EMPLOYEE WILL COLLECT THE WASTE AND BRING IT TO THE NEARBY CCR SITE (PIN 1705109589), WHERE IT WILL THEN BE PROCESSED BY A PRIVATE VENDOR. REFER TO THE WILL-SERVE LETTER ON SHEET ###.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

CONTACT LIST:

Civil Engineer
 Rob Casale, PE
 WithersRavenel
 137 S Wilmington Street, Suite 200
 Raleigh, NC 27601
 919-535-5200
 rcasale@withersravenel.com

Developer
 Alex Dillon
 Williams Building & Realty Co.
 3111 Glenwood Ave
 Raleigh, NC 27612
 336-337-4481
 alex.dillon@wrbc.com

Owner
 Thad Moore
 LW Budleigh LLC
 2334 S. 41st St
 Wilmington, NC 28403
 919-612-7002
 tmoore@libertyseniorliving.com



PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION



WithersRavenel
 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

PREPARED BY:

DE
WILLIAM
BUILDIN

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 RAL
 PHON
 ATTEN

LEGEND (UNLESS OTHERWISE DENOTED)		
DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL	---	---
5' CONTOUR INTERVAL	----	----
PROPERTY LINE	=====	-----
ROADWAY CENTERLINE	-----	-----
RIGHT OF WAY LIMITS	-----	N/A
EASEMENT LINE	-----	-----
CURB & GUTTER	-----	=====
EDGE OF PAVEMENT	-----	=====
SANITARY SEWER FACILITIES	----- SS	----- SS
STORM SEWER FACILITIES	----- SW	----- SW
WATERLINE	----- W	----- W
FIRE HYDRANT ASSEMBLY		
FORCE MAIN	----- FM	----- FM
ELECTRIC	----- E	N/A
OVERHEAD ELECTRIC	----- OHE	N/A
GAS MAIN	----- G	N/A
TELEPHONE	----- T	N/A
STRUCTURES	-----	-----
FENCING STRUCTURE	XX XX XX XX	□ □
TELEVISION PEDESTAL		N/A
WATER MANHOLE		N/A
TELEPHONE MANHOLE		N/A
FLARED END SECTION		N/A
SANITARY SEWER MANHOLE		N/A
GAS VALVE		N/A
UTILITY MANHOLE		N/A
ELECTRICAL PEDESTAL		N/A
SIGN		N/A
FIBER OPTIC MARKER		N/A
WOODS LINE		N/A
WATERWAYS		N/A
TREE PROTECTION FENCE	N/A	----- TP
SILT FENCE	N/A	----- SF
SPOT ELEVATION		
GUY ANCHOR		N/A
POWER POLE		N/A
LIGHT POLE		N/A
PROPERTY IRON		N/A
CURB INLET		N/A
STORM DRAIN JUNCTION BOX		N/A
YARD INLET		N/A
WATER METER		N/A
CONCRETE MONUMENT		N/A
TELEPHONE PEDESTAL		N/A
MAIL BOX		N/A
WATER VALVE		
CHECK DAM	N/A	
INLET PROTECTION	N/A	
SILT FENCE	N/A	----- SF
SILT FENCE OUTLET	N/A	

- EXISTING CONDITION NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BASIS OF BEARINGS IS NAD 83 (2011) ADJUSTMENT.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - NO MONUMENTATION ESTABLISHED ON EASEMENT BOUNDARIES UNLESS OTHERWISE NOTED.
 - THE SUBJECT PROPERTY DOES NOT LIE WITHIN A F.E.M.A. DESIGNATED FLOODPLAIN PER F.I.R.M. NUMBER 32720170400J AND 3720170500J, AND WITH AN EFFECTIVE DATE OF MAY 2, 2006.

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR(S) SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL CURB AND GUTTER SHOWN ON SITE IS EITHER 30" VALLEY CUTTER OR 30" STANDARD CURB AND GUTTER UNLESS OTHERWISE STATED.
 - ALL DIMENSIONS SHOWN ARE TO BACK TO CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR(S) TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND HC ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR(S) SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR(S) SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

- WHEEL CHAIR RAMP NOTES:**
- ALL WHEEL CHAIR RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH MAY CONFLICT WITH FIELD LOCATED WHEEL CHAIR RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
 - WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH PUBLIC WORKS TRANSPORTATION STANDARD T-20.01.1, T-20.01.2, T20.04.4 & T-20.01.6.

- UTILITY NOTES:**
- EXISTING WATER METERS ARE TO BE RETURNED TO THE CITY OF RALEIGH FOR FEE CREDITS.
 - ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR(S) SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP FOR SEWER MAINS
8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP FOR SEWER MAINS
6" PVC SCHEDULE 40 FOR SEWER SERVICES ONLY
DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151 FOR MAINS, LAYING CONDITION TYPE 2
 - WATER LINES SHALL BE AS FOLLOWS:
4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
SMALLER THAN 4" - COPPER TUBE
 - MINIMUM TRENCH WIDTH AT THE TOP OF PIPE SHALL BE AT LEAST 18 INCHES GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
 - PVC SANITARY SEWER SERVICES WHICH ARE 3' TO 14' DEEP SHALL REQUIRE BEDDING IN ACCORDANCE WITH DETAIL 7000.10 AND 7000.13 FOR PVC PIPE. PVC SERVICES WHICH ARE GREATER THAN 14' AND LESS THAN 20' SHALL REQUIRE CLASS A BEDDING IN ACCORDANCE WITH DETAIL 7000.13. ANY SERVICES OVER 20' AND LESS THAN 3' DEEP REQUIRE DIP.
 - ALL WATER DISTRIBUTION MAINS IN THE CITY OF RALEIGH WATER SYSTEM SHALL BE RESTRAINED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS.
 - ALL UTILITIES SHOULD BE KEPT 10' APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - CONTRACTOR(S) SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10' ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50). THE MINIMUM VERTICAL SEPARATION DISTANCE BETWEEN STORM SEWERS AND SANITARY SEWERS SHALL BE A MINIMUM OF 24".
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 PSI.
 - THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - CONTRACTOR(S) IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR(S) IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR(S) MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH MIGHT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR(S) SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - A MINIMUM HORIZONTAL SEPARATION OF 10' AND A MINIMUM VERTICAL SEPARATION OF 2' BETWEEN STORM DRAINAGE AND SEWER AND 1' BETWEEN STORM DRAINAGE AND WATER UTILITIES MUST BE PROVIDED.
 - NO STRUCTURAL COMPONENT OF ANY RETAINING WALL CAN BE LOCATED WITHIN A RIGHT-OF-WAY OR EASEMENT.
 - ALL FDC'S SHALL HAVE SIGNAGE AROUND THE NECK TO INDICATE WHICH BUILDING IT SERVES.
 - FIRE LANES SHALL BE MARKED THROUGHOUT THE SITE INCLUDING THE FRONT AND REAR OF BUILDINGS AND IN FRONT OF FIRE HYDRANTS AND FDC'S.
 - ALL BUILDINGS SHALL HAVE BUILDING ADDRESSES POSTED ON THE BUILDING, IN A CLEARLY VISIBLE LOCATION.
 - ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE PROTECTED BY BOLLARDS.
 - NO PLANTS OR TREES WITHIN 3 FEET OF ALL FIRE DEPARTMENT EQUIPMENT.
 - SEWER LINE EASEMENTS SHALL BE GRADED SMOOTH, FREE FROM ROCKS, BOULDERS, ROOTS, STUMPS, AND OTHER DEBRIS, AND SEEDED AND MULCHED UPON THE COMPLETION OF CONSTRUCTION.
 - EASEMENTS ACROSS SLOPED AREAS SHALL BE GRADED UNIFORMLY ACROSS THE SLOPE TO NO STEEPER THAN A 5 TO 1 RATIO.
 - ALL VALVES SHALL BE RESTRAINED IN BOTH DIRECTIONS IN A MANNER CONSISTENT WITH OPERATION AS A DEAD END USING STAINLESS STEEL RODDING AND BLOCKING ACCORDING TO STANDARD SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
 - CONTRACTOR(S) SHALL APPLY FOR RECLAIMED WATER AND WATER SERVICE TAP FROM THE TOWN'S INSPECTION AND PERMIT DEPARTMENT AND TO INDICATE THAT CITY OF RALEIGH PUBLIC WORKS CREW WILL INSTALL THE TAPS TO THE RIGHT-OF-WAY.
 - THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND DETAILS EXCEPT WHERE SPECIFICALLY NOTED BELOW:
N/A
 - IF GREASE INTERCEPTOR IS TO BE INSTALLED DURING THE SITE DEVELOPMENT PHASE OF CONSTRUCTION, A PLUMBING PERMIT WILL BE REQUIRED FOR GREASE INTERCEPTOR AND ANY ASSOCIATED PLUMBING.
 - CONTRACTOR(S) SHALL COORDINATE WITH MASTER DEVELOPER, ANY OUTAGE A MINIMUM OF ONE WEEK PRIOR TO THE NEED FOR THE OUTAGE.

WithersRavenel
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

WILLIAMS REALTY & BUILDING CO., INC.
3111 GLENWOOD AVE.
RALEIGH, NC 27612

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS II
ASR-XXXX-2024
2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

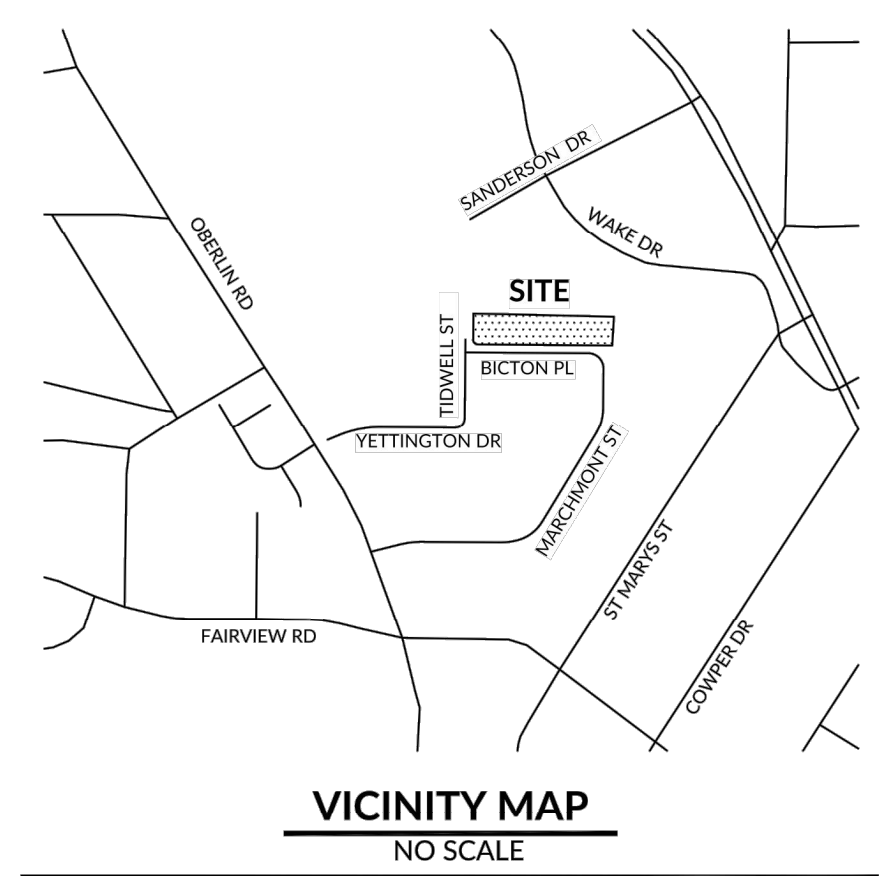
INITIAL PLAN DATE: 1/5/2024
REVISIONS:

WR JOB NUMBER 02170437.05
DRN: WR DGN: WR CKD: WR

GENERAL NOTES

C0.01

K:\17\0400170437\Bldg\Site Plan - WRBDC\CAD\Drawing Set\001 - WRBDC\CAD\Drawing Set\001.dwg, Friday, January 5, 2024, 4:31:03 PM - ADRNELLA



- SURVEY NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BASIS OF BEARINGS: NAD 83(2011).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720170400K, PANEL 1704 AND NO. 3720170500K, PANEL 1705, EFFECTIVE DATE JULY 19, 2022.
 - THE PURPOSE OF THIS PLAT IS TO RECOMBINE AND REALLOCATE IMPERVIOUS AREAS OF LOTS 16 AND 30 AND ESTABLISH RETAINING WALL EASEMENT.

PROPERTY OWNERS CERTIFICATE
 THIS CERTIFIES AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS HAVING ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEED(S) RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS (HAVE) THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE

BOOK NO.: 19448(LOT16), 19494 (LOT 30)
 PAGE NO.: 2215 (LOT 16), 392-396 (LOT30)
 SIGNATURE(S) & TITLE/POSITION OF PROPERTY OWNER(S)

OWNER DATA:
 LOT 16 & 30
 LW BUDLEIGH LLC
 2334 41ST ST
 WILMINGTON NC 28403-5502

NOTARY STATEMENT
 STATE OF NORTH CAROLINA
 COUNTY OF _____

I, CERTIFY THAT THE FOLLOWING PERSON(S) PERSONALLY APPEARED BEFORE ME THIS DAY, EACH ACKNOWLEDGING TO ME THAT HE OR SHE VOLUNTARILY SIGNED THE FOREGOING DOCUMENT FOR THE PURPOSE STATED THEREIN AND IN THE CAPACITY INDICATED:

DATE: _____, 2023

PRINTED NAME: _____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

- LEGEND**
- ADJOINER
 - BOUNDAR
 - BUILDING
 - CONCRETE
 - EASEMENT
 - PAVEMENT
 - RETAINING
 - RIGHT OF
 - ZONING
 - CALCULAT
 - CATCH BA
 - CLEANOUT
 - DROP INLE
 - EDGE OF F
 - FIRE HYDR
 - IRON PIPE
 - LOT NUMB
 - MAGNETIC
 - REBAR FO
 - RIGHT OF
 - TRANSFOR
 - WATER ME
 - WR CONT
 - PAVED ARE
 - CONCRETE

MISCELLANEOUS/PRELIMINARY CERTIFICATE

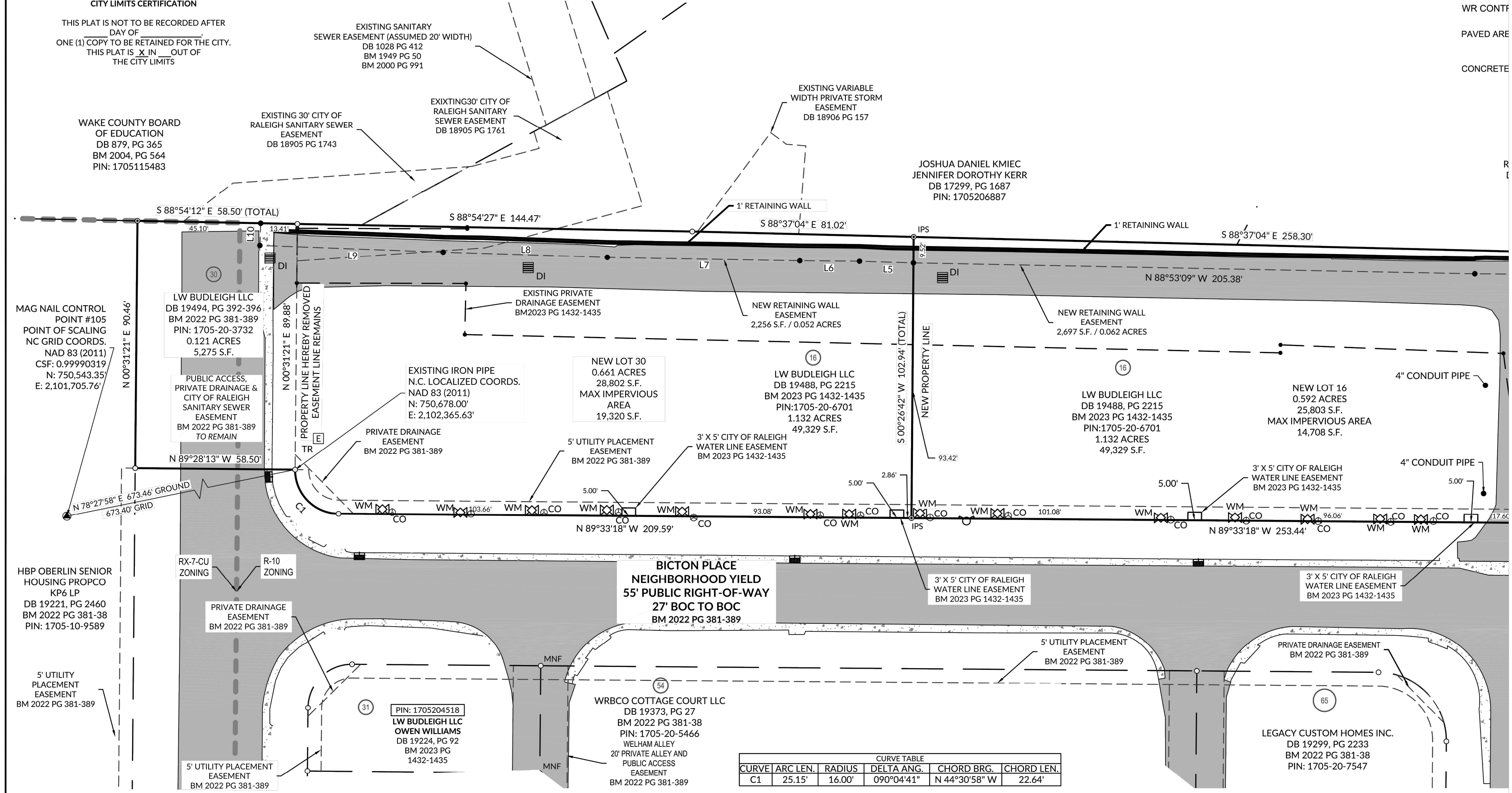
THIS PLAT OR MAP DOES NOT REQUIRE PRELIMINARY APPROVAL AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

PLANNING AND DEVELOPMENT OFFICER/WAKE COUNTY REVIEW OFFICER

CITY LIMITS CERTIFICATION

THIS PLAT IS NOT TO BE RECORDED AFTER DAY OF _____ ONE (1) COPY TO BE RETAINED FOR THE CITY. THIS PLAT IS X IN OUT OF THE CITY LIMITS

WAKE COUNTY BOARD OF EDUCATION
 DB 879, PG 365
 BM 2004, PG 564
 PIN: 1705115483



MAG NAIL CONTROL POINT #105
 POINT OF SCALING
 NC GRID COORDS.
 NAD 83 (2011)
 CSF: 0.99990319
 N: 750.543.35
 E: 2,101,705.76

HBP OBERLIN SENIOR HOUSING PROPCO
 KP6 LP
 DB 19221, PG 2460
 BM 2022 PG 381-38
 PIN: 1705-10-9589

5' UTILITY PLACEMENT EASEMENT
 BM 2022 PG 381-389

LW BUDLEIGH LLC
 DB 19494, PG 392-396
 BM 2022 PG 381-389
 PIN: 1705-20-3732
 0.121 ACRES
 5,275 S.F.

PUBLIC ACCESS, PRIVATE DRAINAGE & CITY OF RALEIGH SANITARY SEWER EASEMENT
 BM 2022 PG 381-389 TO REMAIN

EXISTING IRON PIPE N.C. LOCALIZED COORDS.
 NAD 83 (2011)
 N: 750,678.00
 E: 2,102,365.63

PRIVATE DRAINAGE EASEMENT
 BM 2022 PG 381-389

NEW LOT 30
 0.661 ACRES
 28,802 S.F.
 MAX IMPERVIOUS AREA
 19,320 S.F.

5' UTILITY PLACEMENT EASEMENT
 BM 2022 PG 381-389

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

LW BUDLEIGH LLC
 DB 19488, PG 2215
 BM 2023 PG 1432-1435
 PIN: 1705-20-6701
 1.132 ACRES
 49,329 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

NEW LOT 16
 0.592 ACRES
 25,803 S.F.
 MAX IMPERVIOUS AREA
 14,708 S.F.

3' X 5' CITY OF RALEIGH WATER LINE EASEMENT
 BM 2023 PG 1432-1435

BICKTON PLACE NEIGHBORHOOD YIELD 55' PUBLIC RIGHT-OF-WAY 27' BOC TO BOC
 BM 2022 PG 381-389

WRBCO COTTAGE COURT LLC
 DB 19373, PG 27
 BM 2022 PG 381-38
 PIN: 1705-20-5466
 WELHAM ALLEY
 20' PRIVATE ALLEY AND PUBLIC ACCESS EASEMENT
 BM 2022 PG 381-389

CURVE TABLE				
CURVE	ARC LEN.	RADIUS	DELTA ANG.	CHORD BRG.
C1	25.15'	16.00'	090°04'41"	N 44°30'58" W
				22.64'

SURVEYOR'S CERTIFICATE

I, MARSHALL G. WIGHT, PLS. CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED AS SHOWN HEREON); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN ON THE FACE OF THIS PLAT; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:20,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.

I ALSO CERTIFY THAT THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF A SUBDIVISION.

THIS 14TH DAY OF NOVEMBER, A.D. 2023.

PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER: L-5034

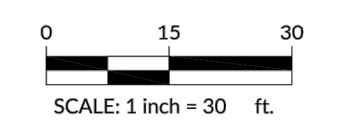
PRELIMINARY NOT FOR RECORDATION

RECOMBINATION, RETAINING WALL EASEMENT AND IMPERVIOUS REALLOCATION PLAT BUDLEIGH EAST, LOTS 16 & 30

PROPERTY OF
LW BUDLEIGH LLC

RALEIGH TOWNSHIP | WAKE COUNTY | NORTH CAROLINA
 PIN: 1705-20-3732, 1705-20-1435
 ZONING: R-10, RX-5-CU

WR Job No.: 02170437.00
 DATE: 11/14/2023
 SURVEYED BY: JS
 DRAWN BY: PM
 CHECK & CLOSURE BY: MGW

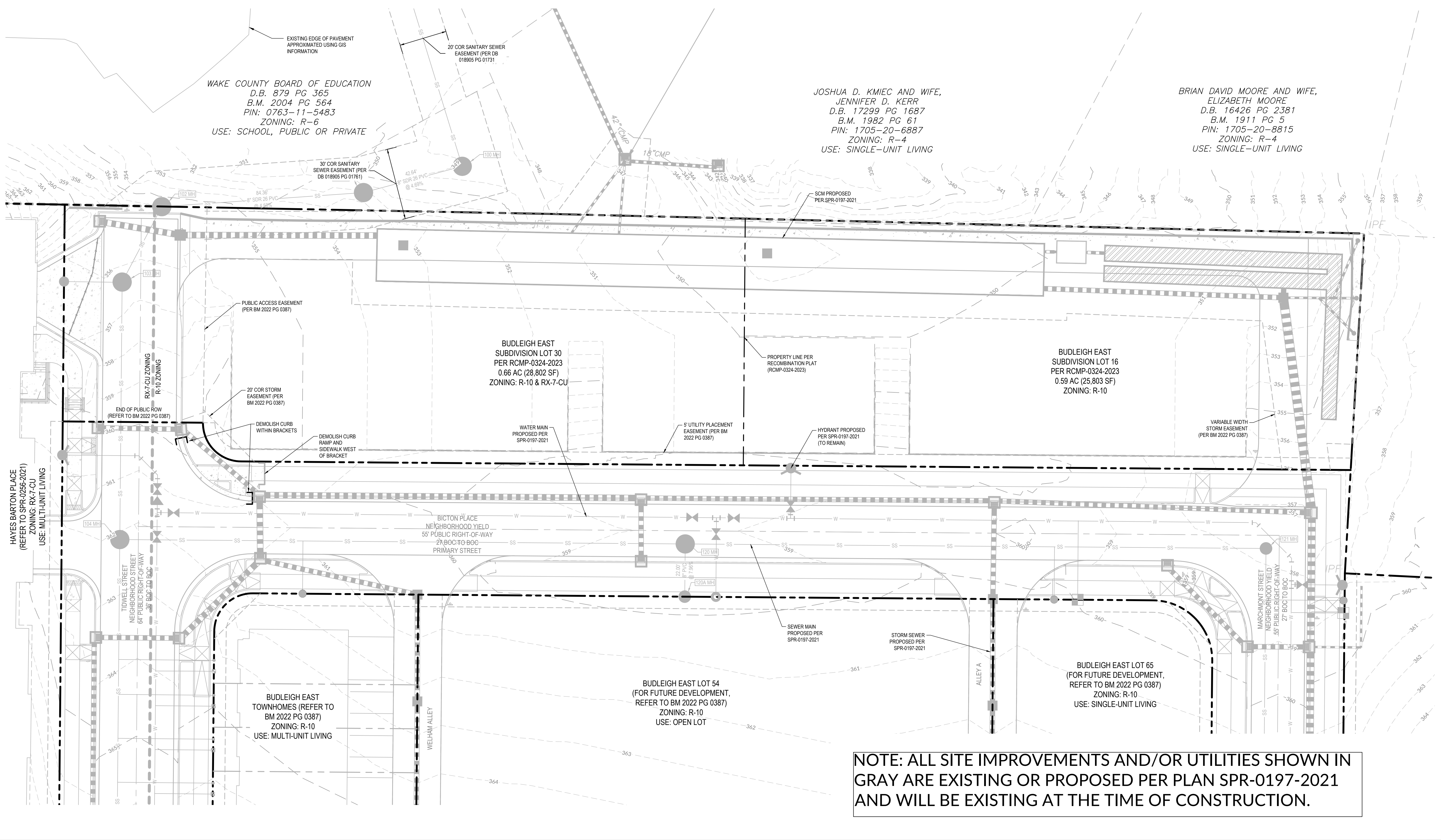


SHEET: 1 OF 1



K:\1717-0430-170437-Country Club Homes MP Geomatics Res Com Drawings\LOT 16 & 30 RECOMBINATION AND IMPERVIOUS REV.dwg, Thursday, December 7, 2023 2:45:58 PM, MWIGHT

K:\1717-0430-170437-Country Club Homes MP Geomatics Res Com Drawings\LOT 16 & 30 RECOMBINATION AND IMPERVIOUS REV.dwg, Thursday, December 7, 2023 2:45:58 PM, MWIGHT



WAKE COUNTY BOARD OF EDUCATION
D.B. 879 PG 365
B.M. 2004 PG 564
PIN: 0763-11-5483
ZONING: R-6
USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
JENNIFER D. KERR
D.B. 17299 PG 1687
B.M. 1982 PG 61
PIN: 1705-20-6887
ZONING: R-4
USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
ELIZABETH MOORE
D.B. 16426 PG 2381
B.M. 1911 PG 5
PIN: 1705-20-8815
ZONING: R-4
USE: SINGLE-UNIT LIVING

BUDLEIGH EAST
SUBDIVISION LOT 30
PER RCMP-0324-2023
0.66 AC (28,802 SF)
ZONING: R-10 & RX-7-CU

BUDLEIGH EAST
SUBDIVISION LOT 16
PER RCMP-0324-2023
0.59 AC (25,803 SF)
ZONING: R-10

BUDLEIGH EAST
TOWNHOMES (REFER TO
BM 2022 PG 0387)
ZONING: R-10
USE: MULTI-UNIT LIVING

BUDLEIGH EAST LOT 54
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: OPEN LOT

BUDLEIGH EAST LOT 65
(FOR FUTURE DEVELOPMENT,
REFER TO BM 2022 PG 0387)
ZONING: R-10
USE: SINGLE-UNIT LIVING

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

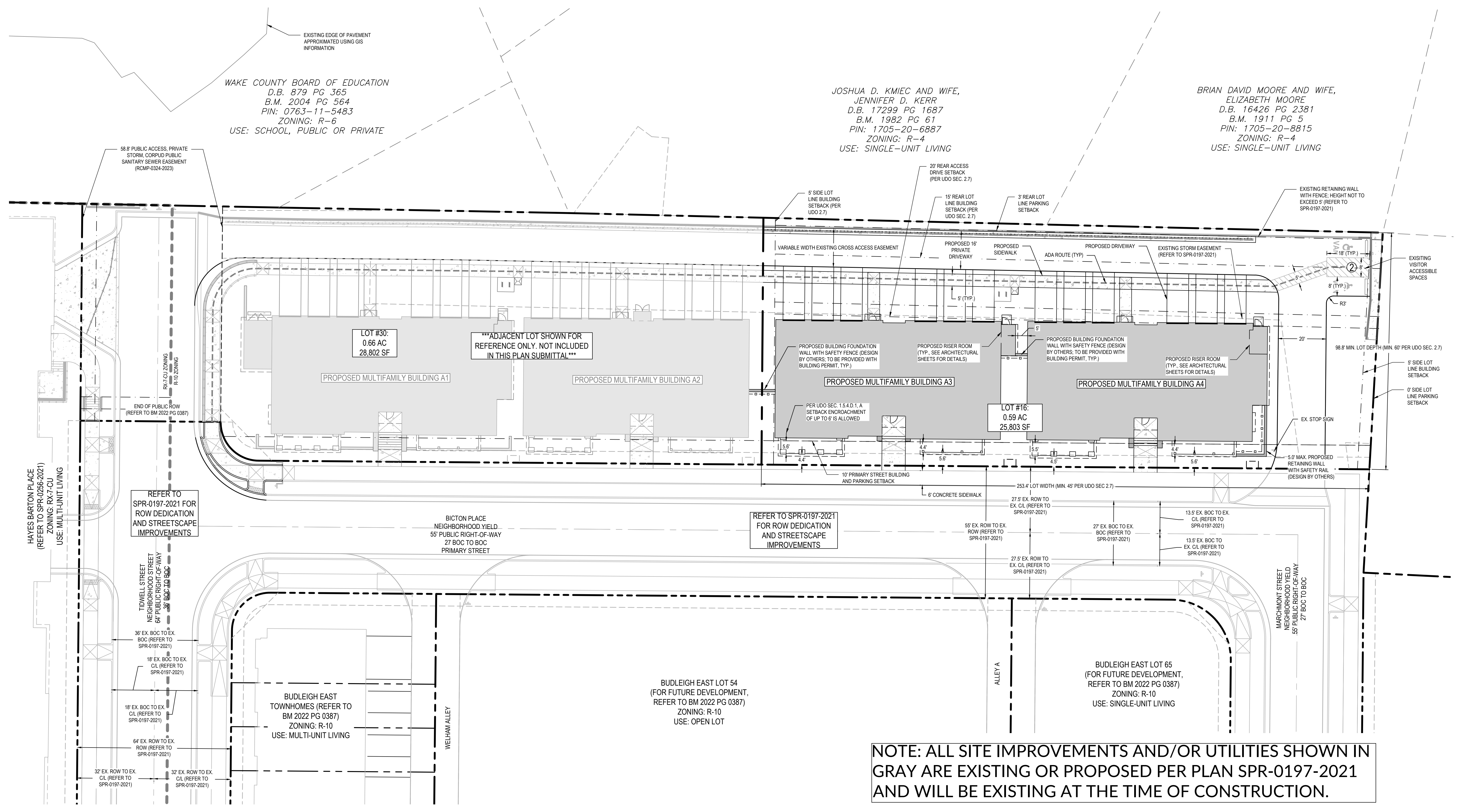
EXISTING CONDITIONS AND DEMOLITION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	XXX AREAS TO BE REMOVED
	FENCE TO BE REMOVED
	STORM PIPE TO BE REMOVED
	WETLANDS TO BE IMPACTED
	TREE TO BE REMOVED

K:\17\4481\174481\24-Budleigh Flats - W/RCMP-0324-2023\Drawings\Set\Plan - W/RCMP-0324-2023\EXISTING CONDITIONS AND DEMOLITION PLAN.dwg, January 5, 2024, 4:35:46 PM - ADR/MLA



GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.

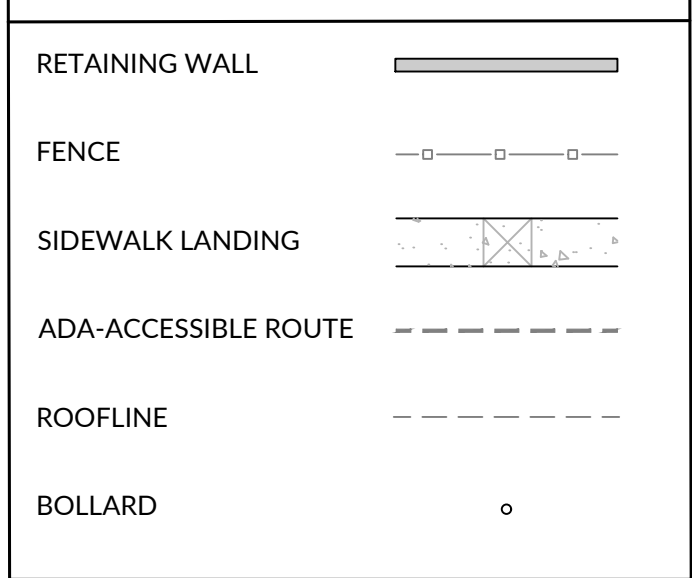
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT CNC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACES AND HC ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTIONS AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
- WE ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADA/CG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010

- ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2499 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
- ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
- FIRE/SOLID WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

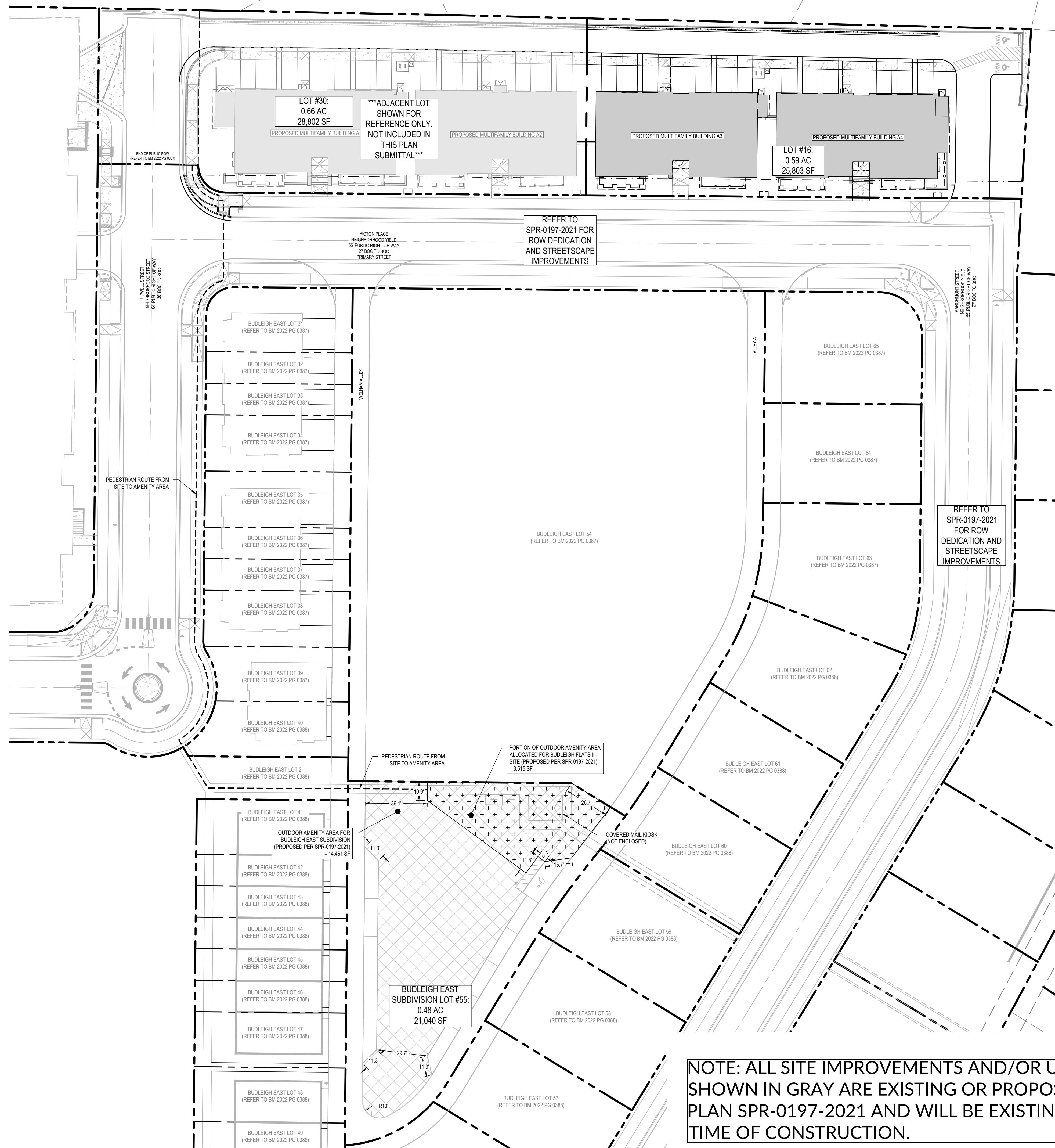
SITE CALCULATIONS:

TOTAL UNITS: 12 (ALL 2 BEDROOMS)	
MAXIMUM PARKING CALCULATIONS	
MAXIMUM:	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 2.25 SPACES PER UNIT 12 UNITS X 2.25 SPACES PER UNIT = 27 SPACES
PROVIDED:	26 SPACES (24 GARAGE SPACES (2 PER UNIT) & 2 SURFACE SPACES) 2 ADA-ACCESSIBLE SPACES (BOTH SURFACE SPACES)
MINIMUM BICYCLE PARKING CALCULATIONS	
REQUIRED (LONG TERM):	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 1 SPACE PER 7 BEDROOMS 12 BEDROOMS X 1/7 SPACES PER UNIT = 2 SPACES
PROVIDED (LONG TERM):	2 SPACES INTERNAL TO GARAGE (REFER TO SHEET)
REQUIRED (SHORT TERM):	MULTI-UNIT LIVING: 2 BEDROOMS (PER UDO SEC. 7.1.2.C): 1 SPACE PER 20 UNITS, MIN. 4 12 UNITS X 1 SPACE PER 20 UNITS = 1 SPACE, USE 4 SPACES
PROVIDED (SHORT TERM):	4 SPACES
MINIMUM LOT AREA CALCULATIONS (LOT 30 ONLY)	
REQUIRED:	800 SF/DU (PER UDO SEC. 2.7.1)
PROVIDED:	TOTAL DWELLING UNITS: 12 DUs LOT AREA: 25,803 SF (0.59 AC) LOT AREA PER UNIT: 2,150 SF/DU

SITE LEGEND:



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AMENITY AREA NOTES:

1. THE AMENITY AREA FOR THIS SITE IS PROVIDED ENTIRELY ON BUDLEIGH EAST SUBDIVISION LOT 55, WHICH IS SHOWN HEREIN. REFER TO APPROVED SPR-0197-2021 FOR THE OVERALL BUDLEIGH EAST SUBDIVISION PLAN.
2. A CALCULATION BREAKDOWN OF AMENITY AREA PROVIDED WITH SPR-0197-2021 IS ON THIS SHEET (SEE "BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN").
3. A UDO COMPLIANCE TABLE FOR PROVIDED AMENITY AREA HAS BEEN PROVIDED ON THIS SHEET (SEE "BUDLEIGH EAST FLATS AMENITY AREA COMPLIANCE TABLE").
4. A SHARED AGREEMENT FOR THE BUDLEIGH EAST FLATS II (NEW LOT 16 AND BUDLEIGH EAST SUBDIVISION LOT 55) WILL BE PROVIDED PRIOR TO OR IN CONJUNCTION WITH THE RECOMBINATION PLAN.

AMENITY AREA CALCULATIONS:

LOT SIZE (NEW LOT 16): 25,803 SF [0.59 AC]
 *NO OUTDOOR AMENITY AREA IS REQUIRED FOR OPEN LOT, THEREFORE LOTS 55 IS NOT INCLUDED IN THIS CALCULATION

AMENITY AREA REQUIRED FOR BUDLEIGH EAST FLATS II (MINIMUM):
 10% OF SITE AREA (PER SEC. 27.1.1.53)
 10% X 25,803 SF = 2,580 SF [0.059 AC]

AMENITY AREA PROPOSED WITH BUDLEIGH EAST SUBDIVISION (SUB-0054-2020 & SPR-0197-2021)*:
 14,164 SF [0.33 AC] TOTAL
 7,030 SF [0.14 AC] FOR EXISTING LOTS 16-29

AMENITY AREA PROPOSED FOR BUDLEIGH EAST FLATS II:
 3,515 SF [0.08 AC]
 3,515 / 25,803 = 13.6%

*NOTE: REFER TO THE AMENITY AREA CALCULATION TABLE BELOW, WHICH SHOWS A BREAKDOWN OF THE PROVIDED AMENITY AREA PER THE BUDLEIGH EAST SUBDIVISION PLAN (SPR-0197-2021). SEE THE ROW HIGHLIGHTED IN GREEN FOR THE TOTAL REQUIRED AND PROPOSED AMENITY AREA FOR THE BUDLEIGH FLATS I AND II SITES.

BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN			
NOTE: THIS CALCULATION IS SHOWN FOR PROVIDING AMENITY AREA COMPLIANCE WITH UDO MINIMUMS FOR THE BUDLEIGH EAST FLATS I AND II (EXISTING LOTS 16-29) AND LOTS 30-59 (REFER TO THE APPROVED SPR-0197-2021 FOR AMENITY AREA REQUIREMENTS AND PROVISIONS FOR THE ENTIRE BUDLEIGH EAST SUBDIVISION SITE).			
LOT NUMBER	LOT AREA (SQ FT)	REQUIRED AMENITY AREA (SQ FT)	PROVIDED AMENITY AREA (SQ FT) (WITH SPR-0197-2021)
BUDLEIGH EAST EXISTING LOTS 16-29			
16	7,549	755	1,076
17	2,706	271	386
18	2,738	274	387
19	2,730	273	386
20	3,740	374	526
21	3,783	378	530
22	2,774	277	395
23	2,789	279	397
24	3,838	384	547
25	3,859	386	550
26	2,826	283	400
27	2,824	283	400
28	2,843	284	405
29	4,323	432	616
TOTAL FOR EXISTING LOTS 16-29 (BUDLEIGH FLATS I AND II SITES)		4,933	7,030
BUDLEIGH EAST EXISTING LOTS 30-59 (BUDLEIGH FLATS II SITES)			
31	3,147	315	448
32	1,558	156	222
33	1,568	156	222
34	2,777	278	396
35	2,777	278	396
36	1,558	156	222
37	1,568	156	222
38	2,776	278	396
39	2,511	251	358
40	2,747	275	394
41	2,814	281	401
42	1,653	165	230
43	1,653	165	230
44	1,653	165	230
45	1,653	165	230
46	1,653	165	230
47	2,836	282	401
48	2,836	282	401
49	1,653	165	230
50	1,659	166	236
51	1,743	174	248
52	1,829	183	261
53	3,711	371	529
TOTAL FOR EXISTING LOTS 30-59		5,006	7,134
TOTAL PROVIDED AMENITY AREA FOR BUDLEIGH SUBDIVISION		14,164	

BUDLEIGH EAST FLATS AMENITY AREA COMPLIANCE TABLE

UDO SECTION 1.5.3 - OUTDOOR AMENITY AREA			
GENERAL REQUIREMENTS	Requirement	Requirement Met?	Requirement Met?
R1	Where outdoor amenity area is required, it must be provided on-site and must be available for use by or as an amenity for the occupants, invites and guests of the development.	Requirement Met?	Requirement Met?
R2	A minimum of 50% of the required outdoor amenity area must be usable by the residents and located in Section 1.5.3.1. Areas that are usable by residents must also be ADA accessible. Outdoor amenity areas required for existing buildings that do not have elevators or do not otherwise require them, may be located on upper levels as allowed by Sec. 1.5.3.1.3.	Requirement Met?	Requirement Met?
R3	Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the site; however, no receive credit, each area must be at least 75 feet in width and length.	Requirement Met?	Requirement Met?
R4	Required outdoor amenity area cannot be parked or driven upon, except for emergency access and permitted emergency events.	Requirement Met?	Requirement Met?
R5	Required outdoor amenity area may be covered but cannot be enclosed however outdoor amenity area within the structure must be covered by structures with a clear height no less than 8' and less than the proposed minimum ground level height must account for no more than 50% of the required area. Permitted structures where the sum area of the openings is greater than 50% of the sum area of the structure, shall not be considered covered for the purposes of this section.	Requirement Met?	Requirement Met?
R7	Green Stormwater Infrastructure (GSI) practices may be located within a required outdoor amenity area provided all other requirements of this subsection are met. Green Stormwater Infrastructure (GSI) practices include wet ponds and dry ponds, slope construction, permeable pavement, and other GSI practices. One or more of the required practices (wet ponds and dry ponds) shall not be considered covered for the purposes of this subsection.	Requirement Met?	Requirement Met?
R8	Walkways outside of the right-of-way, even if used to satisfy amenity requirements, shall be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	Requirement Met?	Requirement Met?
R9	Areas outside of the right-of-way required to be set aside for required amenity area shall be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	Requirement Met?	Requirement Met?
R10	Outdoor amenity areas meeting the requirements of Section 1.5.3 shall also be eligible to count towards required open space provided it also meets Section 2.2.	Requirement Met?	Requirement Met?

AMENITY AREA LEGEND:

- AMENITY AREA PROPOSED PER SPR-0197-2021
- PORTION OF AMENITY AREA ALLOCATED FOR BUDLEIGH FLATS II SITE

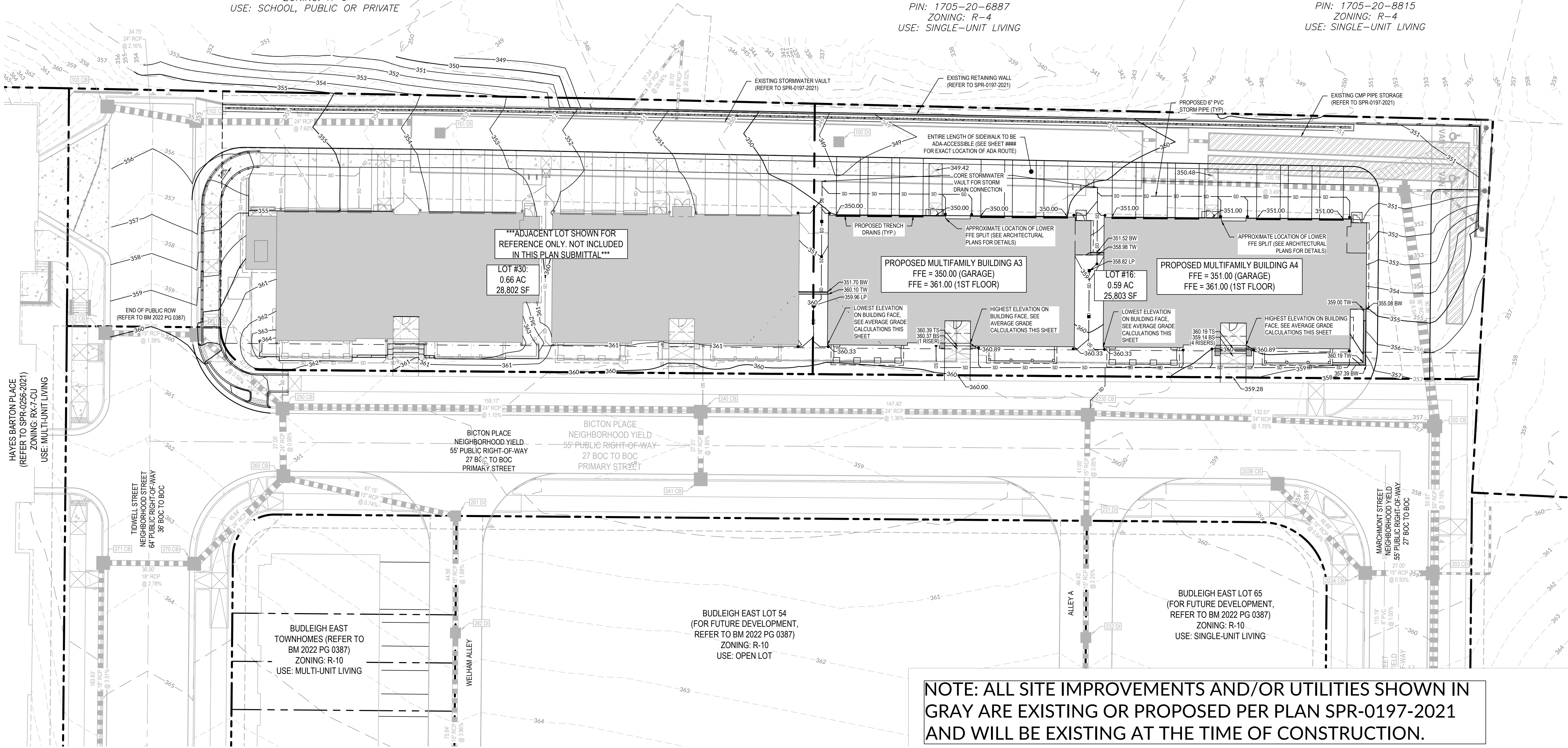
NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

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WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING



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CONSTRUCTION NOTES:

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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
- NO WORK OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CUT PERMIT.
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- THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
- IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.
- ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
- ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.

STORM DRAINAGE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
- MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
- STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-5-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
- STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
- EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
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AVERAGE GRADE CALCULATION ALONG BICTON PLACE:

(LOWEST ELEVATION + HIGHEST ELEVATION) / 2 = AVERAGE GRADE

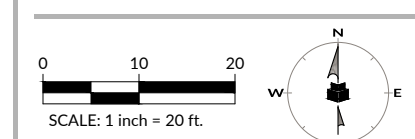
BUILDING A3:
 • LOWEST ELEVATION = 360.33
 • HIGHEST ELEVATION = 360.89
 (360.33 + 360.89) / 2 = **360.61**

BUILDING A4:
 • LOWEST ELEVATION = 360.33
 • HIGHEST ELEVATION = 360.89
 (360.33 + 360.89) / 2 = **360.61**

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
--- (dashed line)	EXISTING MINOR CONTOUR
--- (long dashed line)	EXISTING MAJOR CONTOUR
--- (short dashed line)	PROPOSED MINOR CONTOUR
--- (dash-dot line)	PROPOSED MAJOR CONTOUR
--- (thick solid line)	PROPOSED RETAINING WALL
--- (line with cross-hatch)	EXISTING CATCH BASIN
--- (line with 'X' marks)	EXISTING STORM DROP INLET WITH GRATE
--- (line with circles)	EXISTING STORM JUNCTION BOX
--- (line with squares)	EXISTING STORM PIPE
--- (line with triangles)	PROPOSED AREA DRAIN
--- (line with diamonds)	PROPOSED STORM CLEANOUT
--- (line with 'SD' text)	PROPOSED STORM PIPE

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
 REVISIONS:

WR JOB NUMBER: 02170437.05
 DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C3.00

WithersRavenel
 137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
 License #: F-1479 | T: 919.469.8340 | www.withersravenel.com

WILLIAMS REALTY & BUILDING CO., INC.
 3111 GLENWOOD AVE.
 RALEIGH, NC 27612

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS II
ASR-XXXX-2024
 2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

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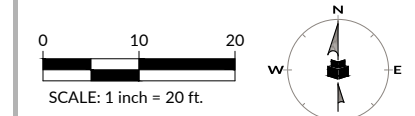
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	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED RETAINING WALL
	EXISTING CATCH BASIN
	EXISTING STORM DROP INLET WITH GRATE
	EXISTING STORM JUNCTION BOX
	EXISTING STORM PIPE
	PROPOSED AREA DRAIN
	PROPOSED STORM CLEANOUT
	PROPOSED STORM PIPE

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
REVISIONS:

WR JOB NUMBER 02170437.05
DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C3.10

WILLIAMS REALTY & BUILDING CO., INC.
3111 GLENWOOD AVE.
RALEIGH, NC 27612

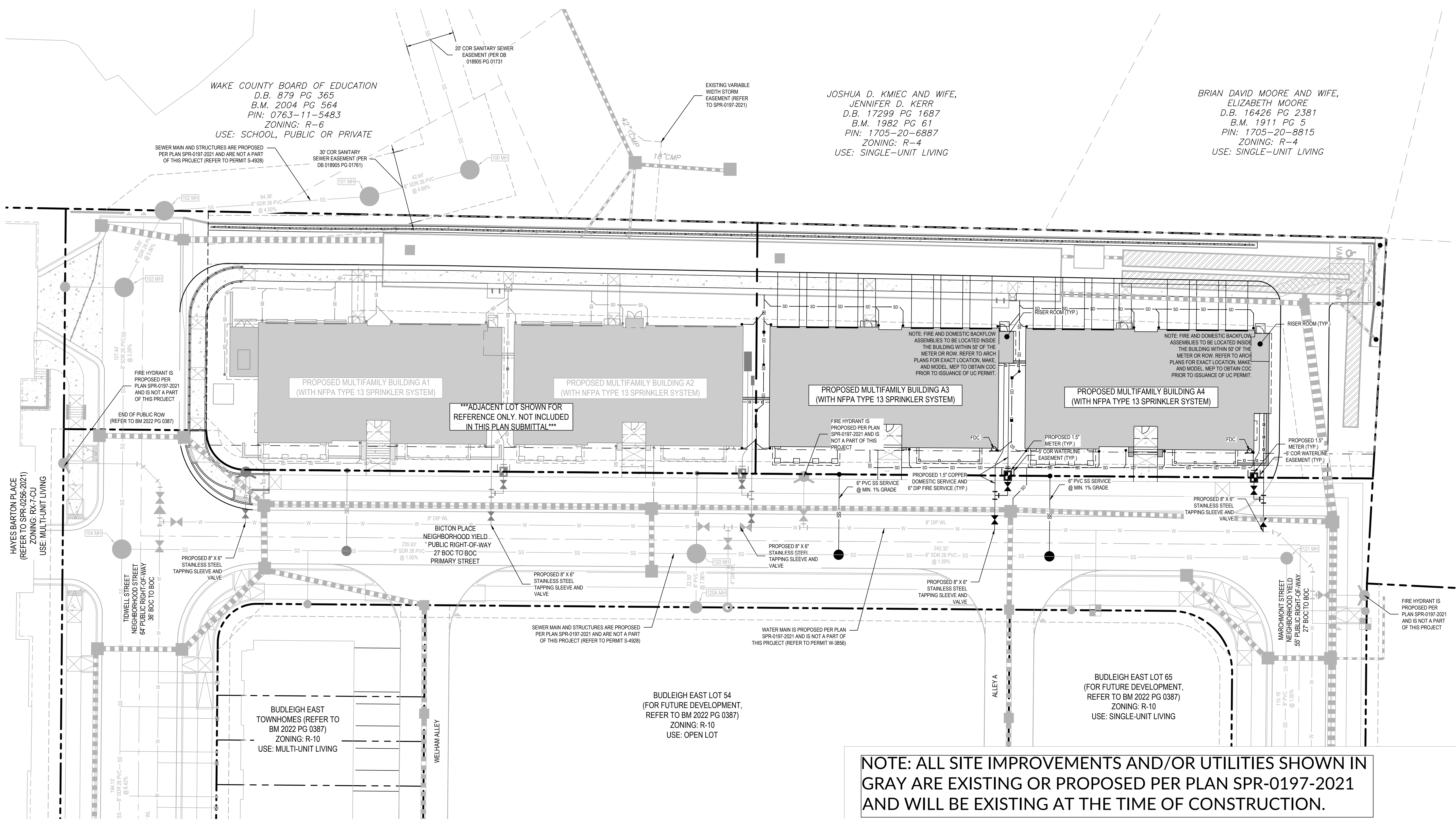
BUDLEIGH EAST FLATS II
ASR-XXXX-2024

2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

WithersRavenel
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
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UTILITIES NOTES:

- MANHOLES TO BE CORE DRILLED AND BOOTED AT ALL PRIVATE SEWER SERVICE CONNECTIONS
- FOG APPROVAL IS REQUIRED PRIOR TO ISSUANCE OF UC PERMIT

COR APPENDIX D STANDARD UTILITY NOTES:

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS

- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS; 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1.5" DIP WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION

- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

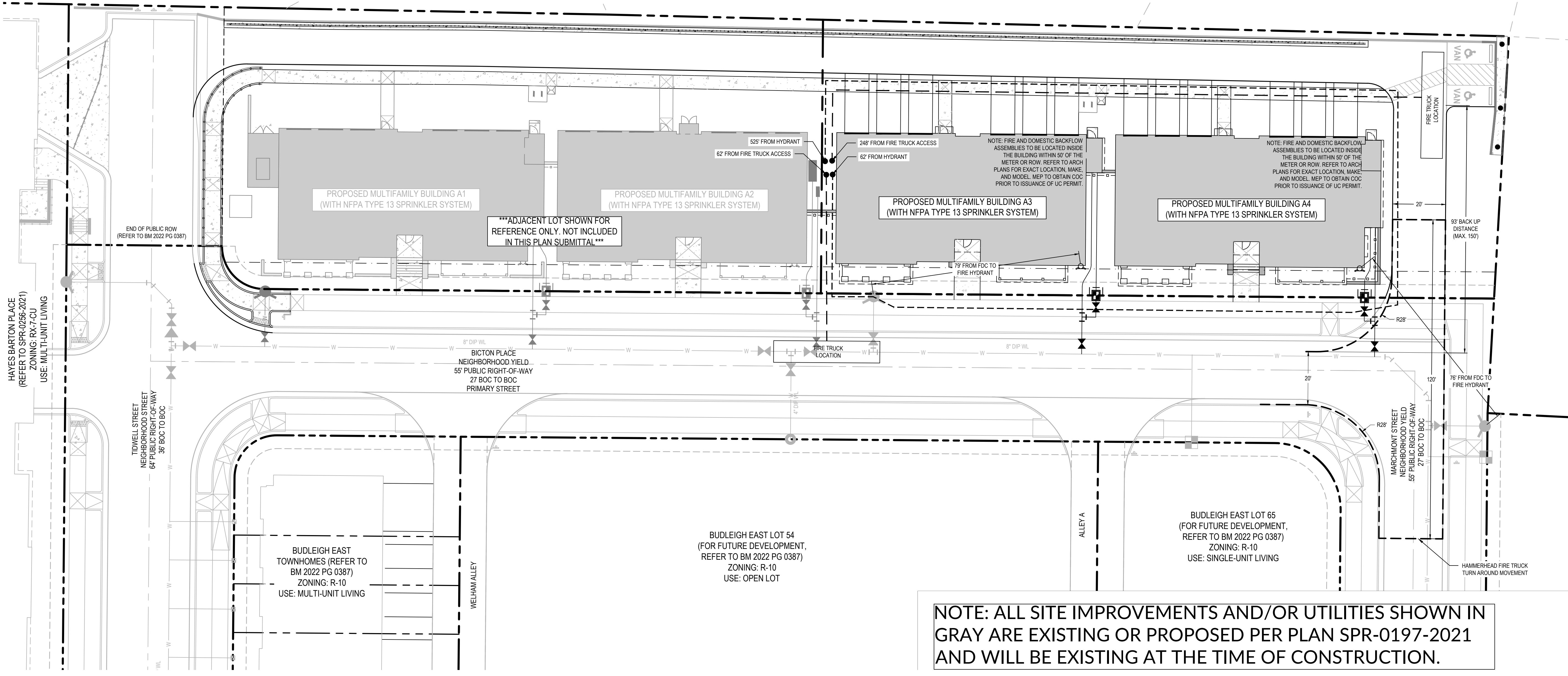
UTILITIES LEGEND:

SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED WATER LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE

WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING



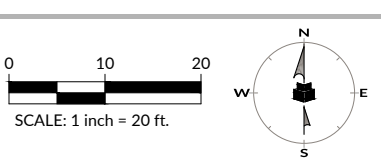
NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

- FIRE NOTES:**
1. HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 2. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFC 503.2.3.

WILLIAMS REALTY & BUILDING CO., INC.
 3111 GLENWOOD AVE.
 RALEIGH, NC 27612

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS II
ASR-XXXX-2024
 2504 BICKTON PLACE | RALEIGH, NC 27608 | WAKE CO.

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

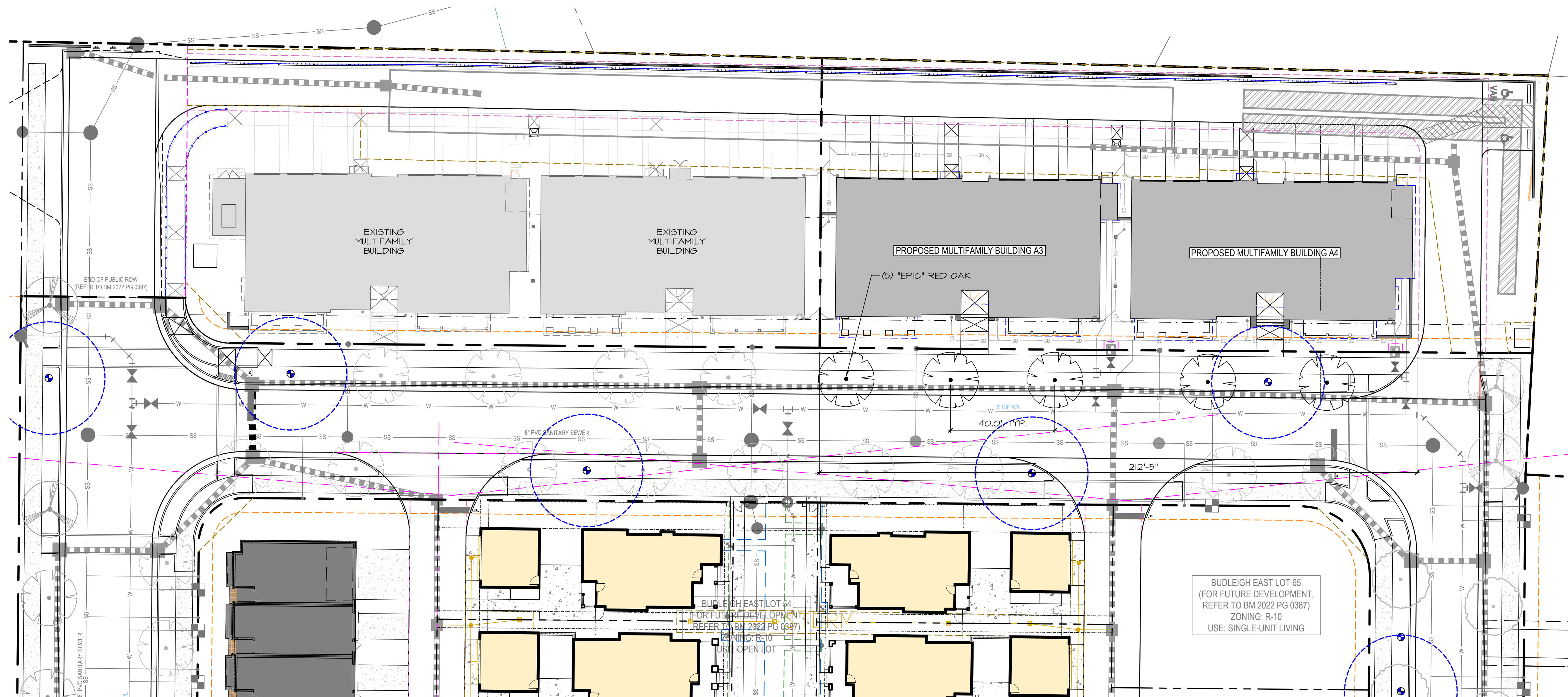


INITIAL PLAN DATE: 1/5/2024
 REVISIONS:

WR JOB NUMBER 02170437.05
 DRN: WR DGN: WR CKD: WR

FIRE ACCESS PLAN

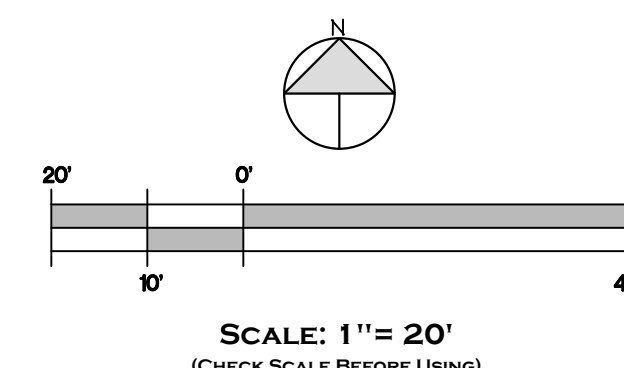
C5.00



STREET TREE CALCULATIONS
 BICTON PLACE STREET TREES
 212.42 LF
 1 LARGE TREE/40 LF
 212.42/40 = 5.31 TREE REQUIRED
 5 TREES PROVIDED
 INSTALL 3" CALIPER, 10' TALL

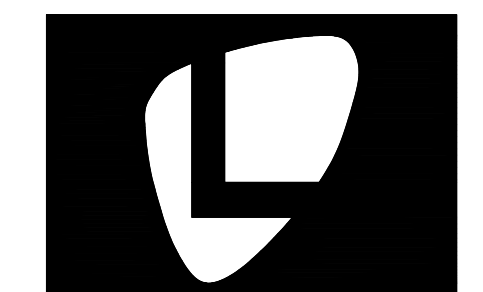
QUAN	CODE REQUIRED PLANT SCHEDULE		SIZE	NOTES
	BOTANICAL NAME	COMMON NAME		
TREES AND LARGE EVERGREENS				
5	QUERCUS x EPIC	EPIC RED OAK	3" CAL., 10' TALL	FULL MATCHING STREET TREES

NOTE:
 1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

CITY OF RALEIGH DEVELOPMENT APPROVAL _____



LIGGETT DESIGN GROUP

LANDSCAPE ARCHITECTURE
 SITE PLANNING & DESIGN
 725A PINEHURST ROAD RALEIGH, NC 27608
 PHONE: 919.853.2903 FAX: 919.853.1116
 MAIL: R.LIGGETTDESIGNGROUP.COM

SURVEYOR:
 WITHERS & RAVENEL
 115 MACKESSAN DRIVE, CARY, NC 27511
 (919) 851-2344

SEALS/SIGNATURE

CONSTRUCTION UNLESS SIGNED
 BY LANDSCAPE ARCHITECT



BUDLEIGH EAST FLATS
 BICTON PLACE
 RALEIGH, NORTH CAROLINA

ISSUED FOR:
 SUBMITTAL

ISSUED DATE:
 12/29/2022

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
 CODE COMPLIANT
 LANDSCAPE PLAN

DRAWN BY: RW/WAB

CHECKED BY: FL

SCALE: 1"=20'

SHEET NUMBER:

L-1
 OF 2

PLANTING NOTES

- Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
- Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
- Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
- All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
- All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1/2% to ensure smooth transitions between planting beds and lawn areas.
- Mulch - install 3" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
- All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
- Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
- Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
- All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
- All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 6' from fire hydrants and other utilities, unless otherwise noted on plans.
- All plants shall be installed as per generally accepted planting standards.
- All dead and or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
- All plants and stakes shall be set plumb unless otherwise specified.
- Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
- Landscape Architect shall select and layout all the perennial beds.
- All planting bed edges to be smooth flowing arcs, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 3 to 4 inches deep, and "V" shaped. All excavated material shall be removed from the bed edge and planting bed.
- If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
- Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including raking uneven areas, seeding grassed areas and for natural areas spreading minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

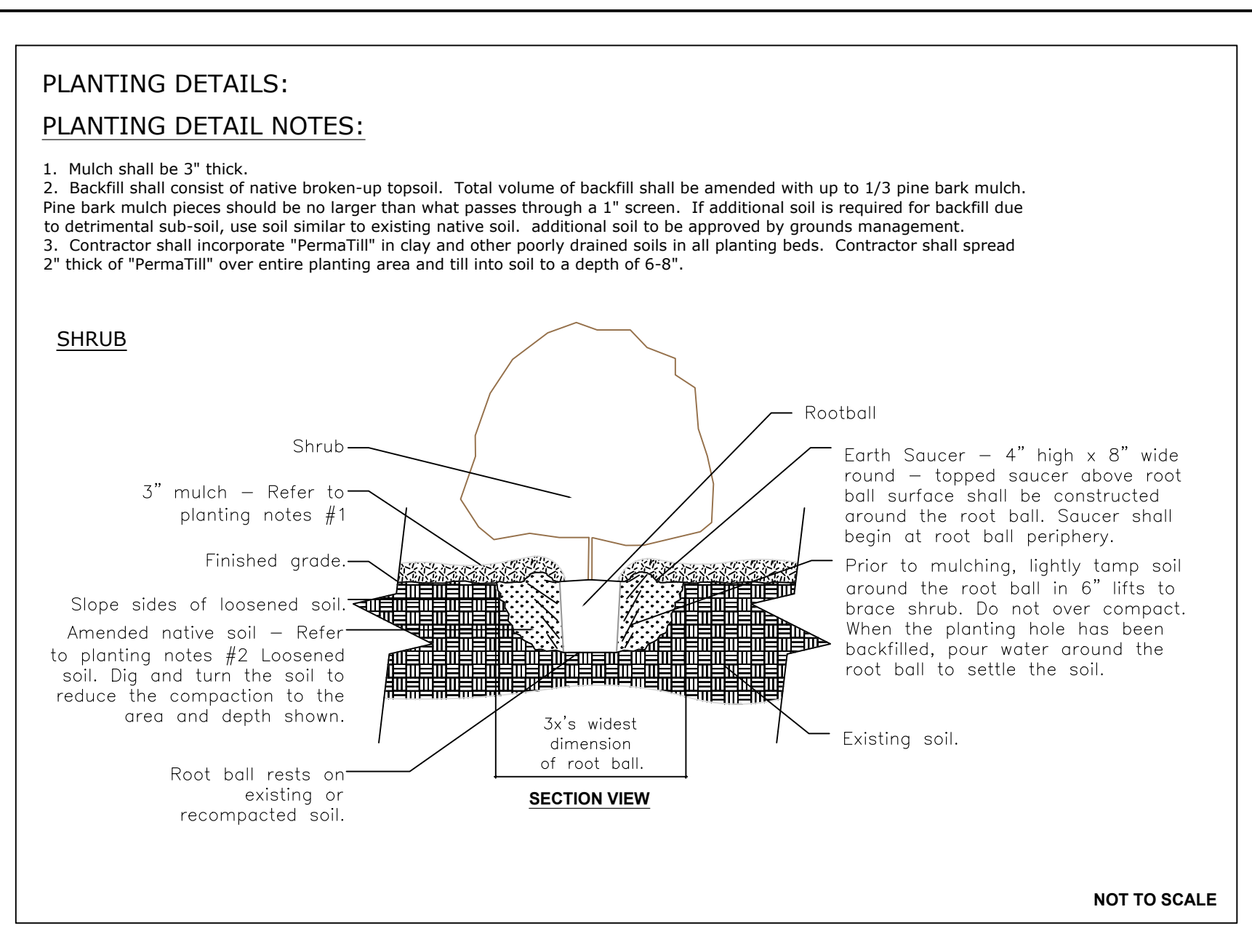
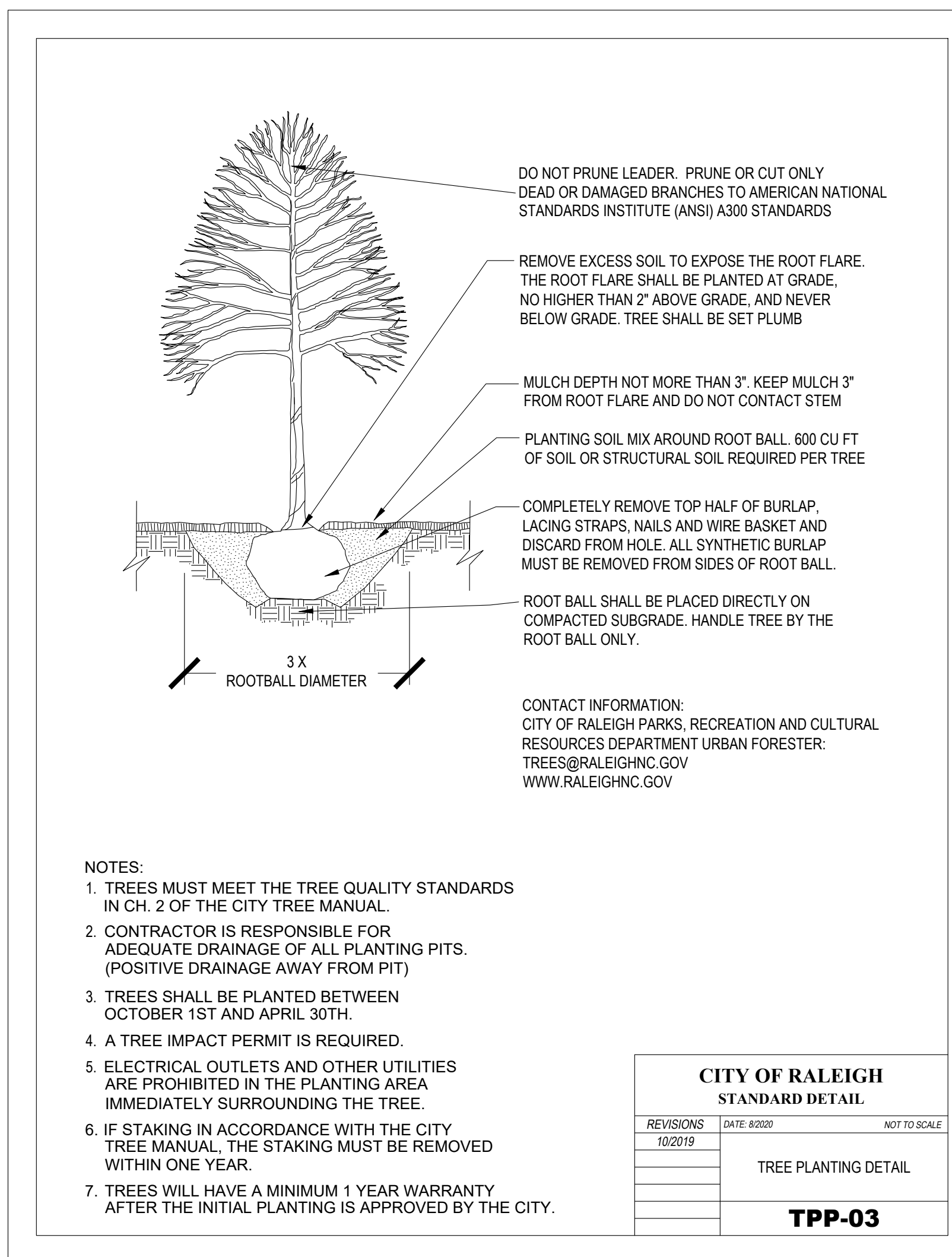
LANDSCAPE MAINTENANCE AGREEMENT

"The Owners of the Property and their Agents, Heirs or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owners shall be responsible for annual maintenance of the vegetation to include but not limited to:"

- Fertilization: Zeon Zoysia lawns: Fertilize lawns twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawns: fertilize lawns twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
 - Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilizer shall be watered in.
 - Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2) Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be spread evenly under all plants (where applicable) and watered in. "(Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the planting "arrangement", however, over-fertilization shall not be acceptable.
- Pruning: Removal of dead or diseased wood, or removal of tree branches for sight distance/safety reasons; the Shigo standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
 - Pest control: Pre-emergent weed control for lawns to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.
 - Mulching: Mulching shall be maintained at a depth of 2 - 3" in plant beds and tree saucers. As a minimum, mulch shall be reapplied at least every year during the months of February and March.
 - Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
 - Plant protection: Avoid excess intrusion into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
 - Watering: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
 - Warranty: Remove/replace all dead and or diseased plant material at each maintenance visit.

PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS

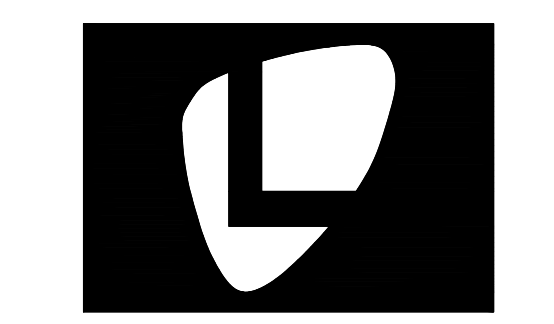
- Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and superphosphate uniformly at the rate specified per soil pH testing results.
- Site to be fine graded before permanent planting and seeding or sodding is installed.
- Soil shall be loosened to a depth of 4 - 6 inches by disking, raking, roto-tilling or other acceptable means. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Chisel compacted areas and spread topsoil 3 inches deep over adverse soil conditions.
- Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate/till-in 50/50 soil amendment in all plant beds.
- All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
- Sod areas to be sodded with workable size rolls that are not broken or stretched. Sod shall be free of thatch. Sod shall be installed within 24 hours of arrival at the site.
- Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
- Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be staked.
- Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
- Inspect all sodded areas and make necessary repairs or resod within the planting season, if possible. If grass stand should be over 60% damaged, Contractor shall consult with a conservation inspector on maintenance treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
- Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
- Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has been modified and the digital signature below is valid:

CITY OF RALEIGH DEVELOPMENT APPROVAL _____



**LIGGETT
DESIGN GROUP**

LANDSCAPE ARCHITECTURE
SITE PLANNING & DESIGN

7254 A PRESHING ROAD RALEIGH, NC 27608
PHONE 919.853.2303 FAX 919.853.1116
MAIL@LIGGETTDESIGNGROUP.COM

SURVEYOR:
WITHERS & RAVENEL
115 MACKESSAN DRIVE, CARY, NC 27511
(919) 851-2344

SEALS/SIGNATURE



CONSTRUCTION UNLESS SIGNED
By LANDSCAPE ARCHITECT



BUDLEIGH EAST FLATS
BICTON PLACE
RALEIGH, NORTH CAROLINA

ISSUED FOR:
SUBMITTAL

ISSUED DATE:
12/29/2023

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
**PLANTING PLAN
DETAILS AND
NOTES**

DRAWN BY: **RW/WAB**

CHECKED BY: **FL**

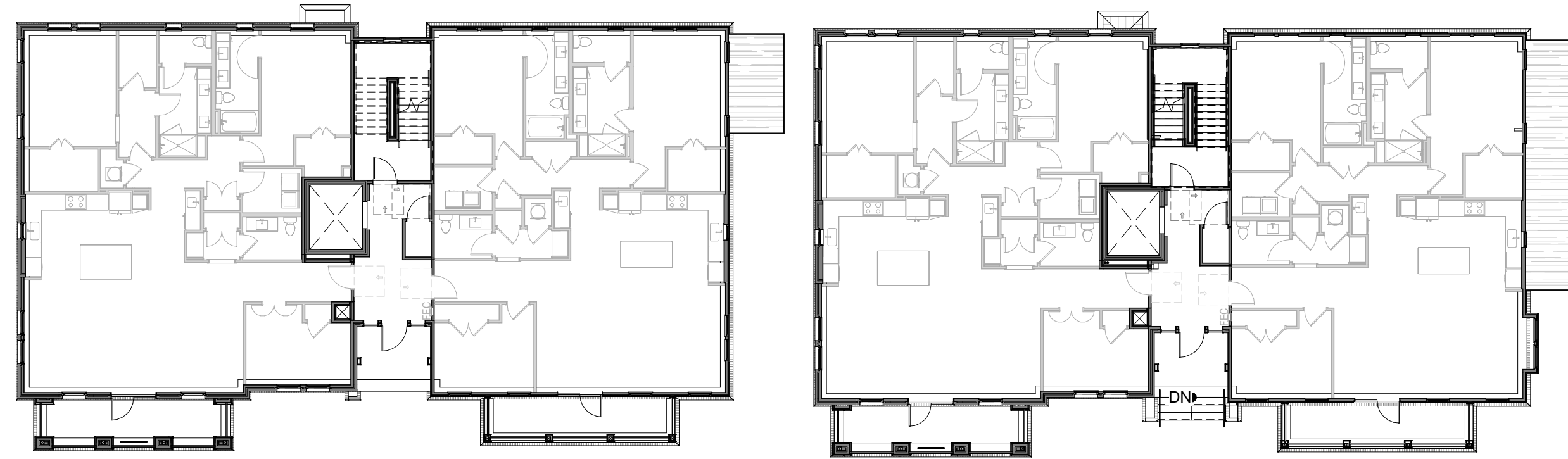
SCALE: **AS SHOWN**

SHEET NUMBER:

L-2
OF 2

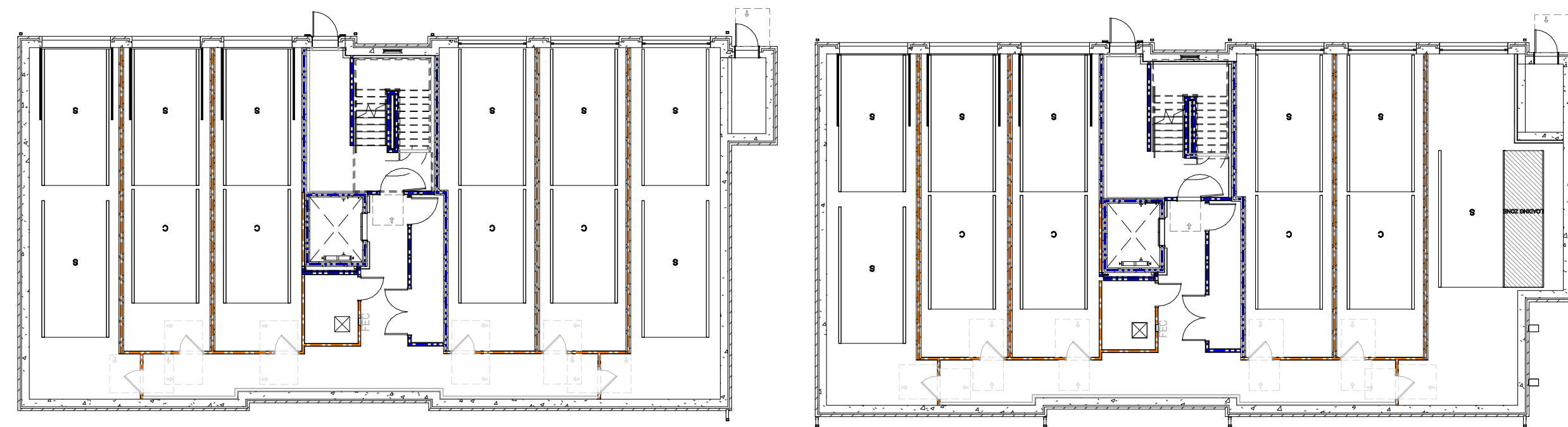
BUILDING A3

BUILDING A4



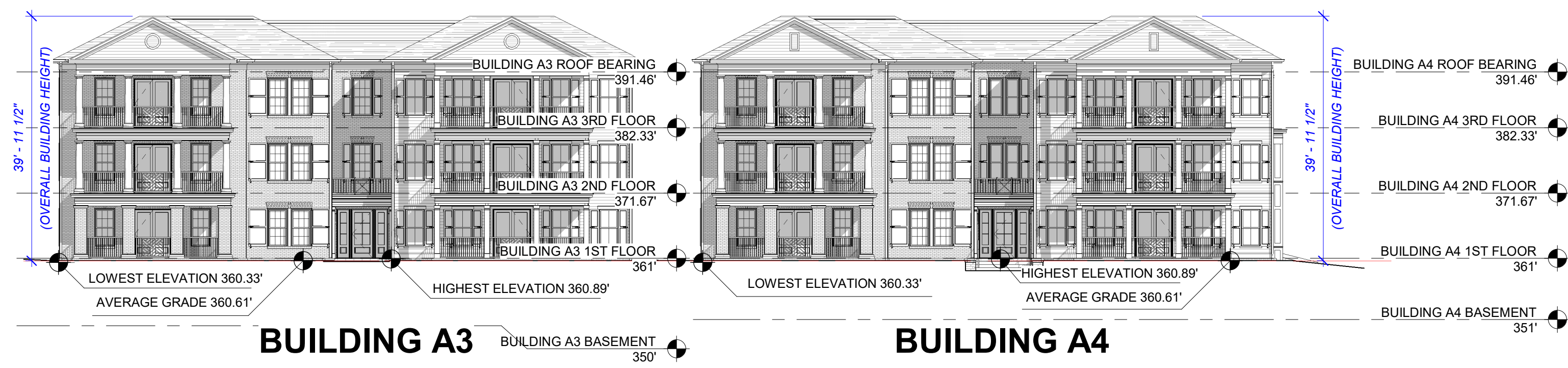
BUDLEIGH II-1ST FLOOR OVERALL 3

1/16" = 1'-0"



BUDLEIGH II-GARAGE PLAN OVERALL 2

1/16" = 1'-0"



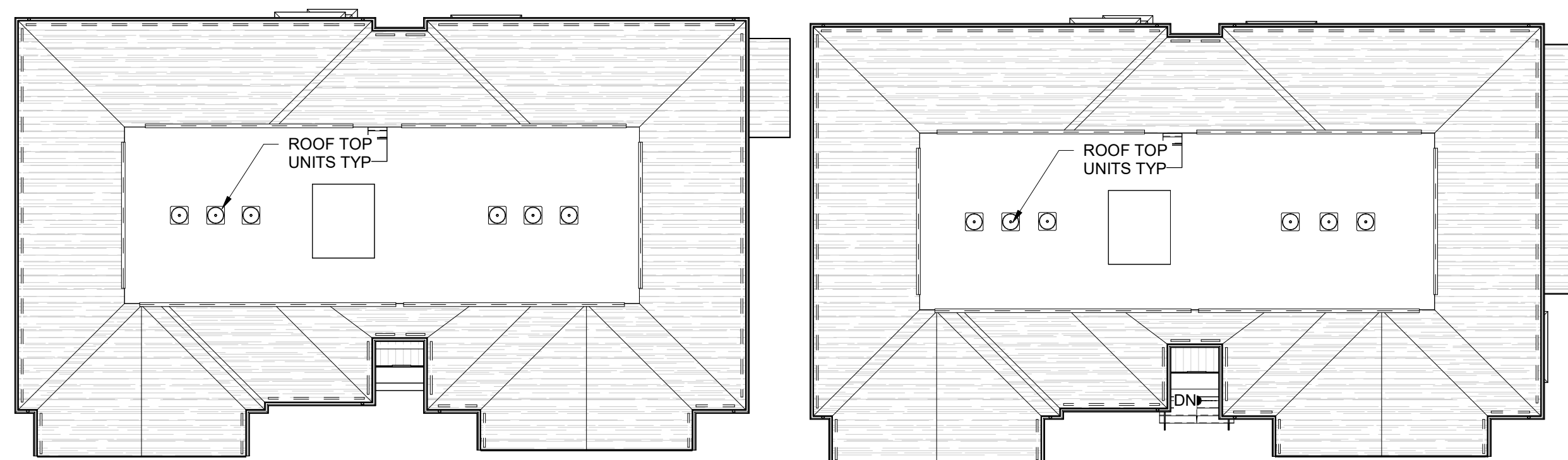
BUDLEIGH II-ELEVATION OVERALL 1

1/16" = 1'-0"



BUILDING A3

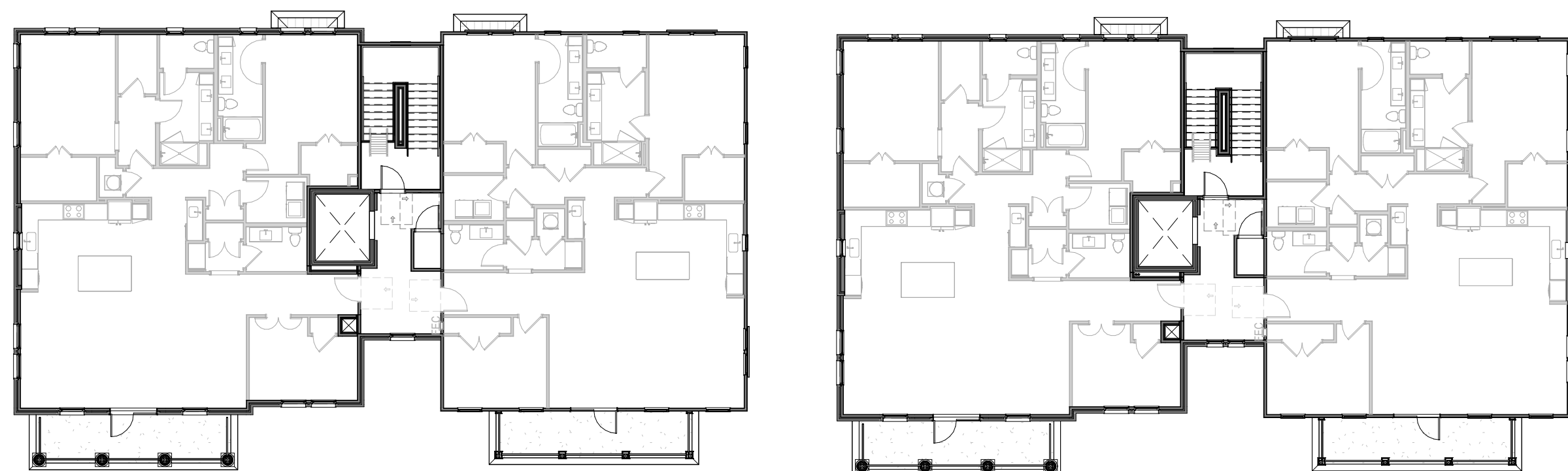
BUILDING A4



BUDLEIGH II-ROOF PLAN OVERALL A3 & A4

1/16" = 1'-0"

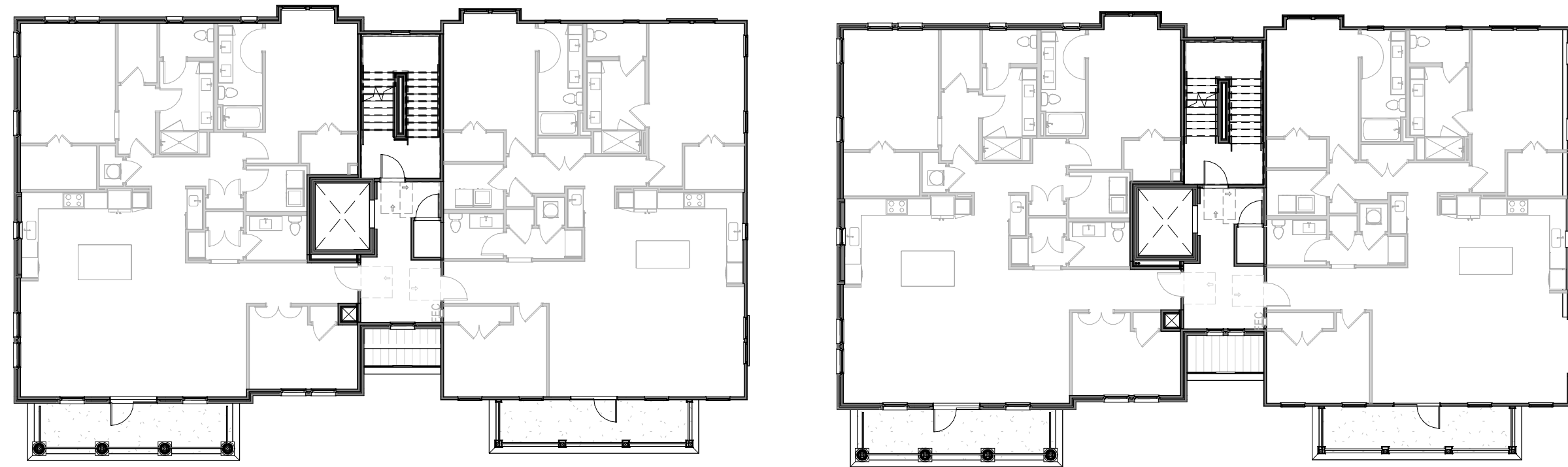
3



BUDLEIGH II-3RD FLOOR OVERALL

1/16" = 1'-0"

2



BUDLEIGH II-2ND FLOOR OVERALL

1/16" = 1'-0"

1





BUILDING A3 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A3 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A3 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A3 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH II-BUILDING A3 ELEVATIONS A3/A4-03

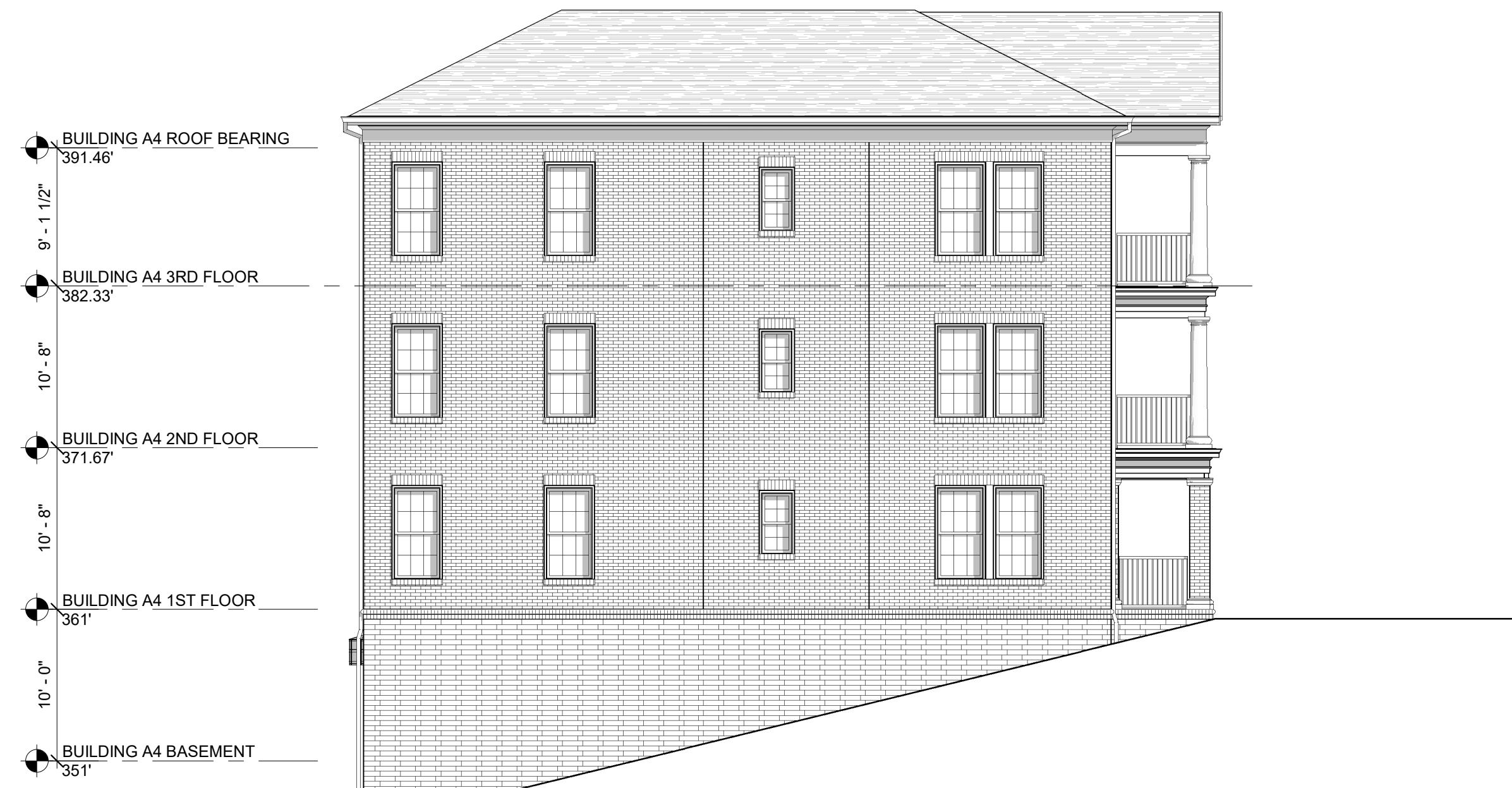
1/8" = 1'-0" | 023154 | 01.05.2024



BUILDING A4 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A4 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A4 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A4 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH II-BUILDING A4 ELEVATIONS A3/A4-04

1/8" = 1'-0" | 023154 | 01.05.2024