



Administrative Approval Action

Case File / Name: ASR-0004-2024
DSLCL - Budleigh East Flats II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This vacant 0.592 acre parcel zoned R-10 is located on the north side of Bicton Place between Tidwell and Marchmont Streets at 2504 Bicton Place.

REQUEST: This proposal is for two multi-family apartment buildings of 35,288 square feet of building space and 12 units total with associated site improvements. This site is in the Frequent Transit area and utilizing the Frequent Transit Development Option.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 9, 2024 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. There are several existing water and sewer laterals along Bicton Place from the previously approved SPR that must be abandoned back to the main per CORPUD standards.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

Engineering

1. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Record recombination (RCMP-0324-2023)

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

3. Tree impact permits must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 5 street trees along Bicton Place.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.



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4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 11, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 06/11/2024
Development Services Dir/Designee

Staff Coordinator: Michael Walters

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS II
ASR-0004-2024

2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

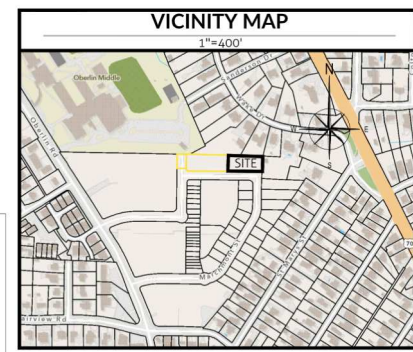
1ST SUBMITTAL: JANUARY 5, 2024
2ND SUBMITTAL: MARCH 1, 2024
3RD SUBMITTAL: MAY 9, 2024

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
VERTICAL DATUM BASED ON NAVD 88.

SITE DATA

SITE ADDRESSES: 2504 BICTON PL, RALEIGH, NC 27608
FIN NUMBERS: 170326701
DEED BOOK AND PAGE: DB 021948 PG 02215
ZONING DISTRICT(S): R-0
ZONING CONDITION: N/A
OVERLAY DISTRICT(S): N/A
3RD ACREAGE: 25.003 SF (0.59 AC) (0.11 A)
EXISTING USE: OFFICE LOT
PROPOSED USE: MIX URBANLY
BUILDING INFORMATION: PROPOSED BUILDINGS: 2
GROSS BUILDING SF: 17,644 SF PER BUILDING
TOTAL UNITS: 12 UNITS
PARKING: MINIMUM: 2.25 SPACES PER UNIT (PER UDO 7.3.2.C)
PROVIDED: 26 SPACES ON GARAGE (2 PER UNIT @ 2 BUNGALOW)
SEE SHEET C2.00 FOR PARKING CALCULATIONS:
BICYCLE PARKING: REQUIRED: LONG-TERM - 1 SPACE PER 7 BEDROOMS (PER UDO 7.3.2.C)
PROVIDED: LONG-TERM - 2 SPACES
REQUIRED: SHORT-TERM - 1 SPACE PER 20 UNITS, MINIMUM OF 4 SPACES (PER UDO 7.3.2.C)
PROVIDED: SHORT-TERM - 4 SPACES
SEE SHEET C2.00 FOR BICYCLE PARKING CALCULATIONS:
OUTDOOR AMENITY AREA: REQUIRED: 10% FOR LOT 16 ONLY, LOT 30 AMENITY AREA DEDICATED AS PART OF BUILDING EAST FLATS SITE B
PROVIDED: 13.6% PROVIDED ON BUDLEIGH SUBDIVISION LOT 5 ONLY, REFER TO SHEET C2.10 FOR LOCATION AND CALCULATION. NO ADDITIONAL AMENITY AREA IS PROPOSED ON LOTS 16 OR 30.
LOT AREA PER UNIT: REQUIRED: 800.55 SF PER UNIT (PER UDO SEC. 2.7.3)
PROVIDED: 2,150 SF PER UNIT
SEE SHEET C2.00 FOR PARKING CALCULATIONS:
NOTE: SEE THE SHEET FOR UDO SEC. 2.7.3 COMPLIANCE TABLE WHICH SHOWS VARIOUS DIMENSIONAL REQUIREMENTS AND PROVIDED.



Administrative Site Review Application
This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2. These check the appropriate building type and indicate the plan document section number.

DEVELOPMENT TYPE - SITE DATA TABLE
SITE DATA
BUILDING DATA
STORMWATER INFORMATION
RESIDENTIAL & OVERHEAD LOGGING DEVELOPMENTS

APPLICANT SIGNATURE BLOCK
I, the undersigned, hereby acknowledge that I am the owner of the property described in this application and that I am authorized to execute this application and the associated documents and to execute the development agreement with the undersigned and the undersigned understand that development approval is subject to resolution by Wake County and is non-negotiable and non-transferable.

INDEX OF SHEETS
Sheet Number Sheet Title
C0.00 COVER
C0.01 GENERAL NOTES, LEGENDS, AND TABLES
C0.02 PRELIMINARY PLAN
C1.00 EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00 SITE PLAN
C2.10 OUTDOOR AMENITY AREA
C3.00 GRADING AND DRAINAGE PLAN
C3.10 GRADING AND DRAINAGE PLAN
C4.00 UTILITY PLAN
C5.00 FIRE ACCESS PLAN
L-1 CODE COMPLIANT LANDSCAPE PLAN
L-2 PLANTING PLAN DETAILS AND NOTES
A3/A4-01 ASR-BUDLEIGH II-BLDGS A3-A4 OVERALL ELEVATIONS & AREAS
A3/A4-02 ASR-BUDLEIGH II-PARCEL A-B BLDGS A3-A4 PLANS
A3/A4-03 ASR-BUDLEIGH II-BUDLEIGH A3 ELEVATIONS
A3/A4-04 ASR-BUDLEIGH II-BUDLEIGH A4 ELEVATIONS

RIGHT-OF-WAY OBSTRUCTION NOTES

- 1. STREET, LAKE, AND SIDEWALK CLOSURES OR DETOURS PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES@RALPH-GOV.COM AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SPECIFICATIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLANS AND ENSURE ALL NOTES ARE UNDERSTOOD.
4. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NICOT ROAD WITH BUDLEIGH'S JURISDICTION.
5. ALL TRAFFIC CONTROL, SIGNALS, AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NICOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES, "NICOT" ROADWAY STANDARD DRAWING MANUAL, AND THE NICOT SUPPLEMENT TO THE MANUAL.
6. ALL PUBLIC UTILITIES MUST BE ACCESSIBLE TO FIRST RESPONDERS AND BE PROTECTED BY AN AREA OF PROTECTIVE WORK. MOBILE CONCERNS, EXISTING, AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE COMPLIANT WITH THE RALEIGH STANDARD SPECIFICATION FOR ROADWAY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES APPLY.
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PROJECT NOTES

- 1. THIS PROJECT IS AN ADMINISTRATIVE SITE REVIEW (ASR), AND IS CLASSIFIED AS A TIER THREE (3) SITE PLAN IN ACCORDANCE WITH RECENTLY ADOPTED CITY OF RALEIGH ORDINANCE 2020-149 TC-038.
2. THE CURRENT USE OF THE SUBJECT PROPERTY IS VACANT.
3. PUBLIC UTILITIES ARE REQUIRED; PROPOSED UNDER APPROVED 598-0197-2021.
4. LAND DISTURBANCE IS GREATER THAN 12,000 SQUARE FEET.
5. LANDSCAPE CHANGES REQUIRING A PLAN TO BE RECORDED ARE PROPOSED.
6. NO AREAS ON THIS PROPERTY OR WITHIN THE PARCEL TRACT HAVE REQUIRED TREE CONSERVATION AREAS, NO TREES PROPOSED WITH THIS PROJECT, REFER TO SPROUD-2021 FOR CRITICAL HOOD ZONE ANALYSIS 19-088.
7. THE PROPOSED SCOPE OF WORK PROPOSED BY THIS ASR DOES NOT IMPACT A "TRIMMABLE TREE CONSERVATION AREA".

FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (N/PA 13 SPINKER SYSTEM REQUIRED).
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400 AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (N/C 1-001-0.3).
3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORAGE CONNECTION.
4. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCBC, SECTION 307.3.

SOLID WASTE INSPECTION STATEMENT

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. TWO (2) 44 GALLON TRASH CANS WILL BE LOCATED PER PARCEL (HOOD ON EACH HOOD, THREE (3) WHEELIE BINS PER PARCEL) MANAGED BY THE WASTE MANAGEMENT AUTHORITY (WMA) AND BEING COLLECTED BY THE WMA. ALL WASTE SHALL BE COLLECTED BY A PRIVATE CONTRACTOR. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

CONTACT LIST:

Civil Engineer: Ron Casali, PE
Developer: Alex Dillon
Project Manager: Will R. Baking & Realty Co.
137 S Wilmington Street, Suite 200
Raleigh, NC 27601
919-333-2920
will@withersraven.com



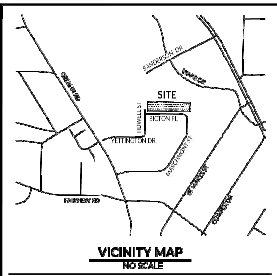
PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

Prepared by: WithersRaven
137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | (919) 468-3360 | www.withersraven.com

DEVELOPER:
WILLIAMS REALTY &
BUILDING CO., INC.

3111 GLENWOOD AVE.
RALEIGH, NC 27612
PHONE #: 336-337-4481
ATTENTION: ALEX DILLON

ADMINISTRATIVE SITE REVIEW
BUDLEIGH EAST FLATS II
ASR-0004-2024
WP PROJECT NO. 0217043736
H/UN PROJ NO. ASR-0004-2024
DATE: 11/15/2024



VICINITY MAP
NO SCALE

MISCELLANEOUS/PRELIMINARY CERTIFICATE

THIS PLAT OR MAP DOES NOT REQUIRE PRELIMINARY APPROVAL AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

PLANNING AND DEVELOPMENT OFFICER/WAKE COUNTY REVIEW OFFICER

CITY LIMITS CERTIFICATION
THIS PLAT IS NOT TO BE RECORDED AFTER CITY OF WAKE COUNTY HAS REVIEWED THIS PLAT AND IS OUT OF THE CITY LIMITS.

WAKE COUNTY SCARD
S-1 RELOCATION
DB 879, PG 345
BM 2022, PG 346
P/N 1705-20-3742

EXISTING 12' CITY OF WAKE COUNTY SANITARY SEWER EASEMENT
DB 18905 PG 1740

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EXISTING 12' CITY OF WAKE COUNTY SANITARY SEWER EASEMENT
DB 18905 PG 1740

- SURVEY NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BEARS OF BEARINGS: NAD 83(2011).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD REVEAL.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 1705170400K, PANEL 1704 AND NO. 1722170202K, PANEL 1706, EFFECTIVE DATE JULY 19, 2022.
 - THE PURPOSE OF THIS PLAT IS TO RECOMBINE AND REALLOCATE IMPERVIOUS AREAS OF LOTS 16 AND 30 AND ESTABLISH RETAINING WALL EASEMENT.

PROPERTY OWNERS CERTIFICATE
THE GRANTEE AND GRANTEE(S) BY THE UNDERSIGNED IS/ARE THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THIS MAP OR PLAT AND ANY ACCOMPANYING SHEETS WHICH HAVE ACQUIRED THE PROPERTY IN FEE SIMPLE DEEDS RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS/HAVE THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE.

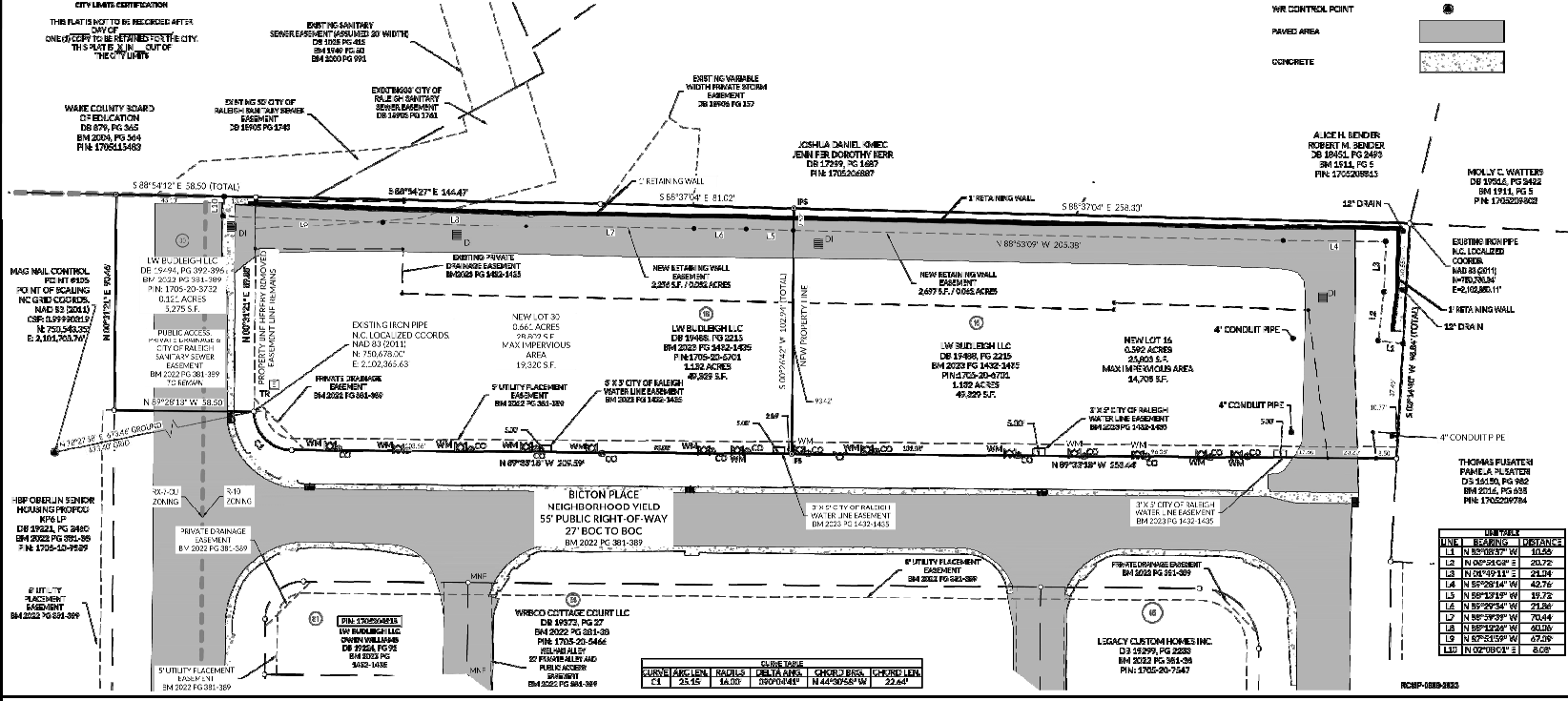
BOOK NO. 18481 PG 1538-1537-33
PAGE NO. 2815 LOT NO. 28-364-0700
SIGNATURE & TITLE POSITION OF PROPERTY OWNER: W. J. WILSON, NC 28400-1302
OWNER DATA: LOT 16 & 30, W. BUDLEIGH LLC, 115 MACKEIN DRIVE, WASHINGTON, NC 28400-1302

NOTARY STATEMENT
STATE OF NORTH CAROLINA
COUNTY OF _____

I, _____, (NAME THE FOLLOWING NOTARY PUBLIC PERSONALLY APPEARED BEFORE ME THIS DAY, BEING ADOPTED, SIGNING TO ME THAT HE OR SHE VOLUNTARILY SIGNED THE FOREGOING DOCUMENT FOR THE PURPOSES SET FORTH HEREIN AND IN THE CAPACITY INDICATED.)
DATE: _____, 2022
PRINTED NAME: _____, NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

LEGEND (UNLESS OTHERWISE NOTED)

ADJOINER	---
BOUNDARY	---
BUILDING	---
CONCRETE	---
EASEMENT	---
PAVEMENT	---
RETAINING WALL	---
RIGHT OF WAY	---
ZONING	---
CALCULATED POINT	---
CATCH BASIN	---
CLEANOUT	---
DROP INLET	---
EDGE OF PAVEMENT	---
FIRE HYDRANT	---
IRON PIPE SET	---
LOT NUMBER	---
MAGNETIC NAIL FOUND	---
REBAR FOUND	---
RIGHT OF WAY	---
TRANSFORMER	---
WATER METER	---
WATER CONTROL POINT	---
PAVED AREA	---
CONCRETE	---



SURVEYOR'S CERTIFICATE

I, _____, (NAME SURVEYOR) A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA, HAVE PERSONALLY CONDUCTED THIS SURVEY AND HAVE THEREBY CAUSED THIS PLAT TO BE PREPARED IN ACCORDANCE WITH G.S. 1705-20-3742 AS AMENDED, WITHIN MY CERTIFICATED JURISDICTION, UNDER MY SUPERVISION AND SEAL.

I ALSO CERTIFY THAT THE NUMBER OF SQUARE FEET, SUCH AS THE RECOMBINATION OF DIMENSIONS, OR OTHER DIMENSION ON THIS PLAT IS THE RESULT OF A MATHEMATICAL CALCULATION BASED ON THE DATA PROVIDED TO ME BY THE GRANTEE OR GRANTEE(S) AND IS NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE DATA PROVIDED TO ME BY THE GRANTEE OR GRANTEE(S).

THIS PLAT WAS PREPARED BY _____, A PROFESSIONAL SURVEYOR LICENSE NUMBER 1-1244.

PRELIMINARY PLAT NOT FOR CONVEYANCE, RECORDATION, OR SALES

WAKE COUNTY PROFESSIONAL SURVEYORS ASSOCIATION
WAKE COUNTY PROFESSIONAL SURVEYORS ASSOCIATION
WAKE COUNTY PROFESSIONAL SURVEYORS ASSOCIATION
WAKE COUNTY PROFESSIONAL SURVEYORS ASSOCIATION

RECOMBINATION, RETAINING WALL EASEMENT AND IMPERVIOUS REALLOCATION PLAT BUDLEIGH EAST, LOTS 16 & 30

PROPERTY OF LW BUDLEIGH LLC
RALEIGH TOWNSHIP | WAKE COUNTY | NORTH CAROLINA
P/N 1705-20-3732, 1705-20-1435
ZONING: R-10, RX-5-CU

WR JOB NO: 2412
DATE: 11/14/2022
DRAWN BY: PMA
CHECK & CLOSE BY: MCM

02170492.00
11/14/2022
PMA
MCM

SCALE: 1" = 30'
SHEET: 1 OF 1

WithersRavenel
115 MacKein Drive | Cary, NC 27511
License #: F-1477 | t: 919-469-2540 | www.withersravenel.com

WithersRavenel
LICENSE # F-1477 | t: 919-469-2540 | www.withersravenel.com

WILLIAMS REALTY & BUILDING CO., INC.
RALEIGH, NC 27603

BUDLEIGH EAST FLATS II
ASR-0004-2024

ADMINISTRATIVE REVIEW
2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

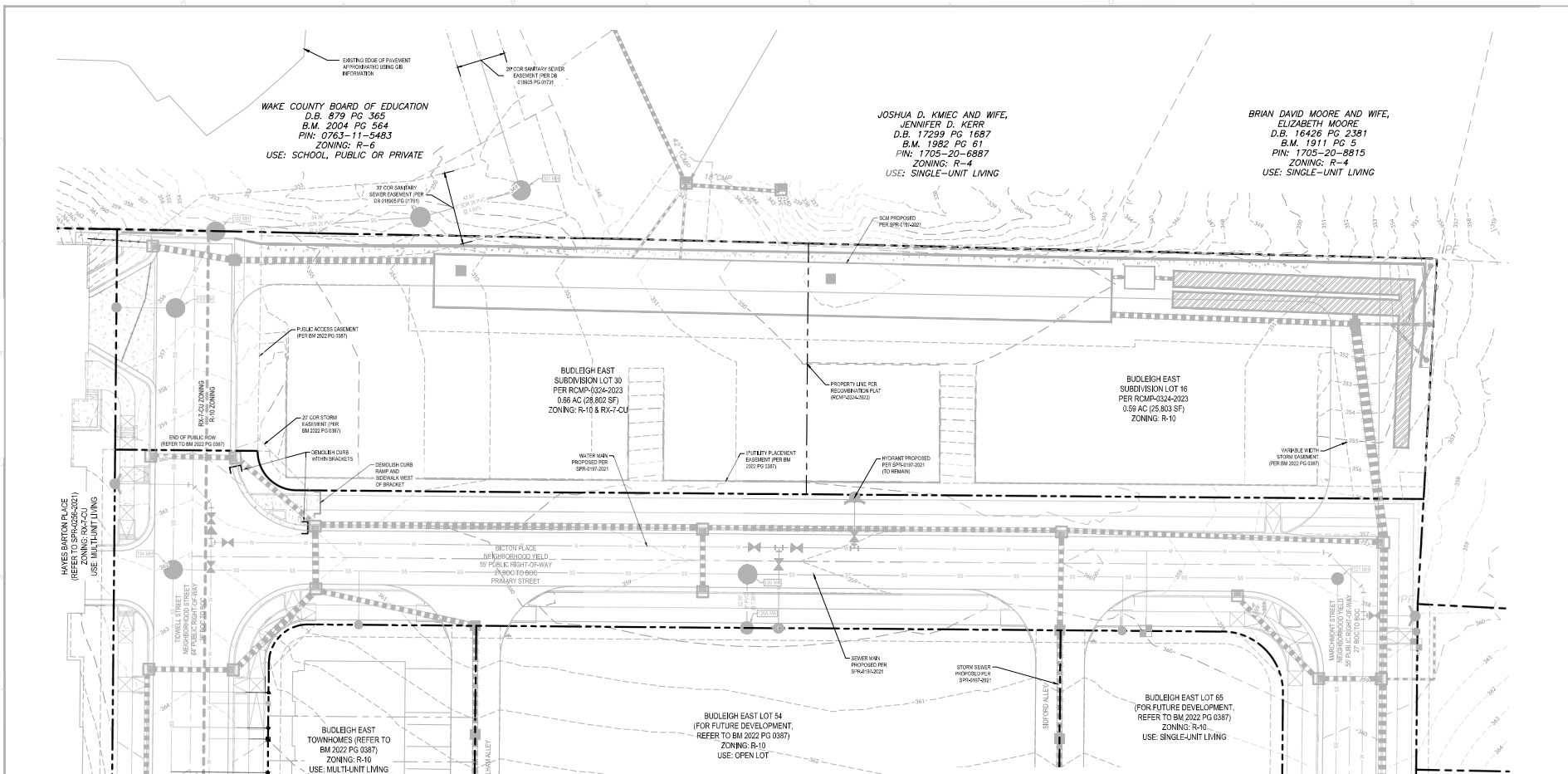
PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

INITIAL PLAN DATE: 1/15/2024
REVISIONS:

WR JOB NUMBER: 2412
DATE: 11/14/2022
DRAWN BY: PMA
CHECK BY: MCM

PRELIMINARY PLAT

C0.02



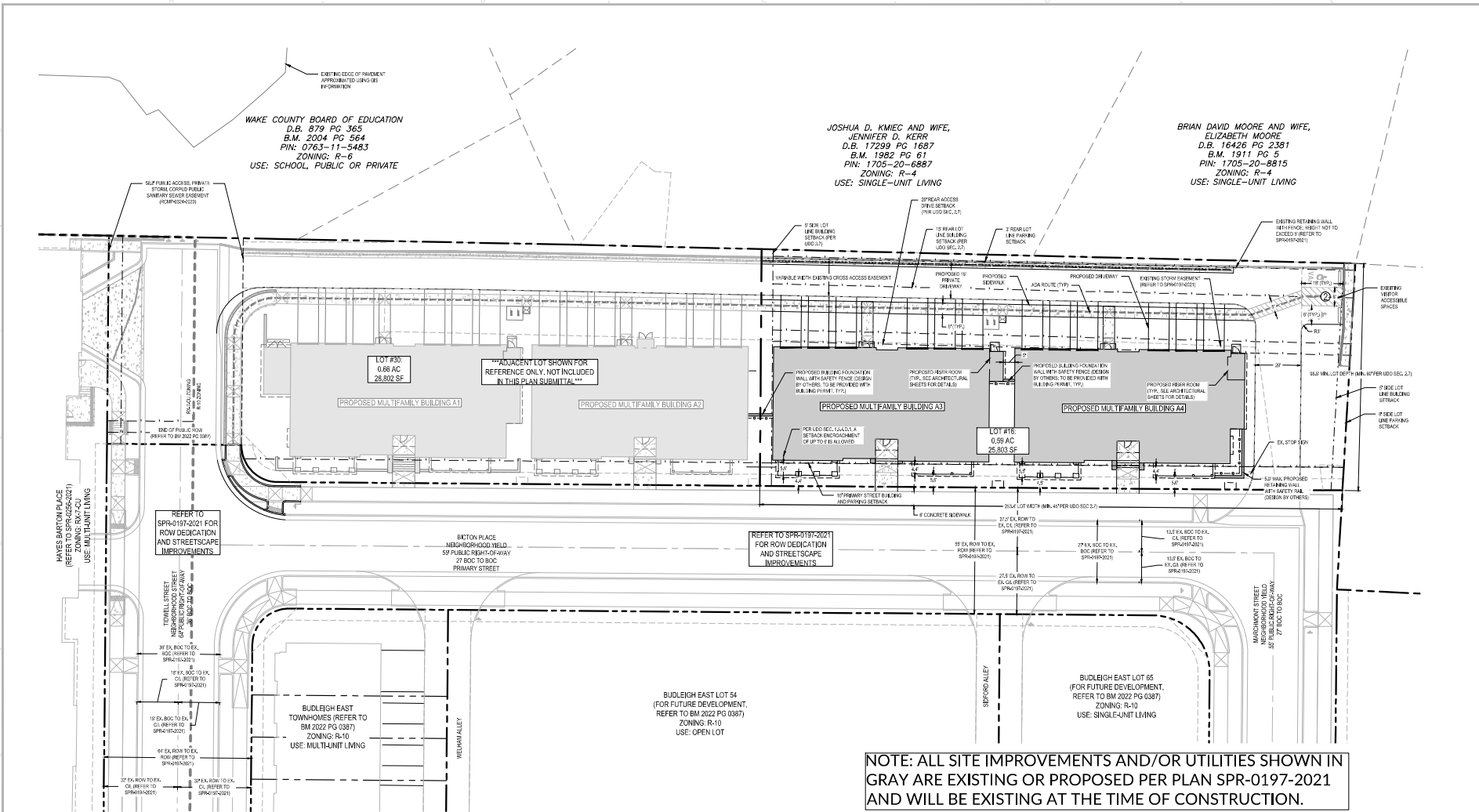
NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

EXISTING CONDITIONS AND DEMOLITION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITIONS AS OF START OF WORK.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAD) 2019 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESSEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT, TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	XXX AREAS TO BE REMOVED
	FENCE TO BE REMOVED
	STORM PIPE TO BE REMOVED
	WETLANDS TO BE IMPACTED
	TREE TO BE REMOVED



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCSDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANED PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. ALL SURVEY INFORMATION PROVIDED TO WITHERS RAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERS RAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE RIGHT OF WAY SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 3 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN VEHICLE OR PEDESTRIAN OBSTRUCTION BUT ARE NOT LIMITED TO ANY FORM OF CURB, FENCE, WALL, SIGN, OR PARKED VEHICLE.
9. UNLESS NOTED, ACCESS ROUTES FOR EMERGENCY VEHICLES SHALL PROVIDE AN INBIDE TURNING RADIUS OF 20' MINIMUM.

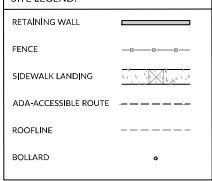
10. TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND OR COLOR OF THE PRINCIPAL BUILDING.
11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DEVIANCES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NCDOT AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
13. HANDICAP PARKING SPACES AND VAN ACCESSIBLES SHALL BE NO GREATER THAN TWO PERCENT (2%) IN EACH WAY (IN BOTH DIRECTIONS) AS PER ADA STANDARDS.
14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
15. ALL RETAINING WALLS GREATER THAN 20" IN HEIGHT TO INCLUDE SAFETY WALL OR FENCE, NO STAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
16. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR CONCRETE AND 20 FEET FOR ASPHALT DRIVEWAYS. NO DRIVEWAYS SHALL ENDOCH ON THE MINIMUM CORNER CLEARANCE.
17. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVIDE FINISHES AND SLOPING SPECIFICATIONS.
18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSISTANDARDS.
19. ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE POSTS, ELECTRICAL TRANSFORMERS, STREET LIGHT POLES, ETC SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY CHALLENGES. PEDESTRIAN CROSSING ROUTES AND ALL OTHER PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVWAGL 2010

21. IF UNDETERMINED CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER CLARIFICATION.
22. PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATIONS OF THIS PROJECT DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTOR AT 919.949.2000 TO SET UP THE MEETING.
23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTED (MOST CURRENT) EDITION.
25. ANY TOWNSHIP STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV.
26. ALL HANDICAP STAIRS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
27. ALL WALLS WITH HEIGHTS IN EXCESS OF 20" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
28. ALL HANDICAP RAMP AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
29. PRECLOSD WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

SITE CALCULATIONS:

TOTAL UNITS: 32 (ALL 2 BEDROOMS)	
MAXIMUM PARKING CALCULATIONS	
MAXIMUM:	MULTIFAMILY LIVING 2 BEDROOMS (PER UDO SEC. 7.1.2.C)
	2.25 SPACES PER UNIT
	12 UNITS X 2.25 SPACES PER UNIT = 27 SPACES
PROVIDED:	26 SPACES (24 GARAGE SPACES (2 PER UNIT) & 2 SURFACE SPACES)
	1 ADA ACCESSIBLE SPACE (BOTH SURFACE SPACES)
MINIMUM BI-CYCLE PARKING CALCULATIONS	
REQUIRED (LONG TERM):	MULTIFAMILY LIVING 2 BEDROOMS (PER UDO SEC. 7.1.2.C)
	1 SPACE PER 7 BEDROOMS
	12 BEDROOMS X 1 SPACE PER UNIT = 2 SPACES
PROVIDED (LONG TERM):	2 SPACES (2 PER UNIT TO GARAGE, 0 PER UNIT TO SHEET 1)
REQUIRED (SHORT TERM):	MULTIFAMILY LIVING 2 BEDROOMS (PER UDO SEC. 7.1.2.C)
	1 SPACE PER 20 UNITS, THEN 4
	12 UNITS X 1 SPACE PER 20 UNITS + 1 SPACE, USE 4 SPACES
MINIMUM LOT AREA CALCULATIONS (LOT 30 ONLY)	
REQUIRED:	300 SF (UD) (PER UDO SEC. 7.1)
PROVIDED:	TOTAL DWELLING UNITS: 12 UNITS LOT AREA: 25,803 SF (0.59 AC) LOT AREA PER UNIT: 2,150 SF (UD)

SITE LEGEND:

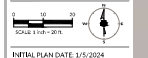


WithersRavenel
ARCHITECTS
1000 W. GOLF COURSE RD., SUITE 100
LITTLE ROCK, AR 72114
PH: (501) 225-4600
WWW.WITHERSRAVENEL.COM

WILLIAMS REALTY & BUILDING CO., INC.
1000 W. GOLF COURSE RD., SUITE 100
LITTLE ROCK, AR 72114
PH: (501) 225-4600

BUDLEIGH EAST FLATS II
ADMINISTRATIVE SITE REVIEW
ASR-0004-2024
2504 BICKTON PLACE | RALEIGH, NC 27608 | WAKE CO.

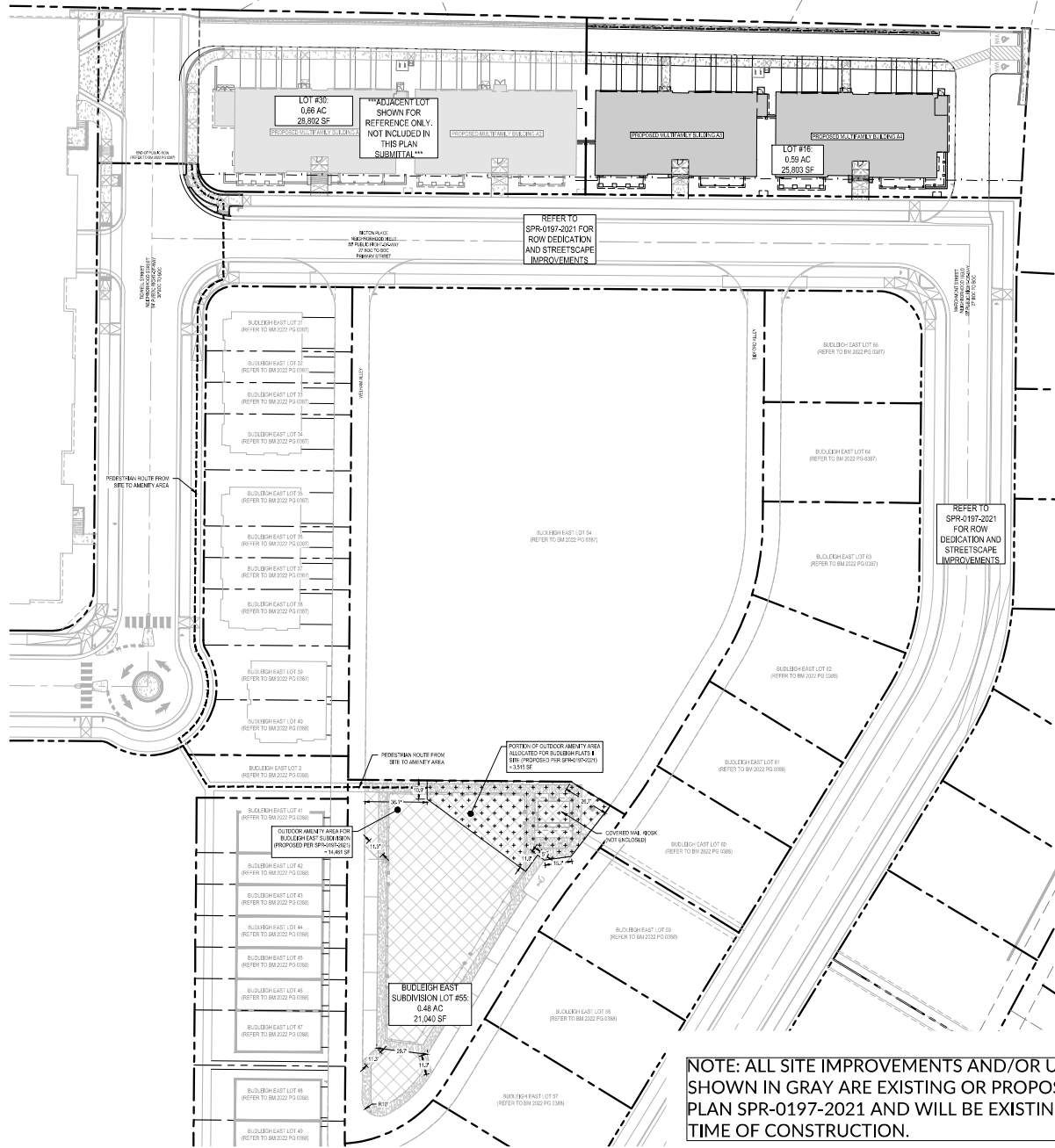
PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



INITIAL PLAN DATE: 1/5/2024
REVISED:

WR JOB NUMBER: 0012047/06
DATE: 01/05/24
DRAWN BY: CND/VRL

SITE PLAN
C2.00



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

- AMENITY AREA NOTES:**
1. THE AMENITY AREA FOR THIS SITE IS PROVIDED ENTIRELY ON BUDLEIGH EAST SUBDIVISION LOT 55. WHICH IS SHOWN HEREIN. REFER TO APPROVED SPR-0197-2021 FOR THE OVERALL BUDLEIGH EAST SUBDIVISION PLAN.
 2. A CALCULATION BREAKDOWN OF AMENITY AREA PROVIDED WITH SPR-0197-2021. BELOW THE SHEET SIZE. "BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN".
 3. A UDC COMPLIANCE TABLE FOR PROVIDED AMENITY AREA HAS BEEN PROVIDED ON THIS SHEET (SEE "BUDLEIGH EAST FLATS II AMENITY AREA COMPLIANCE TABLE").
 4. A SHARED AGREEMENT FOR THE BUDLEIGH EAST FLATS II NEW LOT 16 AND BUDLEIGH EAST SUBDIVISION LOT 55 WILL BE PROVIDED PRIOR TO THE CONSTRUCTION WITH THE RECOMMENDATION PLAN.

AMENITY AREA CALCULATIONS:

LOT 55: NEW LOT 16: 25,803 SF @ 9.42%
 NO OUTDOOR AMENITY AREA IS REQUIRED FOR OPEN LOT. THEREFORE LOTS 55 IS NOT INCLUDED IN THIS CALCULATION.

AMENITY AREA REQUIRED FOR BUDLEIGH EAST FLATS II (MINIMUM):
 10% OF INTL AREA PER REC. 2.1.1(B)
 10% x 2,520,387 SF = 2,520,387 SQ. FT.

AMENITY AREA PROVIDED WITH BUDLEIGH EAST SUBDIVISION:
 (SUB-2022-0003 & SPR-197-2021)
 2,520,387 SQ. FT.

AMENITY AREA PROVIDED FOR BUDLEIGH EAST FLATS II:
 2,520,387 SQ. FT.

NOTE: REFER TO THE AMENITY AREA CALCULATION TABLE BELOW, WHICH SHOWS A BREAKDOWN OF THE PROVIDED AMENITY AREA FOR THE BUDLEIGH EAST SUBDIVISION PLAN (SPR-0197-2021). SEE THE ROW HIGH RIGHTED IN GREEN FOR THE TOTAL REQUIRED AND PROVIDED AMENITY AREA FOR THE BUDLEIGH EAST FLATS II AND 16.

BUDLEIGH EAST SUBDIVISION AMENITY AREA CALCULATION BREAKDOWN

NOTE: THIS TABLE IS A SUMMARY OF THE AMENITY AREA PROVIDED WITH THIS PLAN AND THE AMENITY AREA REQUIRED FOR THE BUDLEIGH EAST FLATS II AND 16. THE AMENITY AREA PROVIDED WITH THIS PLAN IS 2,520,387 SQ. FT. AND THE AMENITY AREA REQUIRED FOR THE BUDLEIGH EAST FLATS II AND 16 IS 2,520,387 SQ. FT.

LOT NUMBER	INTL AREA (SQ. FT.)	REQUIRED AMENITY AREA (SQ. FT.)	PROVIDED AMENITY AREA (SQ. FT.)
16	25,803	2,426	2,426
17	2,726	273	273
18	2,726	273	273
19	1,739	174	174
20	1,739	174	174
21	1,739	174	174
22	1,739	174	174
23	1,739	174	174
24	1,739	174	174
25	1,739	174	174
26	1,739	174	174
27	1,739	174	174
28	1,739	174	174
29	1,739	174	174
30	1,739	174	174
31	1,739	174	174
32	1,739	174	174
33	1,739	174	174
34	1,739	174	174
35	1,739	174	174
36	1,739	174	174
37	1,739	174	174
38	1,739	174	174
39	1,739	174	174
40	1,739	174	174
41	1,739	174	174
42	1,739	174	174
43	1,739	174	174
44	1,739	174	174
45	1,739	174	174
46	1,739	174	174
47	1,739	174	174
48	1,739	174	174
49	1,739	174	174
50	1,739	174	174
51	1,739	174	174
52	1,739	174	174
53	1,739	174	174
54	1,739	174	174
55	25,803	2,426	2,426
TOTAL	2,520,387	2,520,387	2,520,387

BUDLEIGH EAST FLATS II AMENITY AREA COMPLIANCE TABLE

UDC SECTION 1.5.4 - (ORDINANCE) TABLE

UDC SECTION	Requirement	Compliance
1.5.4.1	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.2	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.3	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.4	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.5	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.6	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.7	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.8	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.9	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.10	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.11	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.12	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.13	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.14	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.15	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.16	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.17	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.18	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.19	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.20	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.21	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.22	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.23	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.24	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.25	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.26	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.27	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.28	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.29	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met
1.5.4.30	Minimum amenity area per lot shall be 10% of the total area of the lot, but not less than 100 square feet.	Met

AMENITY AREA LEGEND:

- AMENITY AREA PROPOSED PER SPR-0197-2021
- PORTION OF AMENITY AREA ALLOCATED FOR BUDLEIGH FLATS II SITE



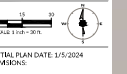
WILLIAMS REALTY & BUILDING CO., INC.
 REALTOR
 LICENSE # FC-4479 | TEL: 919-469-2300 | WWW.WITHERSRAVENEL.COM

BUDLEIGH EAST FLATS II ASR-0004-2024

ADMINISTRATIVE SITE REVIEW

2504 BICTON PLACE | RALEIGH, NC 27608 | WAKE CO.

PRELIMINARY NOT APPROVED FOR CONSTRUCTION



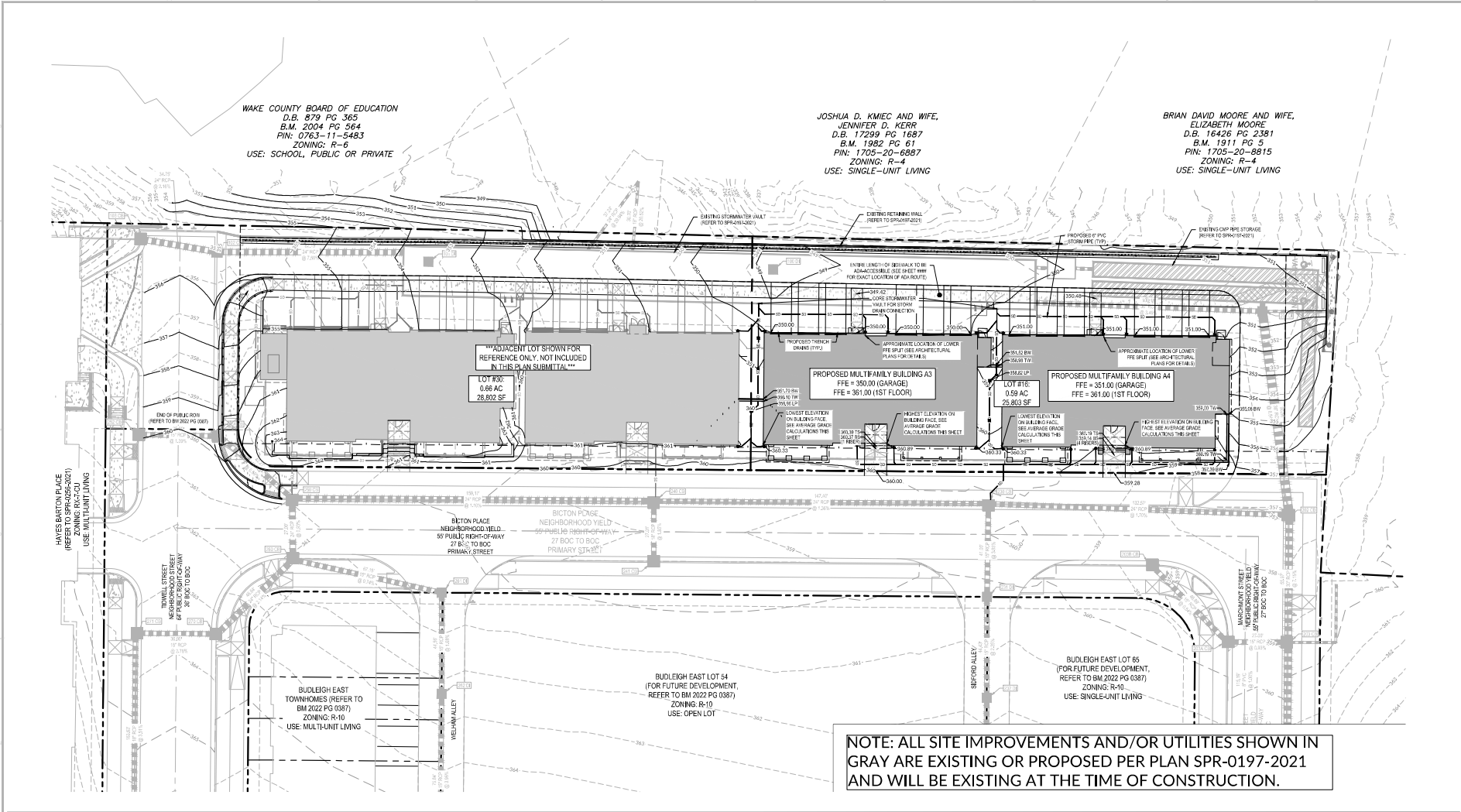
INITIAL PLAN DATE: 1/5/2024
 BY: [Signature]

WR JOB NUMBER: 02120477.AS
 DRAWING NO.: 1000.WR - CND.WR

OUTDOOR AMENITY AREA

C2.10

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WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 364
 P.I.N. 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KWIEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 P.I.N. 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 P.I.N. 1705-20-8815
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

ADJACENT LOT SHOWN FOR REFERENCE ONLY. NOT INCLUDED IN THIS PLAN SUBMITTAL
 LOT #80:
 0.66 AC
 26,802 SF

PROPOSED MULTIFAMILY BUILDING A3
 FFE = 350.00 (GARAGE)
 FFE = 361.00 (1ST FLOOR)

LOT #16:
 0.59 AC
 25,803 SF

PROPOSED MULTIFAMILY BUILDING A4
 FFE = 351.00 (GARAGE)
 FFE = 361.00 (1ST FLOOR)

BUDLEIGH EAST LOT 54
 (FOR FUTURE DEVELOPMENT)
 REFER TO BM 2022 PG 0387
 ZONING: R-10
 USE: OPEN LOT

BUDLEIGH EAST LOT 65
 (FOR FUTURE DEVELOPMENT)
 REFER TO BM 2022 PG 0387
 ZONING: R-10
 USE: SINGLE-UNIT LIVING

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A REASONABLE AMOUNT OF TIME TO MINIMIZE DISRUPTION TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADVISE TO THE PROVIDER OR THE MUTED HOST CURRENT OPERATIONS AND ALL CONDITIONS OF THE APPROVED DRAINAGE PERMIT AND OR ENCROACHMENT AGREEMENT.
3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT - TRANSPORTATION OPERATIONS DIVISION AT 919-966-2000 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES AT LEAST 7 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CLOSURE PERMIT.
5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

STORM DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS (SS-4).
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
3. ALL STORM DRAINAGE PIPES SHALL HAVE A MINIMUM COVER OF 3 FEET TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 3 FEET TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
5. MAINTAIN 12" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY PIPE MATERIALS & A CONCRETE CRADLE HAVING 4" MIN. CLEARANCE PER COR PLD DETAILS 94-1.5-49.
6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C75. TABLE OF TABLE 6. JOINTS SHALL BE SEALED WITH A FLUOROCARBON PUTTY FILLING. MINIMUM SPECIFICATIONS SS-4-400(7). SUCH AS RAMMERS OR BUTYL RUBBER SEALANT.

AVERAGE GRADE CALCULATION

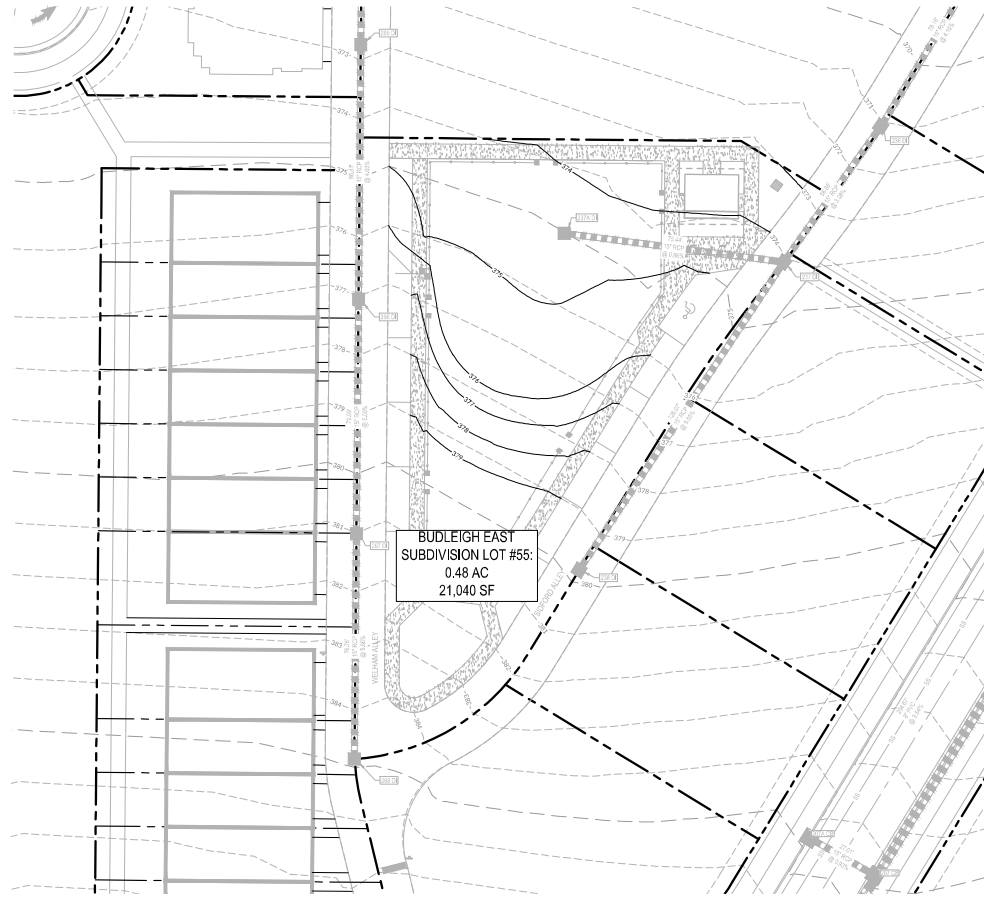
ALONG BICKTON PLACE:
 • LOWEST ELEVATION = 360.33
 • HIGHEST ELEVATION = 360.89
 (360.33 + 360.89) / 2 = 360.61

BUILDING A4:
 • LOWEST ELEVATION = 360.33
 • HIGHEST ELEVATION = 360.89
 (360.33 + 360.89) / 2 = 360.61

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED RETAINING WALL
	EXISTING CATCH BASIN
	EXISTING STORM DRAIN INLET WITH GRATE
	EXISTING STORM JUNCTION BOX
	PROPOSED AREA DRAIN
	PROPOSED STORM CLEAN-OUT
	PROPOSED STORM PIPE

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF DISRUPTION TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL COMPONENTS OF THE APPROVED DRIVEWAY PERMIT AND OR ENCROACHMENT AGREEMENT.
3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-6PM AND SUNDAYS MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LINK CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT. (TRANSPORTATION OPERATIONS) DIVISION AT 919-245-2495 FOR LINK CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES. AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LINK CLOSURES, CONTACT PERSON AND FAX NUMBER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTOR DEPARTMENT AT 919-245-2495 TO OBTAIN A STREET CUT PERMIT.
5. PRIOR TO CONSTRUCTION BEGINNING, ALL ROADWAY AND TRAFFIC CONTROL SHALL BE IN PLACE.

6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY POINT, LAND CLOSURE WILL BE REQUIRED FOR THE WIDTH OF THE ROAD. THE MUTCD STANDARD DRAWINGS 1101.02 (SHEET 1) 1101.04 & 1101.11.
9. ALL WALLS WITH HEIGHTS IN EXCESS OF 30" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
10. ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.

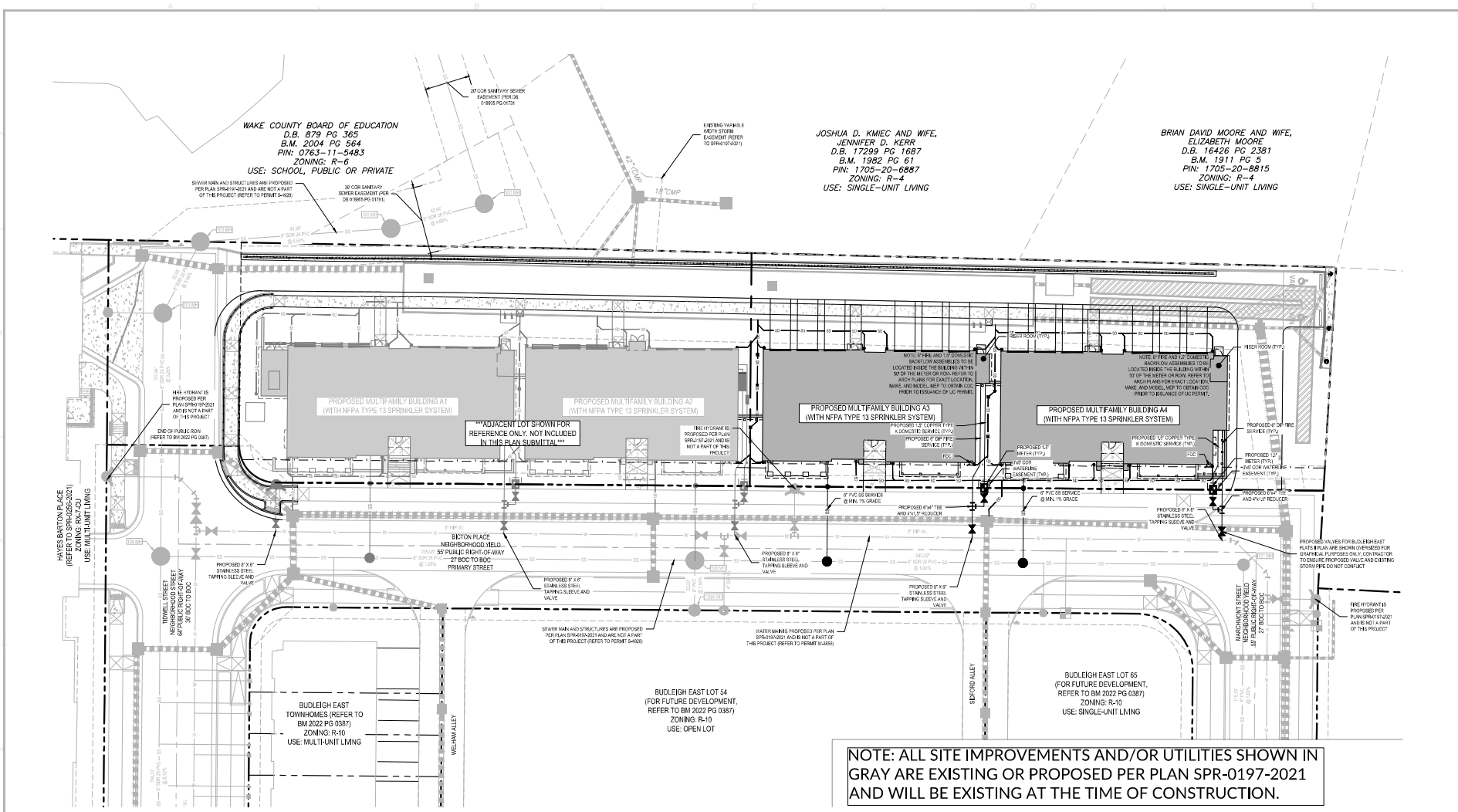
STORM DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN HIGH TRAFFIC AREAS.
4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN RESIDENTIAL AREAS.
5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY TOP PART TABLE 6.8 CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER COR PLUG DETAILS TABLE 6.9-49.
6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO STRUCTURE TABLE 8.09 TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC GRAFT PUTTY MEETING FEDERAL SPECIFICATIONS SS-4-02010. SUCH AS RAIN-LOC OR BUTYL RUBBER SEALANT.

8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHARP INVERT CONSTRUCTED FROM CONCRETE AND A BENCH WITH A MAXIMUM 1:1 SLOPE. THE BENCH SHALL BE LOCATED AT A MINIMUM OF ONE HALF THE PIPE DIAMETER OR 12 TO 24 INCHES, ON EACH SIDE OF THE PIPE DIAMETER FOR 30" AND 36" INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 36" INCHES.
10. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. A PAVED OR GRAVELLED STONE BARRIER SHALL BE INSTALLED BETWEEN THE DISSIPATION PAD AND THE NATURAL GROUND.
11. ALL STORM DRAINAGE EXHOSMENTS SHALL BE "PRECAST" UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT 919-245-2495 TO SCHEDULE CONSTRUCTION INSPECTIONS.
13. STORM HORN BENCH LOCATION AND BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
14. CONTRACTOR TO RESET THE TOP OF EXISTING STORM STRUCTURES AS NECESSARY TO MEET PROPOSED GRADES. CONTRACTOR TO MINIMIZE IMPACT TO EXISTING STRUCTURES AND ENSURE THEY REMAIN OPERABLE DURING CONSTRUCTION.

GRADING AND STORM LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED RETAINING WALL
---	EXISTING CATCH BASIN
---	EXISTING STORM DRAIN INLET WITH GRATE
---	EXISTING STORM JUNCTION BOX
---	EXISTING STORM PIPE
---	PROPOSED AREA DRAIN
---	PROPOSED STORM CLEANOUT
---	PROPOSED STORM PIPE



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

UTILITIES NOTES:

- MANHOLES TO BE CORE DRILLED AND BOOTED AT ALL PRIVATE SOWER SOURCE CONNECTIONS
- FOG APPROVAL IS REQUIRED PRIOR TO ISSUANCE OF UC PERMIT

COR APPENDIX STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF PALMER'S DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE COMPARE HANDBOOK, CURRENT EDITION
- UTILITY SEPARATION REQUIREMENTS
 - IF A RECORD OF TOP SOIL IS IDENTIFIED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN BURIED RESERVOIR USED AS A SOURCE OF DRINKING WATER BY RESIDENTS, OTHER STRUCTURE, CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER TIE SHALL BE INSTALLED & BENT TO WATER MAIN STREET OR PUBLIC WALKWAY. THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 30' FROM A PUBLIC WELL.
 - WHEN NOT IDENTIFIED BY RECORD DRAWING, THE ADEQUATE SEPARATION UTILITIES SHALL BE VERIFIED BY THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE SEPARATION SHALL BE MAINTAINED BY SEPARATE TRENCH INTO THE SEPARATION OF A WATER MAIN AT LEAST 10' ABOVE THE TOP OF THE SEWER. THIS APPROVAL BY THE CITY OF PALMER IS REQUIRED. ALL UTILITIES ARE REQUIRED FROM CURBLINE DIMENSION TO CURBLINE DIMENSION. PROTECT BY CONCRETE OR METAL WATER MAIN OR SANITARY SEWER PASSES COVER WITH METAL OR WATER MAIN OR STEEL ENCLOSURE. PROTECT BY CONCRETE OR METAL WATER MAIN OR STEEL ENCLOSURE TO MAINTAIN SPECIFICATIONS.
 - IF A RECORD OF TOP SOIL IS IDENTIFIED BETWEEN SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER

- MINIMUM 12" VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS. MINIMUM 12" VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIAL MATERIALS & CONCRETE TRADE FINISHING SHALL BE REQUIRED. REFER TO DETAILS 11-11 & 11-14 & 11-15.
- ALL UTILITIES SHALL MAINTAIN CONTINUOUS WATER & SEWER FACILITIES WITH 12" VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY RECORDS ARE SUBJECT TO PUBLIC RECORDS OF AN AMERICAN PUBLIC RECORD BY THE CITY OF PALMER. ALL UTILITIES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE DESIGN ADVISORY WRITTEN NOTICES TO OWNER FOR ANY WORK REQUIRED FOR AN EXISTING CITY OF PALMER UTILITY FACILITY TRAVELING THROUGH PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER FACILITIES TO EXISTING RECORDS & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE RESPONSIBILITIES SHALL BE PRECEDED BY A 48-HOUR ADVANCE NOTICE TO THE CITY OF PALMER PUBLIC UTILITIES DEPARTMENT.
- STORM SEWER COVER BE REQUIRED SHALL WITH WALKWAY & SEWER FOREPASS, ALL WALKWAY COVER BE REQUIRED ON ALL ROAD MARKS.
- IF IN THE DEVELOPER'S RESPONSIBILITY TO ASSIGN OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING COVERED OR USE UNLESS OTHERWISE SPECIFIED BY THE CITY OF PALMER PUBLIC UTILITIES DEPARTMENT. THE INCLUDES ASSIGNING OF UTILITIES TO OWNER OR SERVICE FROM OWNER'S EASEMENT FROM CORPUS HANDBOOK PROCEDURES.

- INSTALL 1.5" CP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 20' INTERFERE SERVICE TRENCH. CONNECTIONS MADE BY THE PROPRIETARY RESPONSIBILITY TO PROPERTY. THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ASSAULT FROM A MINIMUM.
- INSTALL 1" PIG SEWER SERVICE @ 15% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE RESISTANT VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 8' FROM MAINLINE VALVES ARE REQUIRED TO BE 1/2" MINIMUM. SEWER SERVICES TRIVING BUILDING DRAINS LOWER THAN LOCATED THE NEXT UPSTREAM MANHOLE.
- ALL IMPROVEMENTS BENEFIT AVAILABLE TO THE PROJECT MUST BE OBTAINED FROM RECORDS, USACE, LOCAL FEMA FOR ANY FURNISH & INSTALL FOR FLOOR PLAN IMPACTS PROJECT MUST BE PROVIDED.
- ADDITIONAL FINISH ENCLOSURE AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INVOLVING MAIN TRENCHING & SERVICE TAPS WITHIN STAIR OR RAILROAD ROW PARK TO CONSTRUCTION.
- GRAB SAMPLES FOR ALL WATER SEPARATION DESIGN CALCULATIONS. INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE MFG TOOL PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A 10' LOG PERMIT. CONTACT 910-864-0000 FOR FOGS & RECORDS FOR MORE INFORMATION.
- CROSS-CORRELATION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DISCREPANCY OF RECORDS INVOLVED AS BEING APPLICABLE OF THE RULES GOVERNING PUBLIC WATER SYSTEMS. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY

- ENGINEERING ASSESS STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL. THE DEVICES SHALL BE INSTALLED AND TESTED BY FIELD AND PERSONNEL LISTED THROUGH THE PROJECT IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. THE LOCAL DISCREPANCY BETWEEN THE RECORDS. WHOEVER MORE STRINGENT A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE LOCAL DISCREPANCY CONTROL OR FOR EACH SERVICE PRIOR TO BURIAL OF A 10' LOG PERMIT. CONTACT 910-864-0000 FOR FOGS & RECORDS FOR MORE INFORMATION.
- NOTICE FOR PROJECTS ARE REQUIRED OR OVERSEEN BY THE CITY'S REQUIREMENT FOR AN OVERSEEN MAIN OR UNDER MAIN REPLACEMENT PROJECT IS ISSUED OR OTHERWISE, THE PROJECT MUST BE PROVIDED.

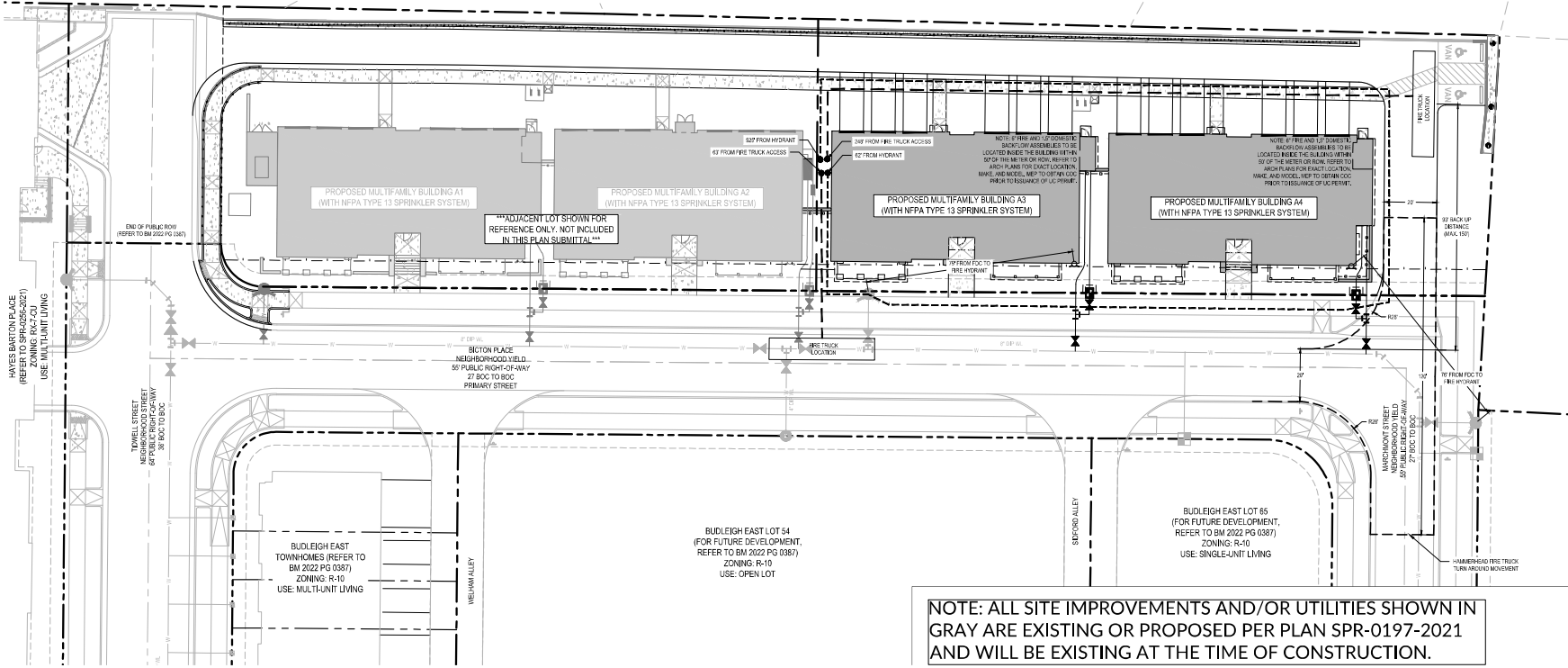
UTILITIES LEGEND:

SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE CONNECTION
	PROPOSED WATER LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE

WAKE COUNTY BOARD OF EDUCATION
 D.B. 879 PG 365
 B.M. 2004 PG 564
 PIN: 0763-11-5483
 ZONING: R-6
 USE: SCHOOL, PUBLIC OR PRIVATE

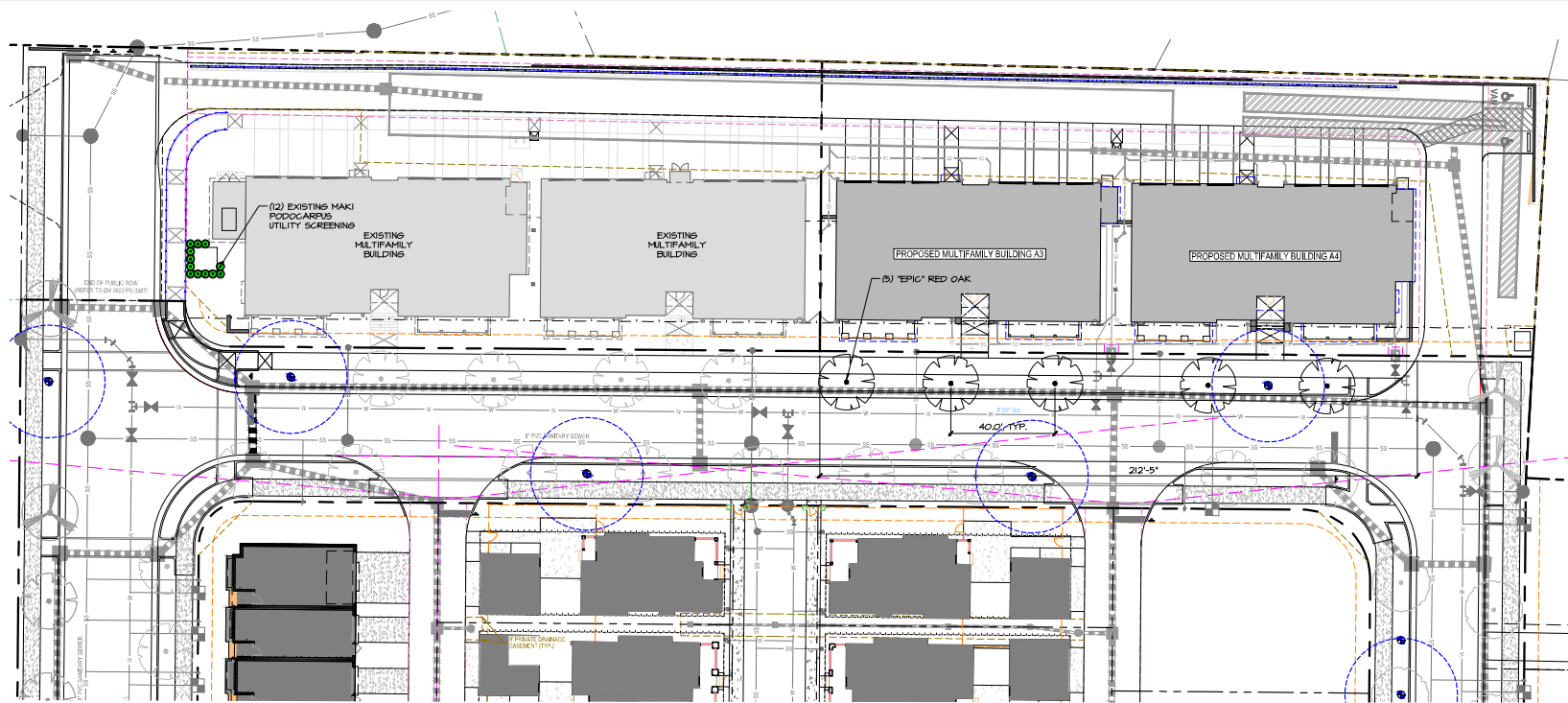
JOSHUA D. KMEC AND WIFE,
 JENNIFER D. KERR
 D.B. 17299 PG 1687
 B.M. 1982 PG 61
 PIN: 1705-20-6887
 ZONING: R-4
 USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
 ELIZABETH MOORE
 D.B. 16426 PG 2381
 B.M. 1911 PG 5
 PIN: 1705-20-8615
 ZONING: R-4
 USE: SINGLE-UNIT LIVING



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

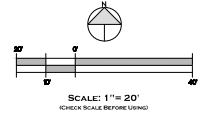
- FIRE NOTES:**
1. HEAVY DUTY PAVEMENT SHALL BE INSTALLED ALONG ENTIRETY OF FIRE ACCESS ROUTE
 2. HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, PER NCFCE 503.2.3.



STREET TREE CALCULATIONS
 BICTON PLACE, STREET TREES
 212.42 LF
 1 LARGE TREE @ 0 LF
 212.42 @ 0 = 0.31 TREE REQUIRED
 5 TREES PROVIDED
 INSTALL 3" CALIPER, 10' TALL

CODE REQUIRED PLANT SCHEDULE			
BOTANICAL NAME	COMMON NAME	NOTES	
TREES AND LARGE EVERGREENS			
SEMI-DWARF	REBERGAL	200' x 50'	ALL CODE COMPLIANT

NOTE:
 1. STREET TREES SHALL BE
 INSTALLED AND MAINTAINED
 IN ACCORDANCE WITH THE
 REQUIREMENTS OF CHAPTER
 2 OF THE CITY TREE MANUAL



SURVEYOR:
 WITHERS & RAVENEL
 115 W. FIFTH ST. W. CARR., NC 27511
 919.883.2344



BUDLEIGH EAST FLATS
 BICTON PLACE
 RALEIGH, NORTH CAROLINA

ISSUED FOR:
 SUBMITTAL
 ISSUED DATE:
 2/27/2024

REVISIONS:
 NO. ITEM DATE

DRAWN BY: RW/WAB
 CHECKED BY: FL
 SCALE: 1"=20'
 SHEET NUMBER:

L-1
 OF 2

PLANTING NOTES

1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of + or - 1/2" to ensure smooth transitions between planting beds and lawn areas.
6. Mulch - Install 2" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
9. Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
10. All trees located adjacent to walks and drives shall have 6" of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs and handicap, and a minimum of 8' from fire hydrants and other utilities, unless otherwise noted on plans.
12. All plants shall be installed as per generally accepted planting standards.
13. All dead and/or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
14. All plants are stakes shall be set plumb unless otherwise specified.
15. Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
16. Landscape Architect shall select and layout all perennial beds.
17. All planting bed edges to be smooth flowing areas, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 1/4 to 1/2 inches deep, and 1/2" angled. All excavated material shall be removed from the bed edge and planting bed.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be reseeded to their previous existing condition (including native grass areas, seedling grassed areas and for natural areas including minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

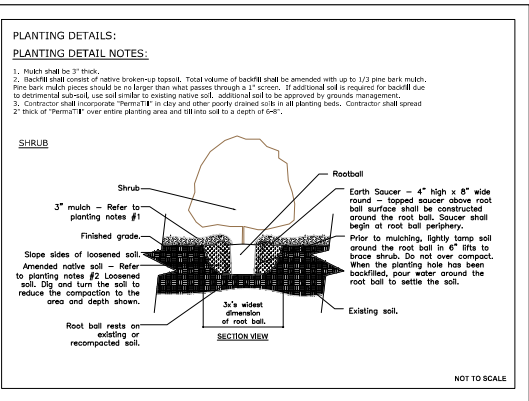
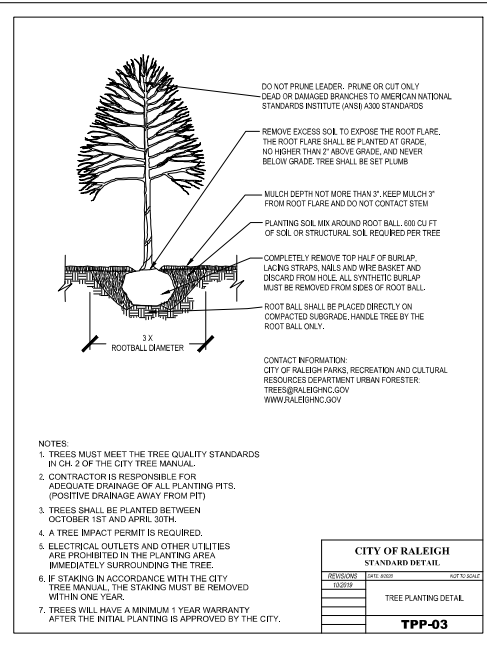
LANDSCAPE MAINTENANCE AGREEMENT

The Owner of the Property and the Agents, Here or Assignee shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owner shall be responsible for annual maintenance of the vegetation to include but not limited to:

1. Fertilization: Zoex Zoysia lawn: Fertilize lawn twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Triflury 419 Bermuda lawn: Fertilize lawn twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
1. Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilize shrubs/waterfalls.
1. Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2) Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be applied evenly over all plants (unless specifically noted otherwise). Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the planting "management", however, over-fertilization shall not be acceptable.
2. Pruning: Removal of dead or diseased wood, or removal of new branches for sight distance/safety reasons; the SIPC standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
3. Pest control: Pre-emergent weed control/soil treatments to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and diseases may be applied and shall be specific to the problem.
4. Mulching: Mulching shall be maintained at a depth of 2" - 3" in plant beds and lawn sections. As a minimum, mulch shall be supplied at least every year during the months of February and March.
5. Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Triflury 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
6. Plant protection: Avoid excess irrigation into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
7. Warning: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
8. Warranty: Remove/replace all dead and/or diseased plant material at each maintenance visit.

PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS

1. Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and appropriate nutrients uniform at the rate specified per soil pH testing results.
2. Site to be fine graded before permanent planting and seeding or sodding is installed.
3. Soil shall be loosened to a depth of 4-6 inches by disk, raking, rototilling or other acceptable means. Continue tillage until a well-aerated, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Check compacted areas and spread topsoil 3 inches deep over entire soil conditions.
4. Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate 1/2 to 3/5 soil amendment in all plant beds.
5. All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
6. Sod areas to be sodded with variable size rids that are not broken or stretched. Sod shall be installed within 24 hours of arrival at the site.
7. Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
8. Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be stacked.
9. Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
10. Inspect all sodded areas and make necessary repairs or reseed within the planting season, if possible. If grass stand should be over 80% bare/missing. Contractor shall consult with a construction inspector on the reseeded treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
11. Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
12. Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



SURVEYOR:
WITHERS & RAVENEL
115 W. GUYTON DRIVE, CARY, NC 27511
919.850.5244



BUDLEIGH EAST FLATS
BICTON PLACE
RALEIGH, NORTH CAROLINA

ISSUED FOR: SUBMITTAL

ISSUED DATE: 2/27/2024

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:
PLANTING PLAN DETAILS AND NOTES

DRAWN BY: RW/WAB

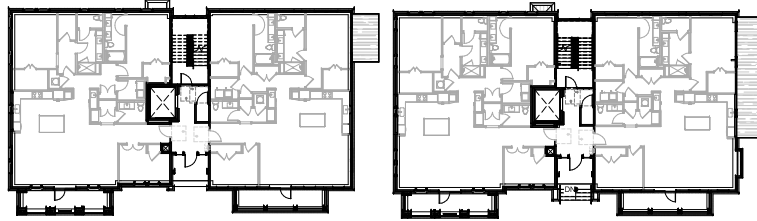
CHECKED BY: FL

SCALE: AS SHOWN

SHEET NUMBER:

BUILDING A3

BUILDING A4



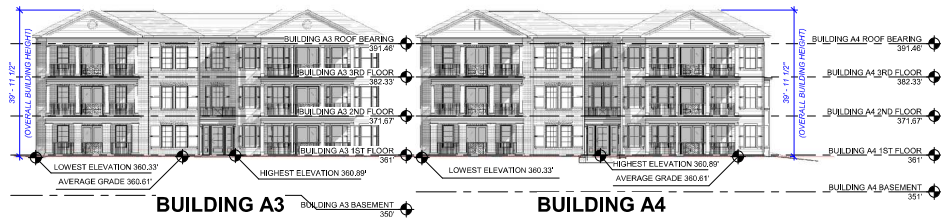
BUDLEIGH II-1ST FLOOR OVERALL 3

1/16" = 1'-0"



BUDLEIGH II-GARAGE PLAN OVERALL 2

1/16" = 1'-0"



BUDLEIGH II-ELEVATION OVERALL 1

1/16" = 1'-0"



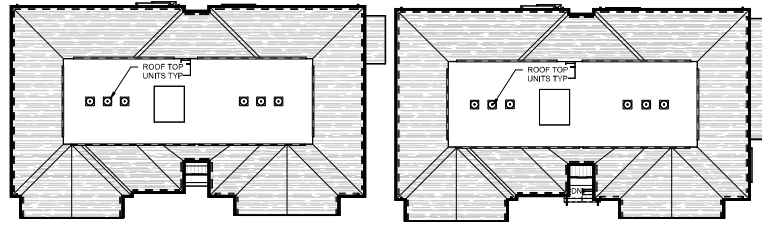
BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH II-BLDGS A3-A4 OVERALL ELEVATIONS & PLANS A3/A4-01

1/16" = 1'-0" | 023154 | 01.05.2024

BUILDING A3

BUILDING A4



BUDLEIGH II-ROOF PLAN OVERALL A3 & A4 3

1/16" = 1'-0"



BUDLEIGH II-3RD FLOOR OVERALL 2

1/16" = 1'-0"



BUDLEIGH II-2ND FLOOR OVERALL 1

1/16" = 1'-0"





BUILDING A3 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A3 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A3 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A3 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH II-BUILDING A3 ELEVATIONS A3/A4-03

1/8" = 1'-0" | 023154 | 01.05.2024



BUILDING A4 - EAST ELEVATION 4
1/8" = 1'-0"



BUILDING A4 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A4 - WEST ELEVATION 3
1/8" = 1'-0"



BUILDING A4 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUDLEIGH FLATS
RALEIGH, NC

ASR-BUDLEIGH II-BUILDING A4 ELEVATIONS A3/A4-04

1/8" = 1'-0" | 023154 | 01.05.2024