

5-19
Administrative Site Review Application
(for UDO Districts only)

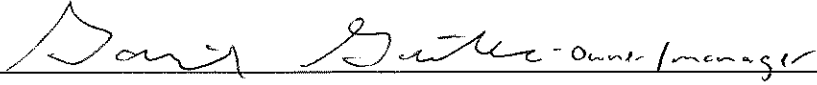


**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 583336 Assigned Project Coordinator Na Taho Assigned Team Leader Waters
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name 301 N. West Street		
Zoning District DX-12-SH	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Mixed Use		
Property Address(es) 301 N. West Street		Major Street Locator: N. West Street
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1704-40-9449	P.I.N.	P.I.N.
What is your project type?		
<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe:	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail
<input checked="" type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Change of use from industrial us to mixed use containing office and restaurant/bar.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/ OWNER	Company 303 N. West, LLC Name (s) Gabe Guillois Address PO Box 6309, Raleigh, NC 27628 Phone 919-656-4937 Email gguillois@atlasstark.com Fax	
CONSULTANT (Contact Person for Plans)	Company Crumpler Consulting Services, PLLC Name (s) Joshua Crumpler, PE Address 2308 Ridge Road, Raleigh, NC 27612 Phone 919-413-1704 Email josh@crumplerconsulting.com Fax	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) DX-12-SH	Proposed building use(s) Mixed Use
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 13,961
Overlay District	Proposed Building(s) sq. ft. gross 13,961
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 13,961
Off street parking: Required 10 Provided 0	Proposed height of building(s) 21'
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 21'
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.418 ac acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.418 ac acres/square feet	If Yes, please provide: Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>Joshua Crumpler</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u></u> Date <u>1/10/19</u></p> <p>Printed Name <u>Gabriel Guillot</u></p> <p>Signed _____ Date _____</p> <p>Printed Name _____</p>	

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Provide the following plan sheets:	<input type="checkbox"/>		<input checked="" type="checkbox"/>		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>

MIDTOWN RETAIL

601 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA, 27609

ADMINISTRATIVE SITE REVIEW

PROJECT NUMBER: RAM-18010
CITY OF RALEIGH CASE #: ASR-0005-2019
BOARD OF ADJUSTMENT VARIANCE #: A-150-19

DATE: JUNE 26, 2019

REVISED: AUGUST 28, 2019

REVISED: NOVEMBER 14, 2019

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN ENLARGEMENT
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	STORM DRAINAGE DETAILS
C8.04	SANITARY SEWER DETAILS
L5.00	LANDSCAPE PLAN
A-1	RETAIL/RESTAURANT BUILDING ELEVATION
A-200	BANK ELEVATIONS
A-201	BANK ELEVATIONS

SITE DATA

PARCELS	PIN 1715-23-0377, REAL ESTATE ID:0217337 PIN 1715-23-1396, REAL ESTATE ID:0338155
TOTAL SITE AREA	356,305 SF / 8.18 AC (INCLUDES LOT 1 & LOT 3)
TOTAL LOT AREA	LOT 3: 43,277 SF / 0.99 AC
EXISTING ZONING	CX-3-PL
PROPOSED ZONING	NO CHANGE
EXISTING USE	GENERAL BUILDINGS (55,433 GSF INDOOR RECREATION, 2,900 GSF RETAIL, 6,549 SF MULTI-TENANT RETAIL)
PROPOSED USE (LOT 3 ONLY)	GENERAL BUILDINGS BANK (2,400 SF), RESTAURANT (3,500 SF), RETAIL (1,600 SF)
BUILDING HEIGHT	MAXIMUM: 3 STORIES OR 50' PROPOSED: 20' (NEW LOT 3 ONLY)
BUILDING SETBACK	PRIMARY STREET: 5' REAR LOT LINE: 0' SIDE LOT LINE: 0'
PARKING SETBACK	PRIMARY STREET: 10' REAR LOT LINE: 0' SIDE LOT LINE: 0'
BUILDING USES + PARKING REQUIREMENTS	LOT 1: 55,433 GSF INDOOR RECREATION, 2,900 GSF RETAIL 6,549 GSF, EXISTING MULTI-TENANT RETAIL (NO CHANGE IN USE) REQUIRED: 217 SPACES (1 SPACE/300 GSF) EXISTING SPACES: 338 SPACES PROPOSED LOT 3: (3,500 SF RESTAURANT, 1,600 SF RETAIL, 2,400 SF BANK) TOTAL REQUIRED: 36 SPACES PROVIDED: 36 SPACES REQUIRED BUILDING (1): 6 SPACES (1 SPACE/400 GSF) REQUIRED RESTAURANT BUILDING (2): 24 SPACES (1 SPACE/150 GSF) REQUIRED RETAIL BUILDING (2): 6 SPACES (1 SPACE/300 GSF) REQUIRED FOR LOT 1 & LOT 3: 253 SPACES PROVIDED FOR LOT 1 & LOT 3: 373 (147% OF REQUIRED PARKING)
HC PARKING (NEW LOT 3 ONLY)	REQUIRED: 3 SPACES WITH 1 VAN ACCESSIBLE PROPOSED: 2 ACC + 2 VAN ACCESSIBLE
BICYCLE PARKING (NEW LOT 3 ONLY)	REQUIRED: 8 LONG TERM SPACES, 12 SHORT TERM SPACES OFFICE: 4 LONG TERM SPACE, 4 SHORT TERM SPACE RESTAURANT: 4 LONG TERM SPACE, 4 SHORT TERM SPACE RETAIL: 0 LONG TERM SPACE, 4 SHORT TERM SPACE PROPOSED: 8 LONG TERM SPACES, 12 SHORT TERM SPACES
CAC DISTRICT	GLENWOOD
RIVER BASIN	NEUSE
WATERSHED OVERLAY	N/A
AMENITY AREA	REQUIRED: 43,277 SF X 10% = 4,328 SF (10%) PROPOSED: 0.13 AC; 5,811 SF (13.4%)
BUILD-TO: (PARKING LIMITED)	PRIMARY STREETS: WAKE FOREST RD (TRANSIT SERVICE, MIXED-USE STREET) & E SIX FORKS RD (URBAN THOROUGHFARE, MIXED-USE STREET) LOT 1 FRONTAGE SATISFIED PER UDO SEC. 3.4.2.C.3.b.i. A NEW BUILDING CONSTRUCTED ON A LOT WITH AN EXISTING BUILDING THAT DOES NOT MEET THE BUILD-TO REQUIREMENT SHALL REQUIRE ALL NEW BUILDINGS BE PLACED IN THE BUILD-TO RANGE UNTIL THE BUILD-TO REQUIREMENTS HAS BEEN MET FOR THE LOT. THE PROPOSED BUILDING SATISFIES THIS REQUIREMENT BY PLACING THE BUILDINGS WITHIN THE BUILD-TO RANGE. NEW LOT 3 FRONTAGE: 221 LF (224 LF - 3' EASEMENT PER 1.5.6.C.4) REQUIRED: 111 LF (50% BUILDING WIDTH IN 0'/100' BUILD-TO) PROVIDED: 116 LF (52% BUILDING WIDTH IN BUILD-TO)
IMPROVED SITE AREA	0.99 ACRES (12.1% INCREASE OF GROSS SITE AREA)
IMPROVED BUILDING AREA	7,500 SF (2.1% INCREASE OF GROSS SITE AREA)

PUBLIC IMPROVEMENTS QUANTITIES TABLE

PHASE NUMBER	N/A
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	N/A
LIVABLE BUILDINGS	N/A
OPEN SPACE	NO
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	27
STREET SIGNS	0
WATER SERVICE STUBS	4
SEWER SERVICE STUBS	2

BOARD OF ADJUSTMENT VARIANCE APPROVAL:

WHEREAS RRPV 601 MIDTOWN RALEIGH, LP, PROPERTY OWNER REQUESTS A 1,758' DESIGN ADJUSTMENT FROM THE 3,000' MAXIMUM BLOCK PERIMETER REQUIREMENT SET FORTH IN SECTION 8.3.2.A OF THE UNIFIED DEVELOPMENT ORDINANCE THAT RESULTS IN A BLOCK PERIMETER OF 4,758' AND A 5' DESIGN ADJUSTMENT TO THE MINIMUM 5' UTILITY EASEMENT PLACEMENT REQUIREMENT FOR COMMERCIAL STREETS SET FORTH IN SECTION 8.5.2. IN ORDER TO CONSTRUCT TWO GENERAL BUILDINGS FOR BANK AND RESTAURANT/RETAIL USES TOTALING 7,500 SF ON A 0.99-ACRE PROPERTY ZONED CX-3-PL LOCATED AT 601 E. SIX FORKS ROAD.

- VARIANCE FOR BLOCK PERIMETER APPROVED ON 11/13/19.
- VARIANCE TO THE 5' UTILITY EASEMENT PLACEMENT WAS PULLED FROM THE AGENDA. THE 5' GENERAL UTILITY PLACEMENT EASEMENT IS INCORPORATED IN THIS PLAN SET.

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN DUMPSTERS LOCATED ON SITE TWICE WEEKLY ON MONDAYS AND THURSDAY AT APPROXIMATELY 11 AM.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

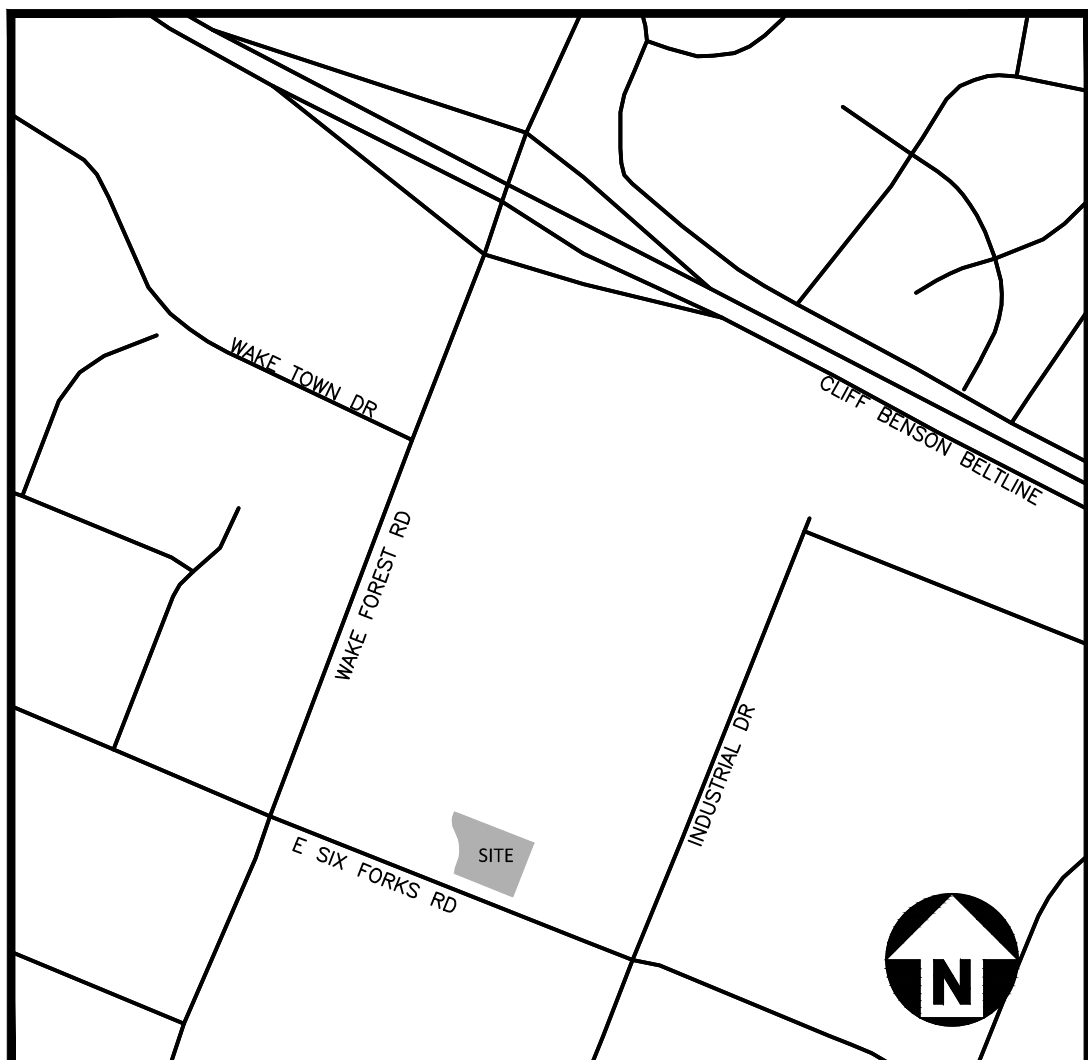
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, install a **Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



VICINITY MAP
N.T.S.



Know what's below.
Call before you dig.

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #:	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #:	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	
		Zoning Case #:	
		Administrative Alternate #:	
GENERAL INFORMATION			
Development name: Midtown Retail			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 601 E. Six Forks Road, Raleigh, NC; 2904 Wake Forest Road, Raleigh NC			
Site P.I.N.(s): 1715230377, 1715137821			
Please describe the scope of work. Include any additions, expansions, and change of use. Bank and retail/restaurant development at 601 E. Six Forks Road with associated parking lot improvements. Proposed recombination of Lot 3 and Lot 1, eliminating Lot 3.			
Current Property Owner/Developer Contact Name: Joe DeStasio NOTE: please attach purchase agreement when submitting this form.			
Company: Ram Realty Acquisitions V, LLC		Title: Senior Asset Manager	
Address: 1480 Environ Way, Chapel Hill, NC 27517			
Phone #: 919-617-6868		Email: JDeStasio@ramrealestate.com	
Applicant Name: Andy Padiak			
Company: McAdams		Address: 2905 Meridian Parkway, Durham, NC 27713	
Phone #: 919-287-0780		Email: padiak@mcadamsco.com	

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REVISION 05.01.19

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PL	Existing gross floor area (not to be demolished): 0
Gross site acreage: Lot 3: 0.99 acres	Existing gross floor area to be demolished: 0
# of parking spaces required: 36	New gross floor area: 7,500 SF
# of parking spaces proposed: 36	Total sf gross (to remain and new): 7,500 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Commercial	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Commercial	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.84 Square Feet: 36,696	Proposed Impervious Surface: Acres: 0.74 Square Feet: 32,050
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (0.2% Annual Chance Flood Hazard)	
If yes, please provide: Alluvial soils: _____ Flood stu: Crabtree Creek (Basin 18, Stream 9)	
FEMA Map Panel #: 3720171500J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br. 2br. 3br.	4br or more:
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Andy Padiak to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submitral policy, which States applications will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: <u>6/18/19</u>
Printed Name: <u>Keith L. Cummings</u>	

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REVISION 05.01.19

raleighnc.gov



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
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license number: C-0293

www.mcadamsco.com

CONTACT

ANDY PADIAC - PROJECT MANAGER
padiak@mcadamsco.com
LINDA VASIL - TECHNICAL MANAGER
vasil@mcadamsco.com

CLIENT

RAM REALTY ACQUISITIONS V, LLC
1480 ENVIRON WAY
CHAPEL HILL, NC 27517
PHONE: 919. 617. 6868

PROJECT DIRECTORY

RAM REALTY ACQUISITIONS V, LLC
1480 ENVIRON WAY
CHAPEL HILL, NC 27517
PHONE: 919. 617. 6868

REVISIONS

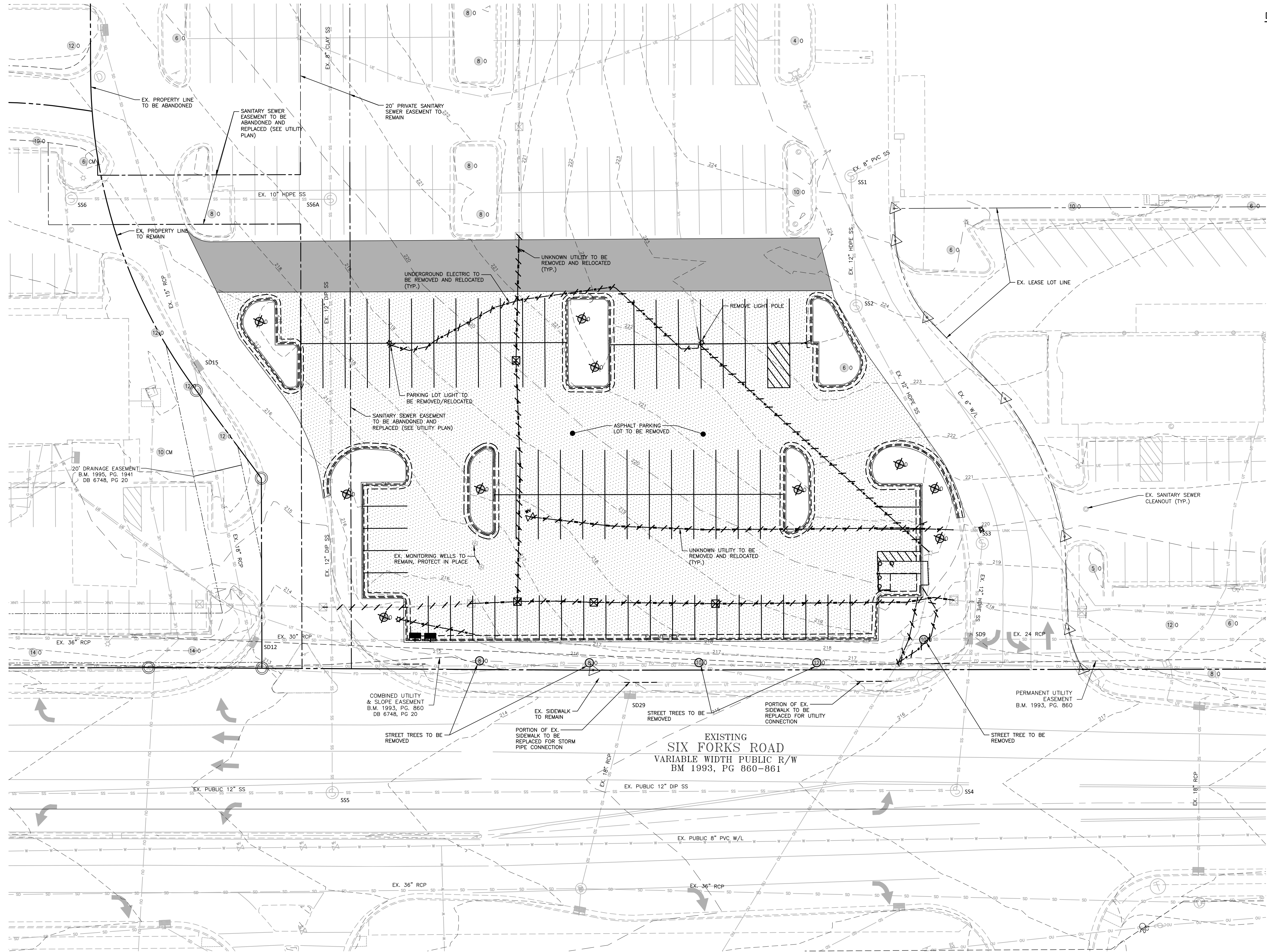
NO.	DATE	REVISION
1	08.28.19	REVISED PER CITY OF RALEIGH COMMENTS
2	11.14.19	REVISED PER CITY OF RALEIGH COMMENTS

ADMINISTRATIVE SITE REVIEW FOR:

MIDTOWN RETAIL
RALEIGH, NORTH CAROLINA, 27609
PROJECT NUMBER: RAM-18010

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\RAM\18010\Land\Construction Drawings\Current Drawings\RAM18010-ASR-DM1.dwg, 11/14/2019 9:44:44 AM, Viall, Linda



DEMOLITION LEGEND	
	TREE OR OTHER VEGETATION TO BE REMOVED
	UNDERGROUND UTILITY TO BE REMOVED
	AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
	MILL AND OVERLAY EXISTING PAVEMENT WITH EXCEPTION OF UTILITY TRENCHING

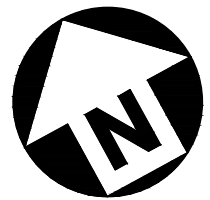
NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

EXISTING SANITARY SEWER STRUCTURE TABLE:

SS1-MH RIM=225.36 8\"PVC(E)=216.61 12\"HDPE(S)=216.36	SS5-MH RIM=213.73 12\"DIP(E)=211.28 12\"DIP(N)=202.11 12\"DIP(W)=197.49
SS2-MH RIM=223.96 12\"HDPE(N)=215.54 12\"PVC=215.51 12\"HDPE(S)=215.36	SS6-MH RIM=216.54 10\"HDPE(E)=210.97
SS3-MH RIM=219.61 12\"HDPE(N)=217.99 12\"HDPE(S)=218.04	
SS4-MH RIM=216.75 12\"HDPE(N)=205.72 12\"DIP=200.62 12\"DIP=203.55 12\"DIP(W)=200.51	

EXISTING STORM DRAINAGE STRUCTURE TABLE:

SD9-CB TOP=217.29 24\"RCP(E)=209.44 24\"RCP(W)=209.39	SD15-CB TOP=216.22 15\"RCP(N)=212.36 18\"RCP(S)=210.72
SD12-CB TOP=213.58 30\"RCP(E)=207.08 18\"RCP(N)=208.39 36\"RCP(W)=206.86	SD29-CB TOP=214.93 15\"RCP(S)=210.38



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT READY FOR CONSTRUCTION

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

RAM REALTY ACQUISITIONS V, LLC
1480 ENVIRON WAY
CHAPEL HILL, NC 27517
PHONE: 919. 617. 6868

MIDTOWN RETAIL
ADMINISTRATIVE SITE REVIEW
601 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	REVISION
1	08.28.19	REVISED PER CITY OF RALEIGH COMMENTS
1	11.14.19	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

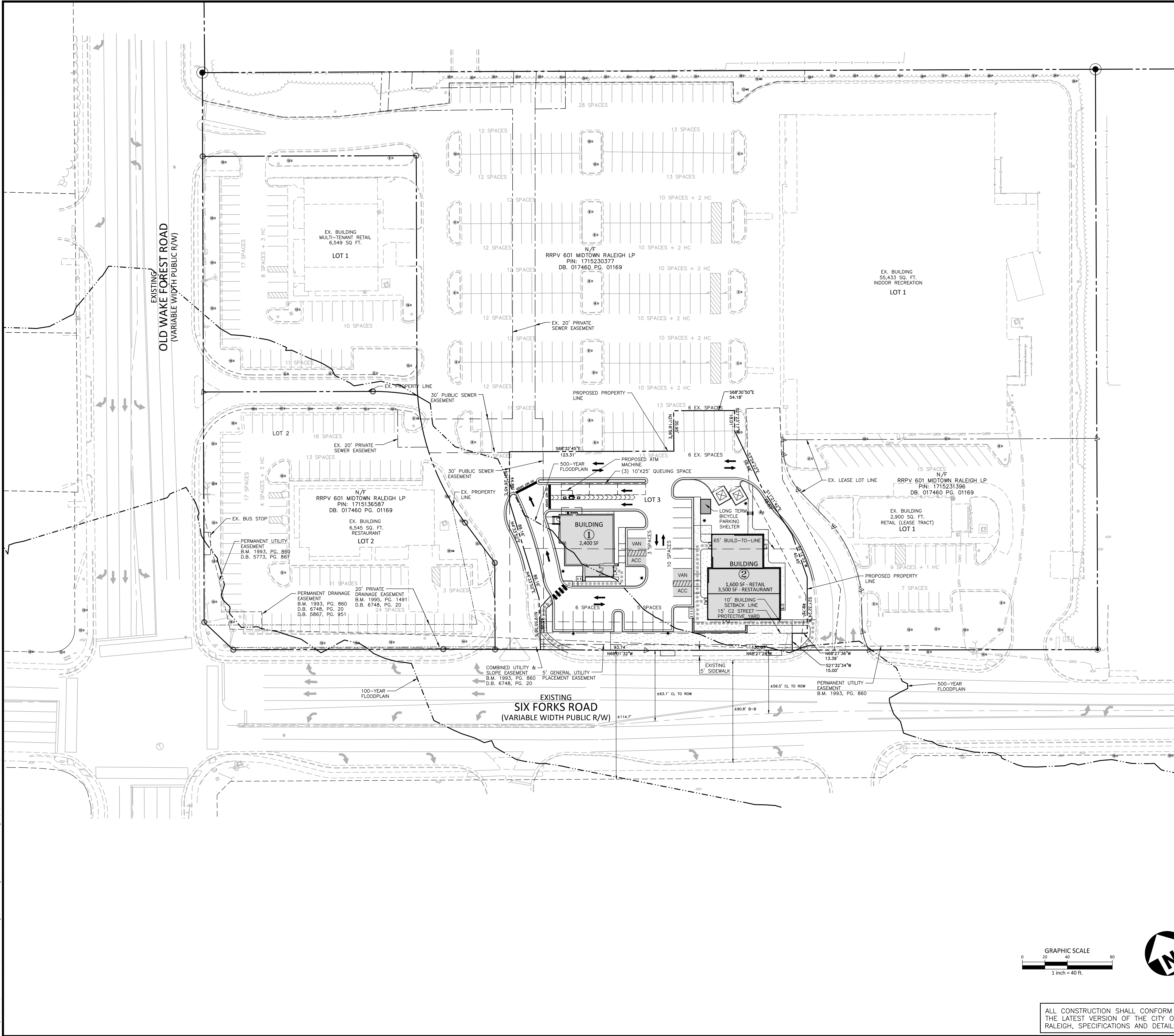
PROJECT NO.	RAM-18010
FILENAME	RAM18010-ASR-DM1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	1"=20'
DATE	06.26.2019

SHEET

DEMOLITION PLAN

C1.01

X:\Projects\RAM\RAM-18010\Land\Construction Drawings\Current Drawings\RAM18010-ARX-OAS1.dwg, 11/14/2019 9:46:05 AM, Vasil, Linda



SITE LEGEND

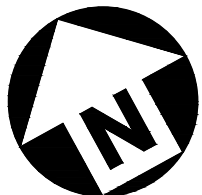
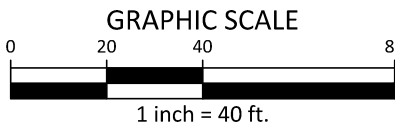
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- 500-YR FLOODPLANE
- HEAVY DUTY ASPHALT PAVEMENT
- OUTDOOR AMENITY AREA

GENERAL NOTES:

- PARKING SHOWN TO BE USED LOT 1 AND NEW LOT THROUGH A USE OF REMOTE PARKING AND CROSS ACCESS AGREEMENTS.

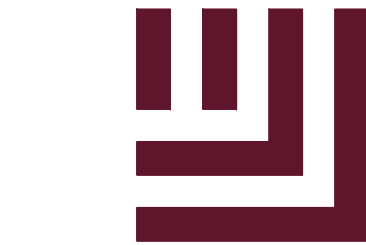
OUTDOOR AMENITY AREA (LOT 3):

LOT 3 SITE AREA:	0.99 ACRES (43,277 SF)
REQUIRED OUTDOOR AMENITY AREA:	0.10 ACRES (4,328 SF)
PROVIDED OUTDOOR AMENITY AREA:	0.11 ACRES (4,711 SF OR 10.9%)



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McAdams

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

RAM REALTY ACQUISITIONS V, LLC
1480 ENVIRON WAY
CHAPEL HILL, NC 27517
PHONE: 919. 617. 6868

MIDTOWN RETAIL
ADMINISTRATIVE SITE REVIEW
601 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	REVISION
1	08.28.19	REVISED PER CITY OF RALEIGH COMMENTS
1	11.14.19	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

PROJECT NO.	RAM-18010
FILENAME	RAM18010-ARX-OAS1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	1"=40'
DATE	06.26.2019

SHEET

OVERALL
SITE PLAN

C2.00

CLIENT

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CHAPEL HILL, NC 27517
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REVISIONS

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PLAN INFORMATION

PROJECT NO. RAM-18010
FILENAME RAM18010-ASR-S1
CHECKED BY LJV
DRAWN BY CJJ
SCALE 1"=20'
DATE 06.26.2019

SHEET

**SITE PLAN
ENLARGEMENT**

C2.01

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	500-YR FLOODPLANE
	MILL AND OVERLAY
	EX. ASPHALT PAVEMENT
	CONCRETE
	AMENITY AREA

GENERAL NOTES:

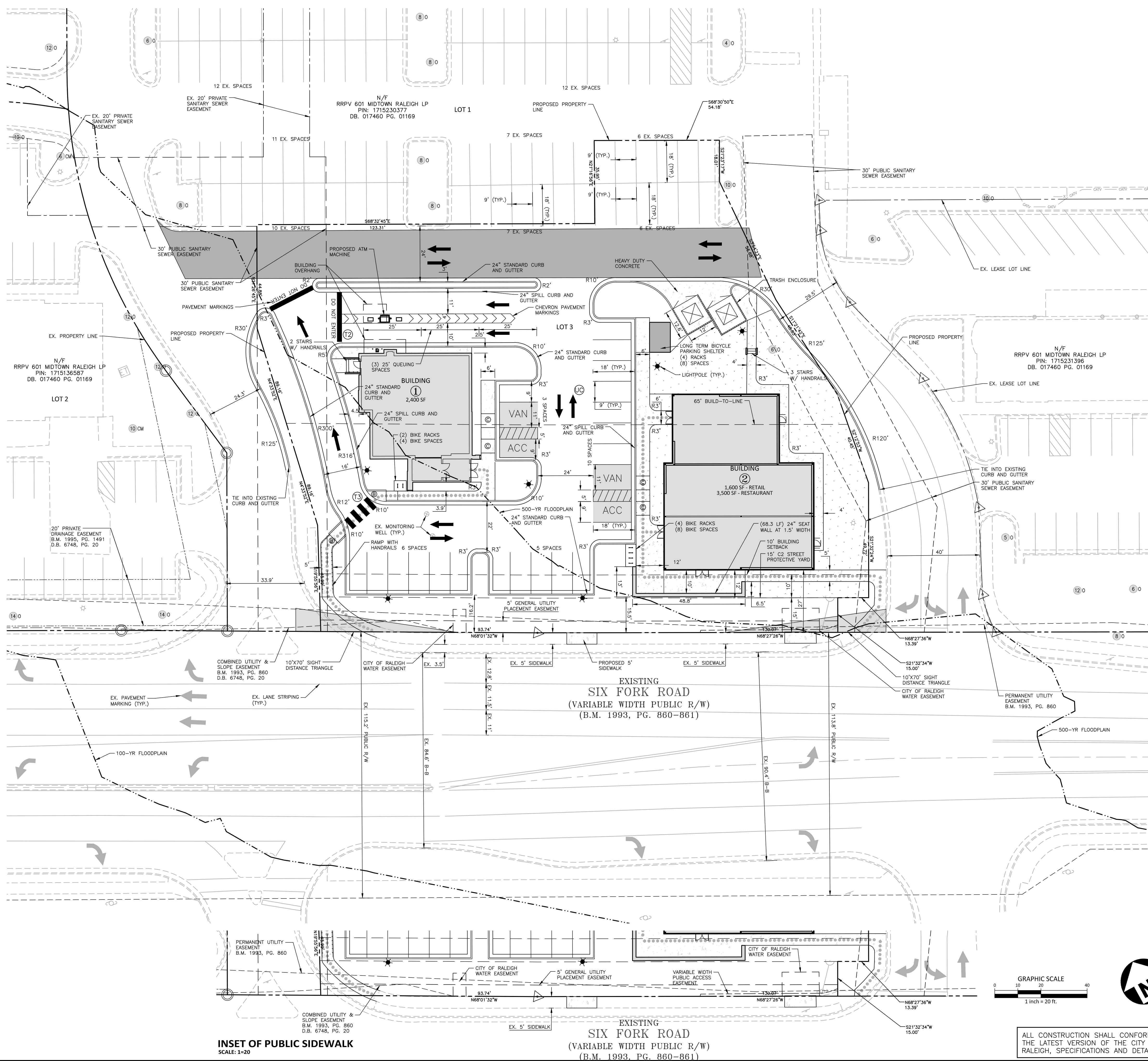
1. COMBINED PARKING SHOWN FOR LOT 1 AND LOT 3 THROUGH A USE OF REMOTE PARKING AND CROSS ACCESS AGREEMENTS.

PAVEMENT MARKING LEGEND

LANE LINES/MARKINGS
T2 24" WHITE STOP BAR
T3 CITY OF RALEIGH PEDESTRIAN CROSSWALK (HIGH VISIBILITY)
UC TRAFFIC STRAIGHT ARROW

ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE NCDOT DETAILS 1205.01-1205.12)

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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ADMINISTRATIVE SITE REVIEW
601 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

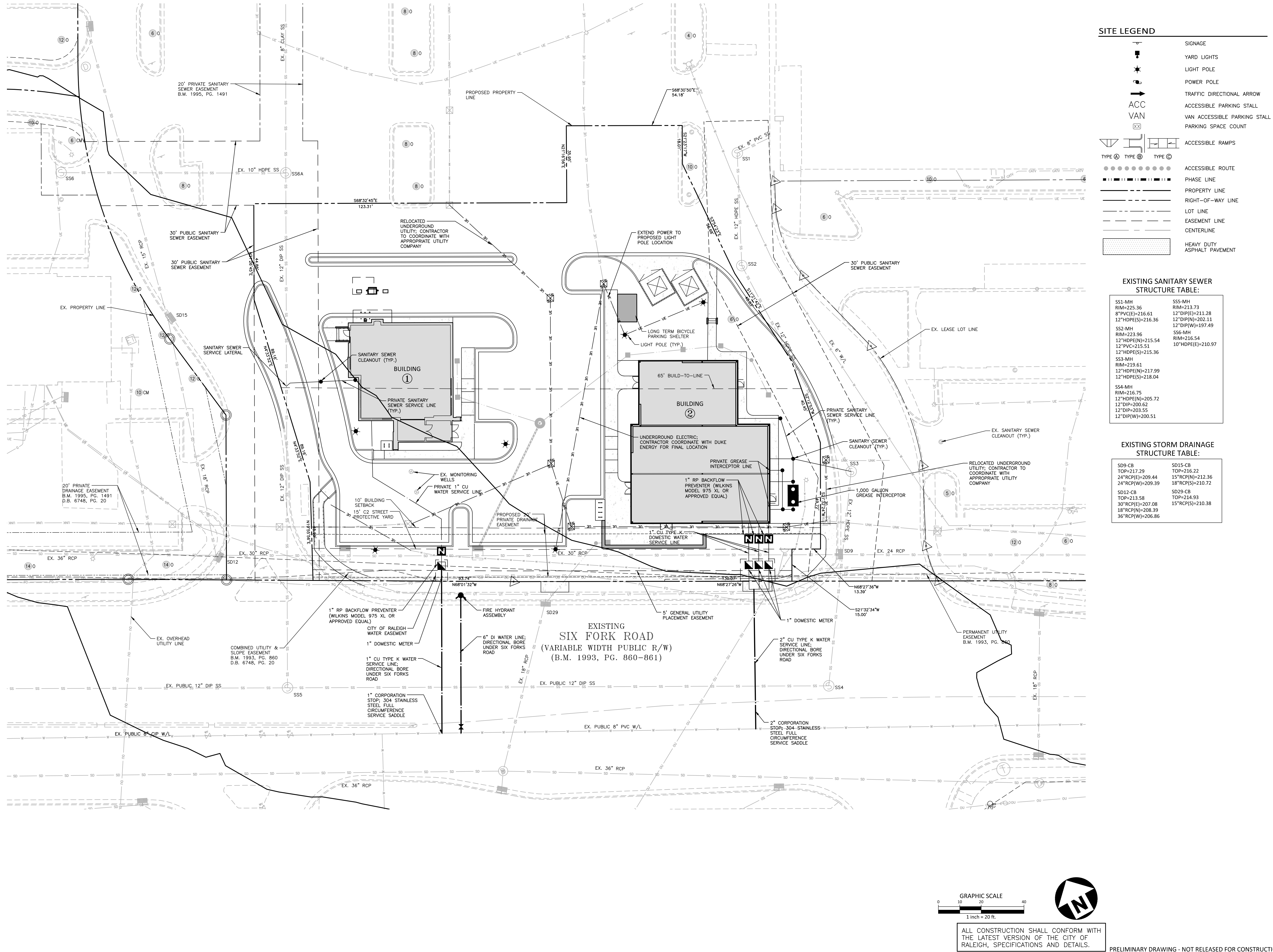
NO.	DATE	REVISION
1	08.28.19	REVISED PER CITY OF RALEIGH COMMENTS
1	11.14.19	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

PROJECT NO. RAM-18010
FILENAME RAM18010-ASR-U1
CHECKED BY LIV
DRAWN BY CJJ
SCALE 1"=20'
DATE 06.26.2019

SHEET

UTILITY PLAN
C4.00





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MIDTOWN RETAIL
ADMINISTRATIVE SITE REVIEW
601 EAST SIX FORKS ROAD
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	
1	08. 28. 19	REVISED PER CITY OF RALEIGH COMMENTS
1	11. 14. 19	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

PROJECT NO.	RAM-18010
FILENAME	RAM18010-ASR-LS1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	1"=20'
DATE	06. 26. 2019

SHEET

LANDSCAPE PLAN

L5.00

LANDSCAPE CALCULATIONS:

STREET TREES (TYPE C2 STREET PROTECTIVE YARD)
SIX FORKS RD: 180 LF
UNDERSTORY TREES REQUIRED*: 7 UNDERSTORY TREES (4/100 LF PER 7.2.4.B)
UNDERSTORY TREES PROVIDED: 7 UNDERSTORY TREES






SHRUBS REQUIRED: 27 SHRUBS (15/100 LF PER 7.2.4.B)
SHRUBS PROVIDED: 27 SHRUBS (5' INSTALL HEIGHT)

PER SEC. 8.4.D.4, WHEN STREET TREES ARE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY, A TYPE C2 STREET PROTECTIVE YARD IS REQUIRED.

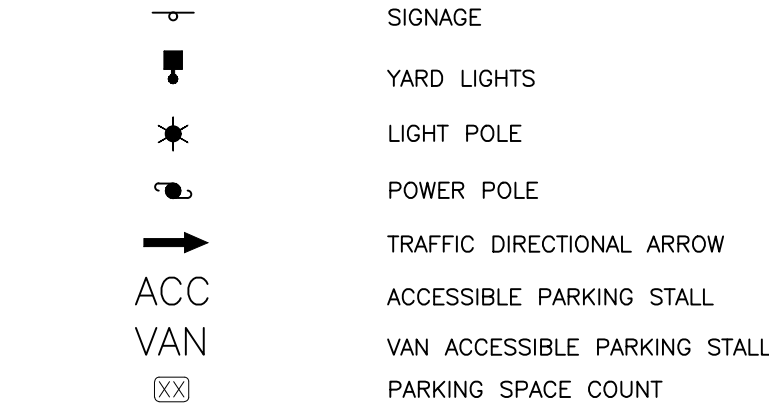
VEHICLE USE AREA:	8,060 S
CANOPY TREES REQUIRED:	5 CANO
CANOPY TREES PROVIDED:	6 CANO

C3 YARD:	100 LF
SHRUBS REQUIRED:	30 SHRUBS (30/100 LF PER 7.2.4.E)
SHRUBS PROVIDED:	30 SHRUBS (3.5' INSTALL HEIGHT)

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
	LXN	7	Crape Myrtle Single Stem – Used to satisfy C2 req's	Lagerstroemia x 'Natchez'	1.5" min	8' min
	UAP	6	American Elm Used to satisfy VUA req's	Ulmus americana 'Princeton'	3" min	10' min
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	SPACING
	ILCS	6	Steeds Japanese Holly Used to satisfy C2 req's	Ilex crenata 'Steeds'	60" min	
	LCCF	35	Crimson Fire Loropetalum Used to satisfy C3 req's	Loropetalum chinense 'Crimson Fire'	42" min	
	TOSM	21	Emerald Green Arborvitae Used to satisfy C2 req's	Thuja occidentalis 'Smaragd'	60" min	

SITE LEGEND



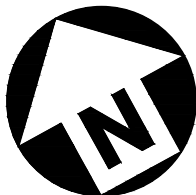
NOTES:

1. SEE SHEET C0.00 FOR LANDSCAPE INSTALLATION NOTES.
2. SEE SHEET C8.01 FOR CITY OF RALEIGH TREE INSTALLATION DETAILS.

GRAPHIC SCALE

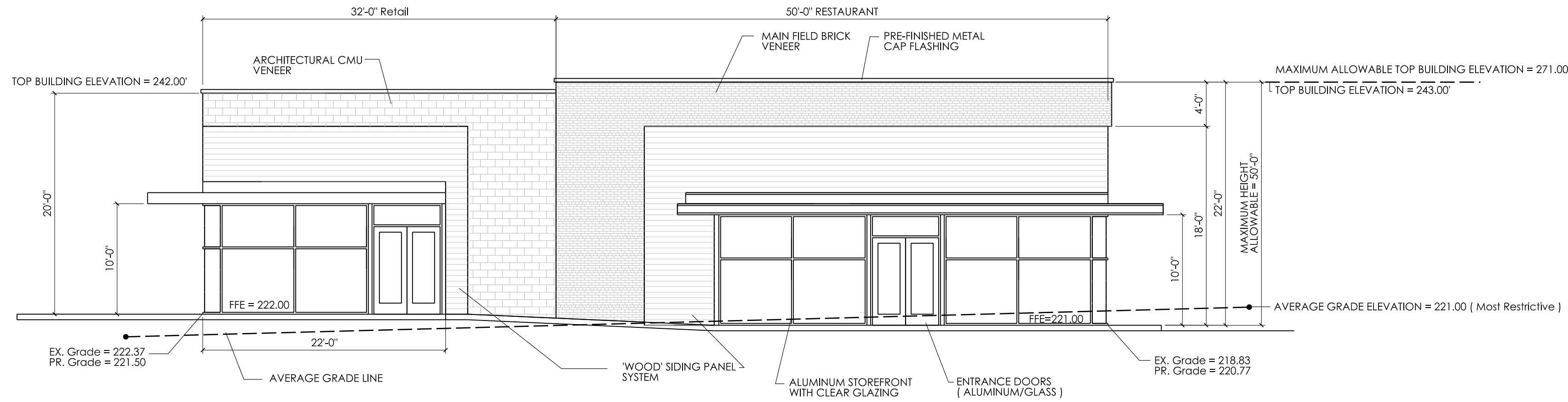
0 10 20 40

1 inch = 20 ft.

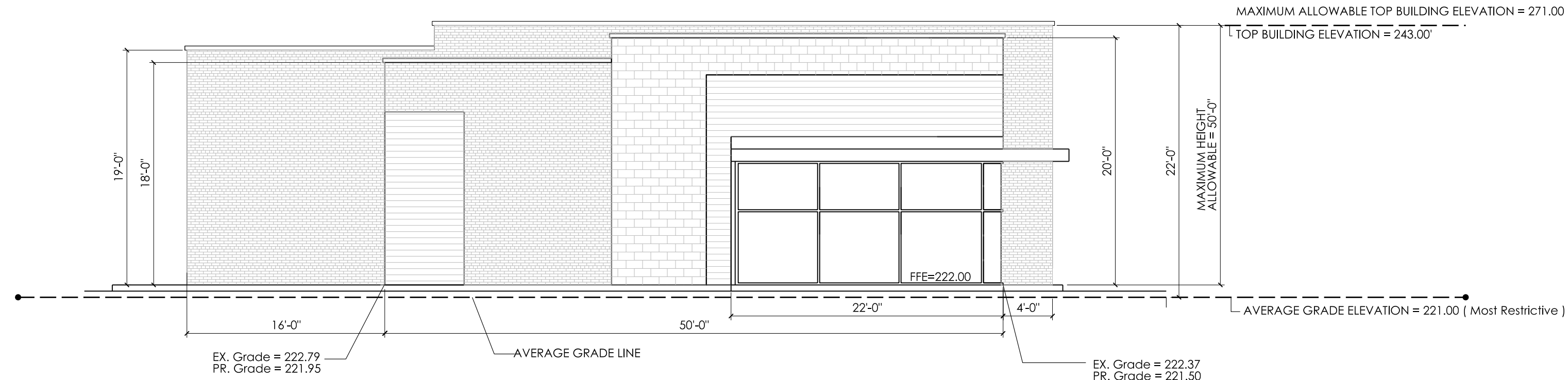


ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

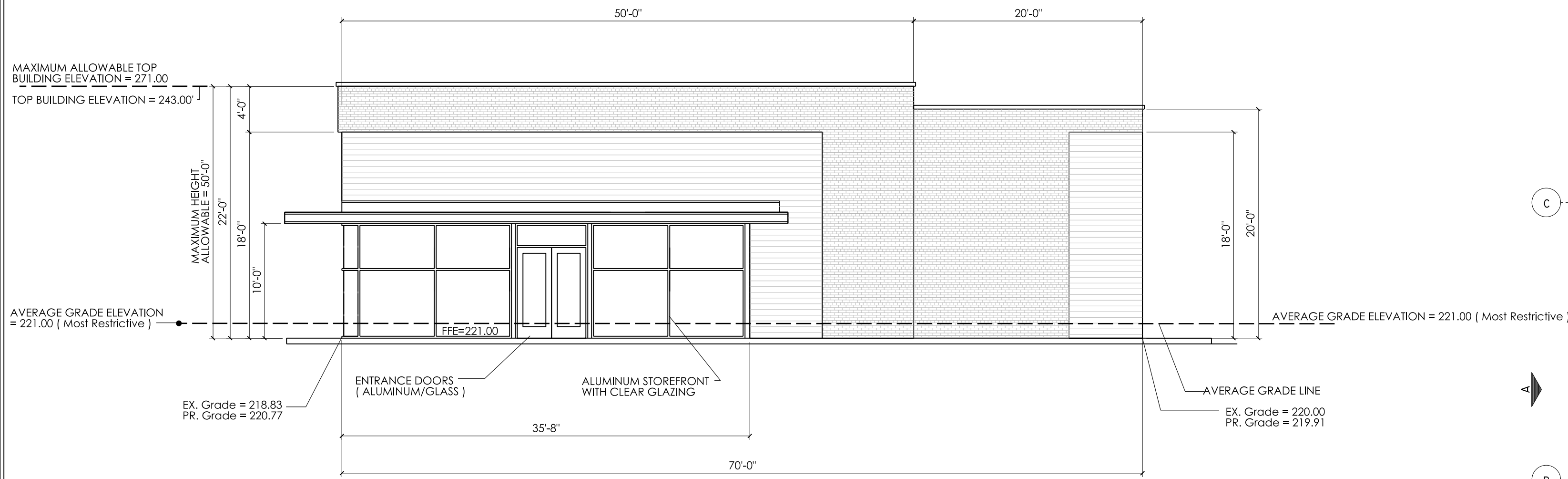
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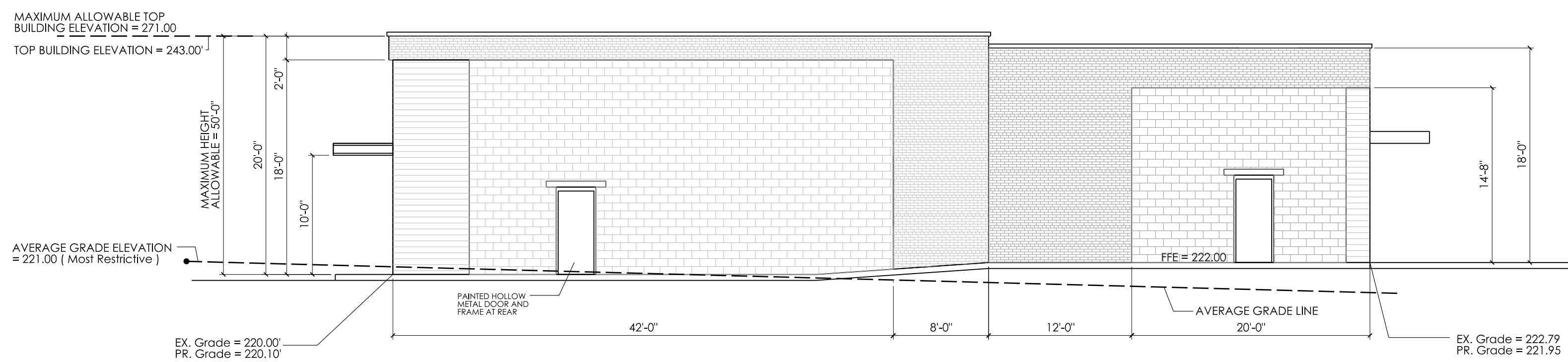
A. FRONT ELEVATION (facing Wake Forest Road):



C. SIDE ELEVATION (facing North parking lot):



B. SIDE ELEVATION (facing Six Forks Road):



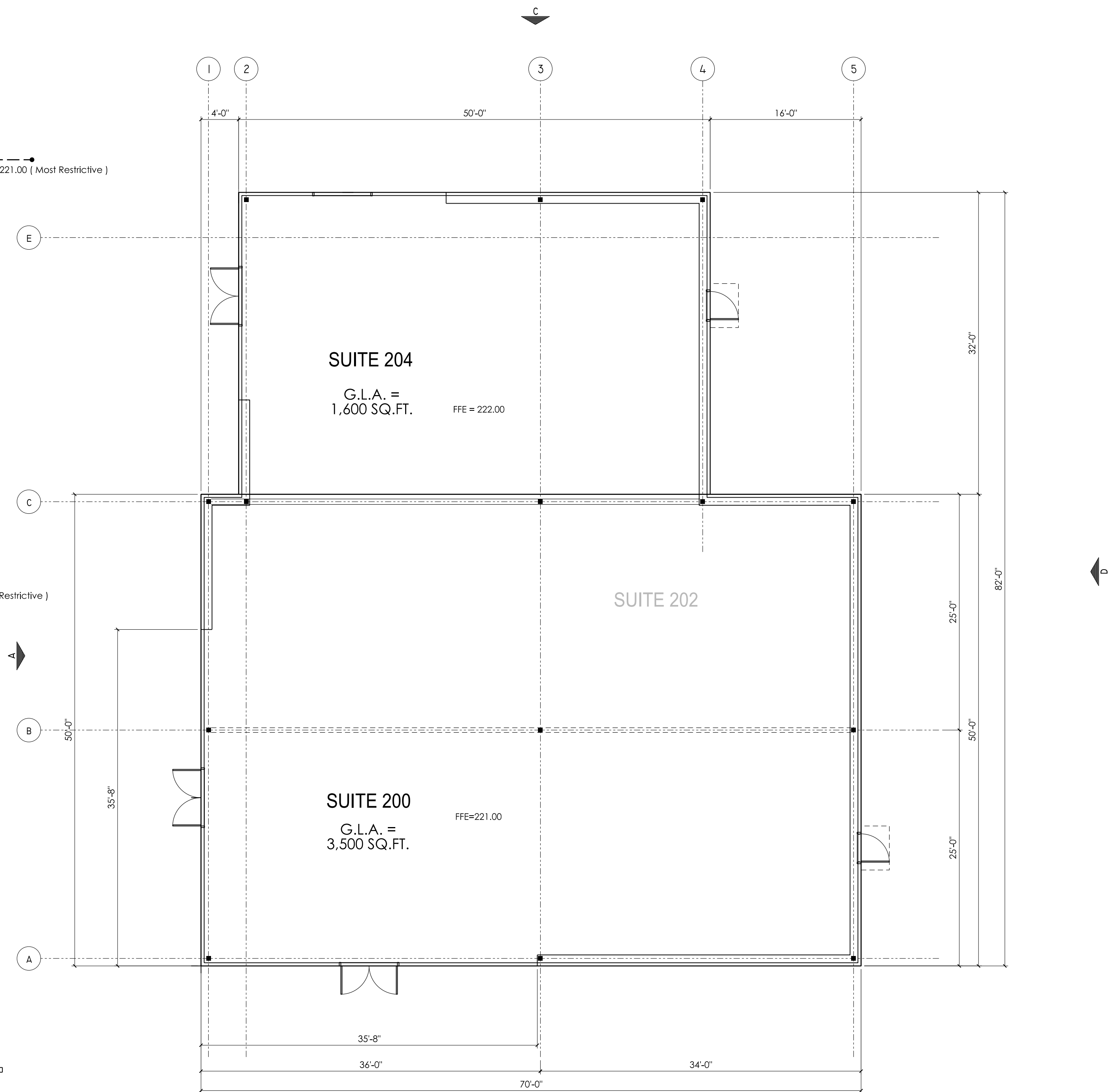
D. REAR ELEVATION (facing Enterprise Rental Bldg):

AVERAGE GRADE DETERMINATION:

BUILDING 2:

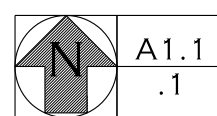
EXISTING AVERAGE GRADE FROM BUILDING CORNERS =
(222.37' + 222.79' + 218.83' + 222.00') / 4 = 221.00'

PROPOSED AVERAGE GRADE FROM BUILDING CORNER =
(221.50' + 221.95' + 220.77' + 219.91') / 4 = 221.03'



PROPOSED BUILDING

TOTAL G.L.A. =
5,100 SQ.FT.



FLOOR PLAN

SCALE: 1/8" = 1'-0"



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978 TRINITY ROAD - RALEIGH NORTH CAROLINA 27607 - p919.859.7003 - f919.859.7121 - baiarchitects.com
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NO.	REMARKS/REVISIONS
1	ISSUED FOR ASR REVIEW 1
2	REVISED PER CITY 1ST REVIEW COMMENTS

DATE	REVISION
6/26/2019	ISSUED FOR ASR REVIEW 1
8/28/2019	REVISED PER CITY 1ST REVIEW COMMENTS

Proposed Shell Building
LOT X
601 East Six Forks Road
Raleigh NC 27609

NOT RELEASED FOR CONSTRUCTION © 1/19

A-1
601 Midtown
Out-Parcel

SEAL

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REVIEW
ONLY

ISSUE	BY	DATE	DESCRIPTION
1	McR	08-26-2019	PER CITY COMMENTS

[illegible]

PROJECT INFORMATION BLOCK

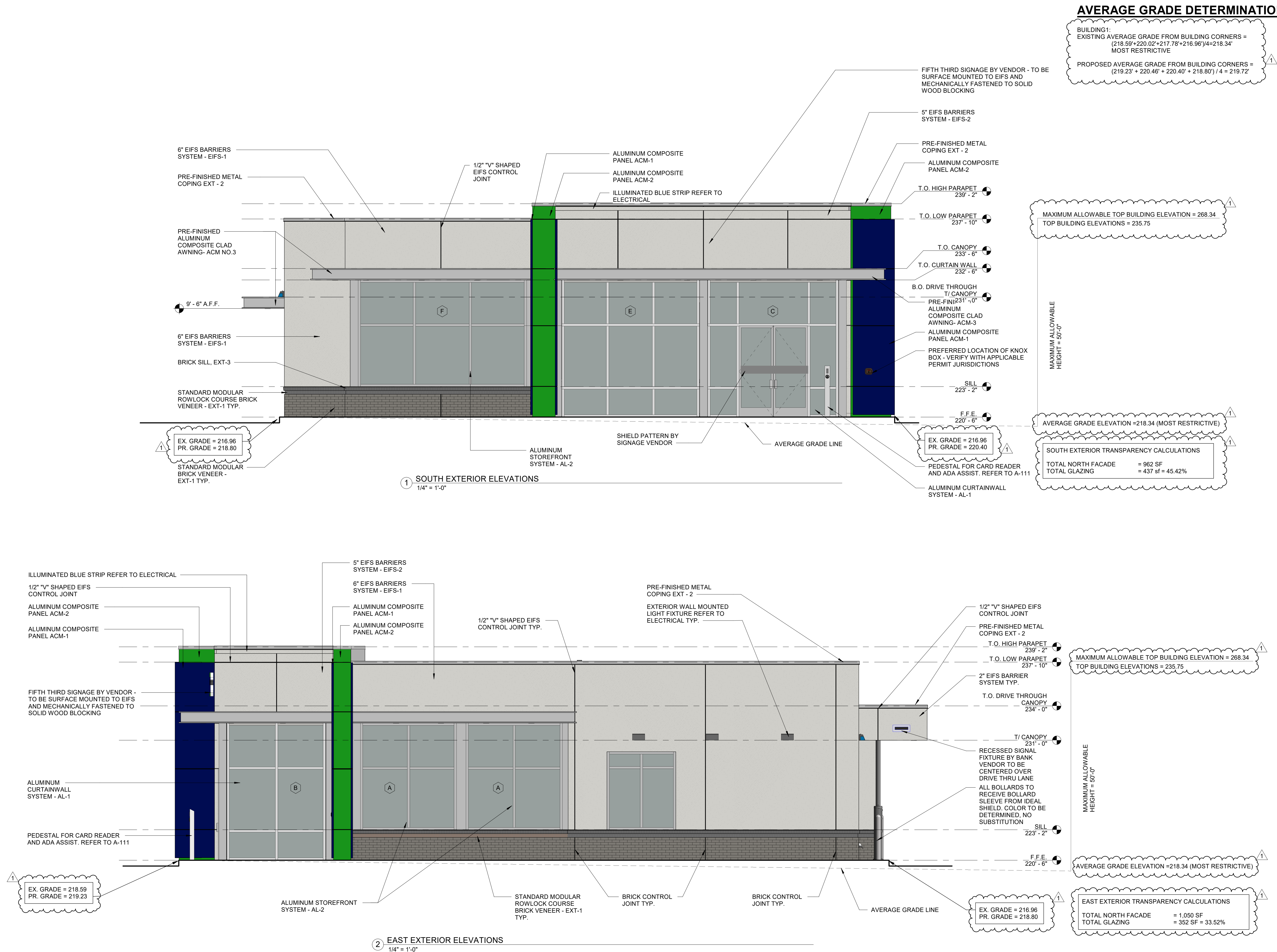
JOB #	193404
DATE:	xxxxxxxxxxx
DRAWN BY:	McR
CHECKED BY:	JRM

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-200



[illegible]

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REVIEW
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PROJECT INFORMATION BLOCK

JOB #	19340
DATE:	XXXXXXXXXX
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CHECKED BY:	JRM

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-201

