



Administrative Approval Action

Case File / Name: ASR-0005-2023
DSLCL - FIFTH OAK MULTI-FAMILY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: 7425 Buffaloe Road - The 53.71 acre site zoned both R-10-CU and RX-3-CU is at the northeast corner of Buffaloe Road and I-540. Buffaloe Road is the southern boundary, I-540 is the western boundary, William & Mary Drive is the eastern boundary with a Neuse Riparian Buffer marking the northern boundary. The proposed development is located within a previously approved subdivision, case SUB-0087-2022, which has not been recorded at the time of this site plan approval.

REQUEST: This application seeks approval for a multi-family development consisting of 10 apartment buildings and 37 townhouse buildings consisting of two to five dwelling units where entire buildings will be placed on a single lot.

Emphasizing the preservation of tree conservation areas and the creation of amenity spaces, the 10 apartment buildings will include 240 units with sizes ranging from 24,280 to 29,803 square feet, culminating in a total building area of 264,892 square feet. A separate clubhouse and several garage buildings are also proposed.

The 37 townhome buildings will include 118 units ranging in size from 2,716 to 10,007 square feet, resulting in an overall building area of 222,132 square feet.

This project includes construction of private drives and alleys interconnecting with public streets being created with the previously approved subdivision (SUB-0087-2022). Note nearby single-family detached dwellings on individual lots will be permitted separately in the subdivision.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUB-0087-2022: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 6, 2023 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Subdivision SUB-0087-2022 for Fifth Oak Family is recorded, and a copy of the signed, stamped, record plat is inserted into the plans set and all lots as shown on this Administrative Site Review (ASR) is recorded with a PIN#.



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2. All SPRs shall reflect which trees are classified as 'Shade' and 'Understory' trees prior to SPR approval.
3. The SPR plans for the parent subdivision for this development, case SUB-0087-2022, shall be updated to show lots 21 and 37 consistently with this plan as open lots for development. The original plans for SUB-0087-2022 showed those lots labeled as "HOA Common Lot / Open Lot".

Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
5. There are ongoing discussions as related to pedestrian connection and access management still ongoing that can be addressed through SPR per email correspondence and conversations with the design team.
6. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
7. See the conditions of approval for SUB-0087-2022 for additional clarification of the entitlements and requirements of the site.
8. The intersection of Buffaloe Road and William and Mary Drive, as part of this development, will ultimately lead to the intersection of the noted streets to be removed and replaced by a multiuse path connection and updated with the required elements to update this section. The phasing plan will be further detailed at SPR and the access of those existing properties on William and Mary Drive that will utilize Timberfield Way will be prioritized and access to Buffaloe Road maintained throughout the project and access sent through Timberfield Way once accepted by COR. The process to maintain or reduce right of way for the purposes of updated easements will too be discussed in detail at SPR.

Public Utilities

9. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

10. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
11. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
12. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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13. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

14. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
15. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. Retaining walls will be reviewed under separate permit.

Engineering

4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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5. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
7. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
8. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

9. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
10. A Water and/or Sewer Assessment fee shall be paid to the Assessment Specialist in the City of Raleigh Engineering Services Department.
11. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
12. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main.

Stormwater



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13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
14. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
16. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
17. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

18. A public infrastructure surety for 19 street trees along William and Mary Drive, 49 street trees along Timberfield Way, 153 street trees along Landover Ridge Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 7.23 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)



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4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 19 street trees along William and Mary Drive, 49 street trees along Timberfield Way, 153 street trees along Landover Ridge Drive.
6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 31, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has



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been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 01/31/2024
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



TO: Bynum Walter, AICP, Comprehensive Planning Supervisor
FROM: Eric J. Lamb, PE, Transportation Planning Manager
DATE: May 25, 2021
SUBJECT: Traffic Impact Analysis Review for Z-65-20 – Buffalo Road
Mixed-Use

We have reviewed the updated Traffic Impact Analysis (TIA) prepared by Ramsey Kamp & Associates (RKA) for the Buffalo Road Mixed-Use rezoning, case number Z-65-20. The following memorandum summarizes the most relevant information pertaining to the study as well as City Staff's review of the analysis and recommendations.

Development Details

Site Location:	Northeast Raleigh on the northeast corner of I-540 and Buffalo Road
Address:	7425 Buffalo Road
Property PIN(s):	1746236378
Current Zoning:	AP
Proposed Zoning:	R-10, RX-3
Existing Land Use:	Forestry
Allowable Land Use:	20 single family homes
Maximum Proposed Zoning Land Use:	426 single family homes
Build-out Year:	2024

Memorandum
225 West Hargett Street
Raleigh, North Carolina 27601

City of Raleigh
2000 North Hargett Street
Raleigh, North Carolina 27601
(919) 997-3000
(919) 997-3000
(919) 997-3000

1

Study Recommendations

The analysis performed by RKA indicates that the full build-out of the proposed zoning entitlement will have impacts to the surrounding roadway network and intersections that can be partially mitigated with the study's recommended improvements listed below. The study allocates mitigations into three categories:

Background Improvements by Others

- **Buffalo Road and Forestville Road**
 - o Construct an exclusive southbound right-turn lane with at least 150 feet of storage and appropriate taper.
 - o Restripe existing southbound shared through-right to a through lane.

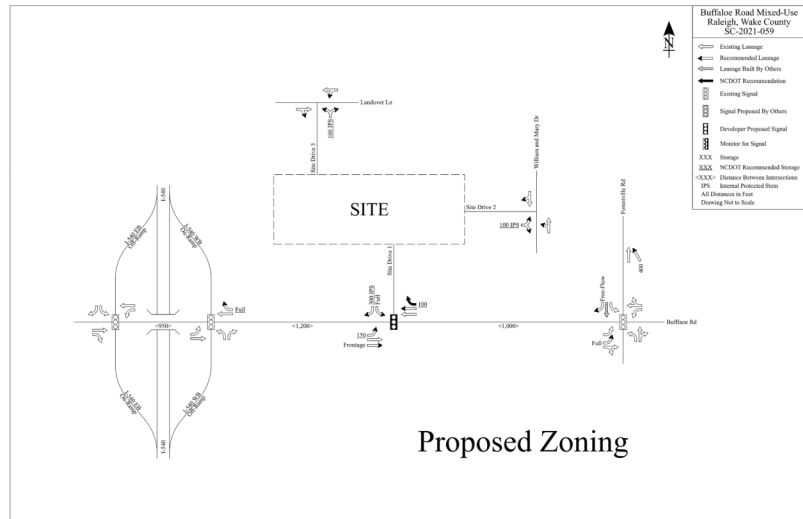
Improvements by Developer – Proposed Zoning

- **Buffalo Road**
 - o Construct an additional westbound lane to accommodate free-flow right-turning movements at the intersection of Forestville Road and Buffalo Road.
 - o Widen one-half section of Buffalo Road along the site frontage to its ultimate 6-lane section. Applicant will be required to dedicate a minimum of one-half of the required right-of-way and construct a minimum of one-half the required road section along the site frontage.
- **Forestville Road and Buffalo Road**
 - o Provide a free-flow southbound right-turn lane along Forestville Road.
 - o Construct an additional exclusive eastbound left-turn lane with full storage along Buffalo Road.
 - o Provide a northbound auxiliary through lane with at least 400 feet of storage and appropriate deceleration and taper.
- **Buffalo Road and Site Drive 1**
 - o Construct southbound approach with one (1) ingress lane and two (2) egress lanes on Site Drive 1.
 - o Construct an exclusive southbound left-turn lane with full storage along Site Drive 1.
 - o Construct an exclusive eastbound left-turn lane with at least 100 feet of storage and appropriate taper.
 - o Install a signal for the intersection in accordance with NCDOT congestion management guidelines.
 - o Coordinate with NCDOT and the City to coordinate signal timings along the Buffalo Road corridor.
- **William and Mary Drive and Site Drive 2**
 - o Construct eastbound approach with one (1) ingress lane and one (1) egress lane on Site Drive 2.
 - o Provide stop-control for the eastbound approach.

Improvements by City and/or NCDOT to meet City's UDO

- **I-540 Westbound ramps and Buffalo Road**
 - o Widen Buffalo Road to include an additional through lane on the eastbound and westbound approaches.
- **I-540 Eastbound ramps and Buffalo Road**
 - o Extend existing westbound left-turn lane to full storage.
 - o Construct an exclusive southbound left-turn lane along the I-540 Eastbound ramp with a minimum of 100 feet of storage and appropriate taper.
 - o Construct an additional eastbound through lane along Buffalo Road.

6



Proposed Zoning



CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-432-4919) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

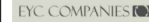
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CLIENT

EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407



FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA CITY OF RALEIGH CASE # ASR-0005-2023

REVISIONS

NO.	DATE	REVISIONS
1	05.26.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	06.21.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	11.06.2023	REVISED PER CITY OF RALEIGH COMMENTS

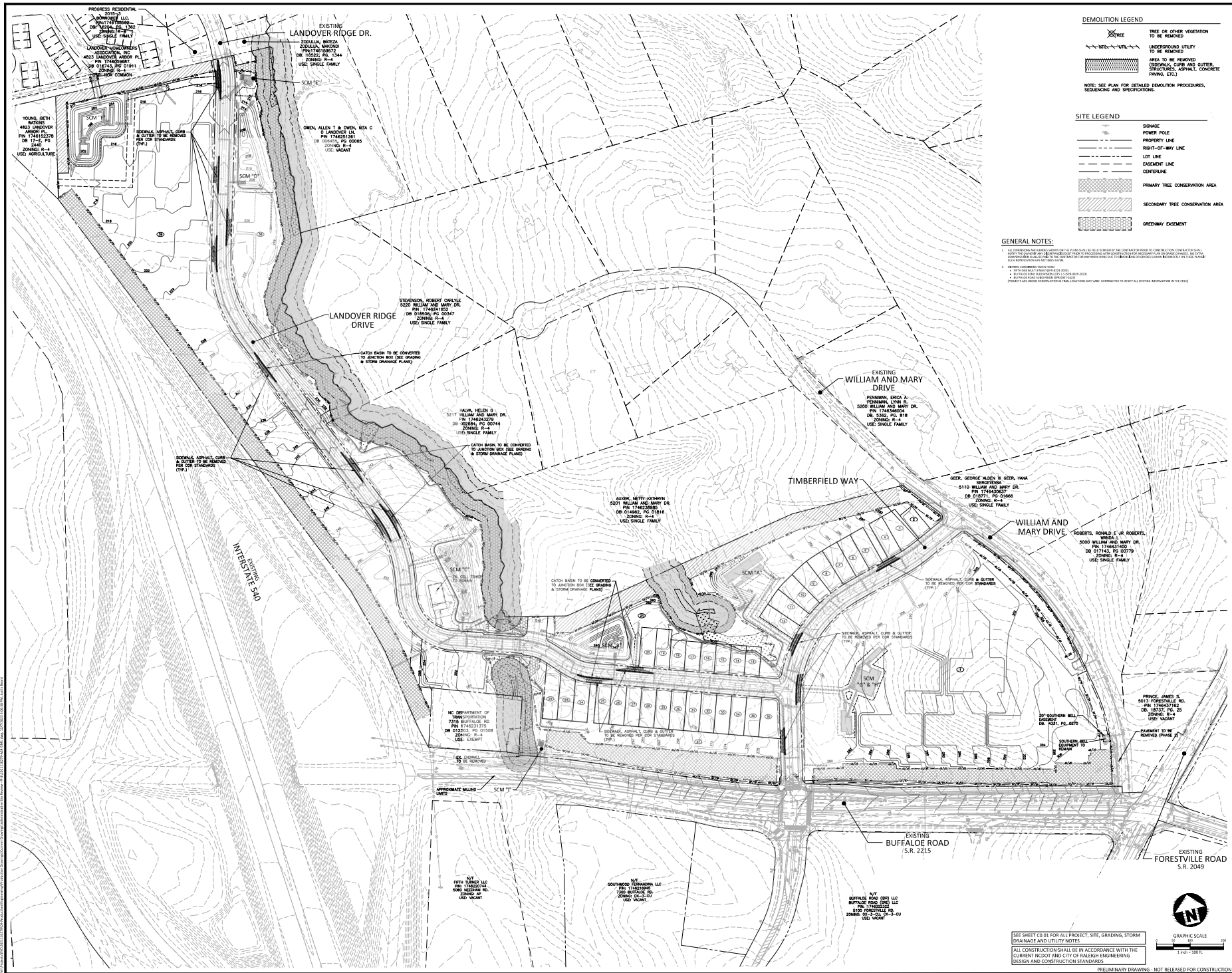
PLAN INFORMATION

PROJECT NO.	20231100779
FILENAME	20231100779-ASR-#1
CHECKED BY	
DRAWN BY	
SCALE	NTS
DATE	01.13.2023

SHEET

TIA RECOMMENDATIONS

C0.02



McADAMS
The John R. McAdams Company, Inc.
623 Hibernia Street
Suite 500
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license number: C-0299, C-187
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EYC COMPANIES

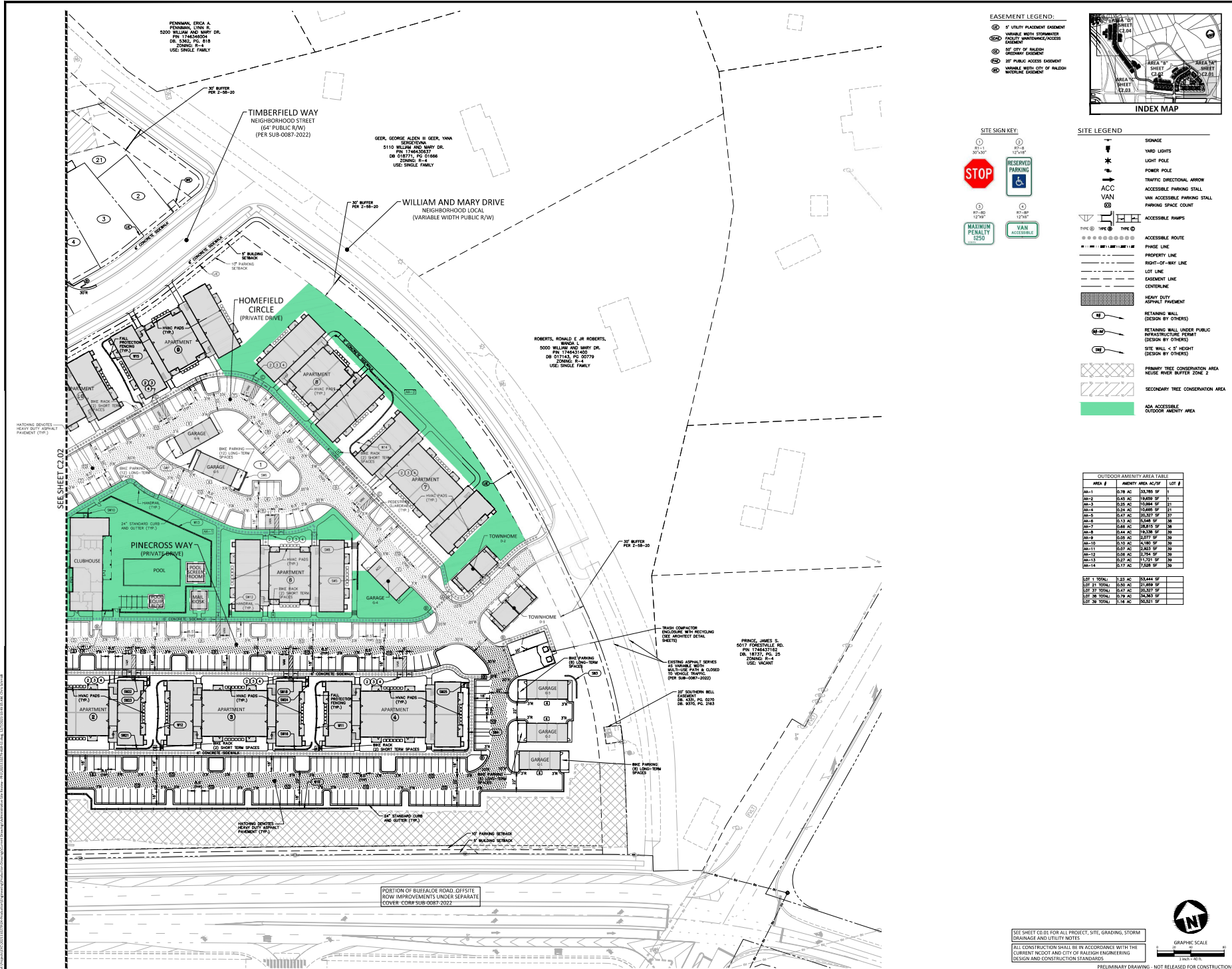
**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

REVISIONS

NO.	DATE	REVISION
1	05.26.2023	REVISED PER COR 30 ASR COMMENTS
2	06.21.2023	REVISED PER COR 204 ASR COMMENTS
3	12.01.2023	REVISED PER COR 304 ASR COMMENTS

PLAN INFORMATION
PROJECT NO. 202310079
FILENAME 202310079-ASR-001
CHECKED BY JRB
DRAWN BY CNS
SCALE 1"=100'
DATE 01.13.2023

SHEET
**EXISTING CONDITIONS/
DEMOLITION PLAN**
C1.00



McADAMS
The John R. McAdams Company, Inc.
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Suite 500
Raleigh, NC 27603
phone 919.361.5000
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license number: C-00393, C-187
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EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE # ASR-0005-2023**

REVISIONS

NO.	DATE	DESCRIPTION
1	09.26.2023	REVISED PER COR 30 ASR COMMENTS
2	09.21.2023	REVISED PER COR 204 ASR COMMENTS
3	12.06.2023	REVISED PER COR 304 ASR COMMENTS

PLAN INFORMATION
PROJECT NO. 202310079
FILENAME 202310079-ASR-51
CHECKED BY CGH
DRAWN BY CWS
SCALE 1"=40'
DATE 01.13.2023

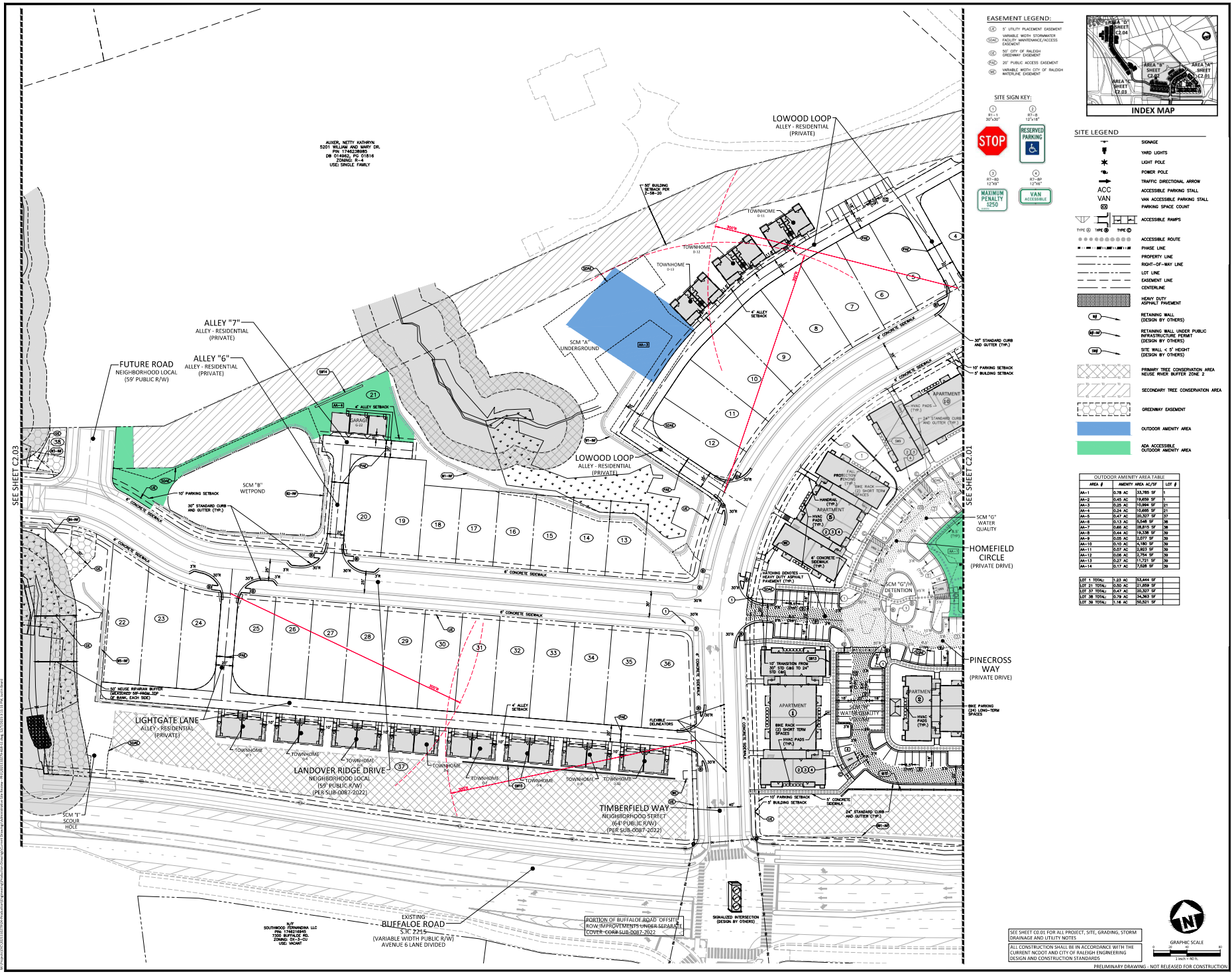
SHEET
**SITE PLAN
AREA "A"
C2.01**

REVISIONS

NO.	DATE	DESCRIPTION
1	05.09.2023	REVISED FOR CDR 30 ASR COMMENTS
2	05.21.2023	REVISED FOR CDR 20 ASR COMMENTS
3	12.06.2023	REVISED FOR CDR 30 ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	202310079
FILENAME	202310079-ASR-51
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	3"=40'
DATE	01.13.2023



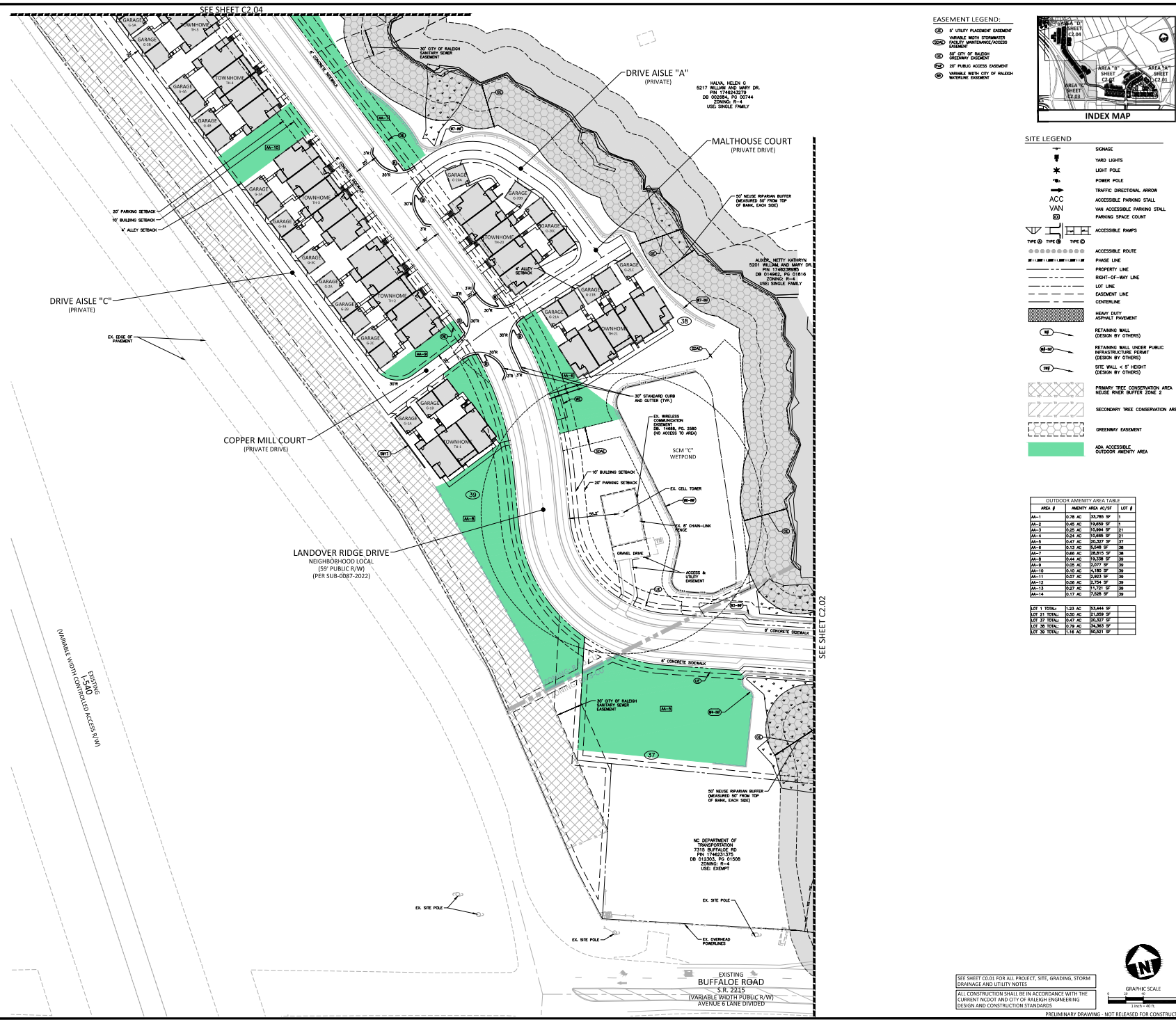
REVISIONS

NO.	DATE	DESCRIPTION
1	08.26.2023	REVISED PER CDR 30 ASR COMMENTS
2	08.21.2023	REVISED PER CDR 204 ASR COMMENTS
3	12.06.2023	REVISED PER CDR 304 ASR COMMENTS

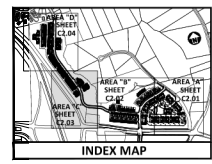
PLAN INFORMATION

PROJECT NO.	2023130279
FILENAME	2023130279-ASR-51
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	1"=40'
DATE	01.13.2023

SHEET
**SITE PLAN
AREA "C"
C2.03**



- EASEMENT LEGEND:**
- 8' UTILITY PLACEMENT EASEMENT
 - VARIABLE WIDTH STORMWATER FACILITY IMPROVEMENT/ACCESS EASEMENT
 - 10' CITY OF RALEIGH GREENWAY EASEMENT
 - 10' PUBLIC ACCESS EASEMENT
 - VARIABLE WIDTH CITY OF RALEIGH WIDENING EASEMENT



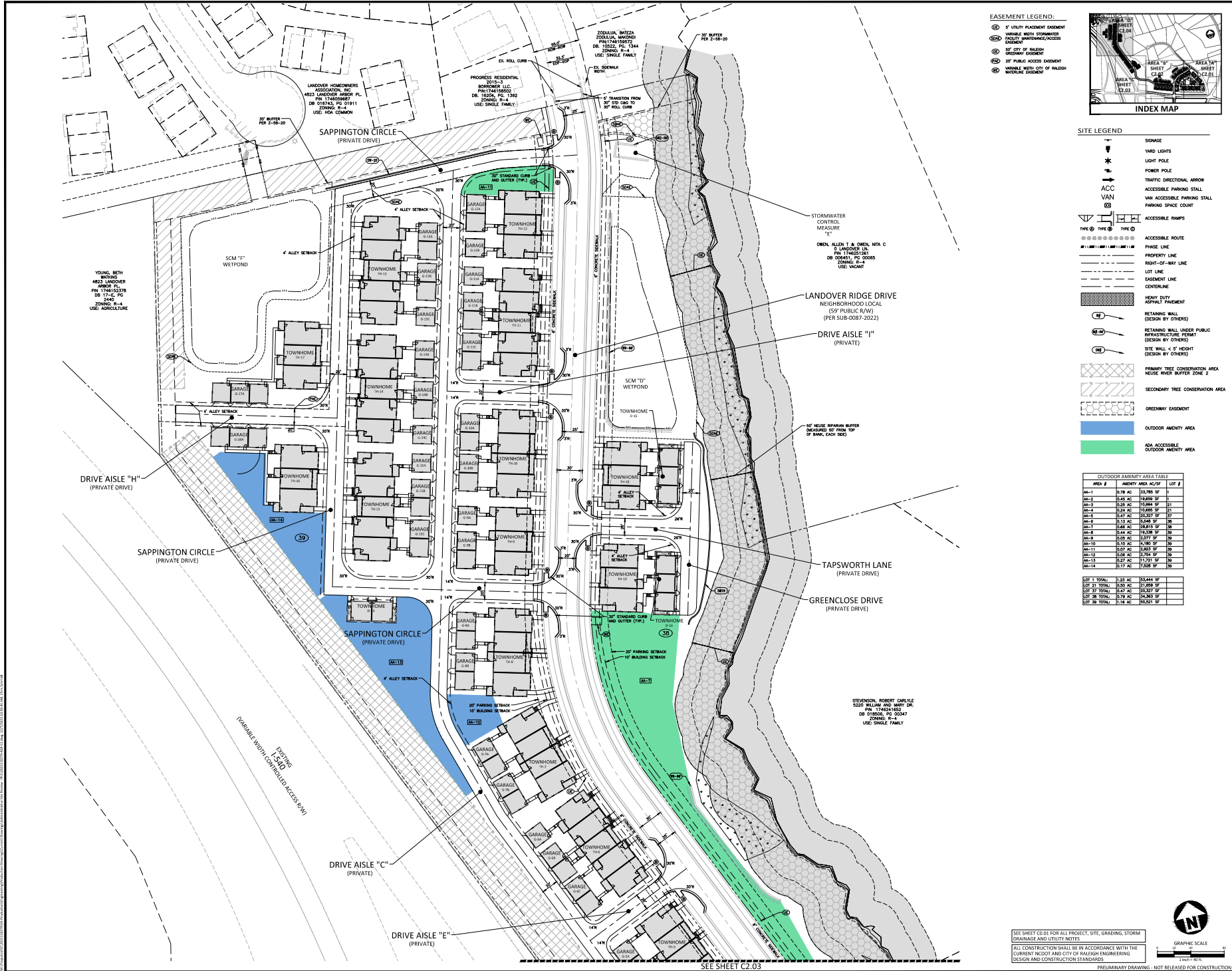
- SITE LEGEND**
- 8" V
 - YARD LIGHTS
 - LIGHT POLE
 - POWER POLE
 - TRAFFIC DIRECTIONAL ARROW
 - ACCESSIBLE PARKING STALL
 - VAN ACCESSIBLE PARKING STALL
 - PARKING SPACE COUNT
 - ACCESSIBLE RAMP
 - ACCESSIBLE ROUTE
 - PHASE LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - LOT LINE
 - EASEMENT LINE
 - CENTERLINE
 - HEAVY DUTY ASPHALT PAVEMENT
 - RETAINING WALL (DESIGN BY OTHERS)
 - RETAINING WALL UNDER PUBLIC INFRASTRUCTURE (DESIGN BY OTHERS)
 - SITE WALL, 4' OF HEIGHT (DESIGN BY OTHERS)
 - PRIMARY TREE CONSERVATION AREA
 - NEUSE RIVER BUFFER ZONE 2
 - SECONDARY TREE CONSERVATION AREA
 - GREENWAY EASEMENT
 - ADA ACCESSIBLE OUTDOOR AMENITY AREA

OUTDOOR AMENITY AREA TABLE

AREA #	AMENITY AREA AC/FT	LOT #
AA-1	0.78 AC	1
AA-2	0.45 AC	18,689 SF
AA-3	0.25 AC	10,084 SF
AA-4	0.34 AC	14,685 SF
AA-5	0.17 AC	7,337 SF
AA-6	0.13 AC	5,548 SF
AA-7	0.48 AC	22,815 SF
AA-8	0.44 AC	20,338 SF
AA-9	0.25 AC	12,077 SF
AA-10	0.10 AC	4,785 SF
AA-11	0.07 AC	3,403 SF
AA-12	0.08 AC	3,794 SF
AA-13	0.07 AC	3,707 SF
AA-14	0.17 AC	7,928 SF
LOT 1 TOTAL	1.33 AC	15,444 SF
LOT 21 TOTAL	0.50 AC	21,859 SF
LOT 27 TOTAL	0.47 AC	20,337 SF
LOT 38 TOTAL	0.79 AC	34,363 SF
LOT 39 TOTAL	1.14 AC	50,127 SF

SEE SHEET C2.04 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDD AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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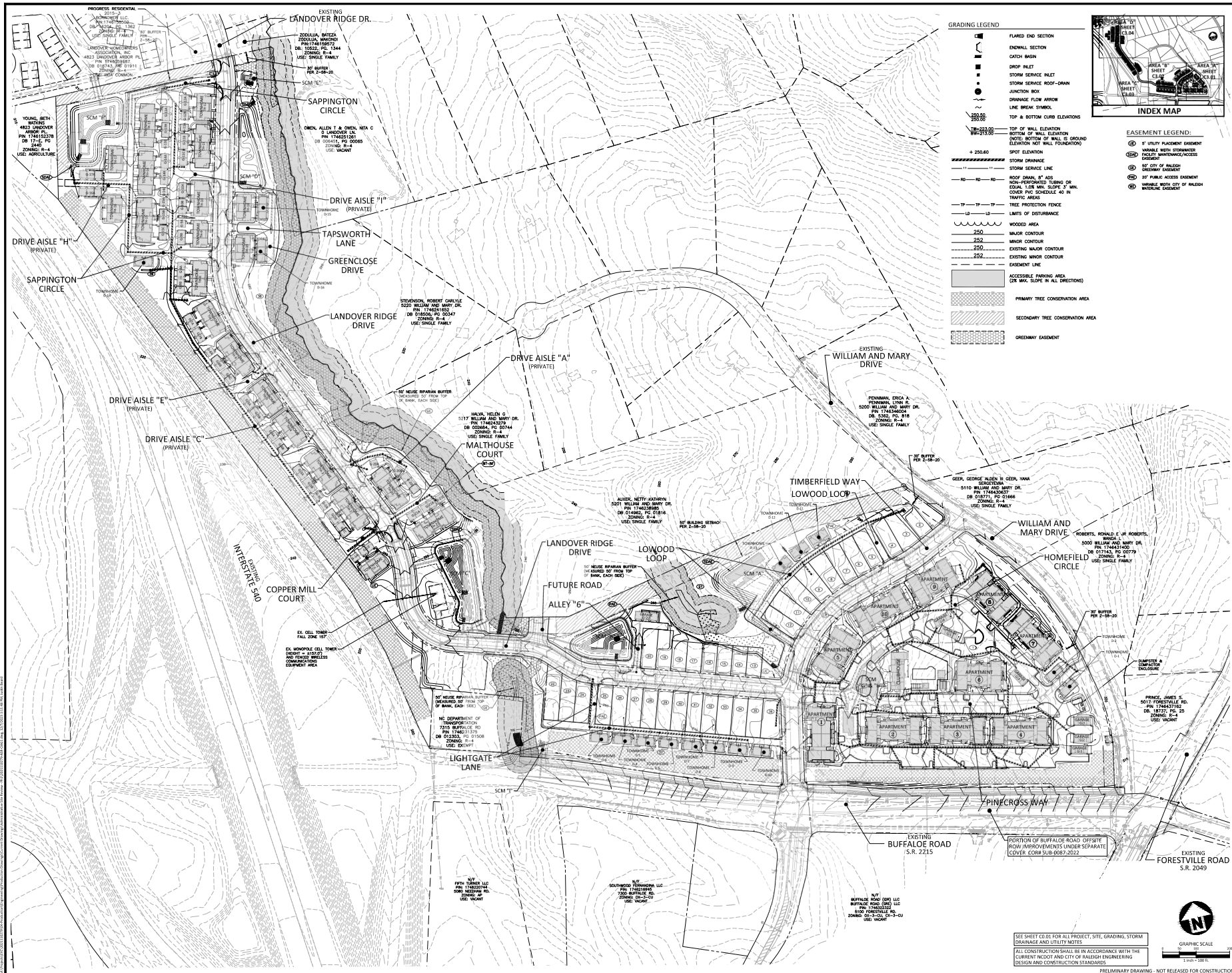


REVISIONS

NO.	DATE	REVISION
1	05.06.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	05.21.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	12.01.2023	REVISED PER CITY OF RALEIGH COMMENTS

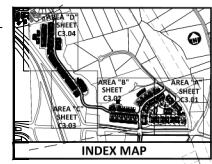
PLAN INFORMATION

PROJECT NO.	2023.10079
FILENAME	2023.10079-ASR-51
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	1"=40'
DATE	01.13.2023



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EXISTING ELEVATION NOT WALL FOUNDATION
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" AIS
- NON-PERFORATED TUBING OR EQUAL USE MAX. SLOPE 1/8" MIN.
- COVER PER SCHEDULE 40 IN TRAFFIC AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODS AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- GREENWAY EASEMENT



- EASEMENT LEGEND:**
- 5' UTILITY PLACEMENT EASEMENT
 - MINIMAL WIDTH BROWSPAWN FACILITY ADJACENT TO ROADS
 - 5' CITY OF RALEIGH GREENWAY EASEMENT
 - 20' PUBLIC ACCESS EASEMENT
 - VARIOUS WIDTH CITY OF RALEIGH EASEMENT

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fax 919.361.2269
license number: C-0299, C-187
www.mcadamsco.com

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EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW**

RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE # ASR-0005-2023

REVISIONS

NO.	DATE	REVISION
1	05-06-2023	REVISED PER COR 30-ASR COMMENTS
2	06-21-2023	REVISED PER COR 24-ASR COMMENTS
3	12-01-2023	REVISED PER COR 34-ASR COMMENTS

PLAN INFORMATION

PROJECT NO. 2023130279
FILE NAME 2023130279-ASR-04G1
CHECKED BY CSH
DRAWN BY CSH
SCALE 1"=100'
DATE 01.13.2023

SHEET

OVERALL GRADING & STORM DRAINAGE PLAN
C3.00

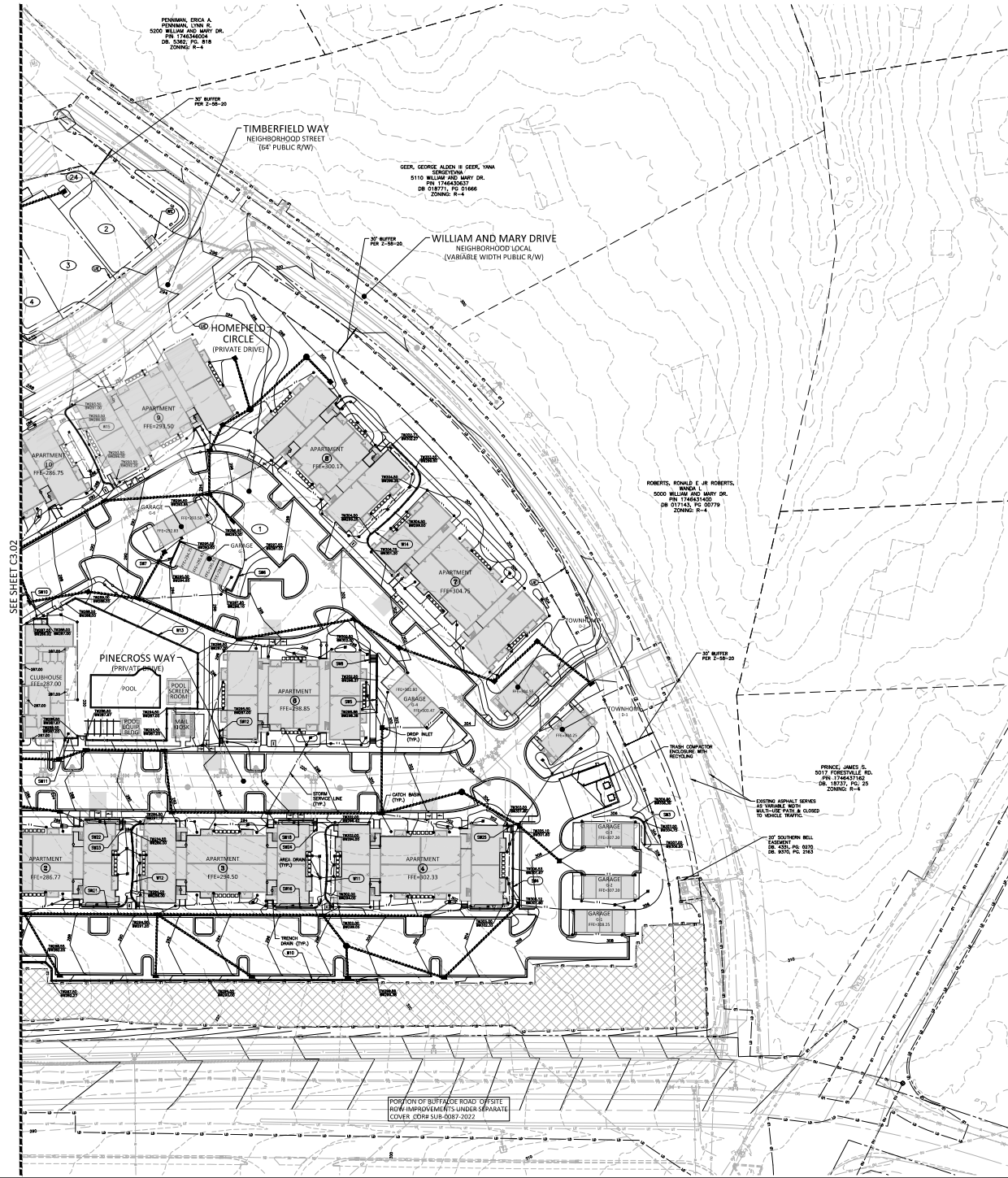
SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MOCT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

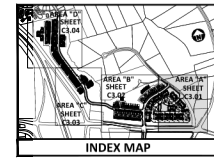
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

GRAPHIC SCALE
1 inch = 100 feet

\\p01dev\proj\2023\110799\ASR\Drawings\Site\ASR-C3.01.dwg, 1/27/2023 10:21:10 AM, User: jmcnamara



- EASEMENT LEGEND:**
- ① 8' UTILITY PLACEMENT EASEMENT
 - ② VARIABLE WIDTH STORMWATER FACILITY IMPROVEMENTS EASEMENT
 - ③ 50' CITY OF RALEIGH GREENWAY EASEMENT
 - ④ 50' PUBLIC ACCESS EASEMENT
 - ⑤ VARIABLE WIDTH CITY OF RALEIGH WIDENING EASEMENT



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" DIA. NON-PERFORATED TUBING OR EQUAL, 1/8" MIN. SLOPE, 3" MIN. COVER, PVC SCHEDULE 40 IN TRAFFIC AREAS
- LIMITS OF DISTURBANCE
- THREE PROTECTION FENCE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (OR MAX. SLOPE IN ALL DIRECTIONS)
- RETAINING WALL (DESIGN BY OTHERS)
- RETAINING WALL UNDER PUBLIC INFRASTRUCTURE PERMIT (DESIGN BY OTHERS)
- SITE WALL < 8' HEIGHT (DESIGN BY OTHERS)
- PRIMARY TREE CONSERVATION AREA (OR NUISSE RIVER BUFFER ZONE 2)
- SECONDARY TREE CONSERVATION AREA

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CHARLESTON, SOUTH CAROLINA 29407



**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

REVISIONS

NO.	DATE	REVISION
1	05-26-2023	REVISED PER COR 30 ASR COMMENTS
2	06-21-2023	REVISED PER COR 204 ASR COMMENTS
3	12-06-2023	REVISED PER COR 304 ASR COMMENTS

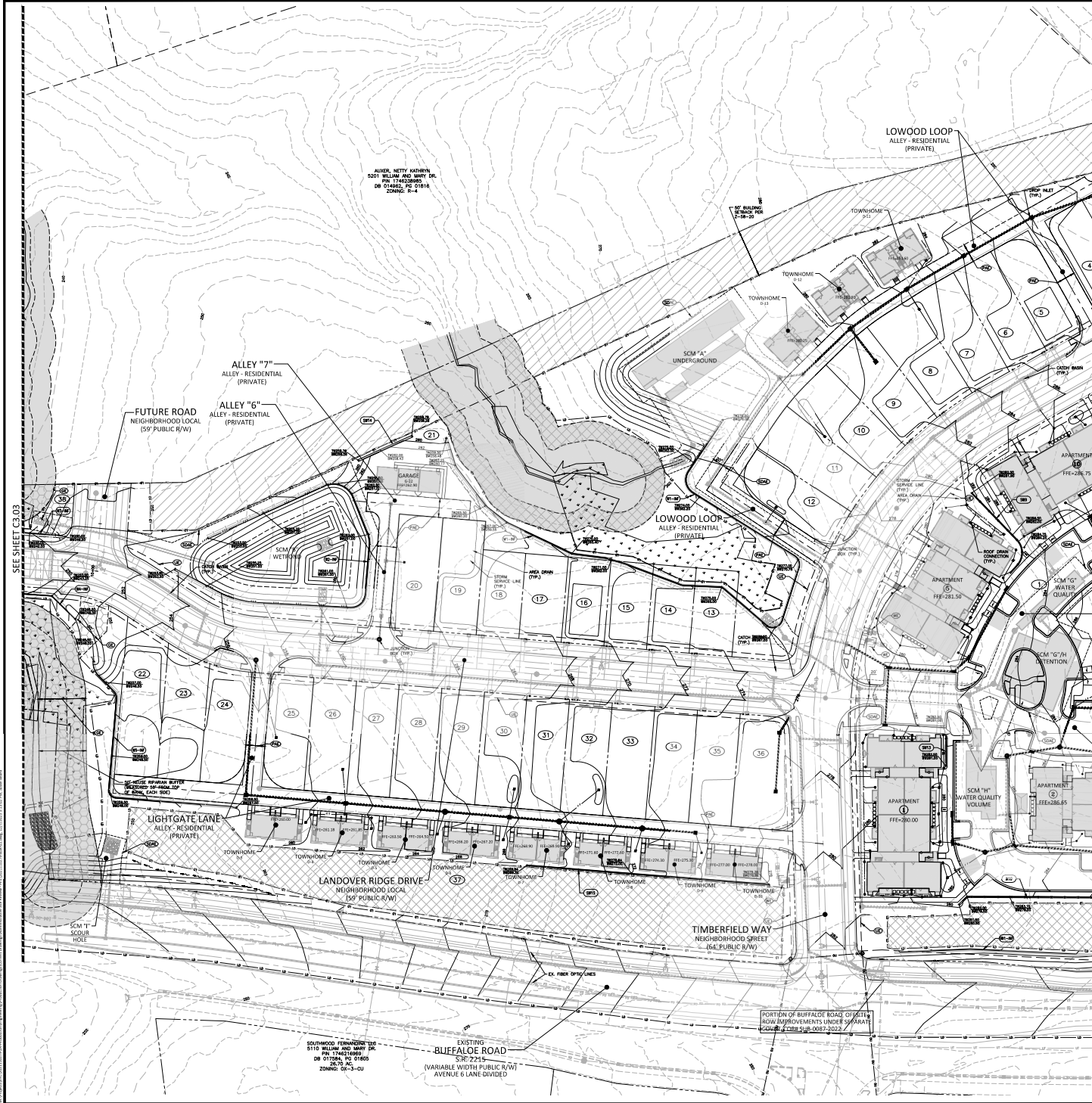
PLAN INFORMATION
PROJECT NO. 2023110799
FILENAME 2023110799-ASR-G3
CHECKED BY CSH
DRAWN BY CWS
SCALE 3"=40'
DATE 01.13.2023

SHEET
GRADING PLAN
AREA "A"
C3.01

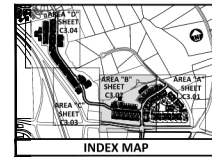
PUBLIC INFRASTRUCTURE AND STORMWATER MANAGEMENT SHOWN ON THESE PLANS IS TO BE PERMITTED UNDER THE SIP DRAWINGS ASSOCIATED WITH SUB-0087-2022.

SEE SHEET C3.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDC AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





- EASEMENT LEGEND:**
- 1' UTILITY PLACEMENT EASEMENT
 - 5' VARIABLE WIDTH STORMWATER FACILITY W/IN/OUT/ACCESS EASEMENT
 - 5' CITY OF RALEIGH GREENWAY EASEMENT
 - 10' PUBLIC ACCESS EASEMENT
 - 5' VARIABLE WIDTH CITY OF RALEIGH W/IN/OUT EASEMENT



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" AND NON-PERFORATED TUBING OR EQUAL, 1/2" MIN. SLOPE, 2" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- THREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (FOR MAX. SLOPE IN ALL DIRECTIONS)
- RETAINING WALL (DESIGN BY OTHERS)
- RETAINING WALL UNDER PUBLIC INFRASTRUCTURE PERMIT (DESIGN BY OTHERS)
- SITE WALL < 8' HEIGHT (DESIGN BY OTHERS)
- PRIMARY TREE CONSERVATION AREA (NEAR RIVER BUFFER ZONE 2)
- SECONDARY TREE CONSERVATION AREA
- GREENWAY EASEMENT

REVISIONS

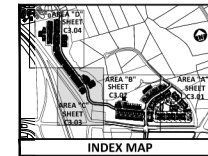
NO.	DATE	REVISION
1	09.26.2023	REVISED PER COR. 30.400 COMMENTS
2	09.21.2023	REVISED PER COR. 20.400 COMMENTS
3	12.06.2023	REVISED PER COR. 30.400 COMMENTS

PLAN INFORMATION

PROJECT NO.	2023130279
FILENAME	2023130279-ASR-G1
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	3"=40'
DATE	01.13.2023



- EASEMENT LEGEND:**
- ① 8' UTILITY PLACEMENT EASEMENT
 - ② VARIABLE WIDTH STORMWATER FACILITY IMPROVEMENTS EASEMENT
 - ③ 50' CITY OF RALEIGH GREENWAY EASEMENT
 - ④ 50' PUBLIC ACCESS EASEMENT
 - ⑤ VARIABLE WIDTH CITY OF RALEIGH WIDENING EASEMENT



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
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- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" AND NON-PERFORATED TUBING OR EQUAL, 1/8" MIN. SLOPE, 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TP TP TREE PROTECTION FENCE
- LD LD LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (OR MIN. SLOPE IN ALL DIRECTIONS)
- RETAINING WALL (DESIGN BY OTHERS)
- RETAINING WALL UNDER PUBLIC INFRASTRUCTURE PERMIT (DESIGN BY OTHERS)
- SITE WALL < 6' HEIGHT (DESIGN BY OTHERS)
- PRIMARY TREE CONSERVATION AREA (NEUSE RIVER BUFFER ZONE 2)
- SECONDARY TREE CONSERVATION AREA
- GREENWAY EASEMENT

PUBLIC INFRASTRUCTURE AND STORMWATER MANAGEMENT SHOWN ON THESE PLANS IS TO BE PERMITTED UNDER THE SPR DRAWINGS ASSOCIATED WITH SUB-0807-2022.

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCOST AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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CHARLESTON, SOUTH CAROLINA 29407



**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

REVISIONS

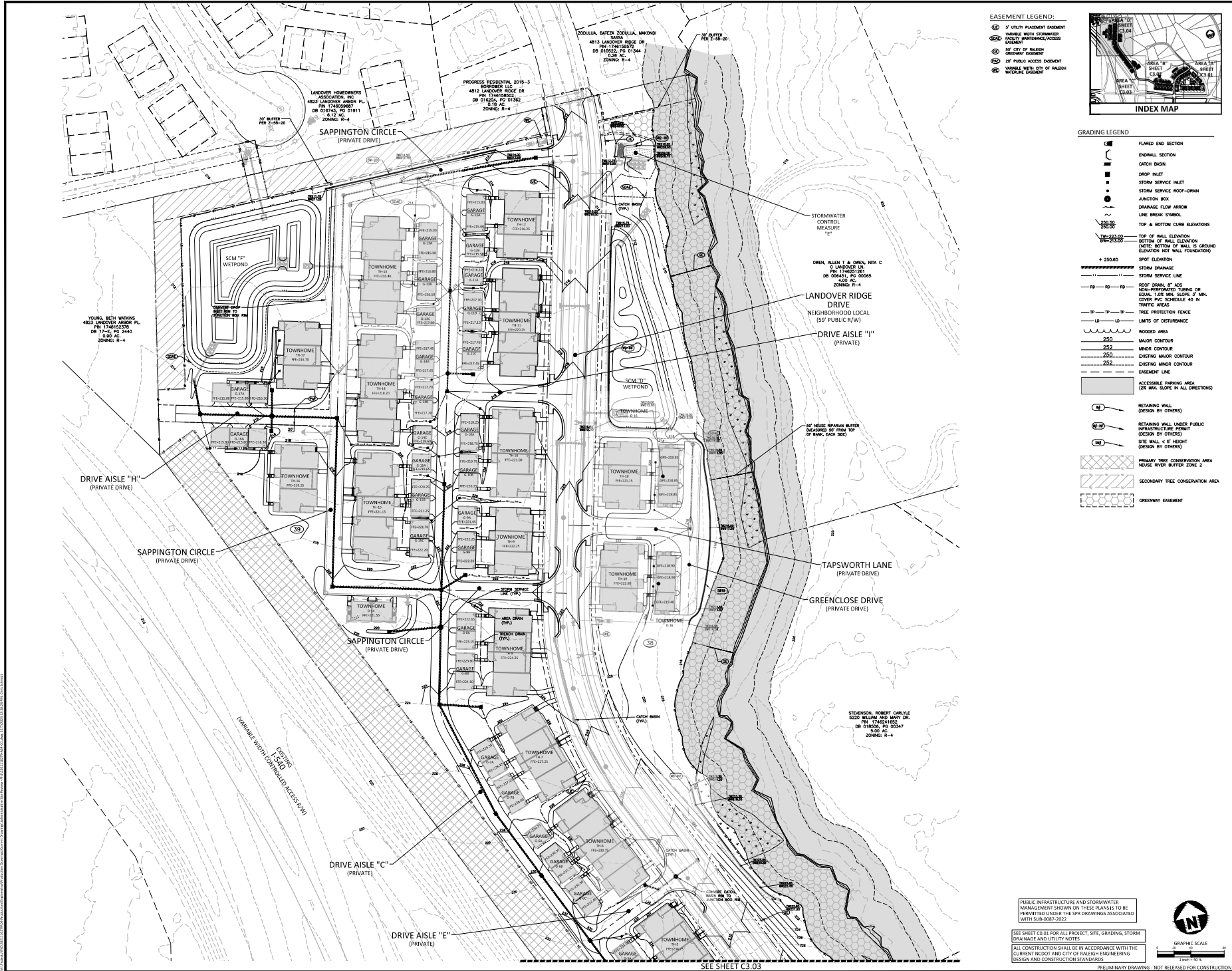
NO.	DATE	REVISION
1	08.26.2023	REVISED PER COR 30 ASR COMMENTS
2	09.21.2023	REVISED PER COR 24 & 30 ASR COMMENTS
3	12.06.2023	REVISED PER COR 34 & 35 ASR COMMENTS

PLAN INFORMATION

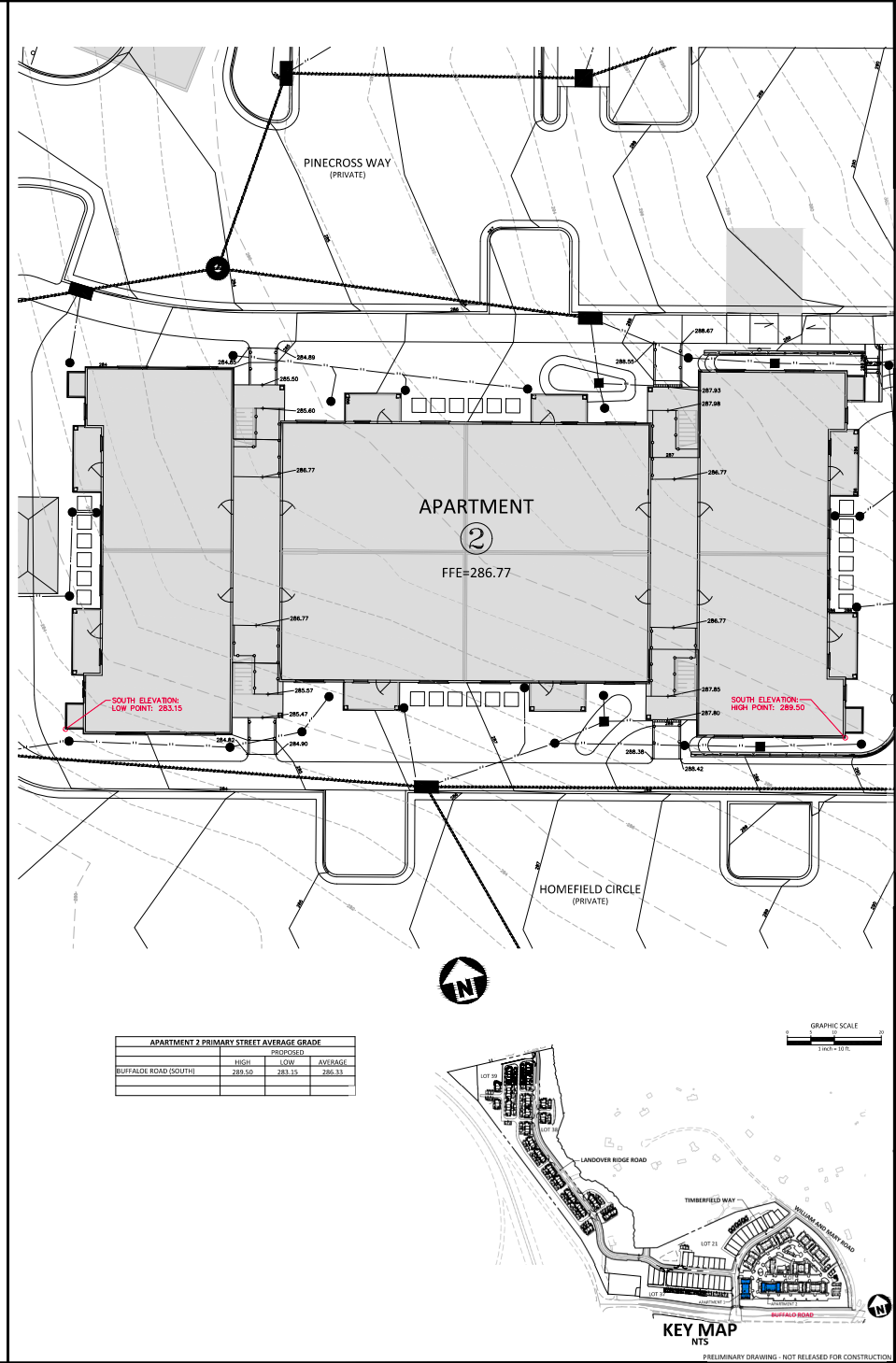
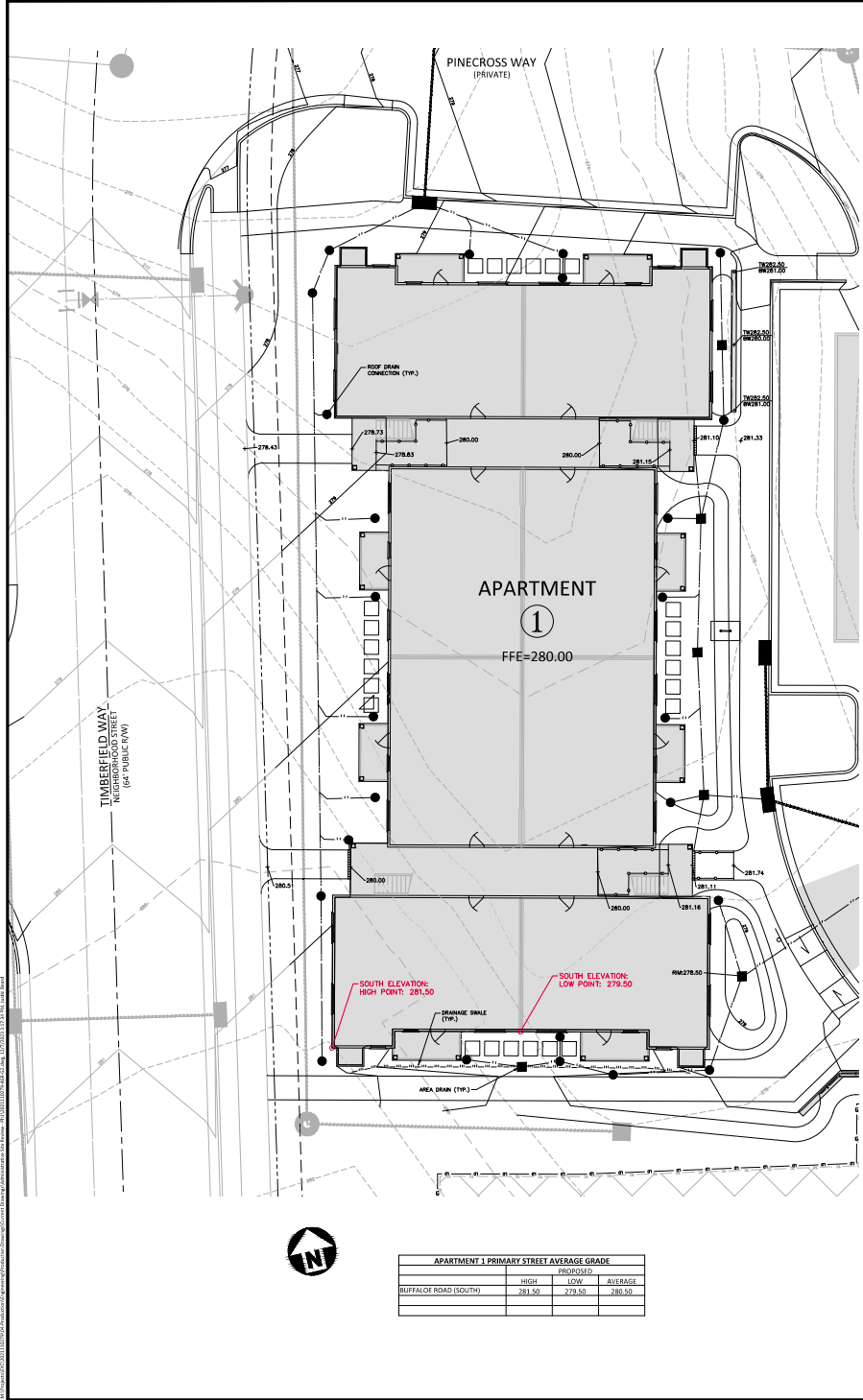
PROJECT NO. 2023.100779
FILENAME 2023.100779-ASR-G1
CHECKED BY CSH
DRAWN BY CNS
SCALE 1"=40'
DATE 01.13.2023

SHEET

**GRADING PLAN
AREA "C"
C3.03**



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**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

REVISIONS

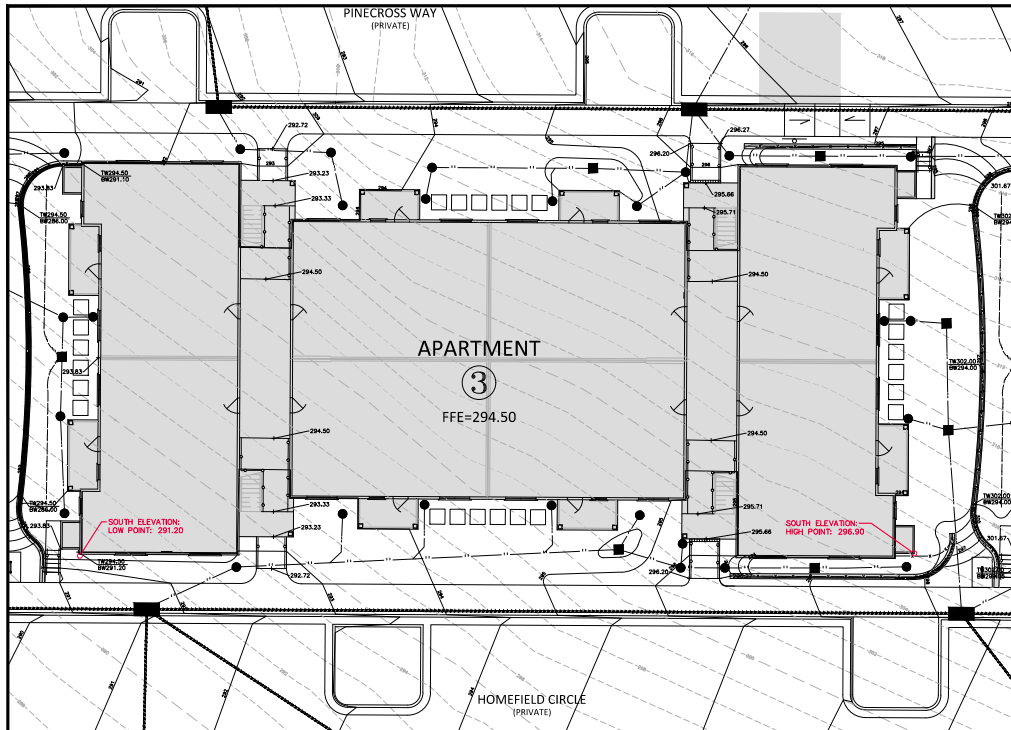
NO.	DATE	REVISION
1	08.26.2023	REVISED PER COR 30-404 COMMENTS
2	09.21.2023	REVISED PER COR 204-204 COMMENTS
3	12.06.2023	REVISED PER COR 30-404 COMMENTS

PLAN INFORMATION

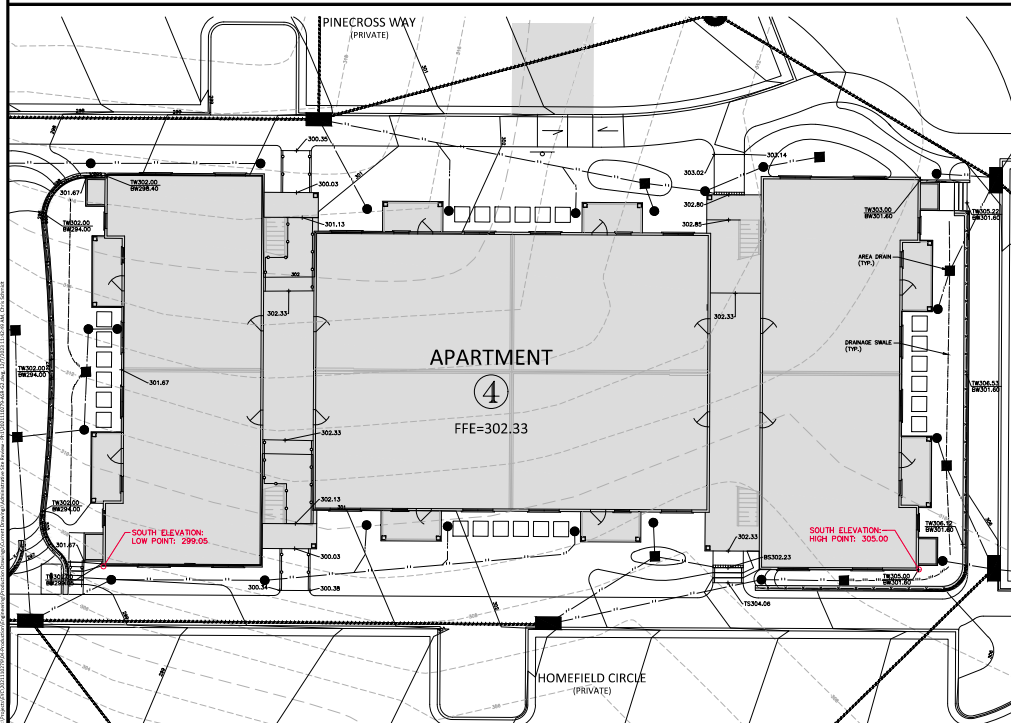
PROJECT NO.	2023.110279
FILENAME	2023.110279-ASR-G2
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	1"=10'
DATE	01.13.2023

SHEET

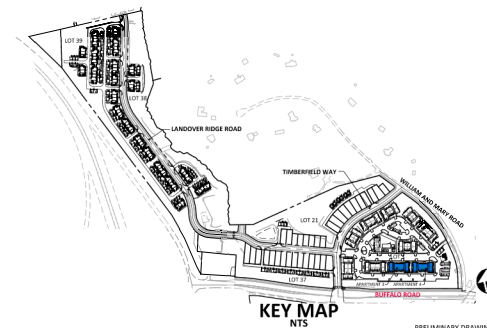
**AVERAGE GRADE
CALCULATIONS
LOT 1 - BLDGS 1 & 2
C3.05**

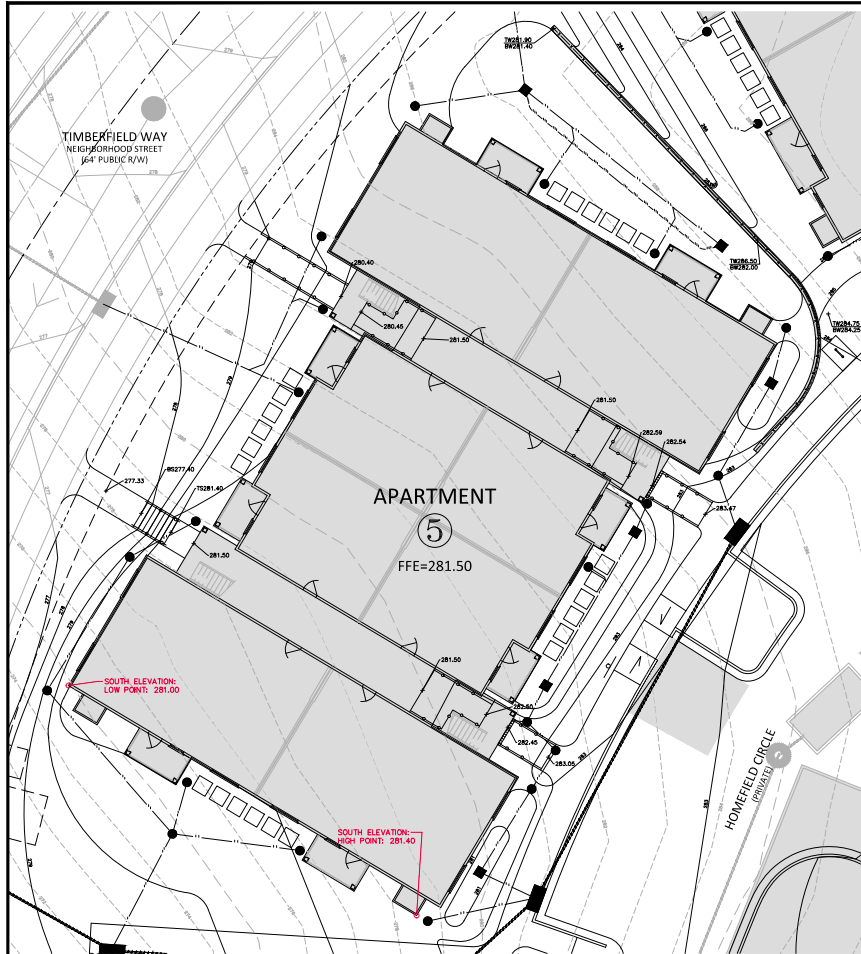


APARTMENT 3 PRIMARY STREET AVERAGE GRADE	PROPOSED		
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	296.90	293.20	294.05

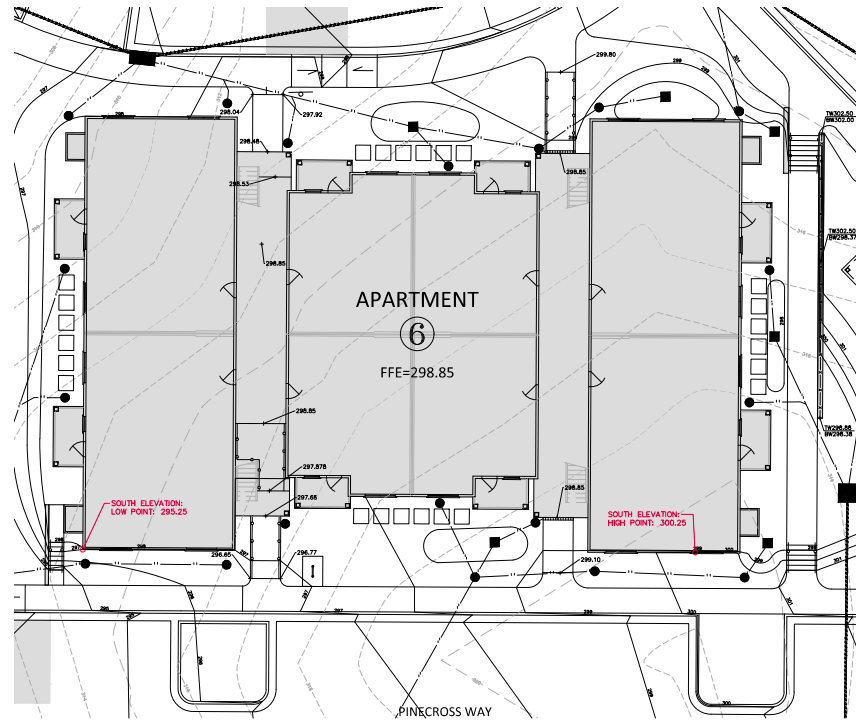


APARTMENT 4 PRIMARY STREET AVERAGE GRADE	PROPOSED		
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	305.00	299.05	302.03

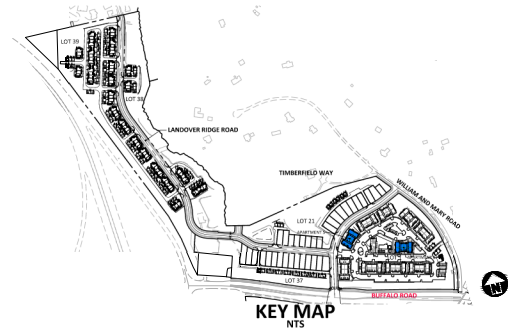
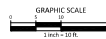




APARTMENT 5 PRIMARY STREET AVERAGE GRADE			
	HIGH	PROPOSED LOW	AVERAGE
BUFFALO ROAD (SOUTH)	281.40	281.00	281.20



APARTMENT 6 PRIMARY STREET AVERAGE GRADE			
	HIGH	PROPOSED LOW	AVERAGE
BUFFALO ROAD (SOUTH)	300.25	295.25	297.75



KEY MAP
NTS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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EYC COMPANIES
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CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

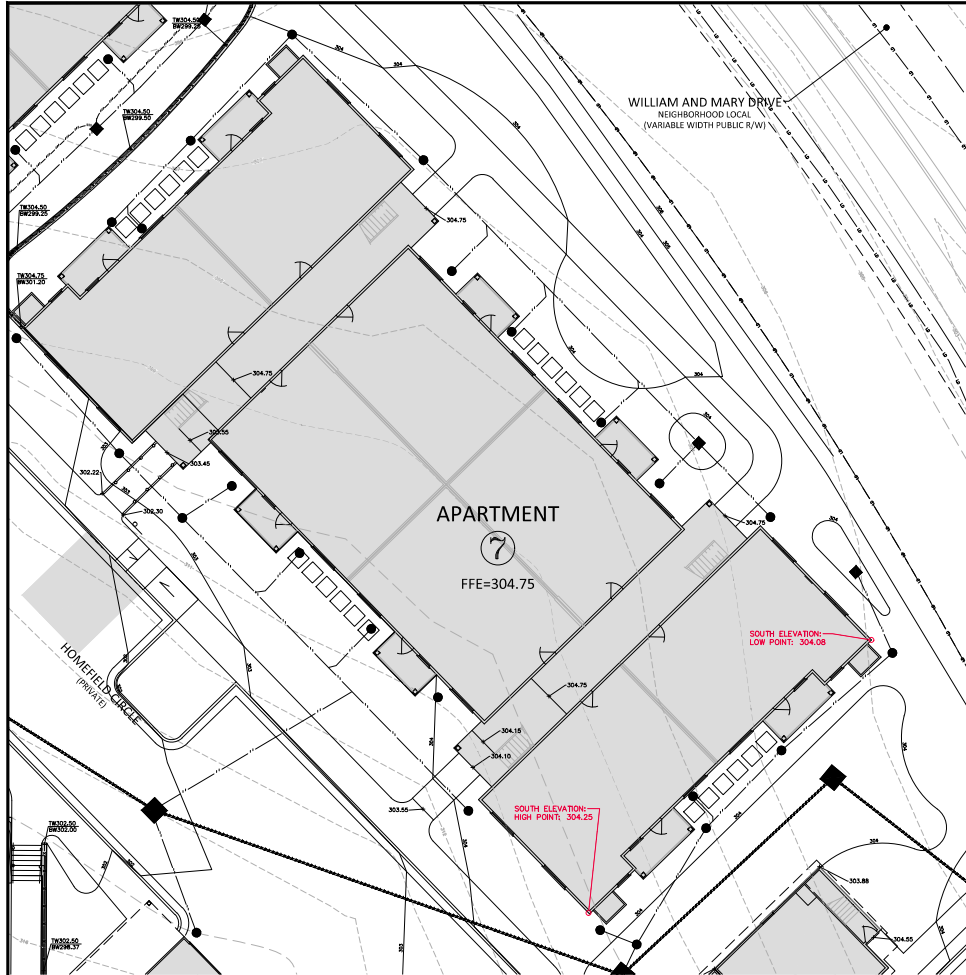
**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023

REVISIONS

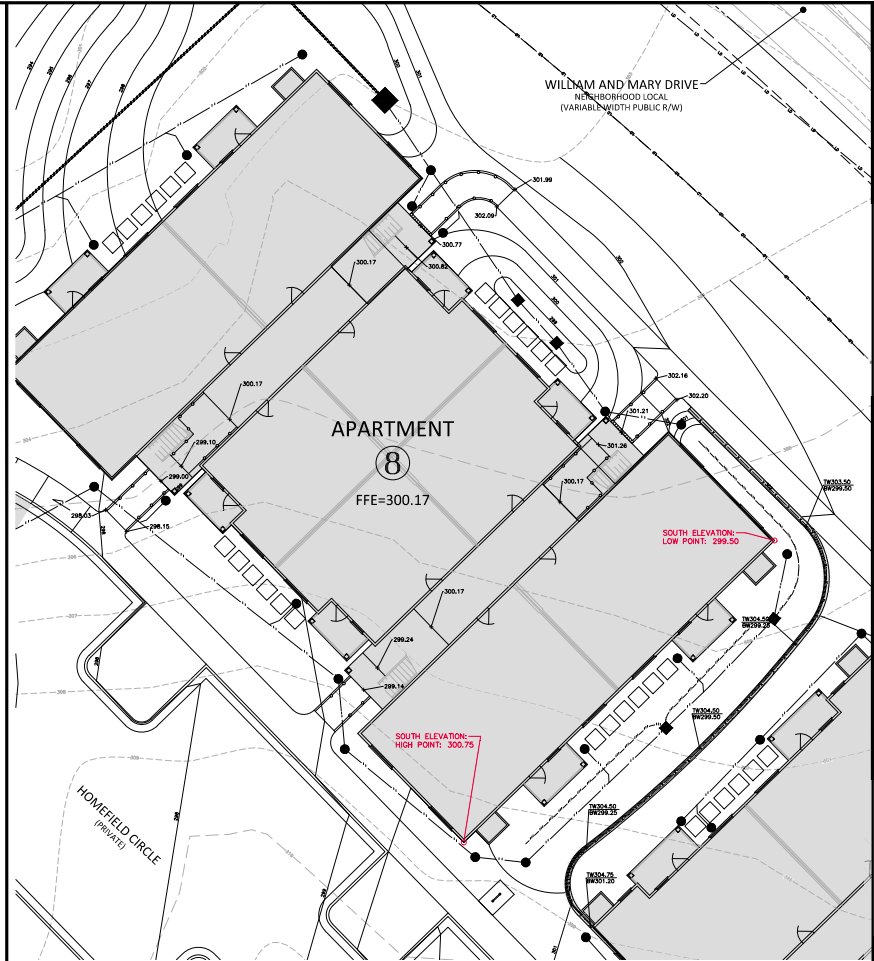
NO.	DATE	REVISION
1	08.26.2023	REVISED PER CDR 30-408 COMMENTS
2	08.21.2023	REVISED PER CDR 204-408 COMMENTS
3	12.06.2023	REVISED PER CDR 30-408 COMMENTS

PLAN INFORMATION
PROJECT NO. 2023110079
FILENAME 2023110079-ASR-G2
CHECKED BY CSH
DRAWN BY CNS
SCALE 1"=10'
DATE 01.13.2023

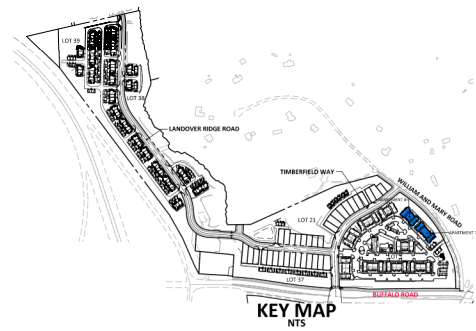
SHEET
AVERAGE GRADE
CALCULATIONS
LOT 1 - BLDGS 5 & 6
C3.07



APARTMENT 7 PRIMARY STREET AVERAGE GRADE	PROPOSED		
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	304.25	304.08	304.17



APARTMENT 8 PRIMARY STREET AVERAGE GRADE	PROPOSED		
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	300.75	299.50	300.13



KEY MAP
NTS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA CITY OF RALEIGH CASE #: ASR-0005-2023

REVISIONS

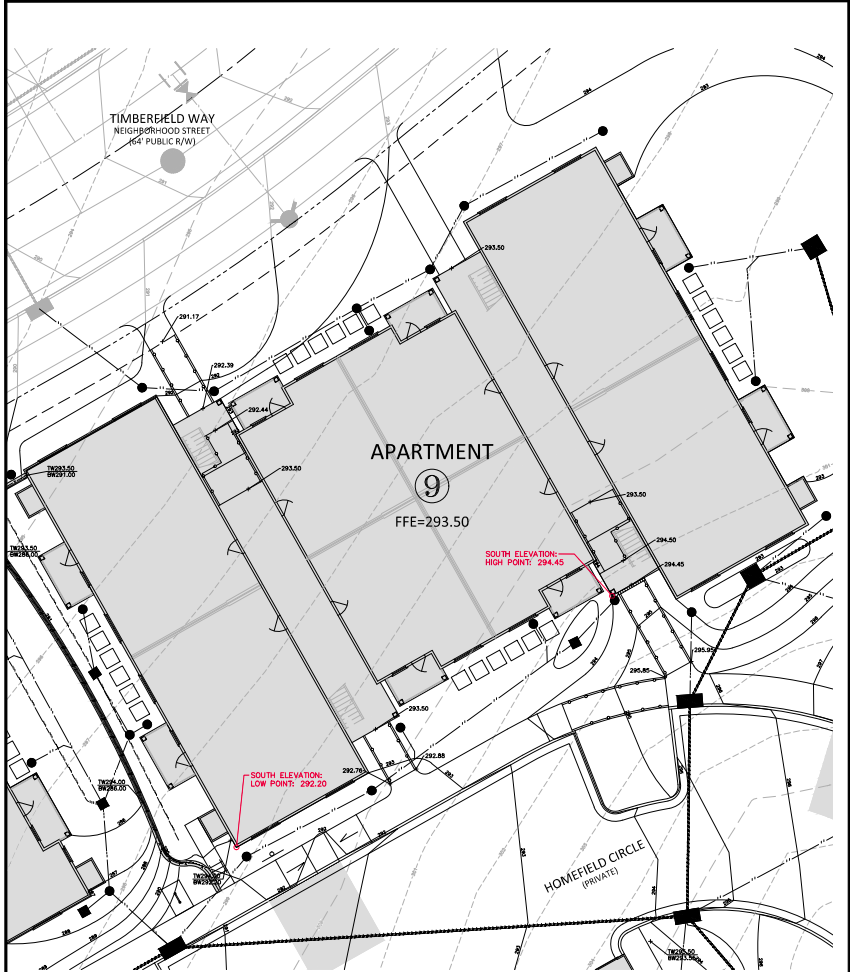
NO.	DATE	REVISION
1	09.06.2023	REVISED PER COR 304.08 COMMENTS
2	09.21.2023	REVISED PER COR 294.50 COMMENTS
3	12.06.2023	REVISED PER COR 304.08 COMMENTS

PLAN INFORMATION

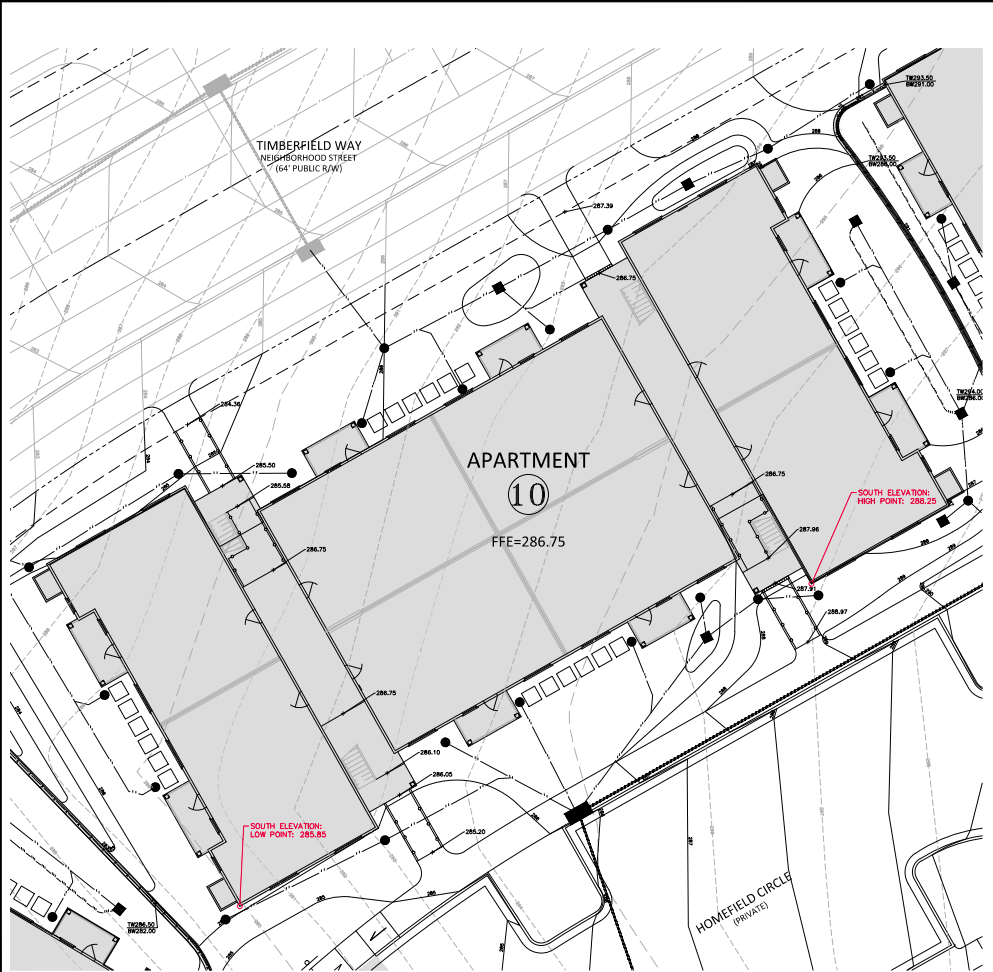
PROJECT NO.	2023.1.00779
FILENAME	2023.1.00779-ASR-G2
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	1"=10'
DATE	01.13.2023

SHEET

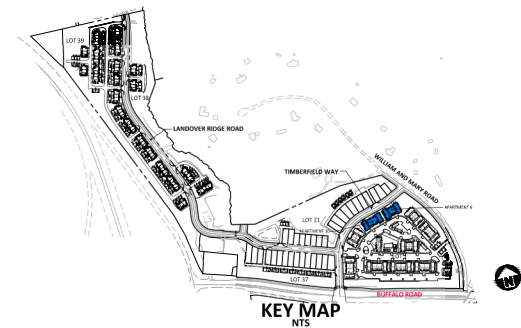
AVERAGE GRADE
CALCULATIONS
LOT 1 - BLDGS 7 & 8
C3.08



APARTMENT 9 PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	294.45	292.20	293.33



APARTMENT 10 PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
BUFFALO ROAD (SOUTH)	288.25	285.85	287.05



KEY MAP
NTS

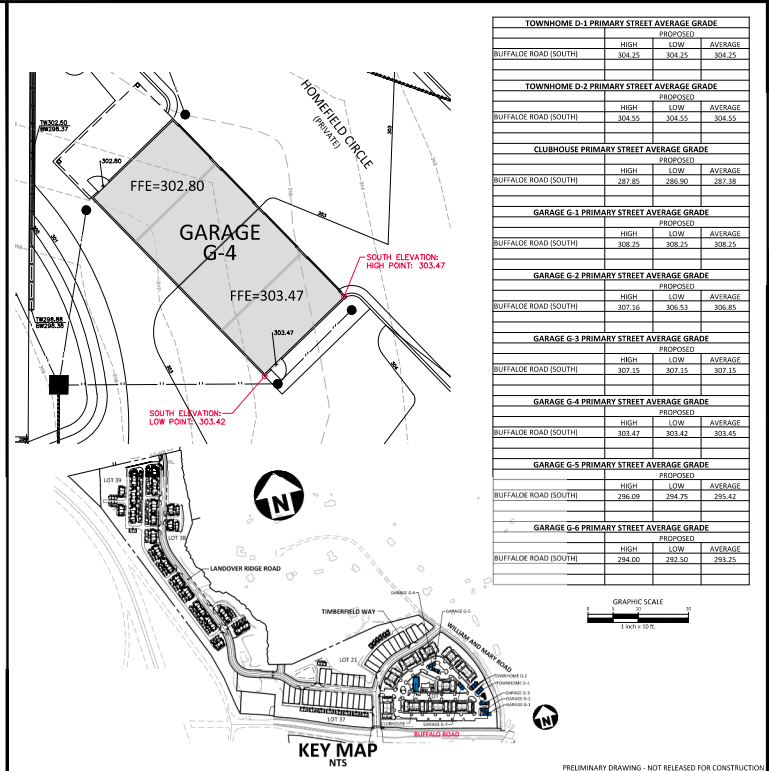
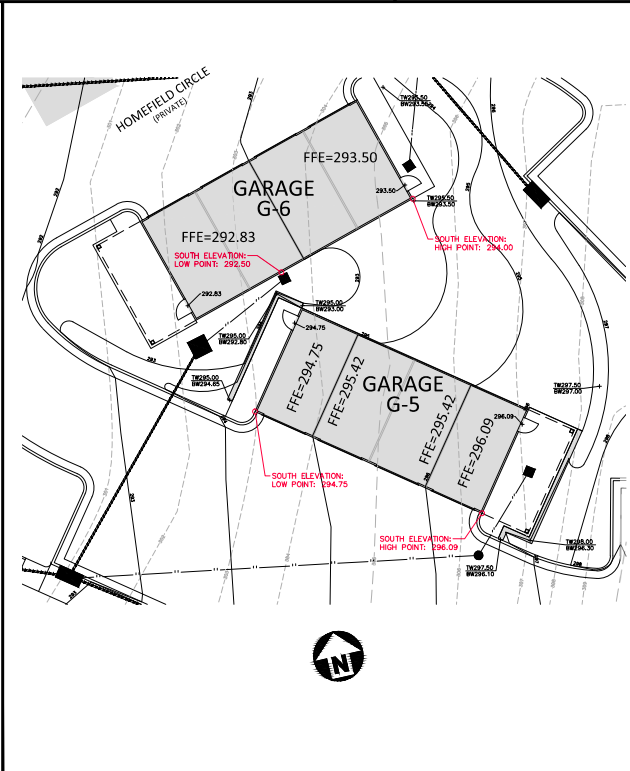
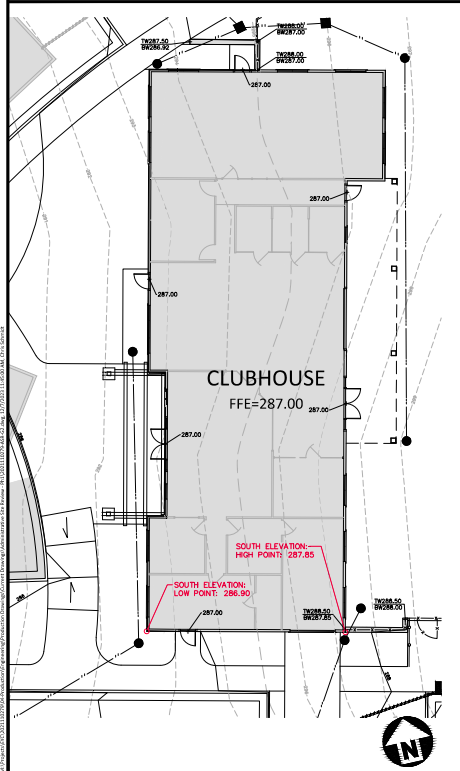
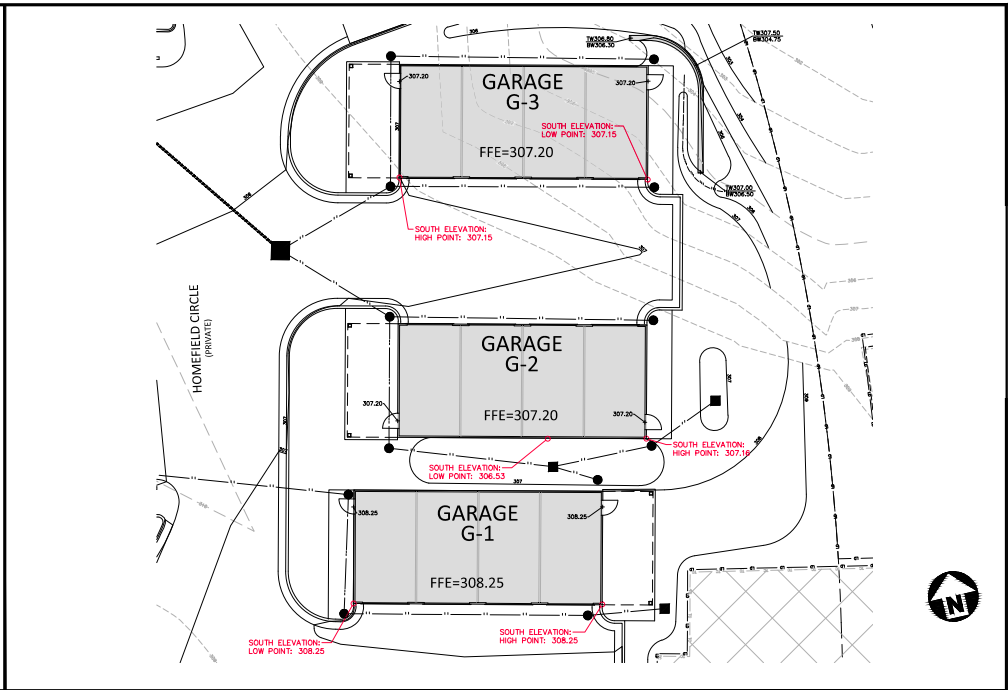
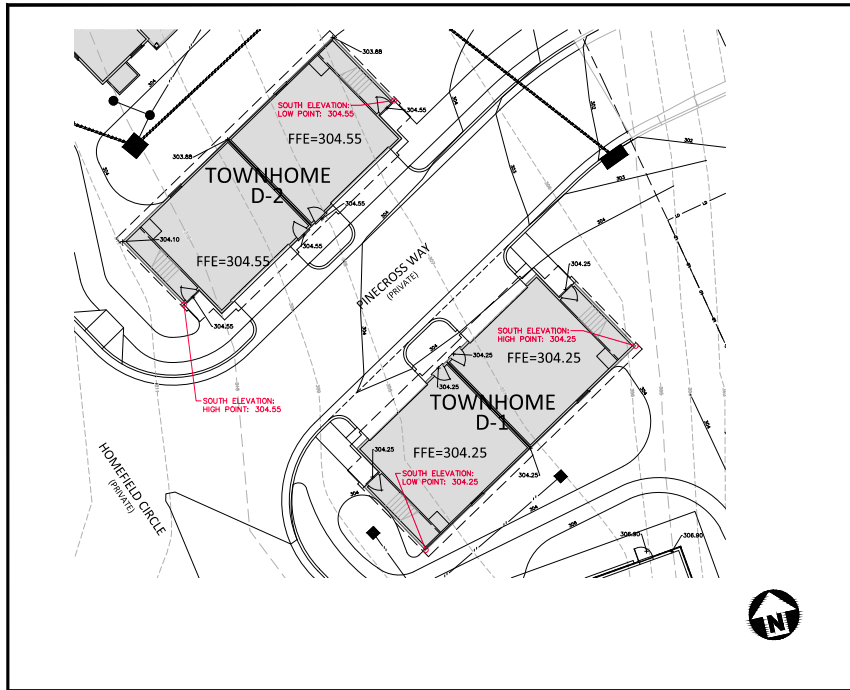
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	08.26.2023	REVISED PER COR 30 ASR COMMENTS
2	08.21.2023	REVISED PER COR 24 & 30 ASR COMMENTS
3	12.06.2023	REVISED PER COR 34 ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	2023.1.00779
FILENAME	2023.1.00779-ASR-G2
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	3"=10'
DATE	01.13.2023



TOWNHOME D-1 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
304.25	304.25	304.25	
TOWNHOME D-2 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
304.55	304.55	304.55	
CLUBHOUSE PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
287.85	286.90	287.38	
GARAGE G-1 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
308.25	308.25	308.25	
GARAGE G-2 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
307.16	306.53	306.85	
GARAGE G-3 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
307.16	307.16	307.16	
GARAGE G-4 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
303.47	303.42	303.45	
GARAGE G-5 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
295.09	294.75	294.92	
GARAGE G-6 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
294.00	293.50	293.75	



KEY MAP
NTS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	REVISION
1	06.26.2023	REVISED PER CDR 30.40 COMMENTS
2	06.21.2023	REVISED PER CDR 20.40 COMMENTS
3	12.06.2023	REVISED PER CDR 30.40 COMMENTS

PLAN INFORMATION
PROJECT NO. 2023130779
FILENAME 2023130779-ASR-G2
CHECKED BY CSH
DRAWN BY CSH
SCALE 1"=10'
DATE 01.13.2023

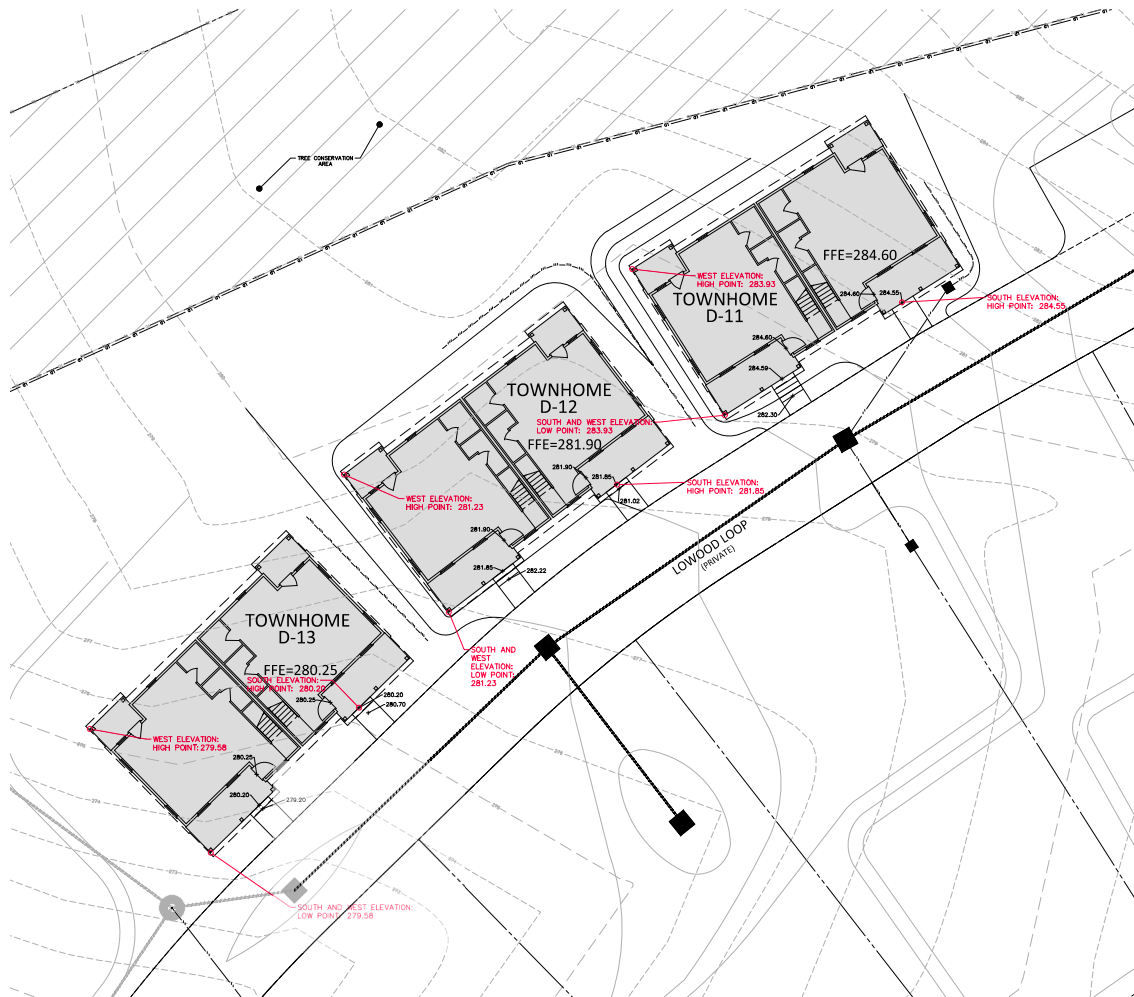
SHEET
AVERAGE GRADE
CALCULATIONS
LOT 1 - AUXILIARY BLDGS
C3.10

CLIENT

BYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLOTTE, SOUTH CAROLINA 29407

BYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

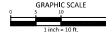
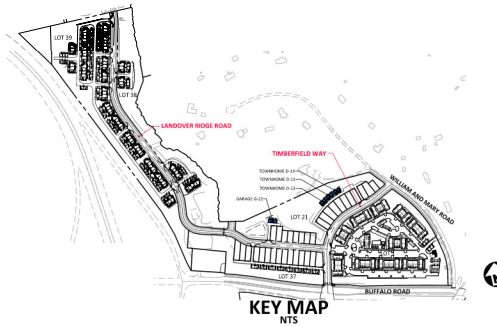
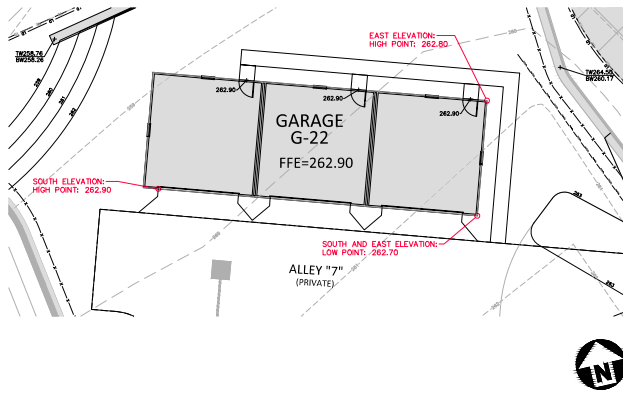


TOWNHOME D-11 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
TIMBERFIELD WAY (SOUTH)	284.55	283.93	284.24
LANDOVER RIDGE ROAD (WEST)	283.93	283.93	283.93

TOWNHOME D-12 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
TIMBERFIELD WAY (SOUTH)	281.85	281.23	281.54
LANDOVER RIDGE ROAD (WEST)	281.23	281.23	281.23

TOWNHOME D-13 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
TIMBERFIELD WAY (SOUTH)	280.30	279.58	279.89
LANDOVER RIDGE ROAD (WEST)	279.58	279.58	279.58

GARAGE G-22 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (SOUTH)	262.80	262.70	262.80
TIMBERFIELD WAY (EAST)	262.80	262.70	262.75



REVISIONS

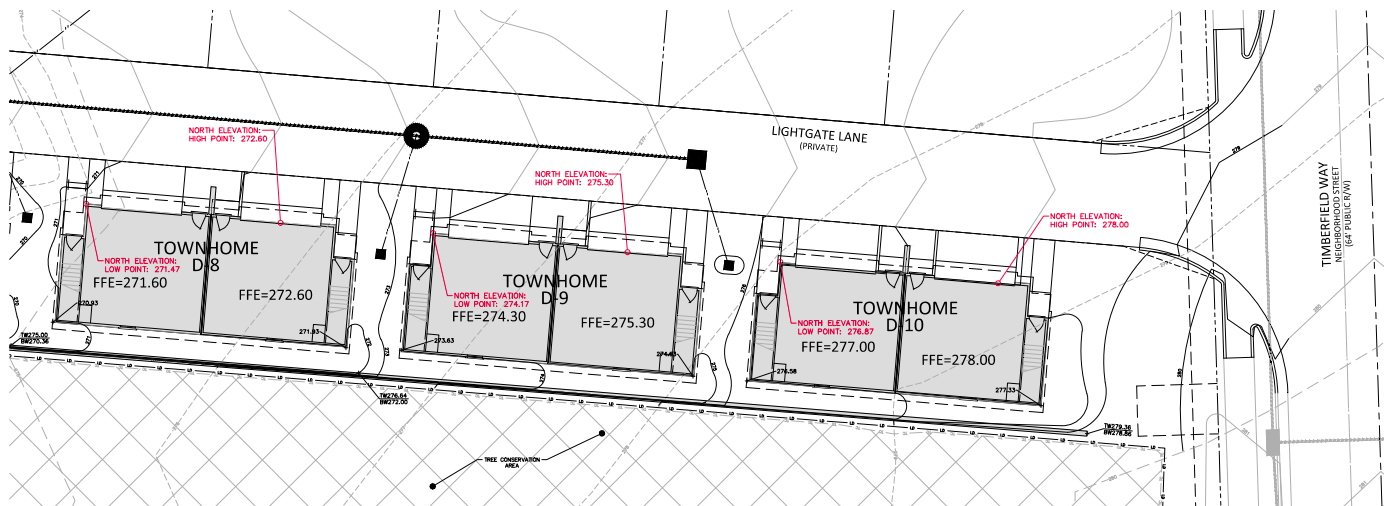
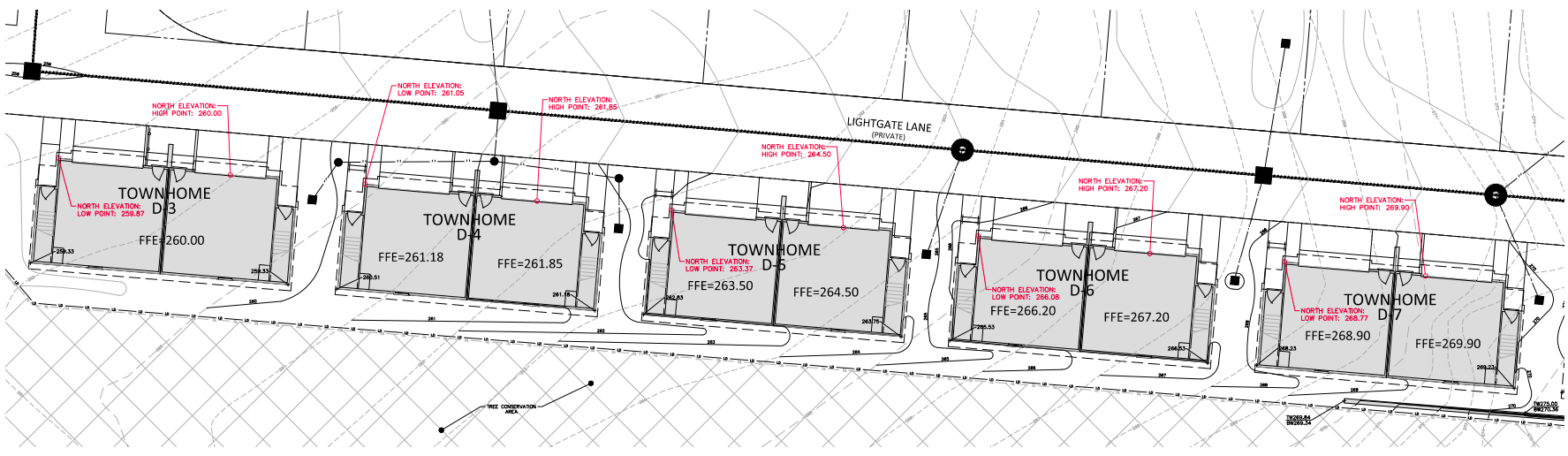
NO.	DATE	REVISION
1	01.04.2023	REVISED PER CDR 304 ASR COMMENTS
2	01.21.2023	REVISED PER CDR 244 ASR COMMENTS
3	12.01.2023	REVISED PER CDR 304 ASR COMMENTS

PLAN INFORMATION

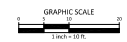
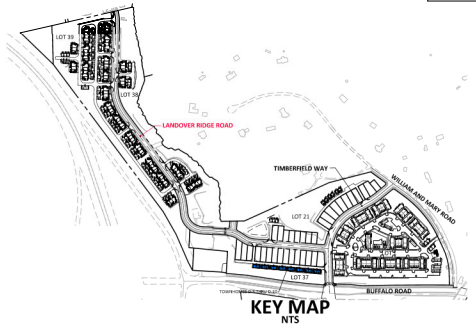
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CHECKED BY CSH
DRAWN BY CSH
SCALE 1"=10'
DATE 01.13.2023

SHEET

AVERAGE GRADE
CALCULATIONS
LOT 21 - TOWNHOMES
C3.11



TOWNHOME D-3 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	260.00	259.87	259.94
TOWNHOME D-4 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	261.85	261.05	261.45
TOWNHOME D-5 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	264.50	263.37	263.94
TOWNHOME D-6 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	267.20	266.08	266.64
TOWNHOME D-7 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	269.90	268.77	269.34
TOWNHOME D-8 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	272.60	271.47	272.04
TOWNHOME D-9 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	275.30	274.17	274.74
TOWNHOME D-10 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
HIGH	LOW	AVERAGE	
LANDOVER RIDGE ROAD (NORTH)	278.00	276.87	277.44



REVISIONS

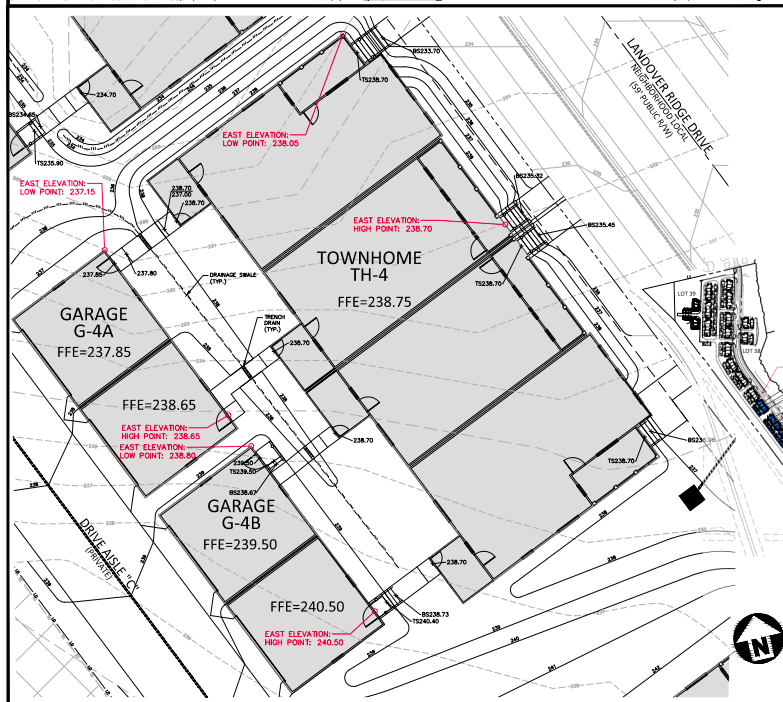
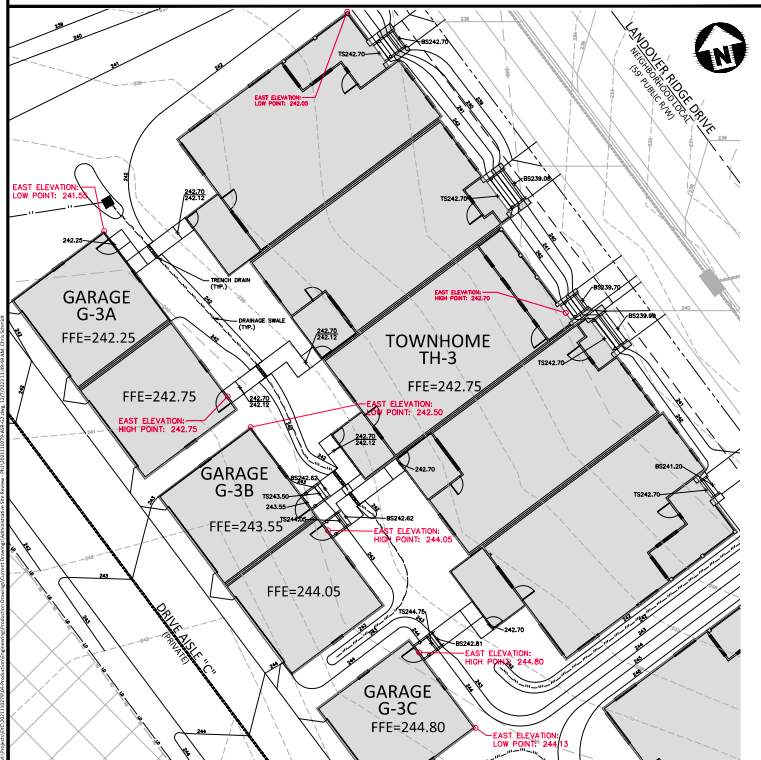
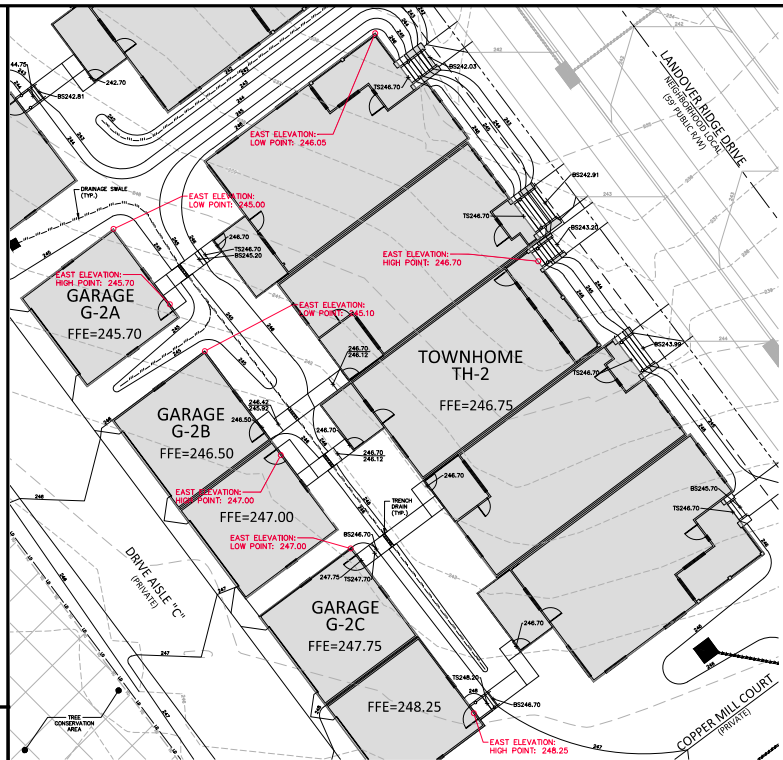
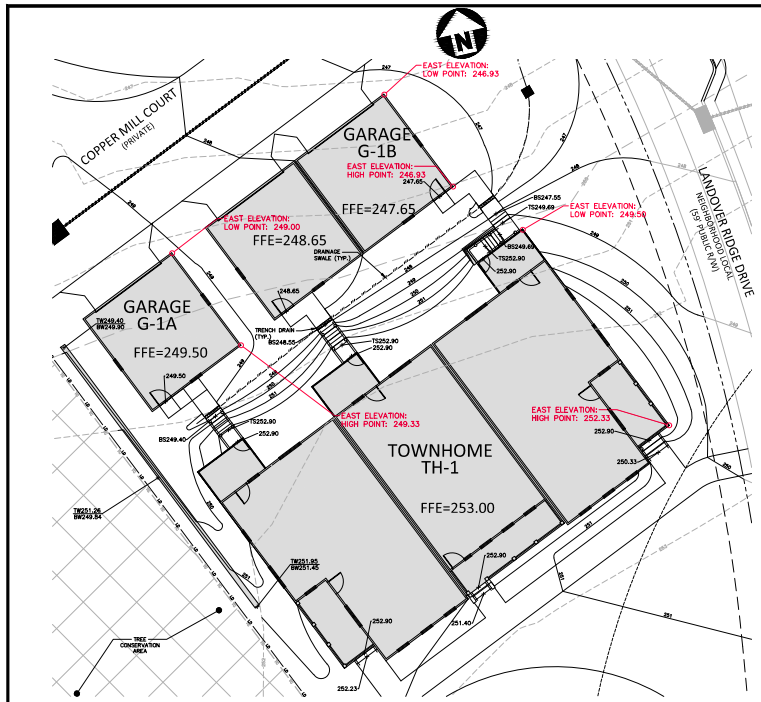
NO.	DATE	REVISION
1	09.06.2023	REVISED PER COR 30 ASR COMMENTS
2	09.21.2023	REVISED PER COR 24 & 34 ASR COMMENTS
3	12.06.2023	REVISED PER COR 34 ASR COMMENTS

PLAN INFORMATION

PROJECT NO. 2023130279
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CHECKED BY CSH
DRAWN BY CNS
SCALE 1"=10'
DATE 01.13.2023

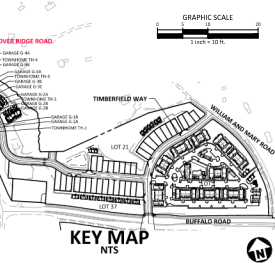
SHEET

AVERAGE GRADE
CALCULATIONS
LOT 37 - TOWNHOMES
C3.12



GARAGE G-1A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	245.33	245.00	245.17
GARAGE G-1B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	246.93	246.93	246.93
GARAGE G-2A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	245.70	245.00	245.35
GARAGE G-2B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	246.50	245.10	245.80
GARAGE G-2C PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	247.75	247.00	247.38
GARAGE G-3A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	242.25	241.50	241.88
GARAGE G-3B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	242.75	242.50	242.63
GARAGE G-3C PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	244.80	244.13	244.47
GARAGE G-4A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	237.85	237.15	237.50
GARAGE G-4B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	239.50	238.80	239.15

TOWNHOME TH-1 PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	253.00	249.50	251.25
TOWNHOME TH-2 PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	246.75	245.00	245.88
TOWNHOME TH-3 PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	242.75	242.00	242.38
TOWNHOME TH-4 PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	238.75	238.00	238.38



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CHARLESTON, SOUTH CAROLINA 29407

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023

REVISIONS

NO.	DATE	REVISIONS
1	09.26.2023	REVISED PER COR 30-40 COMMENTS
2	09.21.2023	REVISED PER COR 20-40 COMMENTS
3	11.01.2023	REVISED PER COR 30-40 COMMENTS

PLAN INFORMATION

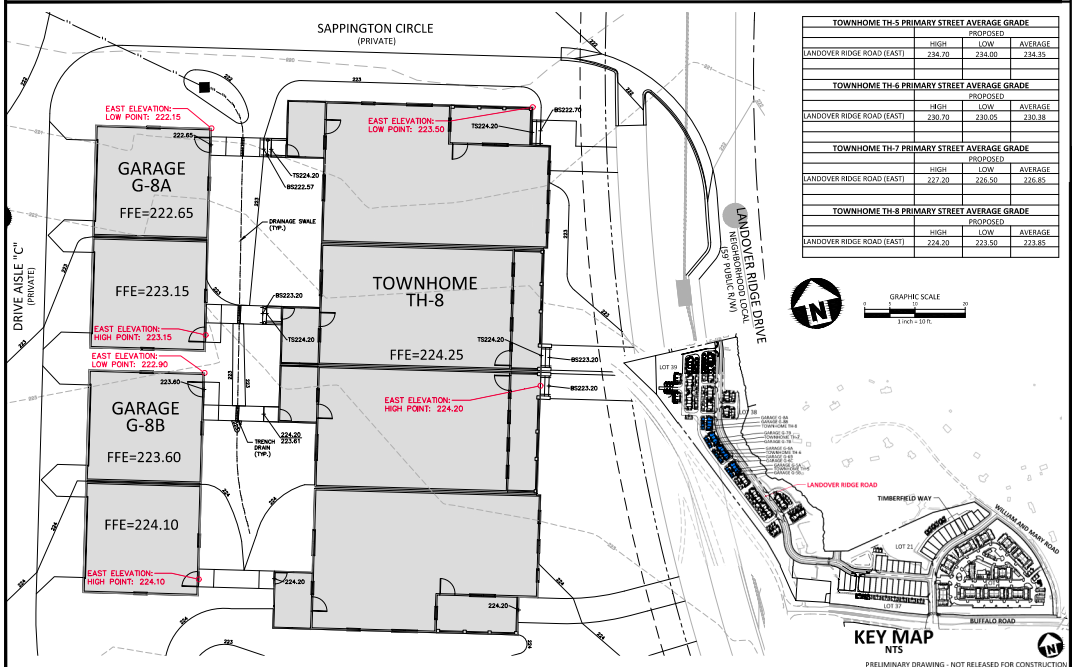
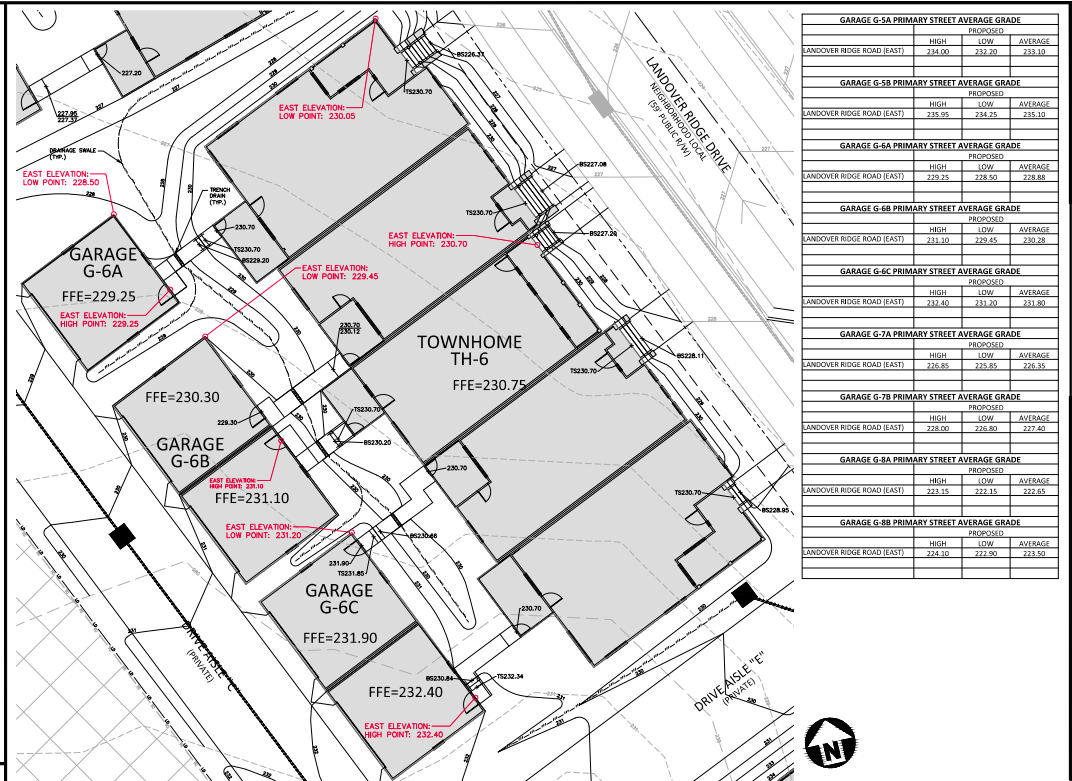
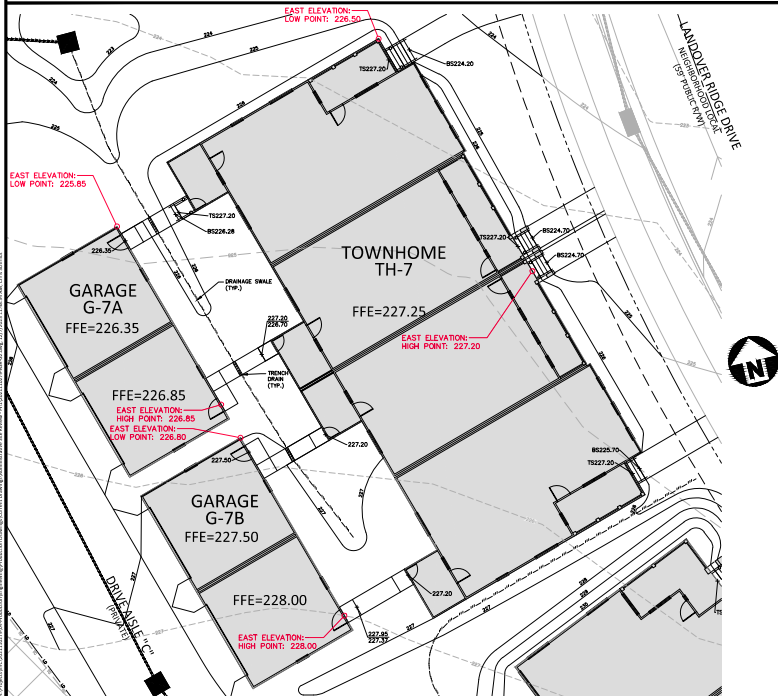
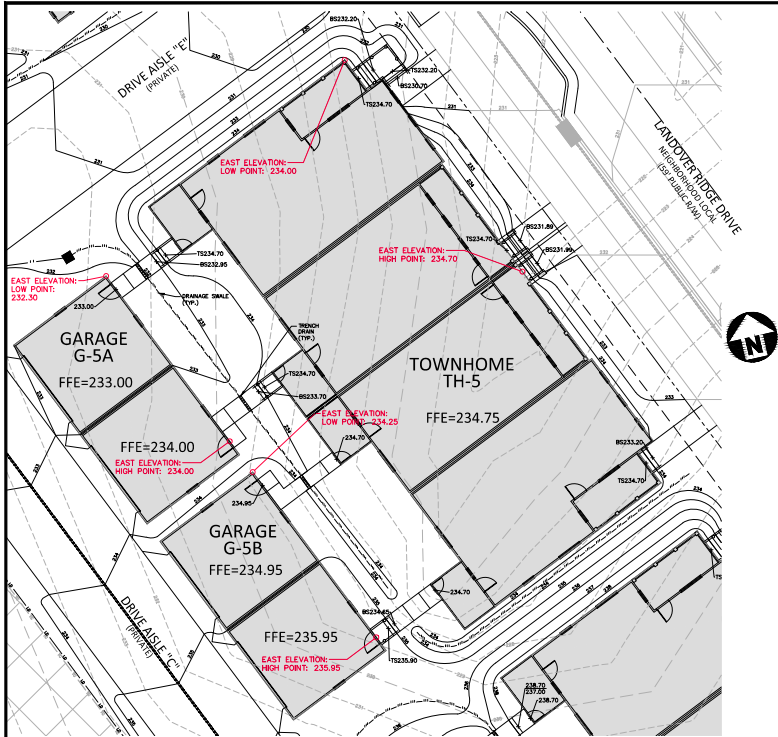
PROJECT NO. 2023.130079
FILENAME 2023.130079-ASR-G2
CHECKED BY CSH
DRAWN BY CSH
SCALE 3"=10'
DATE 01.13.2023

SHEET

AVERAGE GRADE
CALCULATIONS
LOT 39 - TOWNHOMES
C3.13

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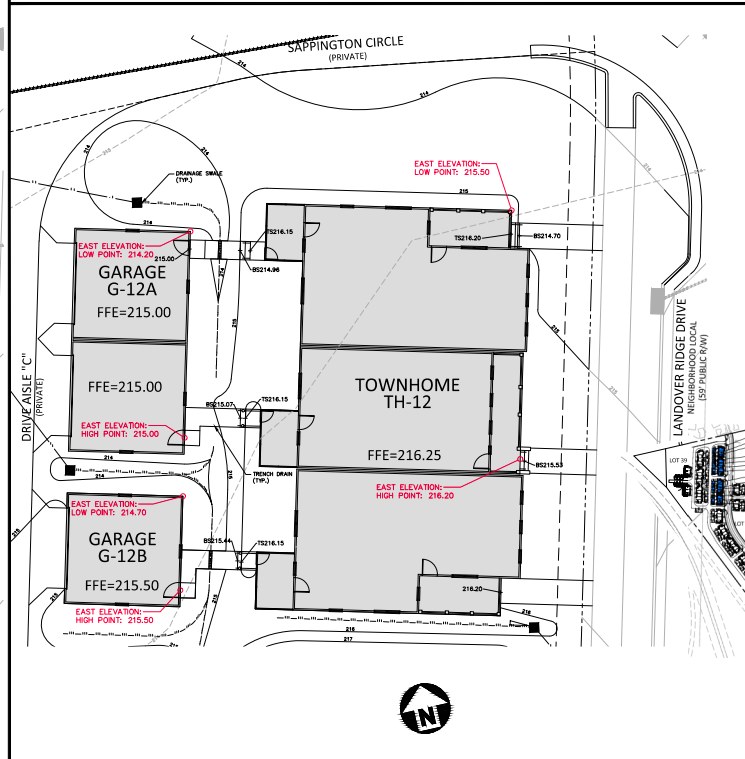
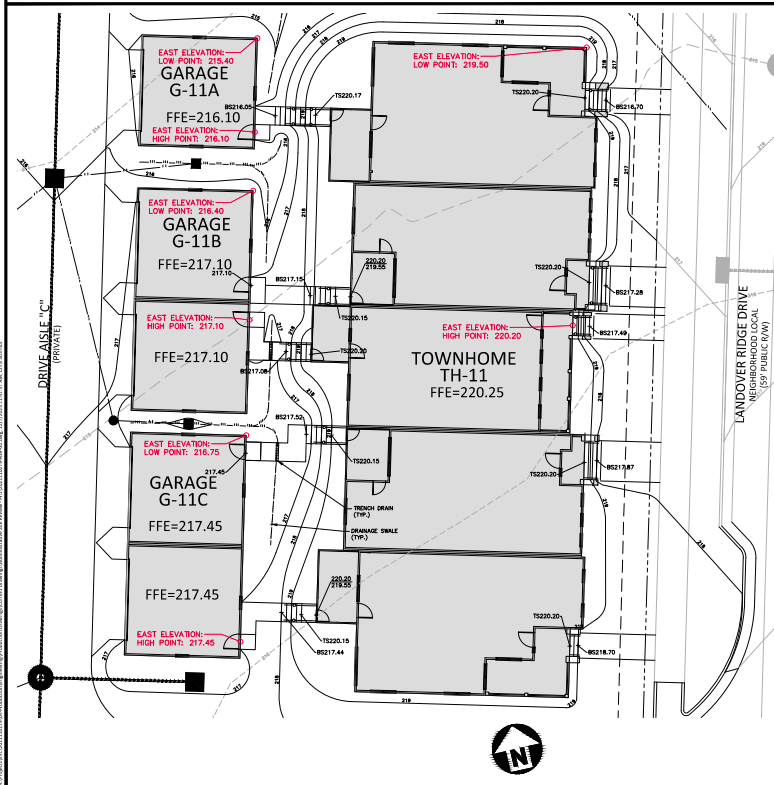
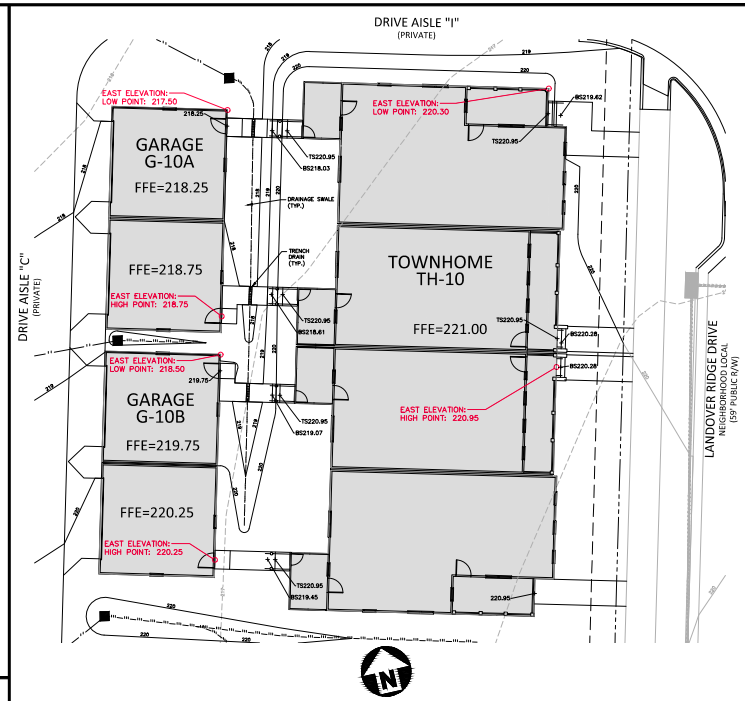
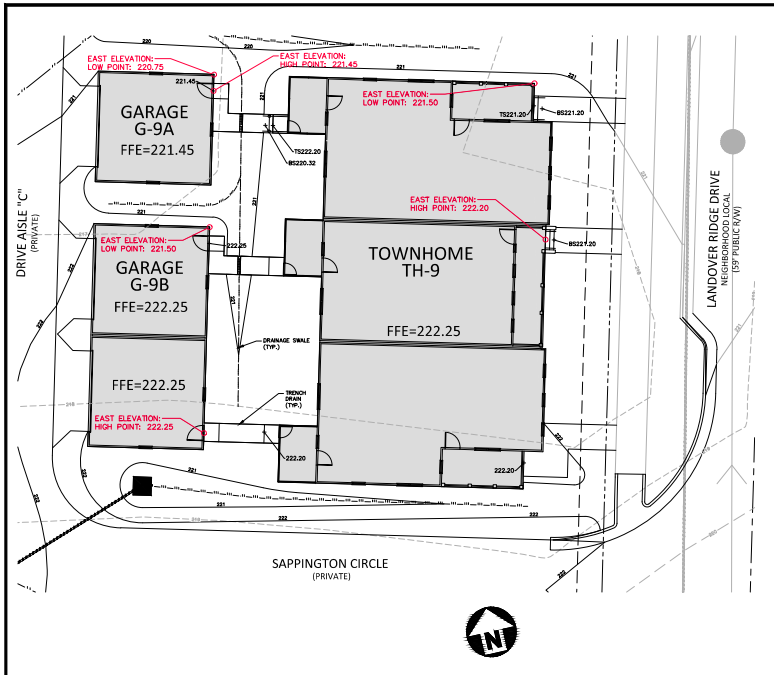
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GARAGE G-5A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	234.00	233.20	233.10
GARAGE G-5B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	235.95	234.25	235.10
GARAGE G-6A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	229.25	228.50	228.88
GARAGE G-6B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	231.10	229.45	230.28
GARAGE G-6C PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	232.40	231.20	231.80
GARAGE G-7A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	226.85	225.85	226.35
GARAGE G-7B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	228.00	226.80	227.40
GARAGE G-8A PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	222.15	222.15	222.65
GARAGE G-8B PRIMARY STREET AVERAGE GRADE			
PROPOSED	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	224.10	223.50	223.50

REVISIONS			
NO.	DATE	REVISION	FOR
1	08.26.2023	REVISED PER COR 30 ASR COMMENTS	
2	08.21.2023	REVISED PER COR 24 & 40 COMMENTS	
3	11.06.2023	REVISED PER COR 34 & 40 COMMENTS	

PLAN INFORMATION			
PROJECT NO.	2023110079		
FILENAME	2023110079-ASR-G2		
CHECKED BY	CSH		
DRAWN BY	CNS		
SCALE	1"=10'		
DATE	01.13.2023		



TOWNHOME TH-9 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	222.20	221.50	221.85

TOWNHOME TH-10 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	220.95	220.30	220.63

TOWNHOME TH-11 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	220.20	219.50	219.85

TOWNHOME TH-12 PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	216.20	215.50	215.85

GARAGE G-9A PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	221.45	220.75	221.10

GARAGE G-9B PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	222.25	221.50	221.88

GARAGE G-10A PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	218.75	217.50	218.13

GARAGE G-10B PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	220.25	219.50	219.38

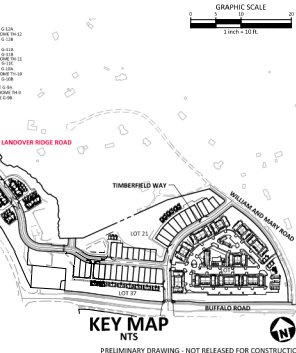
GARAGE G-11A PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	216.10	215.40	215.75

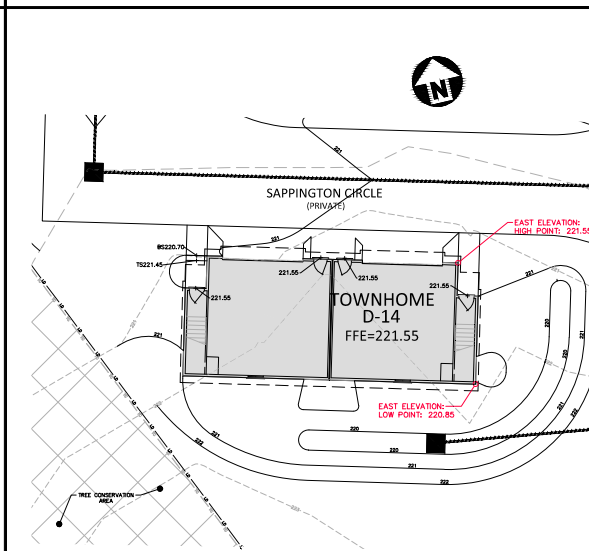
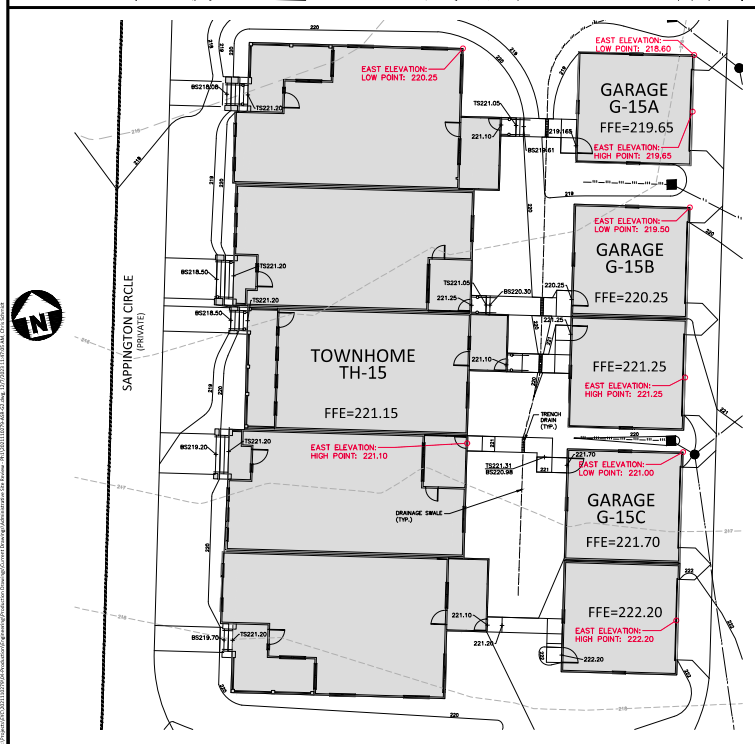
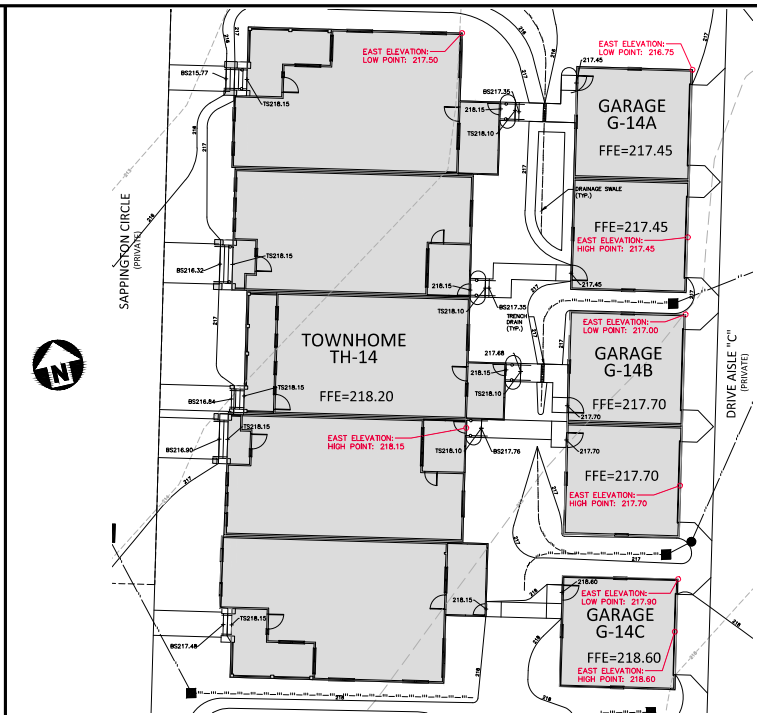
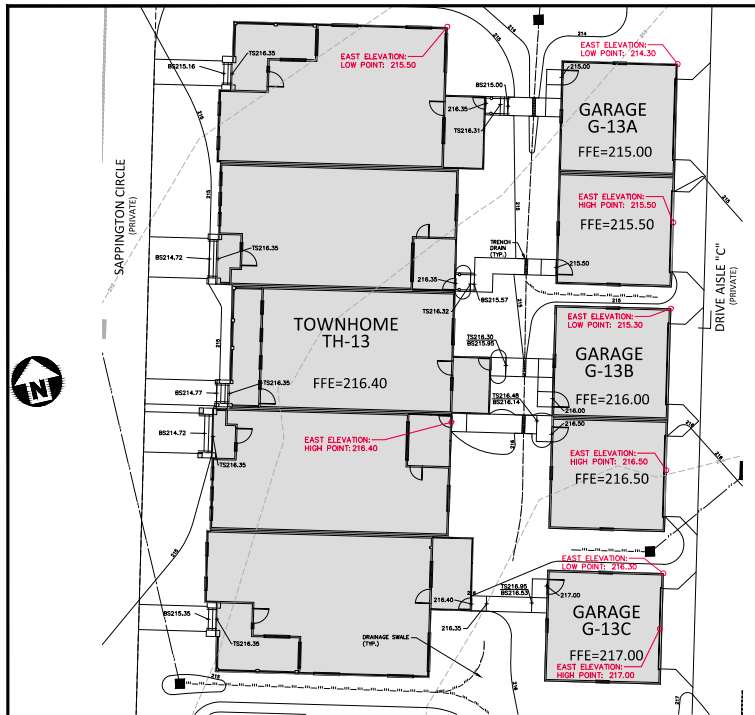
GARAGE G-11B PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	217.10	216.40	216.75

GARAGE G-11C PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	217.45	216.75	217.10

GARAGE G-12A PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	215.00	214.30	214.65

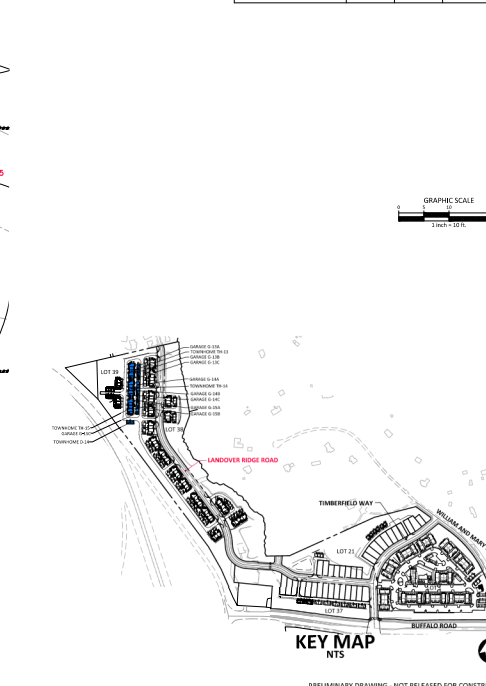
GARAGE G-12B PRIMARY STREET AVERAGE GRADE			
PROPOSED			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	215.50	214.75	215.13





TOWNHOME TH-13 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	216.40	215.50	215.95
TOWNHOME TH-14 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	218.15	217.50	217.83
TOWNHOME TH-15 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	221.10	220.25	220.68
TOWNHOME D-14 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	221.55	220.85	221.20

GARAGE G-13A PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	215.00	214.30	214.65
GARAGE G-13B PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	216.00	215.30	215.65
GARAGE G-13C PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	217.00	216.30	216.65
GARAGE G-14A PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	217.45	216.75	217.10
GARAGE G-14B PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	217.70	217.00	217.35
GARAGE G-14C PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	218.60	217.90	218.25
GARAGE G-15A PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	219.65	218.90	219.28
GARAGE G-15B PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	220.25	219.50	219.88
GARAGE G-15C PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
LANDOVER RIDGE ROAD (EAST)	HIGH	LOW	AVERAGE
	221.70	221.00	221.35



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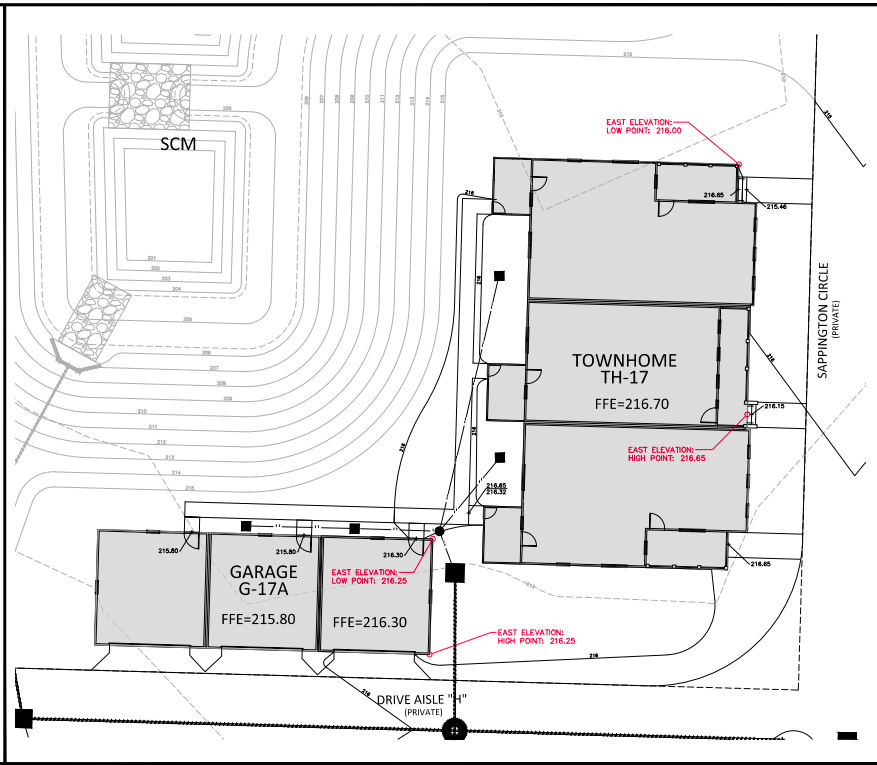
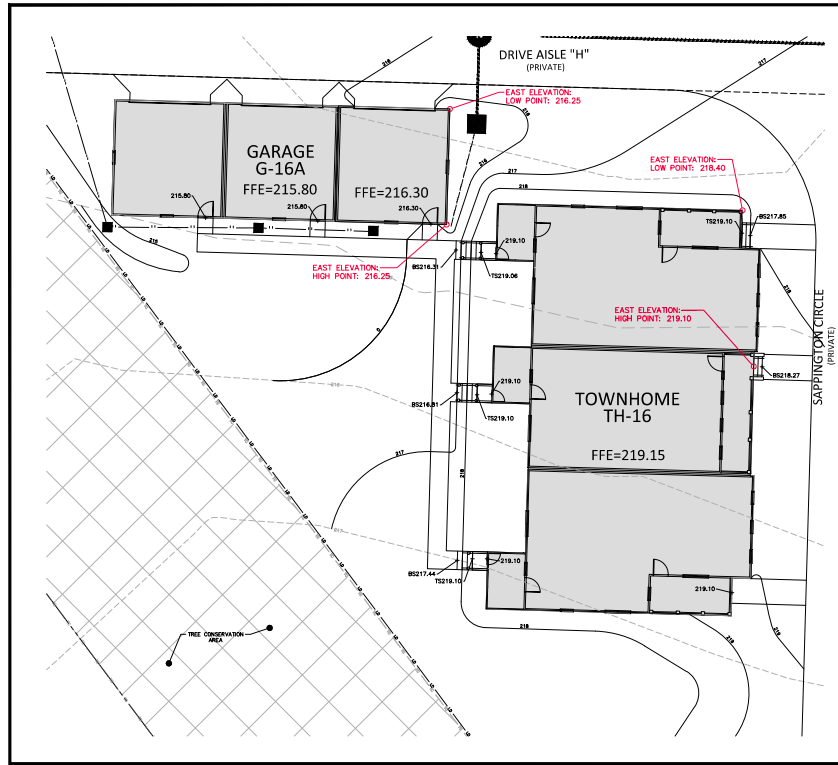
CLIENT
EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLOTTE, SOUTH CAROLINA 29407

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #F-ASR-0005-2023

REVISIONS			
NO.	DATE	REVISION	BY
1	08.26.2023	REVISED PER COR 30.40 COMMENTS	CSH
2	08.21.2023	REVISED PER COR 29.40 COMMENTS	CSH
3	12.01.2023	REVISED PER COR 30.40 COMMENTS	CSH

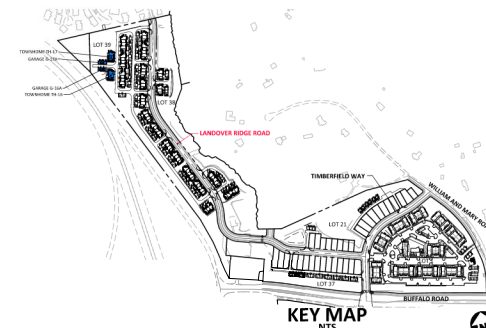
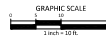
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FILENAME	2023110279-ASR-G2		
CHECKED BY	CSH		
DRAWN BY	CNS		
SCALE	3"=10'		
DATE	01.13.2023		

SHEET			
AVERAGE GRADE CALCULATIONS			
LOT 39 - TOWNHOMES			
C3.16			



TOWNHOME TH-13 PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	216.40	215.50	215.95
TOWNHOME TH-14 PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	218.15	217.50	217.83
TOWNHOME TH-15 PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	217.30	216.75	217.03

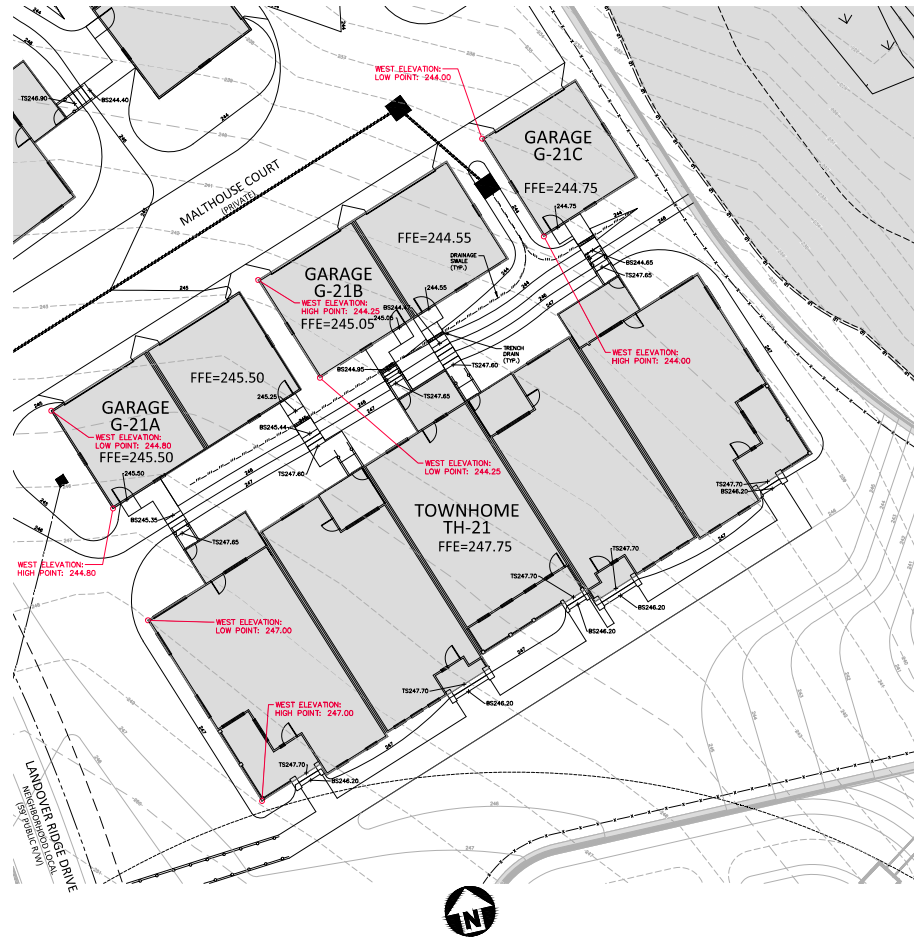
GARAGE G-13A PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	215.50	214.30	214.90
GARAGE G-13B PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	216.50	215.30	215.90
GARAGE G-13C PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	217.50	216.30	216.90
GARAGE G-13D PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	218.50	217.30	217.90
GARAGE G-13E PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	219.50	218.30	218.90
GARAGE G-13F PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	220.50	219.30	219.90
GARAGE G-13G PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	221.50	220.30	220.90
GARAGE G-13H PRIMARY STREET AVERAGE GRADE			
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (EAST)	222.50	221.30	221.90



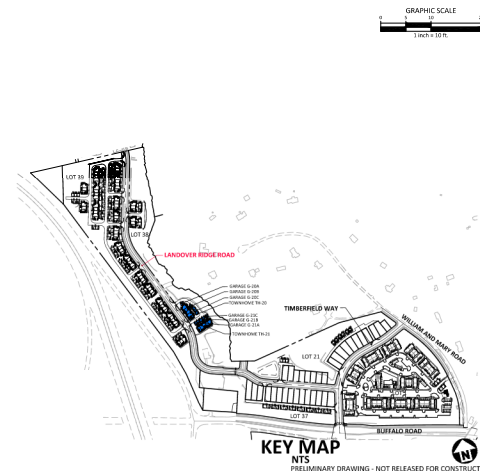
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	08.26.2023	REVISED PER CDR 30 ASR COMMENTS	CSH
2	08.21.2023	REVISED PER CDR 244 ASR COMMENTS	CNS
3	12.06.2023	REVISED PER CDR 344 ASR COMMENTS	CNS

PLAN INFORMATION			
PROJECT NO.	2023.110279		
FILENAME	2023.110279-ASR-G2		
CHECKED BY	CSH		
DRAWN BY	CNS		
SCALE	1"=10'		
DATE	01.13.2023		

SHEET			
AVERAGE GRADE CALCULATIONS			
LOT 39 - TOWNHOMES			
C3.17			



TOWNHOME TH-20 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	266.90	266.30	266.60
TOWNHOME TH-21 PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	247.00	247.00	247.00
GARAGE G-20A PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	240.80	240.80	240.80
GARAGE G-20B PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	242.90	242.20	242.55
GARAGE G-20C PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	244.25	243.00	243.63
GARAGE G-21A PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	244.80	244.80	244.80
GARAGE G-21B PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	246.25	246.25	246.25
GARAGE G-21C PRIMARY STREET AVERAGE GRADE			
	PROPOSED		
	HIGH	LOW	AVERAGE
LANDOVER RIDGE ROAD (WEST)	244.00	244.00	244.00



FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023

REVISIONS		
NO.	DATE	
1	05.24.2025	REVISED PER COR SIX ASR COMMENTS
2	06.21.2025	REVISED PER COR TWO ASR COMMENTS
3	12.06.2025	REVISED PER COR SIX ASR COMMENTS

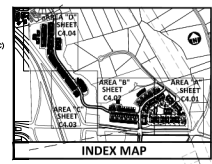
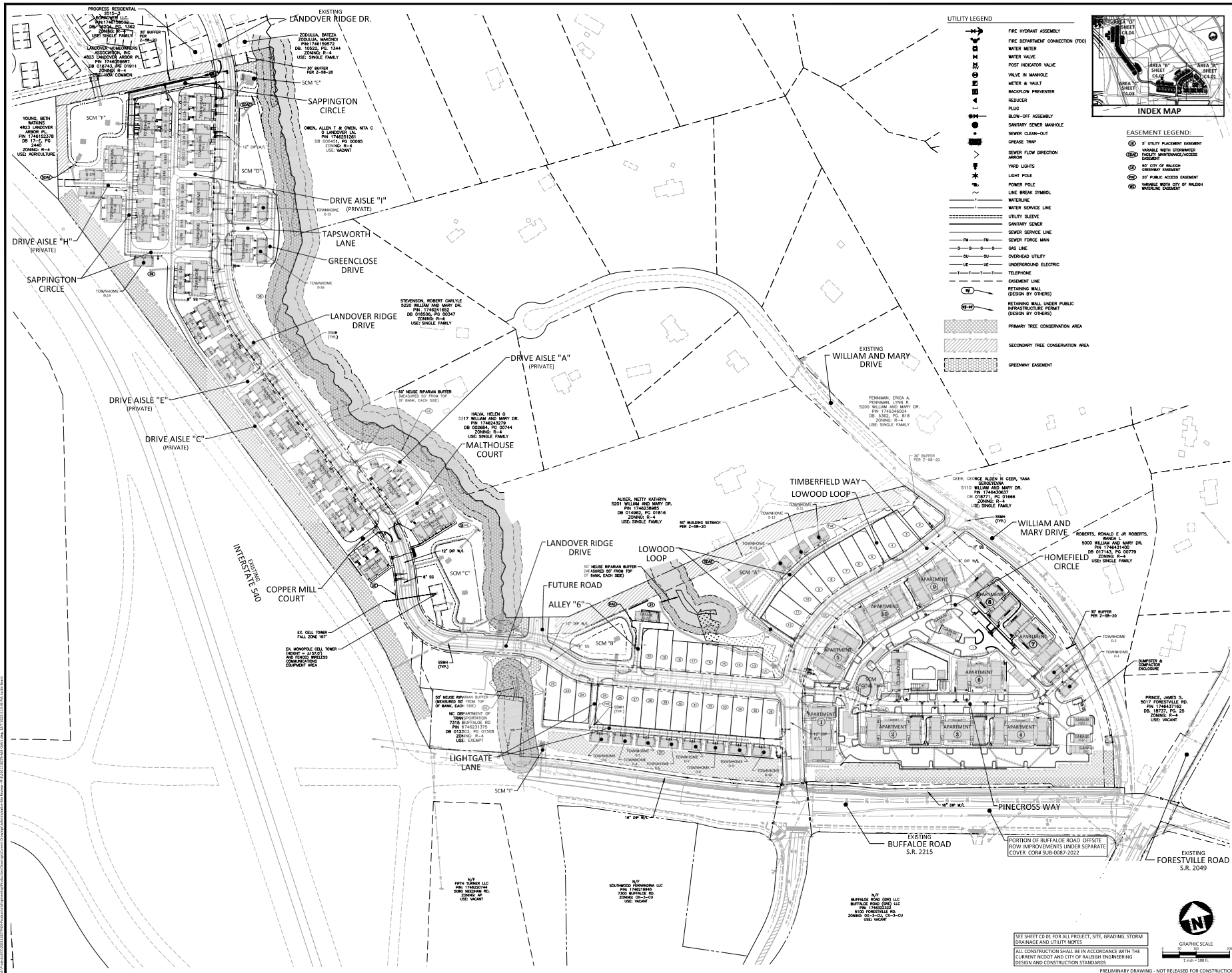
PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-ASR-G2
CHECKED BY	CGH
DRAWN BY	CNS
SCALE	1"=10'
DATE	01.13.2023

SHEET

**AVERAGE GRADE
CALCULATIONS
LOT 38 - TOWNHOMES**

C3.19



- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
 - FIRE DEPARTMENT CONNECTION (FDC)
 - WATER METER
 - WATER VALVE
 - POST INDICATOR VALVE
 - VALVE IN MANHOLE
 - METER & VALVE
 - BACKFLOW PREVENTER
 - REDUCER
 - FLUG
 - BLOW-OFF ASSEMBLY
 - SANITARY SEWER MANHOLE
 - SEWER CLEAN-OUT
 - GREASE TRAP
 - SEWER FLOW DIRECTION
 - SEWER FLOW DIRECTION
 - YARD LIGHTS
 - LIGHT POLE
 - POWER POLE
 - LINE BREAK SYMBOL
 - WATERLINE
 - WATER SERVICE LINE
 - UTILITY SLEEVE
 - SANITARY SEWER
 - SEWER SERVICE LINE
 - SEWER FORCE MAIN
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGROUND ELECTRIC
 - TELEPHONE
 - EASEMENT LINE
 - RETAINING WALL (DESIGN BY OTHERS)
 - RETAINING WALL UNDER PUBLIC INFRASTRUCTURE FRONT (DESIGN BY OTHERS)
 - PRIMARY TREE CONSERVATION AREA
 - SECONDARY TREE CONSERVATION AREA
 - GREENWAY EASEMENT

- EASEMENT LEGEND:**
- 5' UTILITY PLACEMENT EASEMENT
 - MINIMUM WIDTH REQUIREMENT FOR SIDEWALKS/BIKEWAYS
 - 50' CITY OF RALEIGH SIDEWALK EASEMENT
 - 20' PUBLIC ACCESS EASEMENT
 - VARIOUS WIDTH CITY OF RALEIGH SIDEWALK EASEMENT

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CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

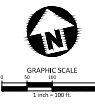
REVISIONS

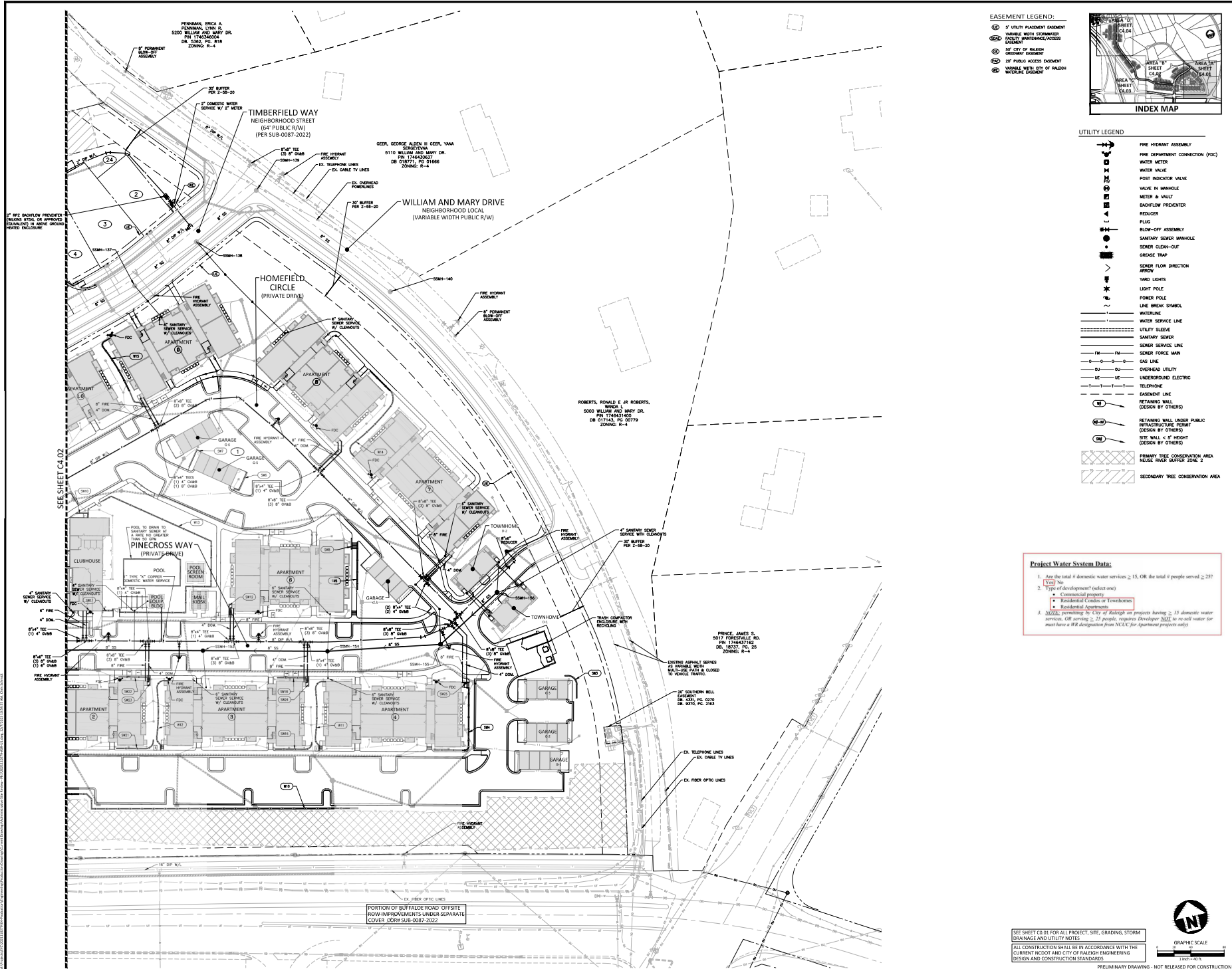
NO.	DATE	REVISION
1	05.06.2023	REVISED PER COR 30 ASR COMMENTS
2	06.21.2023	REVISED PER COR 204 ASR COMMENTS
3	12.01.2023	REVISED PER COR 304 ASR COMMENTS

PLAN INFORMATION
PROJECT NO. 2023110079
FILENAME 2023110079-ASR-0411
CHECKED BY CGH
DRAWN BY CHS
SCALE 1"=100'
DATE 01.13.2023

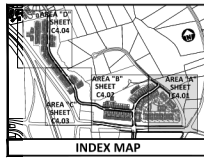
SHEET
OVERALL UTILITY PLAN
C4.00

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDDC AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





- EASEMENT LEGEND:**
- ① 5' UTILITY PLACEMENT EASEMENT
 - ② VARIABLE WIDTH DRAINAGE EASEMENT
 - ③ 5' CITY OF RALEIGH EASEMENT
 - ④ 10' PUBLIC ACCESS EASEMENT
 - ⑤ VARIABLE WIDTH CITY OF RALEIGH EASEMENT



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VALVE
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION
- ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- RETAINING WALL (DESIGN BY OTHERS)
- RETAINING WALL UNDER PUBLIC INFRASTRUCTURE PERMIT (DESIGN BY OTHERS)
- SITE WALL < 5' HEIGHT (DESIGN BY OTHERS)
- PRIMARY TREE CONSERVATION AREA
- NEUSE RIVER BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA

Project Water System Data:

- Are the total # of domestic water services ≥ 15 , OR the total # people served ≥ 257 ?
- Type of development? (select one)
 - Residential
 - Commercial property
 - Residential Coder or Townhomes
 - Residential Apartments
- NOTE: permitting by City of Raleigh on projects having ≥ 15 domestic water services, OR serving ≥ 257 people, requires Developer NOT to re-call water for must have a WR designation from NCCU for Apartment projects only

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CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

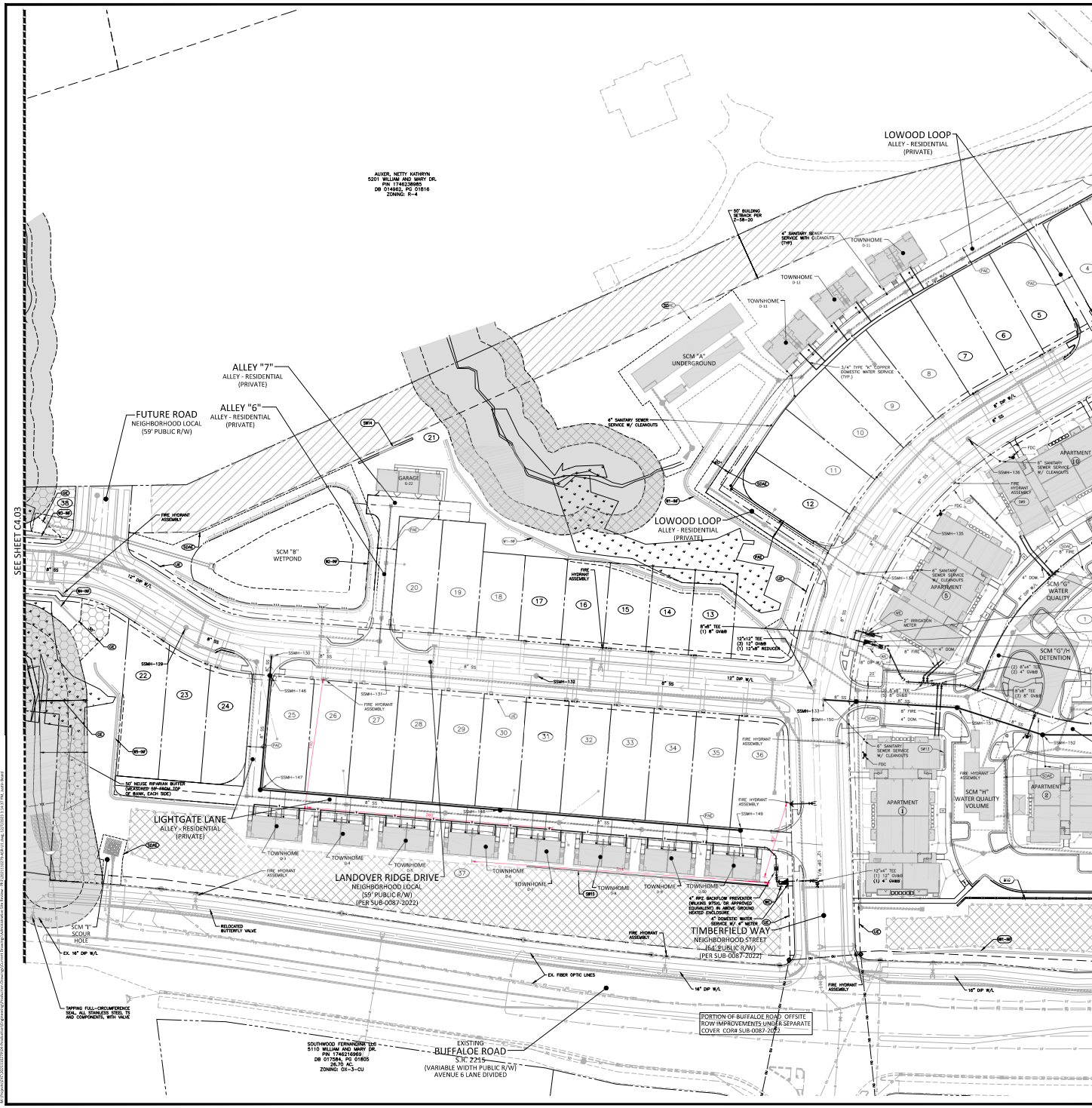
REVISIONS

NO.	DATE	DESCRIPTION
1	05.26.2023	REVISED PER COR 30 ASR COMMENTS
2	06.21.2023	REVISED PER COR 24 & 40 ASR COMMENTS
3	12.06.2023	REVISED PER COR 34 ASR COMMENTS

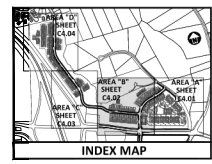
PLAN INFORMATION
PROJECT NO. 202310079
FILENAME 202310079-ASR-U1
CHECKED BY CSH
DRAWN BY CWS
SCALE 3"=40'
DATE 01.13.2023

SHEET
UTILITY PLAN
AREA "A"
C4.01

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDDC AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



- EASEMENT LEGEND:**
- ① 8' UTILITY PLACEMENT EASEMENT
 - ② VARIABLE WIDTH DRAINAGE/ACCESS EASEMENT
 - ③ 50' CITY OF RALEIGH DRIVEWAY EASEMENT
 - ④ 10' PUBLIC ACCESS EASEMENT
 - ⑤ VARIABLE WIDTH CITY OF RALEIGH WIDENING EASEMENT



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VALVE
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- FLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
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- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- RETAINING WALL (DESIGN BY OTHERS)
- RETAINING WALL UNDER PUBLIC INFRASTRUCTURE PERMIT (DESIGN BY OTHERS)
- SITE WALL < 5' HEIGHT (DESIGN BY OTHERS)
- PRIMARY TREE CONSERVATION AREA
- NEUSE RIVER BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- GREENWAY EASEMENT

Project Water System Data:

- Are the total # domestic water services ≥ 15. OR the total # people served ≥ 25?
- Is the development (select one):
 - Commercial property
 - Residential Care of Townhomes
 - Residential Apartments
- NOTES: perceiving to City of Raleigh on projects having ≥ 15 domestic water services. OR serving ≥ 25 people, requires Developer NOT to re-sell water for must have a WR designation from NCCIC for Apartment projects only

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**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE # ASR-0005-2023**

REVISIONS

NO.	DATE	REVISION
1	05.08.2023	REVISED PER COR 34 FOR COMMENTS
2	05.21.2023	REVISED PER COR 24 AND 40 FOR COMMENTS
3	12.06.2023	REVISED PER COR 34 FOR COMMENTS

PLAN INFORMATION

PROJECT NO. 2023100779
FILENAME 2023100779-ASR-U1
CHECKED BY CSH
DRAWN BY CSH
SCALE 1"=40'
DATE 01.13.2023

SHEET

UTILITY PLAN
AREA "B"
C4.02

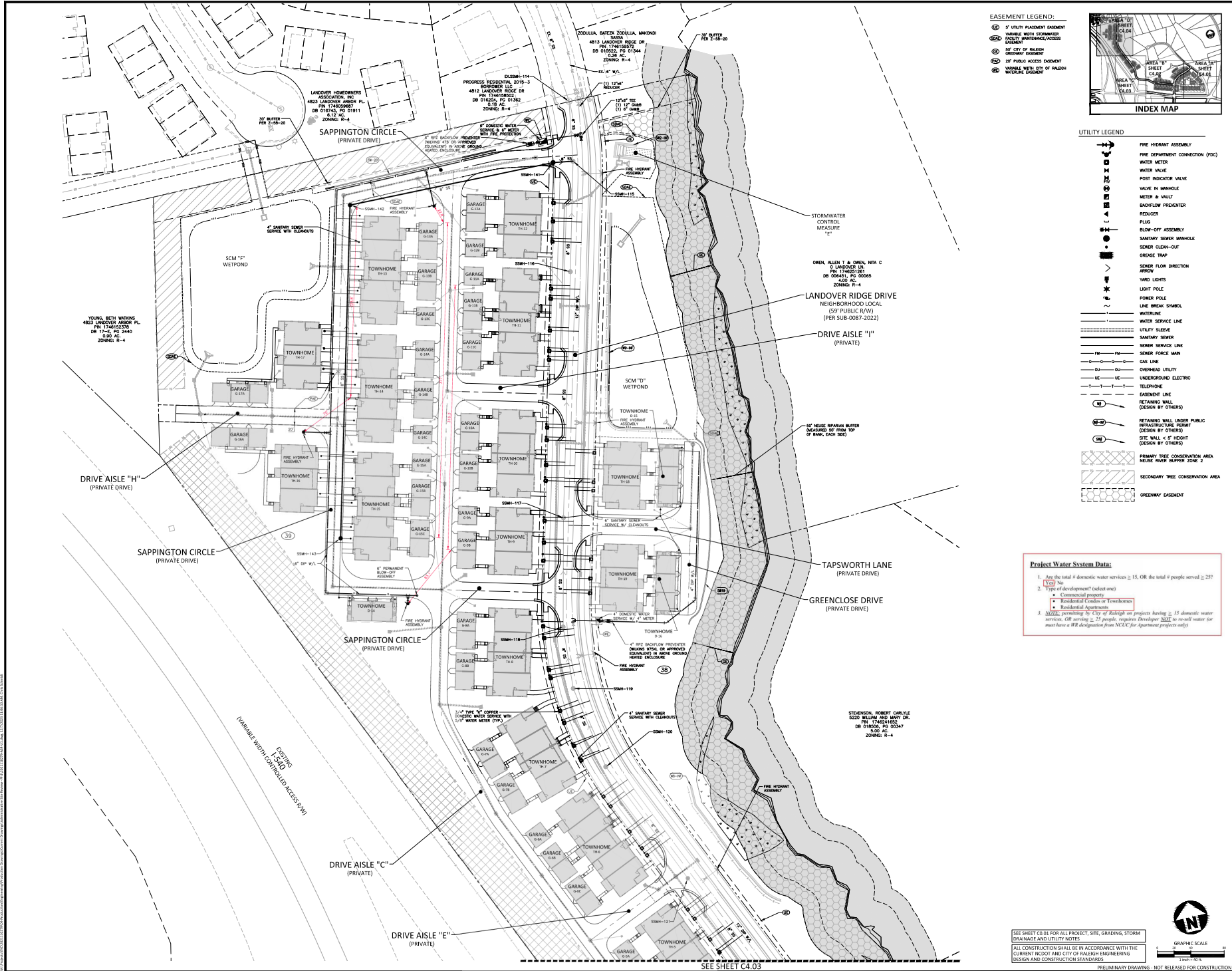
SEE SHEET C4.03

SEE SHEET C4.01

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





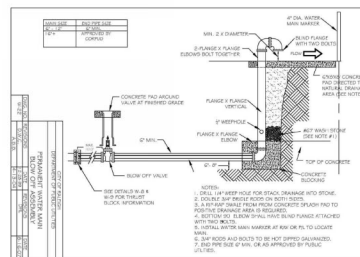
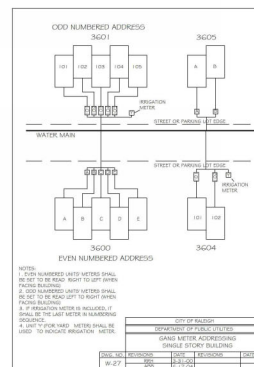
**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**

NO.	DATE	
1	05.24.2025	REVISED PER COR SIX ASR COMMENTS
2	06.21.2025	REVISED PER COR TWO ASR COMMENTS
3	12.06.2025	REVISED PER COR TWO ASR COMMENTS

PROJECT NO.	2021110279
FILENAME	2021110279-ASR-01
CHECKED BY	CGH
DRAWN BY	CNS
SCALE	N/A
DATE	01.13.2023

C8.00



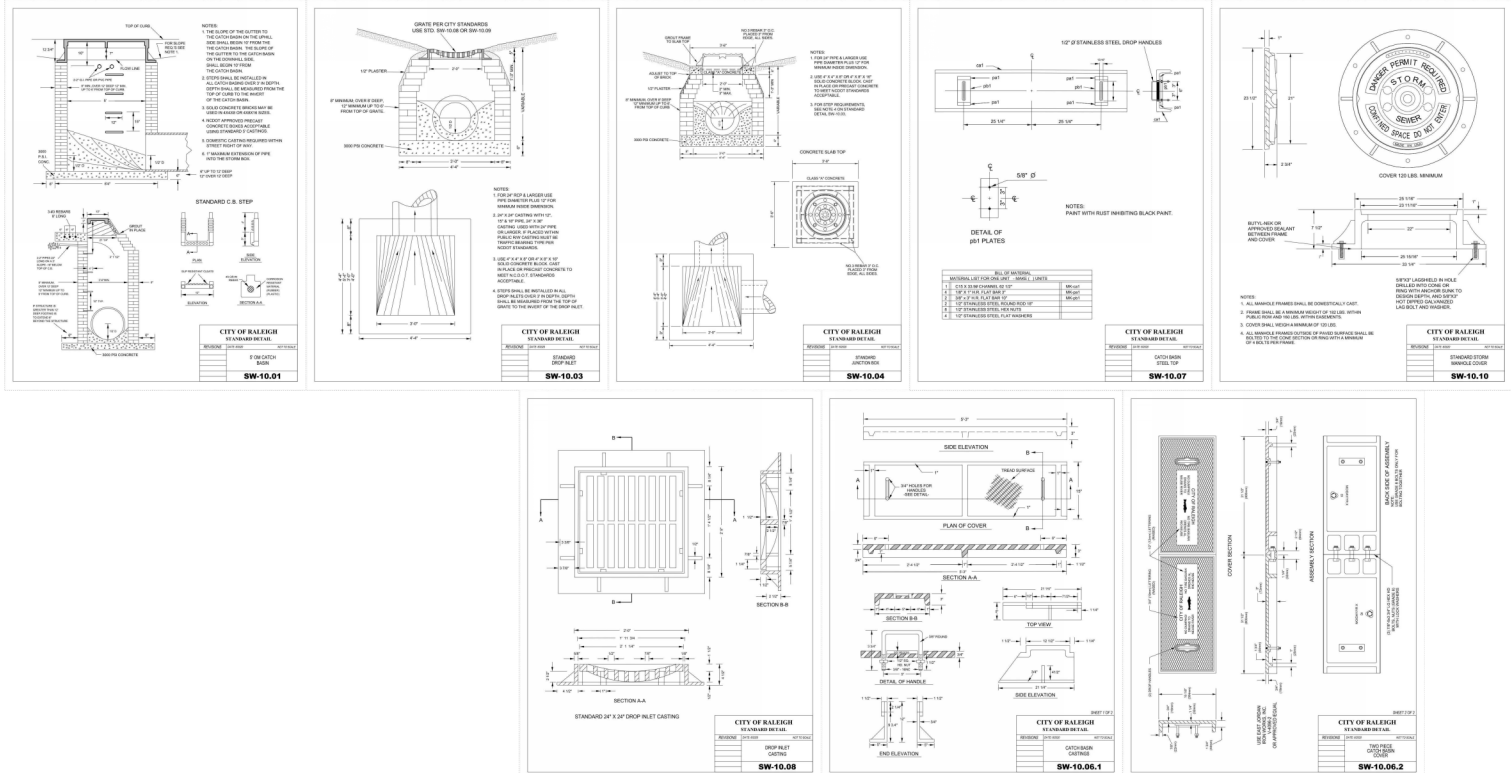


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CHARLOTTE, SOUTH CAROLINA 29407

BYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #: ASR-0005-2023**



REVISIONS

NO.	DATE	REVISION
1	05.26.2023	REVISED PER COR 30 ASR COMMENTS
2	06.21.2023	REVISED PER COR 24 & 30 ASR COMMENTS
3	12.01.2023	REVISED PER COR 34 ASR COMMENTS

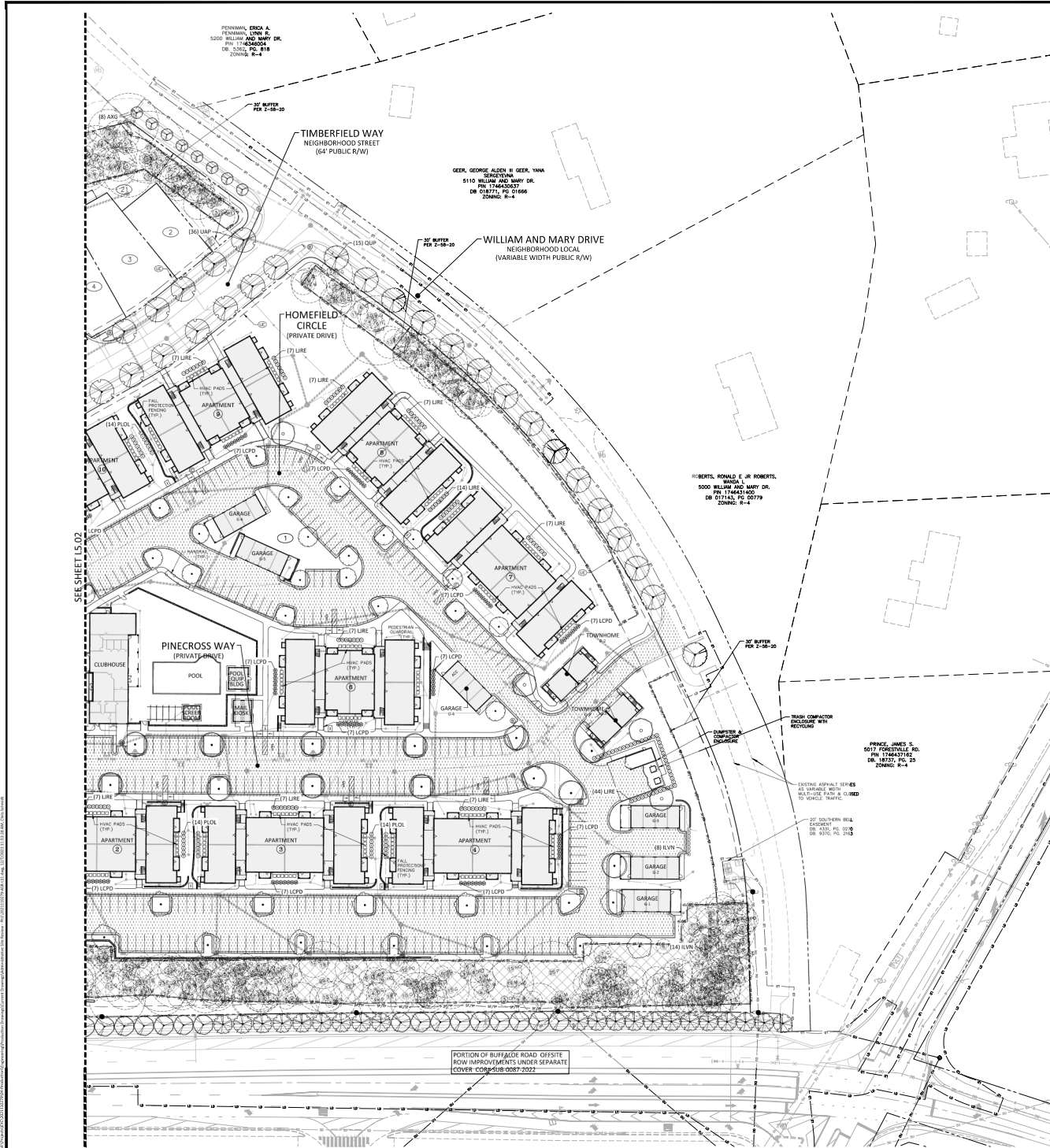
PLAN INFORMATION

PROJECT NO.	2023110079
FILENAME	2023110079-ASR-01
CHECKED BY	CSH
DRAWN BY	CNS
SCALE	N/A
DATE	01.13.2023

SHEET

**STORM DRAINAGE &
SEWER DETAILS**

C8.02



- EASEMENT LEGEND:**
- 8' UTILITY PLACEMENT EASEMENT
 - VARIABLE WIDTH DRAINAGE FACILITY IMPROVEMENT EASEMENT
 - 50' CITY OF RALEIGH GREENWAY EASEMENT
 - 10' PUBLIC ACCESS EASEMENT
 - VARIABLE WIDTH CITY OF RALEIGH WIDENING EASEMENT

SHEET L5.04
SHEET L5.03
SHEET L5.02
SHEET L5.01

- SITE LEGEND**
- ACC VAN
 - ACCESSIBLE ROUTE
 - PHASE LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - LOT LINE
 - EASEMENT LINE
 - CENTERLINE
 - PRIMARY TREE CONSERVATION AREA (NEUSE RIVER BUFFER ZONE 2)
 - SECONDARY TREE CONSERVATION AREA
 - GREENWAY EASEMENT

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
TREES					
ABT	13	1	Ave. baerianum	3" min	10' min
AFB	8	1	Amelanchier x grandiflora 'Autumn	1.5" min	8' min
AFB	35	1	Cercis canadensis 'Forest Pansy	1.5" min	6' min
CHH	53	1	Chionodoxa reticulata	1.5" min	6' min
MN1	14	1	Magdalen virginiana	Multi	6' min
QNS	18	1	Quercus imbricaria 'NIGHTY TM	3" min	10' min
QNW	19	1	Quercus phellos 'QNSA	3" min	10' min
QNB	26	1	Quercus bicolor	3" min	10' min
QIA	37	1	Quercus lyrata	3" min	10' min
QMA	9	1	Quercus macrocarpa	3" min	10' min
QUP	15	1	Quercus phellos 'WILLOW	3" min	10' min
TAB	85	1	Tilia americana 'Boulevar	3" min	10' min
TYO	1	1	Taxodium distichum	3" min	10' min
UPE	36	1	Ulmus americana 'Winton'	3" min	10' min
UPE	24	1	Ulmus parviflora 'NIGHTY TM	3" min	10' min
SHRUBS					
AGS	80	1	Abies x grandiflora 'Edward Goucher'	-	18' min
BGM	9	1	Buxus x 'Tones Mountain'	-	18' min
FAB	42	1	Forsythia x 'intermedia'	-	24' min
GLN	108	1	Glaucium x 'Naga'	-	24' min
ILN	54	1	Ilex verticillata 'Nana'	-	18' min
ILN	22	1	Ilex verticillata 'Sparkberry'	-	60' min
ILN	4	1	Ilex verticillata 'Southern Contender'	-	60' min
LCH	243	1	Lonicera x 'chrysantha'	-	18' min
LCH	120	1	Lonicera x 'chrysantha'	-	18' min
LRE	142	1	Ligustrum japonicum 'Nana'	-	10' min
MOR	100	1	Morus x 'rubra'	-	10' min
PUL	51	1	Prunella x 'Nana'	-	18' min

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EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE # ASR-0005-2023**

REVISIONS

NO.	DATE	REVISION
1	05.28.2023	REVISED FOR CONSTRUCTION
2	06.21.2023	REVISED FOR CONSTRUCTION
3	11.06.2023	REVISED FOR CONSTRUCTION

PLAN INFORMATION
PROJECT NO. 202310079
FILENAME 202310079-ASR-L5.01
CHECKED BY JAD
DRAWN BY RJA
SCALE 1"=40'
DATE 01.13.2023

SHEET
LANDSCAPE PLAN
AREA "A"
L5.01

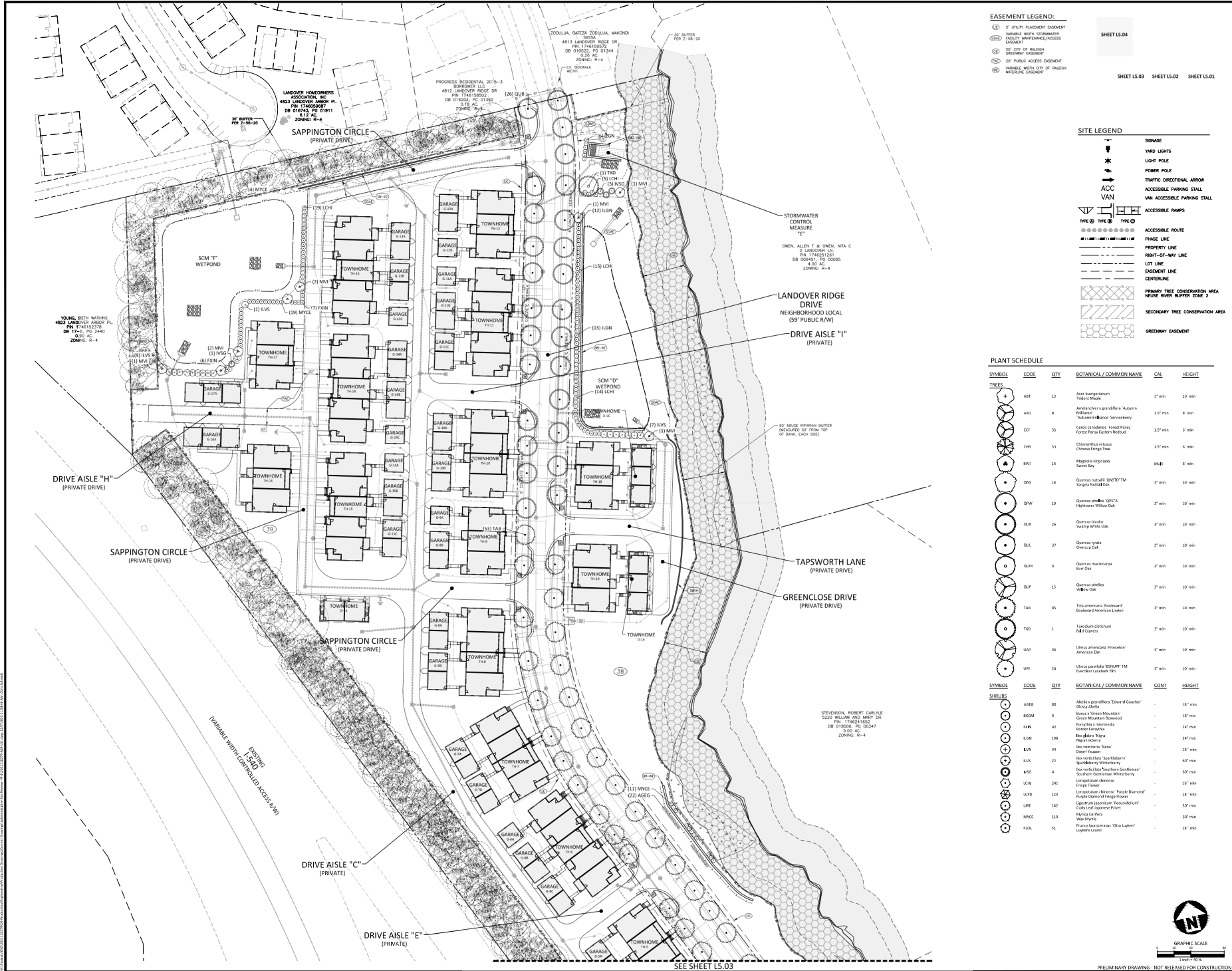


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SHEET

**LANDSCAPE PLAN
AREA "C"**

L5.03



EASEMENT LEGEND:
① 5' UTILITY PLACEMENT EASEMENT
② VARIABLE WIDTH STORMWATER FACILITY MAINTENANCE ACCESS EASEMENT
③ 50' CITY OF RALEIGH GREENWAY EASEMENT
④ 20' PUBLIC ACCESS EASEMENT
⑤ VARIABLE WIDTH CITY OF RALEIGH INTERLUDE EASEMENT

SHEET L5.04
SHEET L5.03
SHEET L5.02
SHEET L5.01

SITE LEGEND
STORAGE
YARD LIGHTS
LIGHT POLE
POWER POLE
TRAFFIC DIRECTIONAL ARROW
ACCESSIBLE PARKING STALL
VAN ACCESSIBLE PARKING STALL
ACCESSIBLE PUMPS
ACCESSIBLE ROUTE
PHASE LINE
PROPERTY LINE
RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
CENTERLINE
PRIMARY TREE CONSERVATION AREA
NEUSE RIVER BUFFER ZONE 2
SECONDARY TREE CONSERVATION AREA
GREENWAY EASEMENT

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	
TREES						
ABT	13	1	Acer buergerianum Tulip Tree	3" min	10' min	
ABT	8	1	Aster sp. - grandiflora Autumn Blazing Star	1.5' min	8' min	
CCF	35	1	Cercis canadensis 'Forest Fantasy' Redbud	1.5' min	6' min	
CHB	53	1	Chionodoxa lutea Chinese Froge Tree	1.5' min	6' min	
MVI	14	1	Magdalen virginiana Sweet Bay	1.5' min	6' min	
QNS	18	1	Quercus imbricaria 'GHOSTY TM' Scarlet Oak	3" min	10' min	
QPW	19	1	Quercus prinus 'QWST' Hogchoker White Oak	3" min	10' min	
QUB	26	1	Quercus bicolor Swamp White Oak	3" min	10' min	
QAL	37	1	Quercus lyrata Chinquapin	3" min	10' min	
QMA	9	1	Quercus macrocarpa Bur Oak	3" min	10' min	
QUP	15	1	Quercus phellos Willow Oak	3" min	10' min	
TAB	85	1	Tilia americana 'Boulevarde' Boulevard American Linden	3" min	10' min	
TWD	1	1	Taxodium distichum Bald Cypress	3" min	10' min	
UAF	36	1	Ulmus americana 'Vincetoxicum' American Elm	3" min	10' min	
UPE	24	1	Ulmus parviflora 'ECONOMY TM' Flamboyant Elm	3" min	10' min	
SHRUBS						
AGS	80	1	Aster sp. - grandiflora 'Edward Goucher' Glow Mistle	-	18" min	
BAGM	9	1	Buxus x 'Green Mountain' Green Mountain Boxwood	-	18" min	
FABR	42	1	Fragaria virginiana Wild Strawberry	-	24" min	
IGN	108	1	Ignis fatuus Nightglow	-	24" min	
IGN	54	1	Ignis fatuus 'Nana' Nana Nightglow	-	18" min	
IGN	22	1	Ignis fatuus 'Sparkberry' Sparkberry Nightglow	-	60" min	
IGN	4	1	Ignis fatuus 'Southern Gentiana' Southern Gentiana Nightglow	-	60" min	
IGN	243	1	Ignis fatuus 'Longleaf Pine' Longleaf Pine Nightglow	-	18" min	
IGN	120	1	Ignis fatuus 'Purple Diamond' Purple Diamond Nightglow	-	18" min	
IGN	142	1	Ignis fatuus 'Blackberry' Blackberry Nightglow	-	18" min	
IGN	130	1	Ignis fatuus 'Wax Maple' Wax Maple	-	18" min	
IGN	51	1	Ignis fatuus 'Olive Laurel' Olive Laurel	-	18" min	

The John R. McAdams Company, Inc.
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www.mcadamsco.com

CLIENT
EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLOTTE, SOUTH CAROLINA 29407

FIFTH OAK MULTI-FAMILY
LOTS 1-39
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
CITY OF RALEIGH CASE #R-0005-2023

REVISIONS

NO.	DATE	REVISION
1	01.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
2	01.25.2023	REVISED PER CITY OF RALEIGH COMMENTS
3	01.25.2023	REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

PROJECT NO. 202310079
FILENAME 202310079-ASR-L5.1
CHECKED BY JAD
DRAWN BY RUA
SCALE 1"=40'
DATE 01.23.2023

SHEET
LANDSCAPE PLAN
AREA "D"
L5.04

- TOP OF ROOF
ELEV. = 46'-8 3/4"
- 3RD FLOOR ROOF BEARING
ELEV. = 31'-0"
- WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
- WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
- WINDOW HEADER
ELEV. = 7'-0"
- TOP OF SLAB
ELEV. = 0'-0"



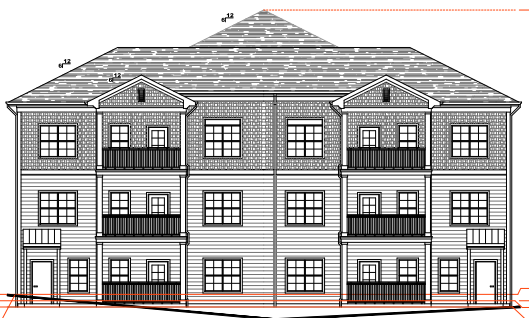
1 ASR - BUILDING 1 EAST ELEVATION
A2.30 SCALE 1/8"=1'-0"

- TOP OF ROOF
ELEV. = 46'-8 3/4"
- 3RD FLOOR ROOF BEARING
ELEV. = 31'-0"
- WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
- WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
- WINDOW HEADER
ELEV. = 7'-0"
- TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 1 WEST ELEVATION
A2.30 SCALE 1/8"=1'-0"

- TOP OF ROOF
ELEV. = 46'-8 3/4"
- LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
- LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
- LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
- LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
- LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
- TOP OF SLAB
ELEV. = 0'-0"



HIGH POINT
ELEV. = 281.5'

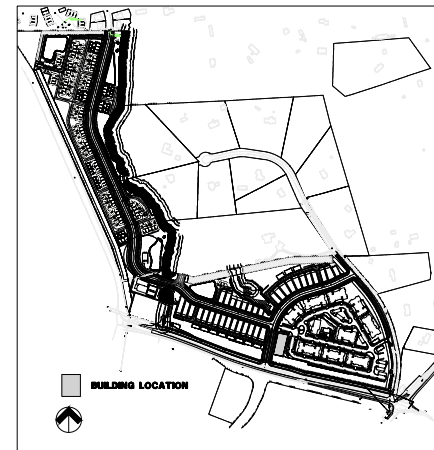
HIGH POINT
ELEV. = 281.5'
AVERAGE ELEVATION
ELEV. = 280.3'
LOW POINT
ELEV. = 279.5'

3 ASR - BUILDING 1 SOUTH ELEVATION
A2.30 SCALE 1/8"=1'-0"

- TOP OF ROOF
ELEV. = 46'-8 3/4"
- LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
- LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
- LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
- LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
- LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
- LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
- TOP OF SLAB
ELEV. = 0'-0"



3 ASR - BUILDING 1 NORTH ELEVATION
A2.30 SCALE 1/8"=1'-0"

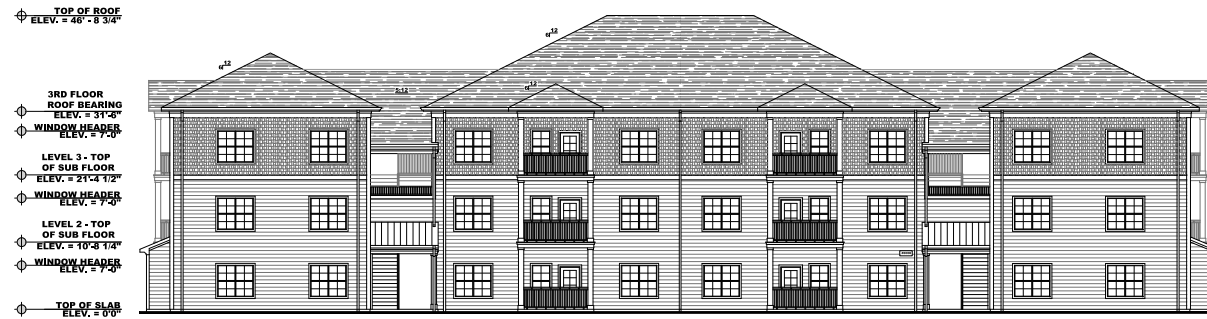


5 SITE KEY
A2.30 N.T.S.

APARTMENT BUILDING 1 PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ABOVE
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	AVERAGE
SOUTH (3/A2.30)	280.00	281.50	279.50	280.30	46'-2 3/4"



1 ASR - BUILDING 2 SOUTH ELEVATION
A2.31 SCALE 1/8"=1'-0"



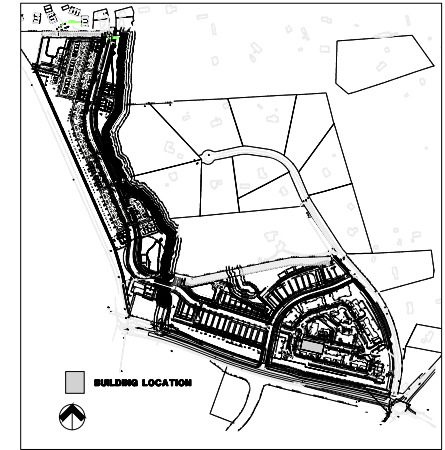
2 ASR - BUILDING 2 NORTH ELEVATION
A2.31 SCALE 1/8"=1'-0"



3 ASR - BUILDING 2 WEST ELEVATION
A2.31 SCALE 1/8"=1'-0"



4 ASR - BUILDING 2 EAST ELEVATION
A2.31 SCALE 1/8"=1'-0"



5 SITE KEY
A2.31 N.T.S.

APARTMENT BUILDING 2 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.L.	HIGH	LOW	AVERAGE	TOP OF ROOF ELEV. AVERAGE
SOUTH (1/A2.31)	286.77	289.50	283.15	286.33	47'-2"

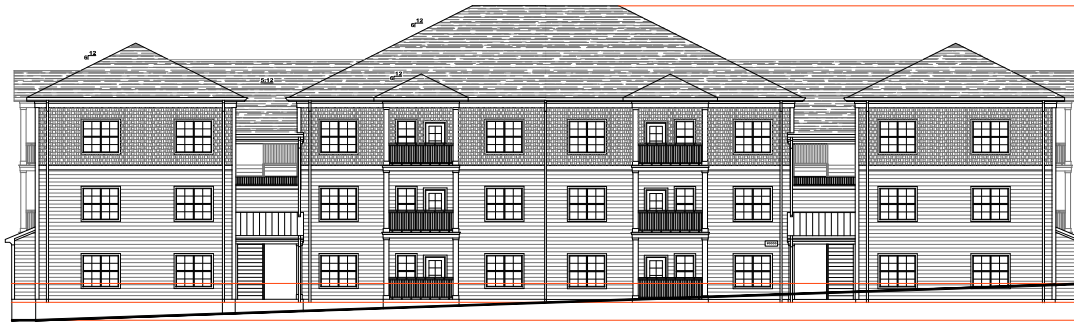
TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-0"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"

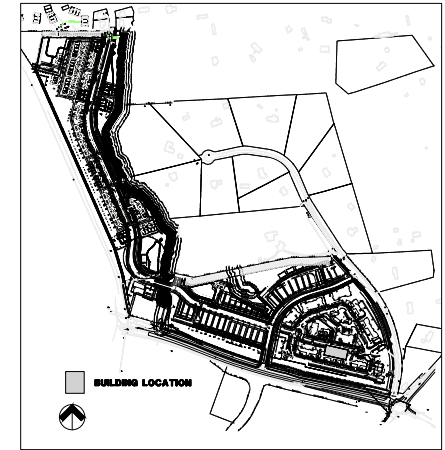


47'-2 1/4"

HIGH POINT
ELEV. = 296.90'

AVERAGE ELEVATION
ELEV. = 294.05'

LOW POINT
ELEV. = 291.20'



5 SITE KEY
A2.32 N.T.S.

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-0"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 3 NORTH ELEVATION
A2.32 SCALE 1/8"=1'

APARTMENT BUILDING 3 PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ABOVE
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	GRADE
SOUTH (1/A2.32)	294.50	296.90	291.20	294.05	47'-2 1/4"

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



3 ASR - BUILDING 3 WEST ELEVATION
A2.32 SCALE 1/8"=1'

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



4 ASR - BUILDING 3 EAST ELEVATION
A2.32 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-6"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"

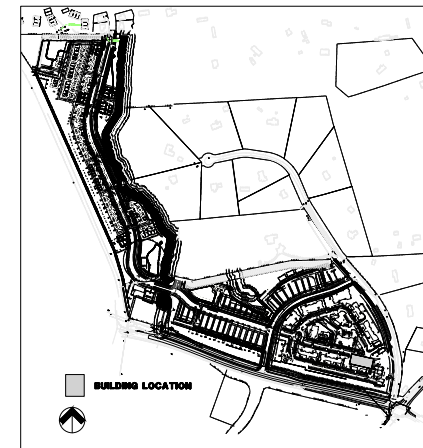


47'-0 3/8"

HIGH POINT
ELEV. = 304.90'

AVERAGE ELEVATION
ELEV. = 302.03'

LOW POINT
ELEV. = 299.05'



5 SITE KEY
A2.33 N.T.A.

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-6"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 4 NORTH ELEVATION
A2.33 SCALE 1/8"=1'

APARTMENT BUILDING 4 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF AVERAGE
SOUTH (1/A2.33)	302.33	305.00	299.05	302.03	47'-3/8"

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-6"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



3 ASR - BUILDING 4 WEST ELEVATION
A2.33 SCALE 1/8"=1'

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-6"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



4 ASR - BUILDING 4 EAST ELEVATION
A2.33 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

Front Street
assess+conserv
100 S. ANDREWS BLVD., UNIT 1C
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S. Robert Andron, Architect
5723 Summit Drive, Raleigh, NC 27603
919.616.0405
sra@andron.com

APARTMENT BUILDING 4
ELEVATIONS
FIFTH OAK MULTI-FAMILY
RALEIGH, NC

PROJECT #:
DATE: 07/20/21
SCALE: 1/8"=1'
DESIGNED BY: EMC/SM
CHECKED:
REVIEWED: 10/10/21
REVISED:

SHEET NUMBER:
A2.33
OF:
X



1 ASR - BUILDING 5 EAST ELEVATION
A2.34 SCALE 1/8"=1'-0"



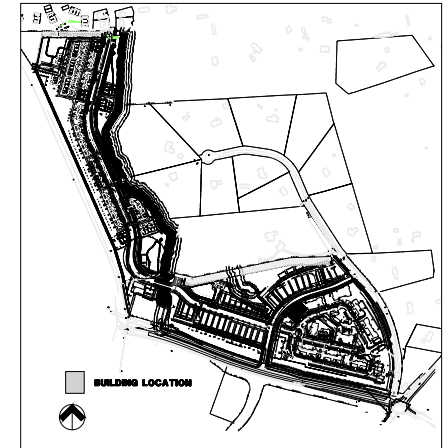
2 ASR - BUILDING 5 WEST ELEVATION
A2.34 SCALE 1/8"=1'-0"



3 ASR - BUILDING 5 SOUTH ELEVATION
A2.34 SCALE 1/8"=1'-0"



4 ASR - BUILDING 5 NORTH ELEVATION
A2.34 SCALE 1/8"=1'-0"



5 SITE KEY
A2.34 N.T.S.

APARTMENT BUILDING 5 PRIMARY STREET AVERAGE GRADE					TOP OF ROOF AVERAGE
ELEVATION	F.E.L.	HIGH	LOW	AVERAGE	AVERAGE
SOUTH (3/A2.34)	261.50	261.40	261.00	261.20	45'-8 3/8"



1 ASR - BUILDING 6 SOUTH ELEVATION
A2.35 SCALE 1/8"=1'



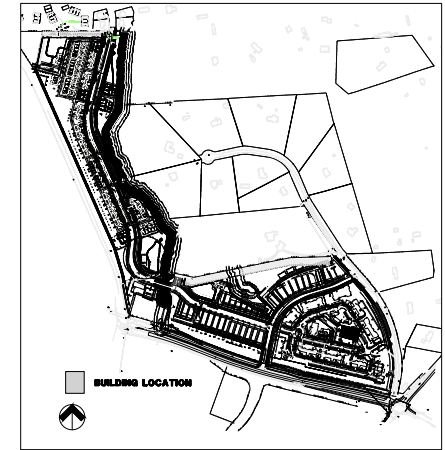
2 ASR - BUILDING 6 NORTH ELEVATION
A2.35 SCALE 1/8"=1'



3 ASR - BUILDING 6 WEST ELEVATION
A2.35 SCALE 1/8"=1'



4 ASR - BUILDING 6 EAST ELEVATION
A2.35 SCALE 1/8"=1'



5 SITE KEY
A2.35 N.T.S.

APARTMENT BUILDING 6 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF AROUND AVERAGE
SOUTH (1/A2.35)	298.85	300.25	295.25	297.75	46'-5 15/16"

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-6"
WINDOW HEADER
ELEV. = 7'-0"

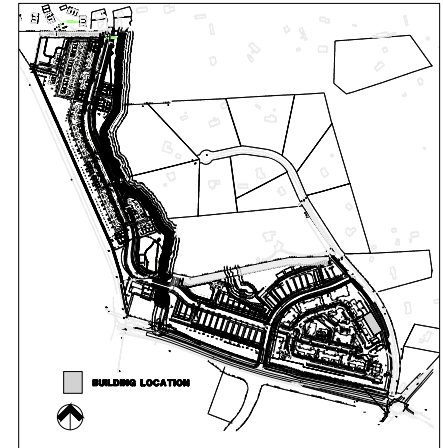
LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



HIGH POINT
ELEV. = 304.25'
AVERAGE ELEVATION
ELEV. = 302.73
LOW POINT
ELEV. = 301.20'



5 SITE KEY
A2.36 N.T.A.

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-6"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 7 EAST ELEVATION
A2.36 SCALE 1/8"=1'

APARTMENT BUILDING 7 PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ELEVATION
ELEVATION	F.E.L.	HIGH	LOW	AVERAGE	Average
WEST (1/A2.36)	304.75	304.25	301.20	302.73	48'-9"

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-6"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



3 ASR - BUILDING 7 NORTH ELEVATION
A2.36 SCALE 1/8"=1'

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-6"
LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



4 ASR - BUILDING 7 SOUTH ELEVATION
A2.36 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

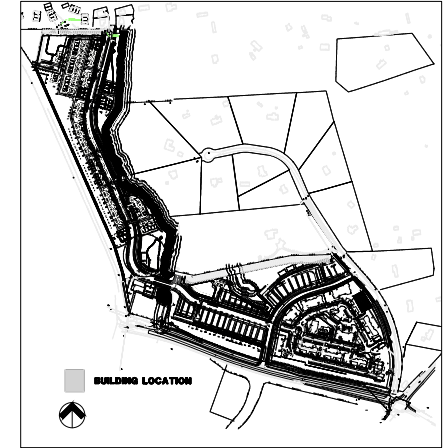
TOP OF ROOF
ELEV. = 45'-4 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
TOP OF SLAB
ELEV. = 0'-0"



46'-2 1/4"

HIGH POINT
ELEV. = 300.79'
AVERAGE ELEVATION
ELEV. = 299.38'
LOW POINT
ELEV. = 298.00'



5 SITE KEY
A2.37 N.T.S.

1 ASR - BUILDING 8 WEST ELEVATION
A2.37 SCALE 1/8"=1'

TOP OF ROOF
ELEV. = 45'-4 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 8 EAST ELEVATION
A2.37 SCALE 1/8"=1'

APARTMENT BUILDING 8 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF AVERAGE
WEST (1/A2.37)	300.17	300.75	298.00	299.38	46'-2 1/4"

TOP OF ROOF
ELEV. = 45'-4 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
TOP OF SLAB
ELEV. = 0'-0"



TOP OF ROOF
ELEV. = 45'-4 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"
LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"
LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"
LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"
TOP OF SLAB
ELEV. = 0'-0"



4 ASR - BUILDING 8 NORTH ELEVATION
A2.37 SCALE 1/8"=1'

3 ASR - BUILDING 8 SOUTH ELEVATION
A2.37 SCALE 1/8"=1'

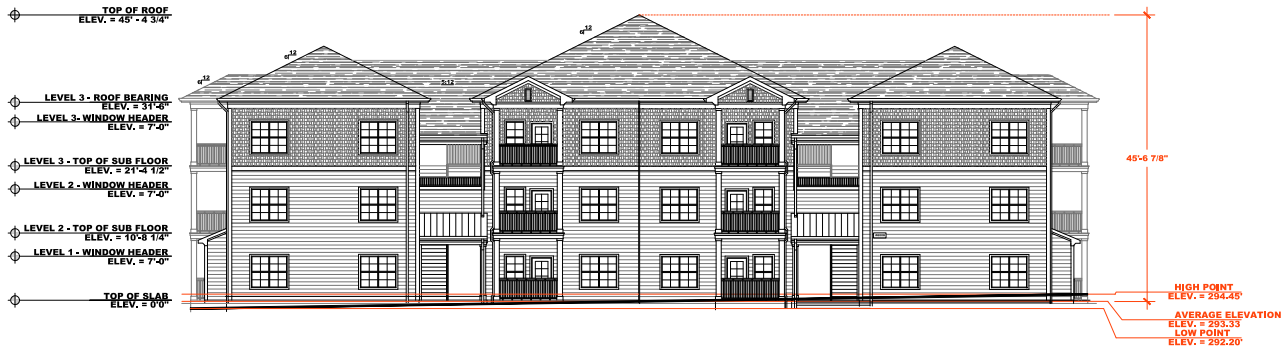
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

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assessment
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919.616.0405
sra@andron.com

APARTMENT BUILDING 8 ELEVATIONS
FIFTH OAK MULTI-FAMILY
RALEIGH, NC

PROJECT #:
DATE: 07/20/21
SCALE: 1/8"=1'
DESIGNED BY: EMC/SH
CHECKED:
REVISED: 10/13/21
REVISED:
SHEET NUMBER:
A2.37
OF:



1 ASR - BUILDING 9 SOUTH ELEVATION
A2.37 SCALE 1/8"=1'



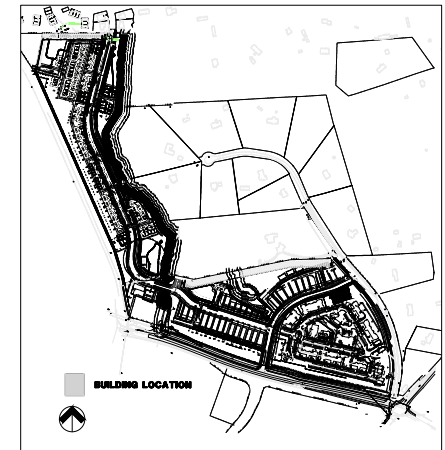
2 ASR - BUILDING 9 NORTH ELEVATION
A2.37 SCALE 1/8"=1'



3 ASR - BUILDING 9 WEST ELEVATION
A2.38 SCALE 1/8"=1'



4 ASR - BUILDING 9 EAST ELEVATION
A2.38 SCALE 1/8"=1'



5 SITE KEY
A2.37 N.T.S.

APARTMENT BUILDING 9 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF AVERAGE
SOUTH (1/A2.37)	293.50	294.45	292.20	293.33	45'-6 7/8"

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-0"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

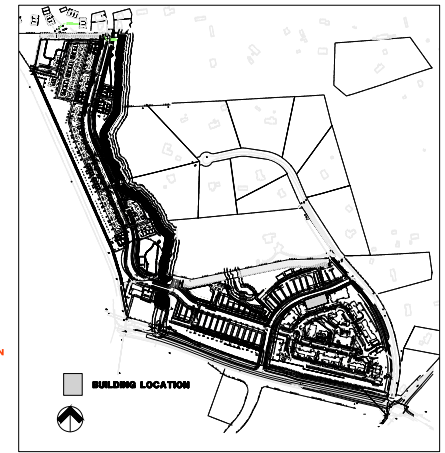
LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



46'-5 1/8"

HIGH POINT
ELEV. = 287.25'
AVERAGE ELEVATION
ELEV. = 286.55'
LOW POINT
ELEV. = 285.85'



5 SITE KEY
A2.39 N.T.S.

TOP OF ROOF
ELEV. = 46'-8 3/4"

3RD FLOOR
ROOF BEARING
ELEV. = 31'-0"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP
OF SUB FLOOR
ELEV. = 21'-4 1/2"
WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP
OF SUB FLOOR
ELEV. = 10'-8 1/4"
WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



2 ASR - BUILDING 10 NORTH ELEVATION
A2.39 SCALE 1/8"=1'

APARTMENT BUILDING 10 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.L.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST (1/A2.39)	286.75	288.25	285.85	287.05	46'-5 1/8"

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"

LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"

LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"

LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"

LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"



3 ASR - BUILDING 10 WEST ELEVATION
A2.39 SCALE 1/8"=1'

TOP OF ROOF
ELEV. = 46'-8 3/4"

LEVEL 3 - ROOF BEARING
ELEV. = 31'-0"

LEVEL 3 - TRANSOM HEADER
ELEV. = 8'-0"

LEVEL 3 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 3 - TOP OF SUB FLOOR
ELEV. = 21'-4 1/2"

LEVEL 2 - WINDOW HEADER
ELEV. = 7'-0"

LEVEL 2 - TOP OF SUB FLOOR
ELEV. = 10'-8 1/4"

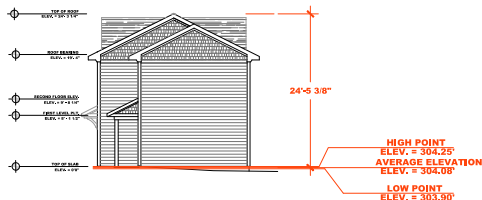
LEVEL 1 - WINDOW HEADER
ELEV. = 7'-0"

TOP OF SLAB
ELEV. = 0'-0"

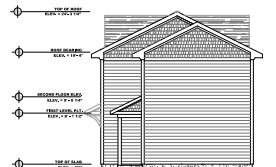
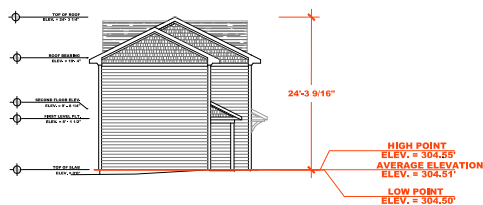
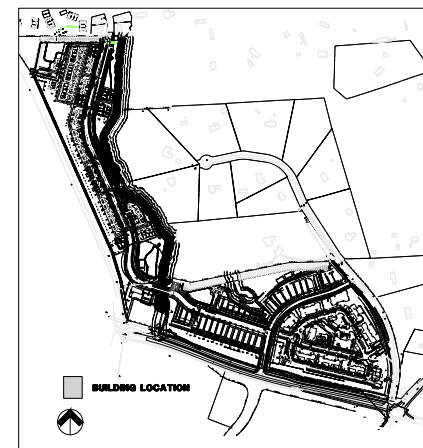


4 ASR - BUILDING 10 EAST ELEVATION
A2.39 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



TOWHOME D-1 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF AROUND AVERAGE
WEST 4/A2.40	304.25	304.25	303.90	304.08	24'-5 3/8"



TOWHOME D-2 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROAD MARK AVERAGE
WEST 7/2,40	304.55	304.55	304.50	304.53	24'-3 9/16"



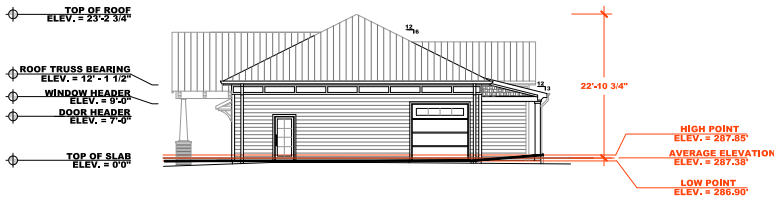


1 ASR - CLUBHOUSE WEST ELEVATION
A2.41 SCALE 1/8"=1'

ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 3/A2.41	287.00	287.85	286.90	287.38	22' - 10 3/4"



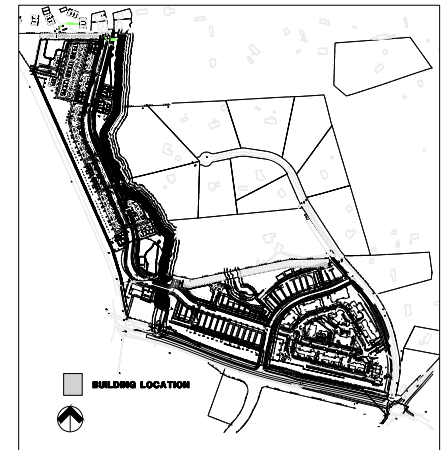
2 ASR - CLUBHOUSE EAST ELEVATION
A2.41 SCALE 1/8"=1'



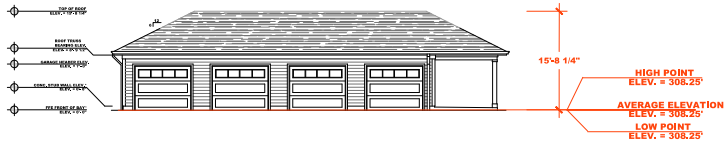
3 ASR - CLUBHOUSE SOUTH ELEVATION
A2.41 SCALE 1/8"=1'



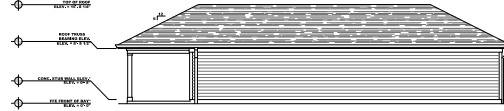
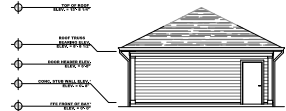
4 ASR - CLUBHOUSE NORTH ELEVATION
A2.41 SCALE 1/8"=1'



5 SITE KEY
A2.41 N.T.S.



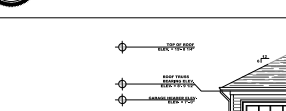
1 ASR - GARAGE G-1 SOUTH ELEVATION
A2.42 SCALE 1/8"=1'-0"



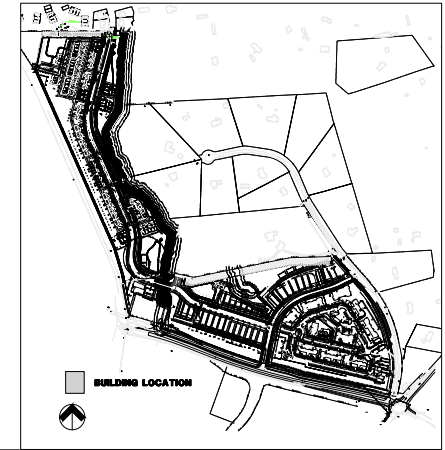
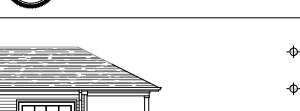
2 ASR - GARAGE G-1 NORTH ELEVATION
A2.42 SCALE 1/8"=1'-0"

APARTMENT GARAGE G-1 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 1/A2.42	308.25	308.25	308.25	308.25	15'-8 1/4"

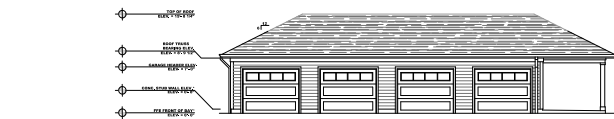
3 ASR - GARAGE G-1 EAST ELEVATION
A2.42 SCALE 1/8"=1'-0"



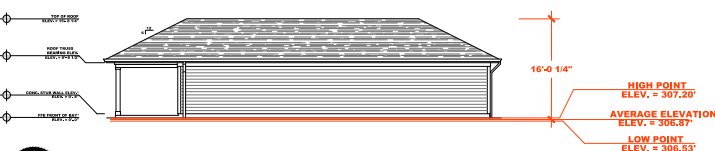
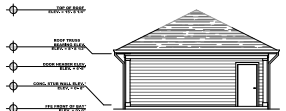
4 ASR - GARAGE G-1 WEST ELEVATION
A2.42 SCALE 1/8"=1'-0"



13 SITE KEY
A2.42 N.T.S.



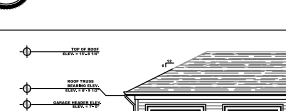
5 ASR - GARAGE G-2 NORTH ELEVATION
A2.42 SCALE 1/8"=1'-0"



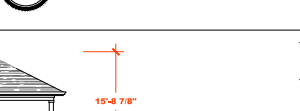
6 ASR - GARAGE G-2 SOUTH ELEVATION
A2.42 SCALE 1/8"=1'-0"

APARTMENT GARAGE G-2 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 6/A2.42	307.20	307.20	306.53	306.87	16'- 1/4"

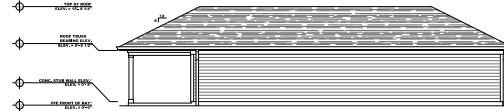
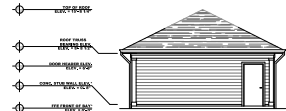
7 ASR - GARAGE G-2 WEST ELEVATION
A2.42 SCALE 1/8"=1'-0"



8 ASR - GARAGE G-2 EAST ELEVATION
A2.42 SCALE 1/8"=1'-0"



9 ASR - GARAGE G-3 SOUTH ELEVATION
A2.42 SCALE 1/8"=1'-0"



10 ASR - GARAGE G-3 NORTH ELEVATION
A2.42 SCALE 1/8"=1'-0"

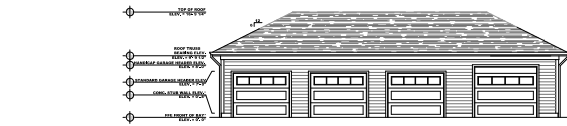
APARTMENT GARAGE G-3 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 3/A2.42	307.20	307.15	307.15	307.15	15'-8 7/8"

11 ASR - GARAGE G-3 EAST ELEVATION
A2.42 SCALE 1/8"=1'-0"

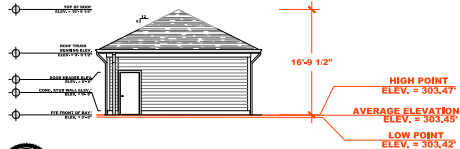


12 ASR - GARAGE G-3 WEST ELEVATION
A2.42 SCALE 1/8"=1'-0"

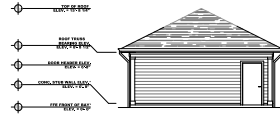




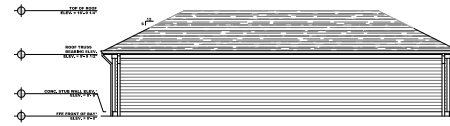
1 ASR - GARAGE G-4 EAST ELEVATION
A2.43 SCALE 1/8"=1'



3 ASR - GARAGE G-4 SOUTH ELEVATION
A2.43 SCALE 1/8"=1'

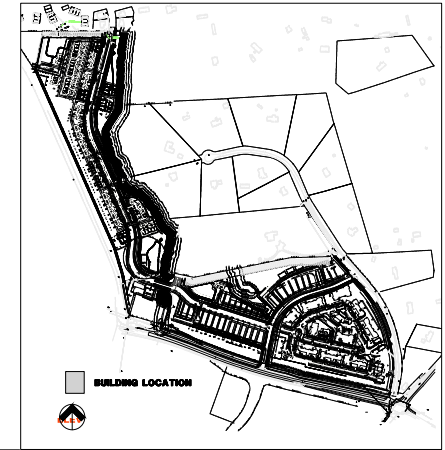


4 ASR - GARAGE G-4 NORTH ELEVATION
A2.43 SCALE 1/8"=1'

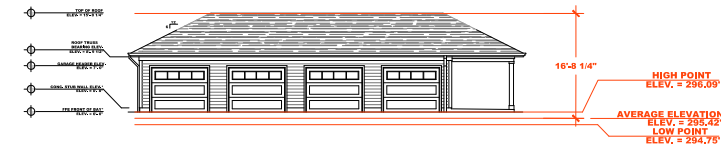


2 ASR - GARAGE G-4 WEST ELEVATION
A2.43 SCALE 1/8"=1'

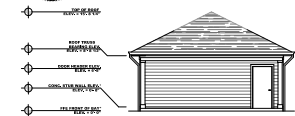
APARTMENT GARAGE G-4 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 3/A2.43	303.47	303.47	303.42	303.45	16'-9 1/2"



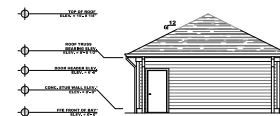
13 SITE KEY
A2.43 N.T.S.



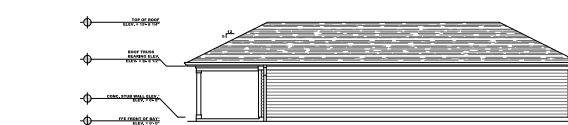
5 ASR - GARAGE G-5 SOUTH ELEVATION
A2.43 SCALE 1/8"=1'



7 ASR - GARAGE G-5 EAST ELEVATION
A2.43 SCALE 1/8"=1'

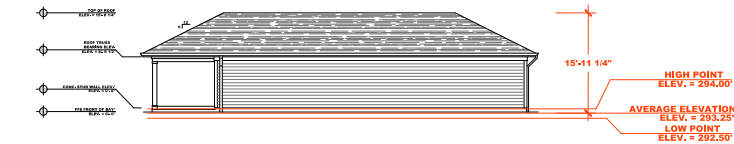


8 ASR - GARAGE G-5 WEST ELEVATION
A2.43 SCALE 1/8"=1'

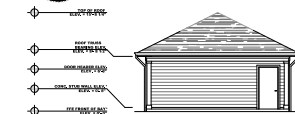


6 ASR - GARAGE G-5 NORTH ELEVATION
A2.43 SCALE 1/8"=1'

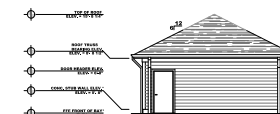
APARTMENT GARAGE G-5 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 5/A2.43	296.09	296.09	294.75	295.42	16'-8 1/4"



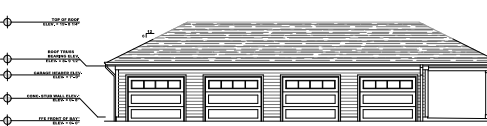
9 ASR - GARAGE G-6 SOUTH ELEVATION
A2.43 SCALE 1/8"=1'



11 ASR - GARAGE G-6 WEST ELEVATION
A2.43 SCALE 1/8"=1'



12 ASR - GARAGE G-6 EAST ELEVATION
A2.43 SCALE 1/8"=1'

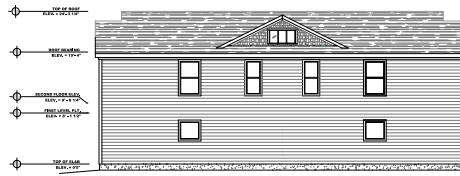


10 ASR - GARAGE G-6 NORTH ELEVATION
A2.43 SCALE 1/8"=1'

APARTMENT GARAGE G-6 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 3/A2.43	293.50	294.00	292.50	293.25	15'-11 1/4"

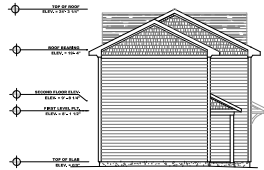


1 ASR - TOWNHOME D-3 NORTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

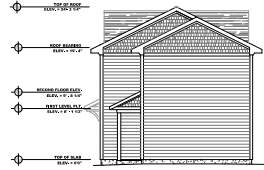


2 ASR - TOWNHOME D-3 SOUTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

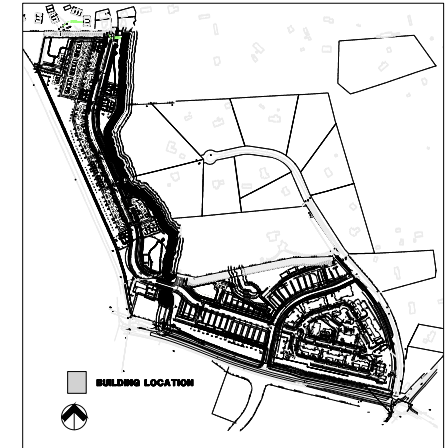
TOWNHOME D-3 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 1/A2.44	260.00	260.00	259.87	259.94	24' - 4"



3 ASR - TOWNHOME D-3 EAST ELEVATION
A2.44 SCALE 1/8"=1'-0"



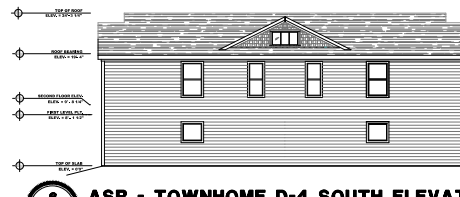
4 ASR - TOWNHOME D-3 WEST ELEVATION
A2.44 SCALE 1/8"=1'-0"



13 SITE KEY
A2.44 N.T.S.

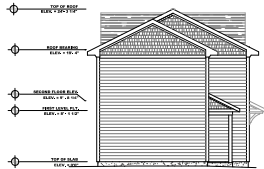


5 ASR - TOWNHOME D-4 NORTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

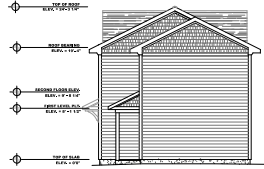


6 ASR - TOWNHOME D-4 SOUTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

TOWNHOME D-4 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 5/A2.44	261.85	261.85	261.05	261.45	24' - 8 1/16"



7 ASR - TOWNHOME D-4 EAST ELEVATION
A2.44 SCALE 1/8"=1'-0"



8 ASR - TOWNHOME D-4 WEST ELEVATION
A2.44 SCALE 1/8"=1'-0"

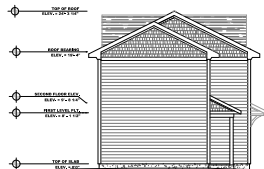


9 ASR - TOWNHOME D-5 NORTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

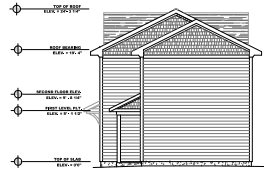


10 ASR - TOWNHOME D-5 SOUTH ELEVATION
A2.44 SCALE 1/8"=1'-0"

TOWNHOME D-5 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
SOUTH 9/A2.44	264.50	264.50	263.37	263.94	24' - 10"



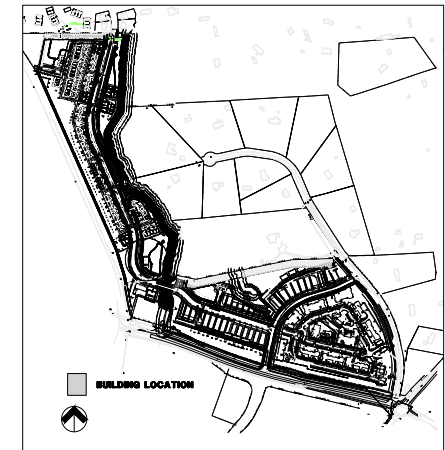
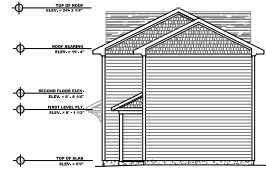
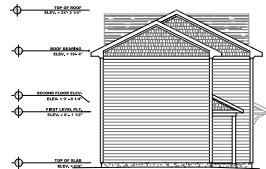
11 ASR - TOWNHOME D-5 EAST ELEVATION
A2.44 SCALE 1/8"=1'-0"



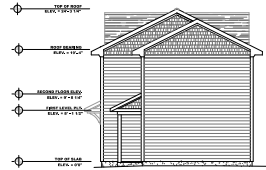
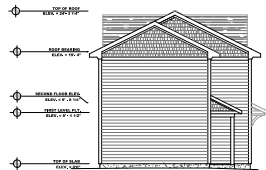
12 ASR - TOWNHOME D-5 WEST ELEVATION
A2.44 SCALE 1/8"=1'-0"



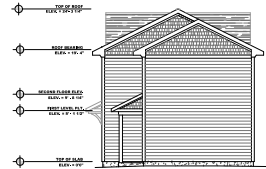
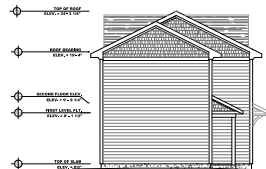
TOWNHOME D-6 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 1/A2.45	267.20	267.20	266.08	266.64	24' - 10"

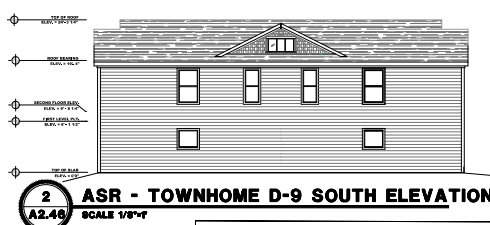


TOWNHOME D-7 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 5/A2.45	269.90	269.90	268.77	269.34	24' - 10"

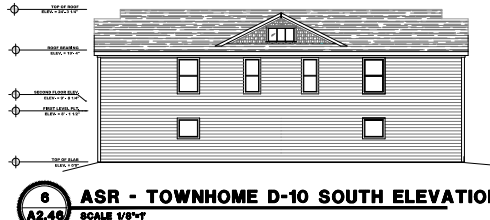
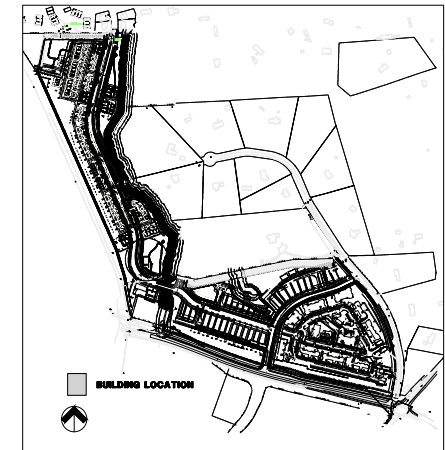
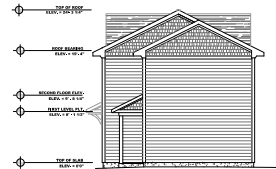
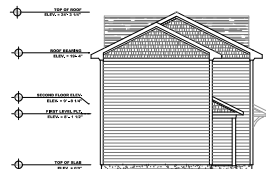


TOWNHOME D-8 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 9/A2.45	272.60	272.60	271.47	272.04	24' - 10"

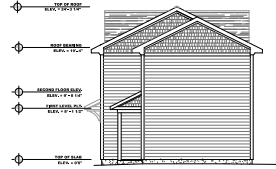
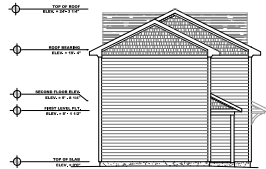




TOWNHOME D-9 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 1/A2.46	275.30	275.30	274.17	274.74	25' - 10"



TOWNHOME D-10 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
NORTH 5/A2.46	278.00	278.00	276.87	277.44	24' - 10"

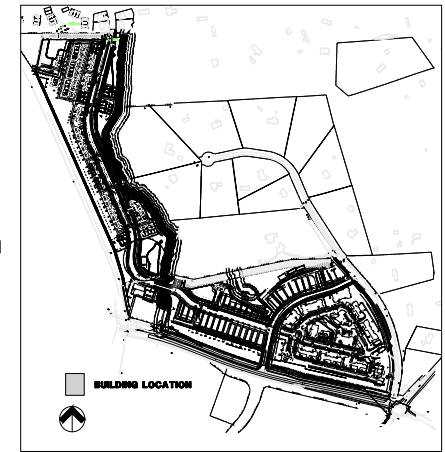




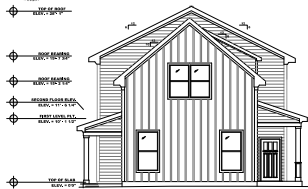
1 ASR - TOWNHOME D-11 SOUTH ELEVATION
A2.46 SCALE 1/8"=1'



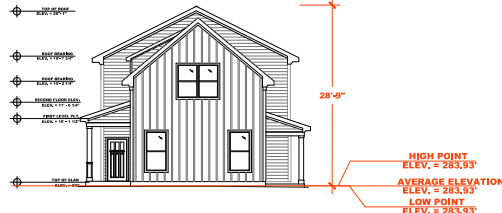
2 ASR - TOWNHOME D-11 NORTH ELEVATION
A2.46 SCALE 1/8"=1'



9 SITE KEY
A2.47 N.T.S.



3 ASR - TOWNHOME D-11 EAST ELEVATION
A2.46 SCALE 1/8"=1'



4 ASR - TOWNHOME D-11 WEST ELEVATION
A2.46 SCALE 1/8"=1'

TOWNHOME D-11 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF - TYPICAL AVERAGE
SOUTH 1/A2.47	284.60	284.55	283.93	284.24	28' - 5 5/16"
WEST 4/A2.47	284.60	283.93	283.93	283.93	28' - 9"

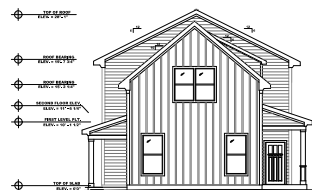


5 ASR - TOWNHOME D-12 SOUTH ELEVATION
A2.47 SCALE 1/8"=1'

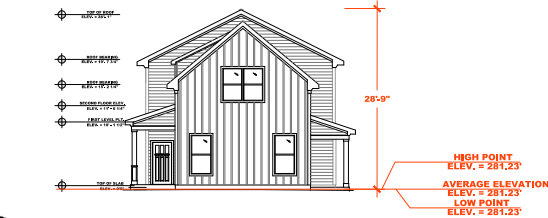


6 ASR - TOWNHOME D-12 NORTH ELEVATION
A2.47 SCALE 1/8"=1'

TOWNHOME D-12 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.F.E.	HIGH	LOW	AVERAGE	TOP OF ROOF - TYPICAL AVERAGE
SOUTH 5/A2.47	281.90	281.85	283.25	283.48	28' - 5 5/16"
WEST 8/A2.47	281.90	281.23	281.23	281.23	28' - 9"



7 ASR - TOWNHOME D-12 WEST ELEVATION
A2.47 SCALE 1/8"=1'



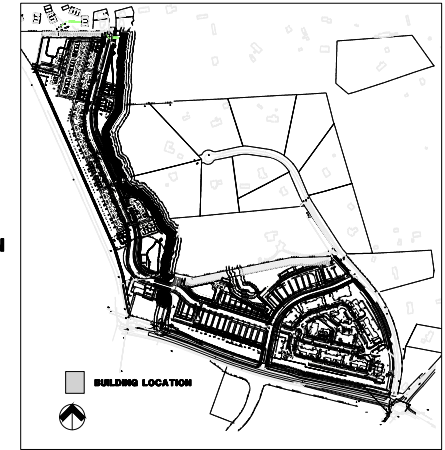
8 ASR - TOWNHOME D-12 EAST ELEVATION
A2.47 SCALE 1/8"=1'



1 ASR - TOWNHOME D-13 SOUTH ELEVATION
A2.48 SCALE 1/8"=1'

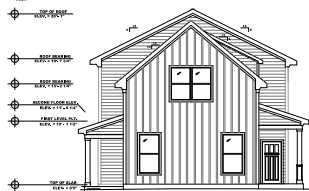


2 ASR - TOWNHOME D-13 NORTH ELEVATION
A2.48 SCALE 1/8"=1'

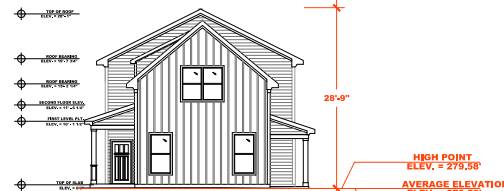


9 SITE KEY
A2.48 N.T.S.

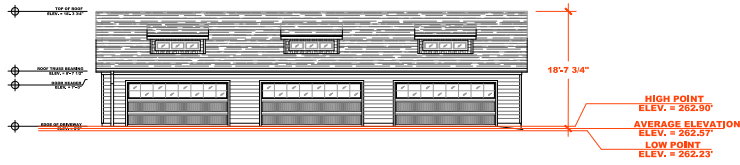
TOWNHOME D-13 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF FINISH AVERAGE
SOUTH 1/A2.48	280.25	280.20	279.58	279.89	29' - 5 5/16"
WEST 4/A2.48	280.25	279.58	279.58	279.58	28' - 9"



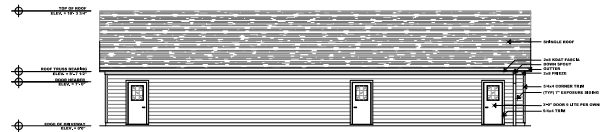
3 ASR - TOWNHOME D-13 WEST ELEVATION
A2.48 SCALE 1/8"=1'



4 ASR - TOWNHOME D-13 EAST ELEVATION
A2.48 SCALE 1/8"=1'

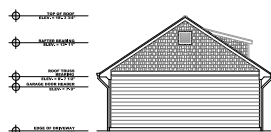


5 ASR - GARAGE G-22 SOUTH ELEVATION
A2.48 SCALE 1/8"=1'

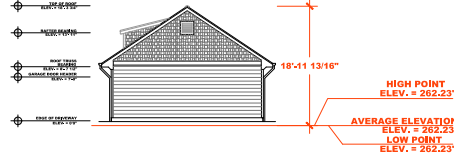


6 ASR - GARAGE D-22A NORTH ELEVATION
A2.48 SCALE 1/8"=1'

GARAGE G-22 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF FINISH AVERAGE
SOUTH 5/A2.48	262.90	262.90	262.23	262.51	18' - 7 3/4"
EAST 5/A2.48	262.90	262.23	262.23	262.23	18' - 11 13/16"



7 ASR - GARAGE G-22 WEST ELEVATION
A2.48 SCALE 1/8"=1'



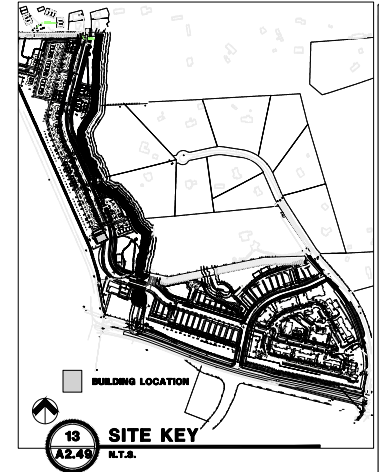
8 ASR - GARAGE G-22 EAST ELEVATION
A2.48 SCALE 1/8"=1'



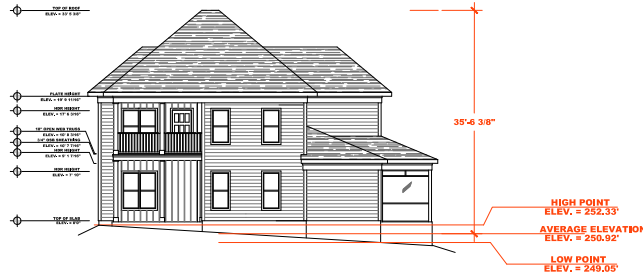
1 ASR - TOWNHOME TH-1 SOUTH ELEVATION
A2.49 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-1 NORTH ELEVATION
A2.49 SCALE 1/8"=1'

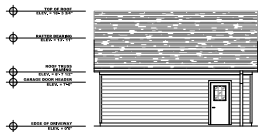


3 ASR - TOWNHOME TH-1 WEST ELEVATION
A2.49 SCALE 1/8"=1'

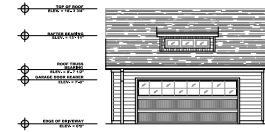


4 ASR - TOWNHOME TH-1 EAST ELEVATION
A2.49 SCALE 1/8"=1'

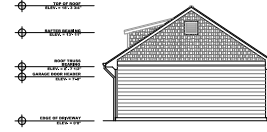
TOWNHOME TH-1 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 4/A2.49	253.00	252.33	249.50	250.92	35' - 6 3/8"
GARAGE G-1A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 8/A2.49	249.50	249.33	249.00	249.17	18' - 7 11/16"
GARAGE G-1B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 12/A2.49	246.65	246.93	246.93	246.93	20' - 3/8"



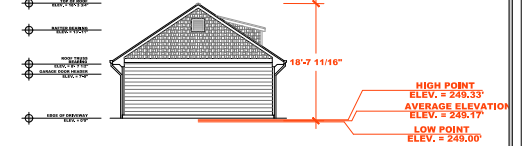
5 ASR - GARAGE G-1A SOUTH ELEVATION
A2.49 SCALE 1/8"=1'



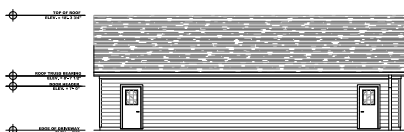
6 ASR - GARAGE G-1A NORTH ELEVATION
A2.49 SCALE 1/8"=1'



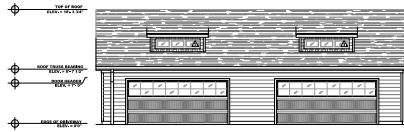
7 ASR - GARAGE G-1A WEST ELEVATION
A2.49 SCALE 1/8"=1'



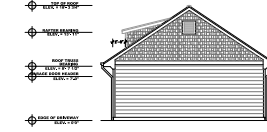
8 ASR - GARAGE G-1A EAST ELEVATION
A2.49 SCALE 1/8"=1'



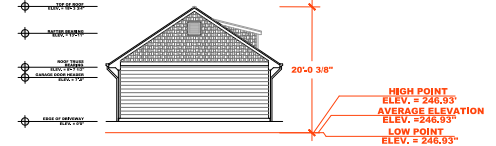
9 ASR - GARAGE G-1B SOUTH ELEVATION
A2.49 SCALE 1/8"=1'



10 ASR - GARAGE G-1B NORTH ELEVATION
A2.49 SCALE 1/8"=1'



11 ASR - GARAGE G-1B WEST ELEVATION
A2.49 SCALE 1/8"=1'



12 ASR - GARAGE G-1B EAST ELEVATION
A2.49 SCALE 1/8"=1'



1 ASR - TOWNHOME TH-2 EAST ELEVATION
A2.50 SCALE 1/8"=1'-0"



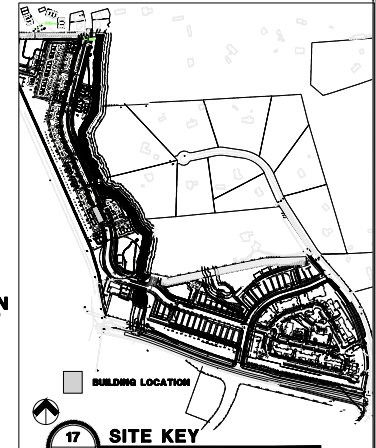
2 ASR - TOWNHOME TH-2 NORTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



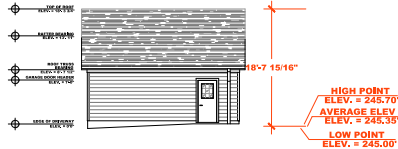
3 ASR - TOWNHOME TH-2 WEST ELEVATION
A2.50 SCALE 1/8"=1'-0"



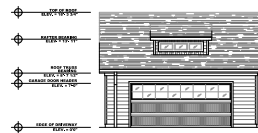
4 ASR - TOWNHOME TH-2 SOUTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



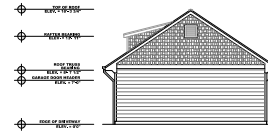
TOWNHOME TH-2 PRIMARY STREET AVERAGE GRADE						
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE	
EAST 1/A2.50	246.75	246.70	246.05	246.38	33' - 9 13/16"	
GARAGE G-2A PRIMARY STREET AVERAGE GRADE						
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE	
EAST 5/A2.50	245.70	245.70	245.00	245.35	18' - 7 15/16"	
GARAGE G-2B PRIMARY STREET AVERAGE GRADE						
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE	
EAST 9/A2.50	247.00	247.00	245.10	246.05	19' - 3 1/8"	
GARAGE G-2C PRIMARY STREET AVERAGE GRADE						
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE	
EAST 13/A2.50	248.25	248.25	247.00	247.63	18' - 11 3/16"	



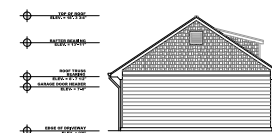
5 ASR - GARAGE G-2A EAST ELEVATION
A2.50 SCALE 1/8"=1'-0"



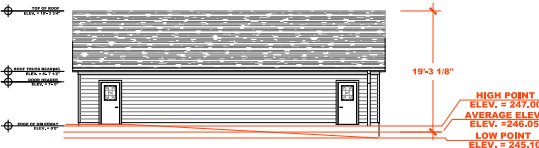
6 ASR - GARAGE G-2A WEST ELEVATION
A2.50 SCALE 1/8"=1'-0"



7 ASR - GARAGE G-2A SOUTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



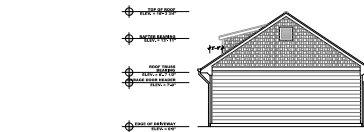
8 ASR - GARAGE G-2A NORTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



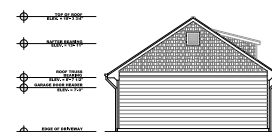
9 ASR - GARAGE G-2B EAST ELEVATION
A2.50 SCALE 1/8"=1'-0"



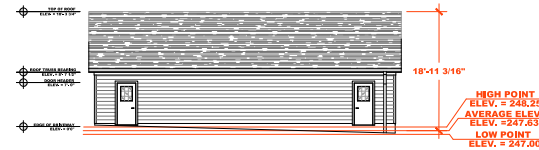
10 ASR - GARAGE G-2B WEST ELEVATION
A2.50 SCALE 1/8"=1'-0"



11 ASR - GARAGE G-2B SOUTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



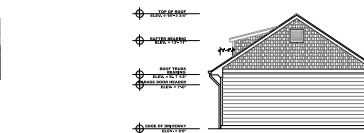
12 ASR - GARAGE G-2B NORTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



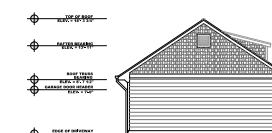
13 ASR - GARAGE G-2C EAST ELEVATION
A2.50 SCALE 1/8"=1'-0"



14 ASR - GARAGE G-2C WEST ELEVATION
A2.50 SCALE 1/8"=1'-0"



15 ASR - GARAGE G-2C SOUTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



16 ASR - GARAGE G-2C NORTH ELEVATION
A2.50 SCALE 1/8"=1'-0"



1 ASR - TOWNHOME TH-3 EAST ELEVATION
A2.51 SCALE 1/8"=1'



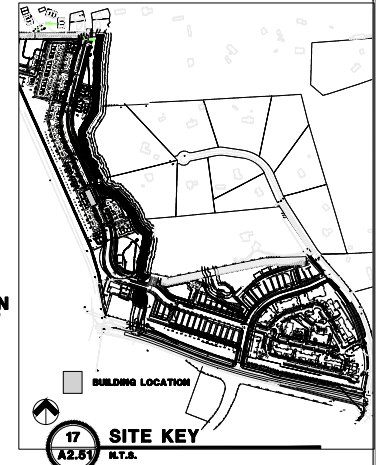
2 ASR - TOWNHOME TH-3 NORTH ELEVATION
A2.51 SCALE 1/8"=1'



3 ASR - TOWNHOME TH-3 WEST ELEVATION
A2.51 SCALE 1/8"=1'

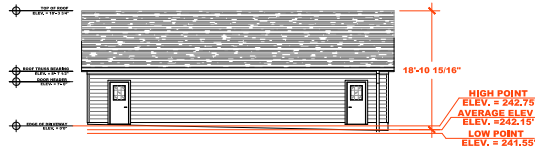


4 ASR - TOWNHOME TH-3 SOUTH ELEVATION
A2.51 SCALE 1/8"=1'



17 SITE KEY
A2.51 N.T.S.

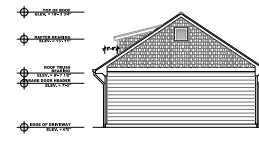
TOWNHOME TH-3 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.51	242.75	242.70	242.05	242.35	33' - 9 7/8"
GARAGE G-3A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.51	242.75	242.75	241.55	242.15	18' - 10 15/16"
GARAGE G-3B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.51	244.05	244.05	242.50	243.25	19' - 1 1/16"
GARAGE G-3C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.51	244.80	244.80	244.13	244.47	18' - 7 3/4"



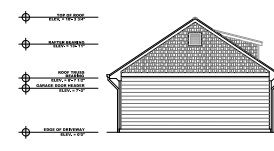
5 ASR - GARAGE G-3A EAST ELEVATION
A2.51 SCALE 1/8"=1'



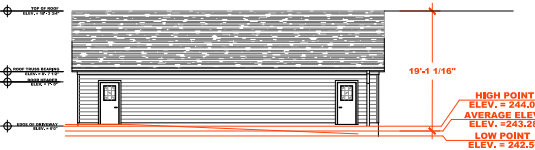
6 ASR - GARAGE G-3A WEST ELEVATION
A2.51 SCALE 1/8"=1'



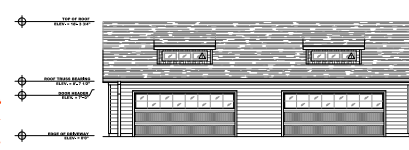
7 ASR - GARAGE G-3A SOUTH ELEVATION
A2.51 SCALE 1/8"=1'



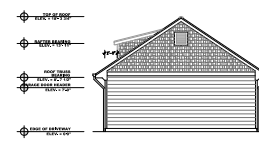
8 ASR - GARAGE G-3A NORTH ELEVATION
A2.51 SCALE 1/8"=1'



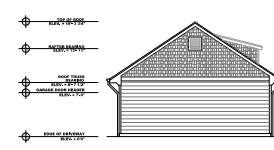
9 ASR - GARAGE G-3B EAST ELEVATION
A2.51 SCALE 1/8"=1'



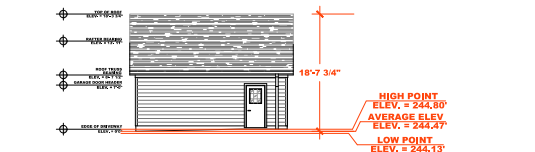
10 ASR - GARAGE G-3B WEST ELEVATION
A2.51 SCALE 1/8"=1'



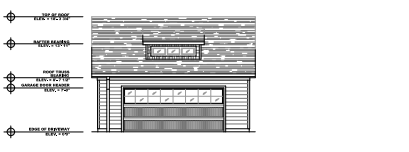
11 ASR - GARAGE G-3B SOUTH ELEVATION
A2.51 SCALE 1/8"=1'



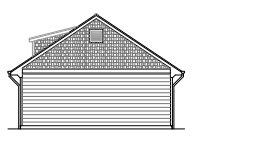
12 ASR - GARAGE G-3B NORTH ELEVATION
A2.51 SCALE 1/8"=1'



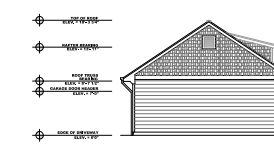
13 ASR - GARAGE G-3C EAST ELEVATION
A2.51 SCALE 1/8"=1'



14 ASR - GARAGE G-3C WEST ELEVATION
A2.51 SCALE 1/8"=1'



15 ASR - GARAGE G-3C SOUTH ELEVATION
A2.51 SCALE 1/8"=1'



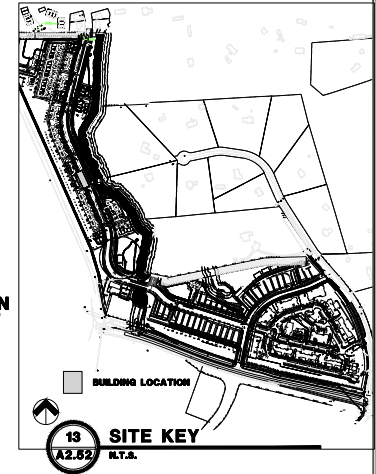
16 ASR - GARAGE G-3C NORTH ELEVATION
A2.51 SCALE 1/8"=1'



1 ASR - TOWNHOME TH-4 EAST ELEVATION
A2.52 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-4 NORTH ELEVATION
A2.52 SCALE 1/8"=1'



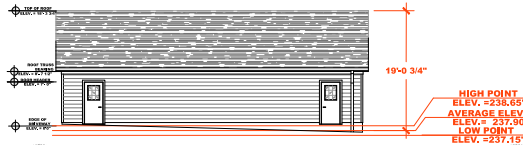
TOWNHOME TH-4 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.52	238.75	238.70	238.05	238.38	33' - 9 7/8"
GARAGE G-4A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.52	238.65	238.65	237.15	237.90	19' - 3/4"
GARAGE G-4B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.52	240.50	240.50	238.80	239.65	19' - 1 15/16"



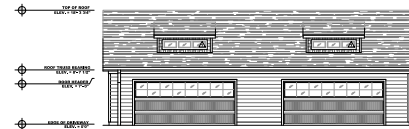
3 ASR - TOWNHOME TH-4 WEST ELEVATION
A2.52 SCALE 1/8"=1'



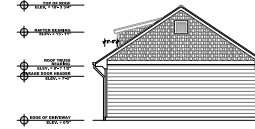
4 ASR - TOWNHOME TH-4 SOUTH ELEVATION
A2.52 SCALE 1/8"=1'



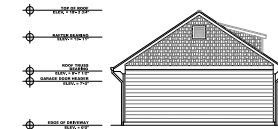
5 ASR - GARAGE G-4A EAST ELEVATION
A2.52 SCALE 1/8"=1'



6 ASR - GARAGE G-4A WEST ELEVATION
A2.52 SCALE 1/8"=1'



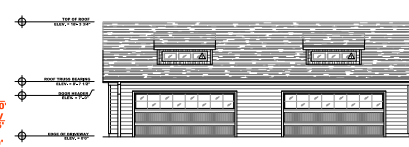
7 ASR - GARAGE G-4A SOUTH ELEVATION
A2.52 SCALE 1/8"=1'



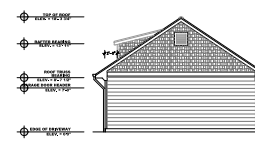
8 ASR - GARAGE G-4A NORTH ELEVATION
A2.52 SCALE 1/8"=1'



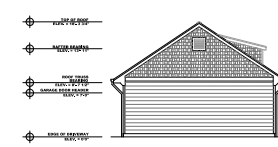
9 ASR - GARAGE G-4B EAST ELEVATION
A2.52 SCALE 1/8"=1'



10 ASR - GARAGE G-4B WEST ELEVATION
A2.52 SCALE 1/8"=1'



11 ASR - GARAGE G-4B SOUTH ELEVATION
A2.52 SCALE 1/8"=1'



12 ASR - GARAGE G-4B NORTH ELEVATION
A2.52 SCALE 1/8"=1'



1 ASR - TOWNHOME TH-5 EAST ELEVATION
A2.53 SCALE 1/8\"/>



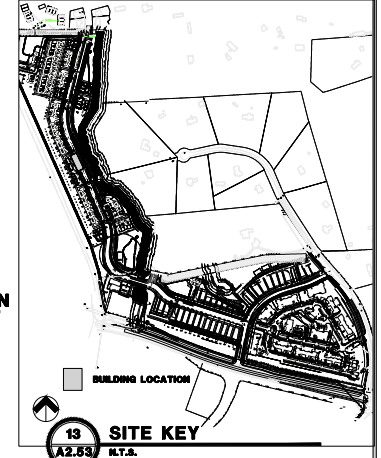
2 ASR - TOWNHOME TH-5 NORTH ELEVATION
A2.53 SCALE 1/8\"/>



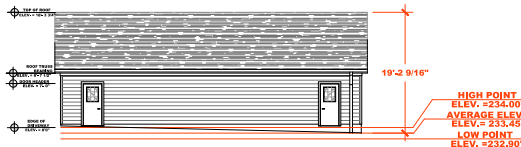
3 ASR - TOWNHOME TH-5 WEST ELEVATION
A2.53 SCALE 1/8\"/>



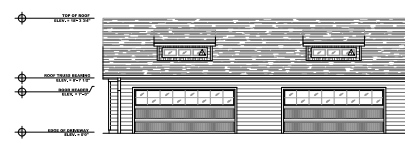
4 ASR - TOWNHOME TH-5 SOUTH ELEVATION
A2.53 SCALE 1/8\"/>



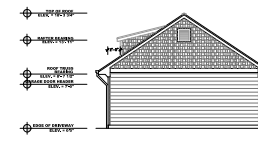
TOWNHOME TH-5 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.53	234.70	234.70	234.00	234.35	33' - 10 3/16"
GARAGE G-5A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.53	234.00	234.00	232.20	233.10	19' - 2 9/16"
GARAGE G-5B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.53	235.95	235.95	234.25	235.10	19' - 1 15/16"



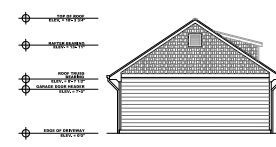
5 ASR - GARAGE G-5A EAST ELEVATION
A2.53 SCALE 1/8\"/>



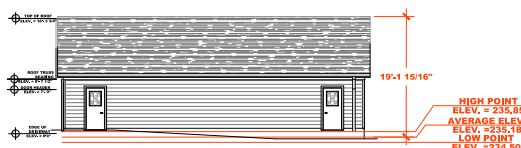
6 ASR - GARAGE G-5A WEST ELEVATION
A2.53 SCALE 1/8\"/>



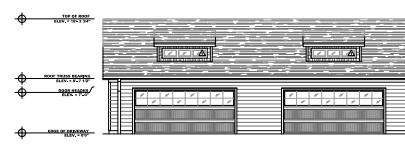
7 ASR - GARAGE G-5A SOUTH ELEVATION
A2.53 SCALE 1/8\"/>



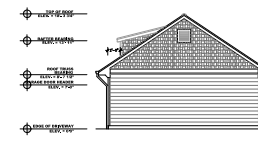
8 ASR - GARAGE G-5A NORTH ELEVATION
A2.53 SCALE 1/8\"/>



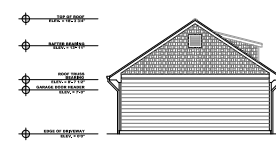
9 ASR - GARAGE G-5B EAST ELEVATION
A2.53 SCALE 1/8\"/>



10 ASR - GARAGE G-5B WEST ELEVATION
A2.53 SCALE 1/8\"/>



11 ASR - GARAGE G-5B SOUTH ELEVATION
A2.53 SCALE 1/8\"/>



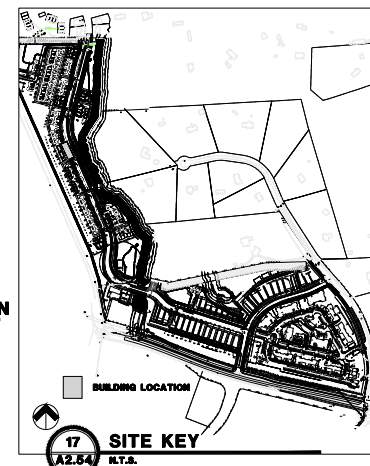
12 ASR - GARAGE G-5B NORTH ELEVATION
A2.53 SCALE 1/8\"/>



1 ASR - TOWNHOME TH-6 EAST ELEVATION
A2.54 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-6 NORTH ELEVATION
A2.54 SCALE 1/8"=1'



17 SITE KEY
A2.54 N.T.S.

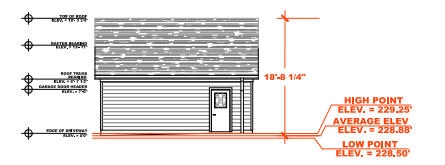


3 ASR - TOWNHOME TH-6 WEST ELEVATION
A2.54 SCALE 1/8"=1'

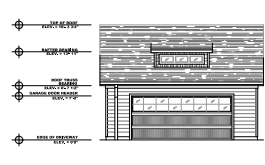


4 ASR - TOWNHOME TH-6 SOUTH ELEVATION
A2.54 SCALE 1/8"=1'

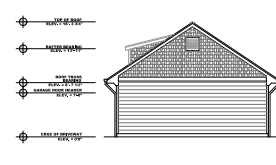
TOWNHOME TH-6 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.54	230.75	230.70	230.05	230.38	33' - 9 7/8"
GARAGE G-6A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.54	229.25	229.25	228.50	228.88	18' - 8 1/4"
GARAGE G-6B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.54	231.10	231.10	229.45	230.28	19' - 1 11/16"
GARAGE G-6C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.54	232.40	232.40	231.20	231.80	18' - 10 15/16"



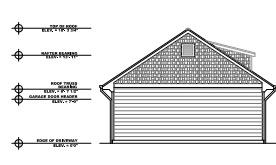
5 ASR - GARAGE G-6A EAST ELEVATION
A2.54 SCALE 1/8"=1'



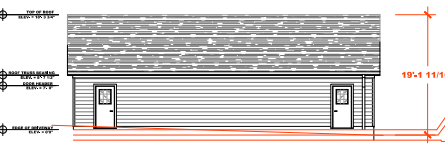
6 ASR - GARAGE G-6A WEST ELEVATION
A2.54 SCALE 1/8"=1'



7 ASR - GARAGE G-6A SOUTH ELEVATION
A2.54 SCALE 1/8"=1'



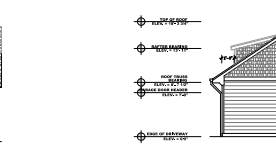
8 ASR - GARAGE G-6A NORTH ELEVATION
A2.54 SCALE 1/8"=1'



9 ASR - GARAGE G-6B EAST ELEVATION
A2.54 SCALE 1/8"=1'



10 ASR - GARAGE G-6B WEST ELEVATION
A2.54 SCALE 1/8"=1'

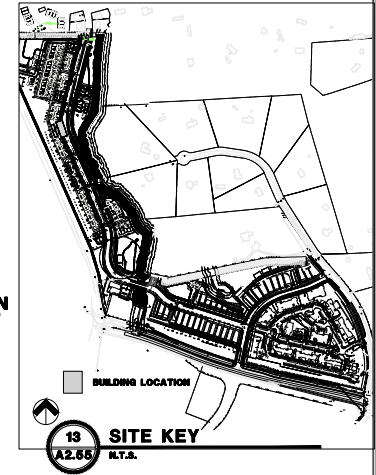




1 ASR - TOWNHOME TH-7 EAST ELEVATION
A2.55 SCALE 1/8\"/>



2 ASR - TOWNHOME TH-7 NORTH ELEVATION
A2.55 SCALE 1/8\"/>

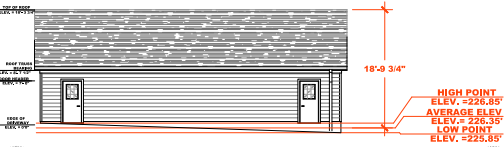


3 ASR - TOWNHOME TH-7 WEST ELEVATION
A2.55 SCALE 1/8\"/>

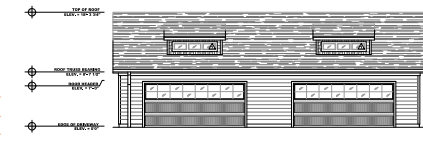


4 ASR - TOWNHOME TH-7 SOUTH ELEVATION
A2.55 SCALE 1/8\"/>

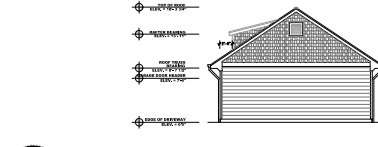
TOWNHOME TH-7 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.55	227.25	227.20	226.50	226.85	33' - 10 3/16"
GARAGE G-7A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.55	226.85	226.85	225.85	226.35	18' - 9 3/4"
GARAGE G-7B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.55	228.00	228.00	226.80	227.50	18' - 10 15/16"



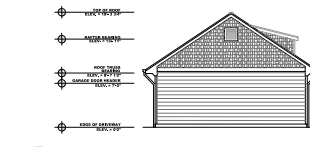
5 ASR - GARAGE G-7A EAST ELEVATION
A2.55 SCALE 1/8\"/>



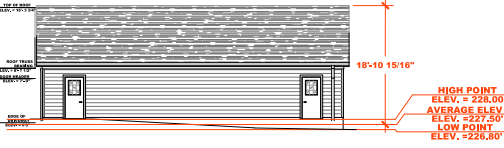
6 ASR - GARAGE G-7A WEST ELEVATION
A2.55 SCALE 1/8\"/>



7 ASR - GARAGE G-7A SOUTH ELEVATION
A2.55 SCALE 1/8\"/>



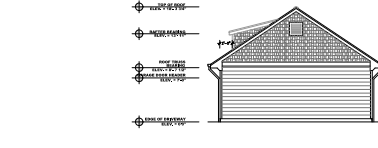
8 ASR - GARAGE G-7A NORTH ELEVATION
A2.55 SCALE 1/8\"/>



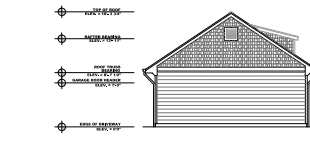
9 ASR - GARAGE G-7B EAST ELEVATION
A2.55 SCALE 1/8\"/>



10 ASR - GARAGE G-7B WEST ELEVATION
A2.55 SCALE 1/8\"/>



11 ASR - GARAGE G-7B SOUTH ELEVATION
A2.55 SCALE 1/8\"/>



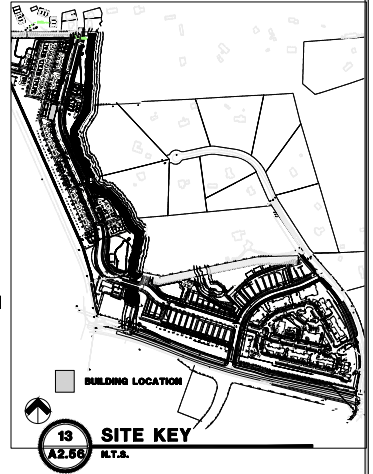
12 ASR - GARAGE G-7B NORTH ELEVATION
A2.55 SCALE 1/8\"/>



1 ASR - TOWNHOME TH-8 EAST ELEVATION
A2.56 SCALE 1/8\"/>



2 ASR - TOWNHOME TH-8 NORTH ELEVATION
A2.56 SCALE 1/8\"/>



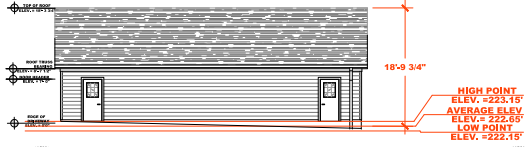
TOWNHOME TH-8 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.55	224.25	224.20	223.50	223.85	33' - 10 3/16"
GARAGE G-8A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.55	223.15	223.15	222.15	222.85	18' - 9 3/4"
GARAGE G-8B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.55	224.10	224.10	222.90	223.50	18' - 10 15/16"



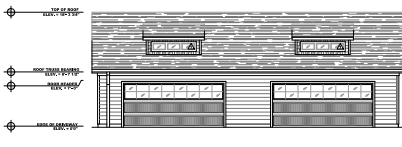
3 ASR - TOWNHOME TH-8 WEST ELEVATION
A2.56 SCALE 1/8\"/>



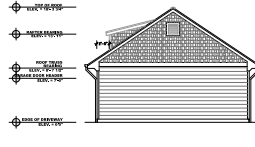
4 ASR - TOWNHOME TH-8 SOUTH ELEVATION
A2.56 SCALE 1/8\"/>



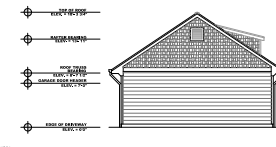
5 ASR - GARAGE G-8A EAST ELEVATION
A2.56 SCALE 1/8\"/>



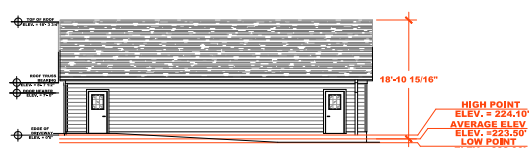
6 ASR - GARAGE G-8A WEST ELEVATION
A2.56 SCALE 1/8\"/>



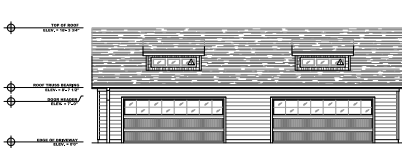
7 ASR - GARAGE G-8A SOUTH ELEVATION
A2.56 SCALE 1/8\"/>



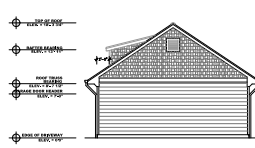
8 ASR - GARAGE G-8A NORTH ELEVATION
A2.56 SCALE 1/8\"/>



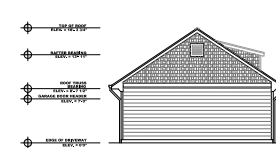
9 ASR - GARAGE G-8B EAST ELEVATION
A2.56 SCALE 1/8\"/>



10 ASR - GARAGE G-8B WEST ELEVATION
A2.56 SCALE 1/8\"/>



11 ASR - GARAGE G-8B SOUTH ELEVATION
A2.56 SCALE 1/8\"/>



12 ASR - GARAGE G-8B NORTH ELEVATION
A2.56 SCALE 1/8\"/>

TOWNHOMES TH-8, GARAGE G-8A, G-8B
ELEVATIONS
FIFTH OAK MULTI-FAMILY
RALEIGH, NC

Front Street
architectural
assessment
1005 S. ANDERSON BLVD., SUITE 100
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www.frontstreetdesign.com

S. Robert Andron, Architect
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919.616.0405
sra@andron.com

PROJECT #
DATE: 07/20/21
SCALE: 1/8\"/>

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

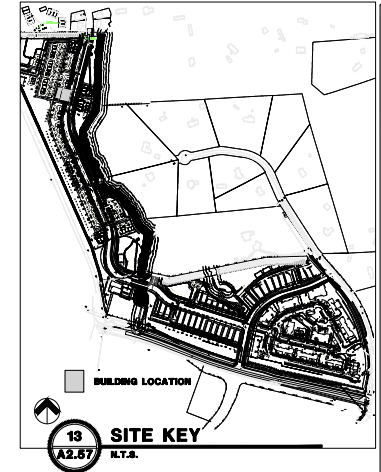
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1 ASR - TOWNHOME TH-9 EAST ELEVATION
A2.57 SCALE 1/8\"/>



2 ASR - TOWNHOME TH-9 WEST ELEVATION
A2.57 SCALE 1/8\"/>



13 SITE KEY
N.T.S.

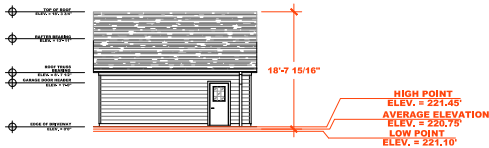


3 ASR - TOWNHOME TH-9 SOUTH ELEVATION
A2.57 SCALE 1/8\"/>

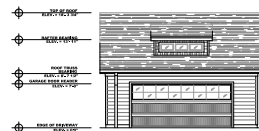


4 ASR - TOWNHOME TH-9 NORTH ELEVATION
A2.57 SCALE 1/8\"/>

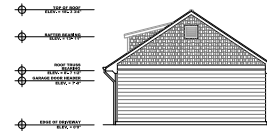
TOWNHOME TH-9 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.57	222.25	222.20	221.50	221.85	33' - 10 3/16"
GARAGE G-9A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.57	221.45	221.45	220.75	221.10	18' - 7 15/16"
GARAGE G-9B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.57	222.25	222.25	221.50	221.88	18' - 8 1/4"



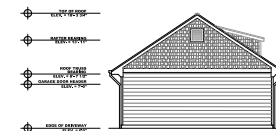
5 ASR - GARAGE G-9A EAST ELEVATION
A2.57 SCALE 1/8\"/>



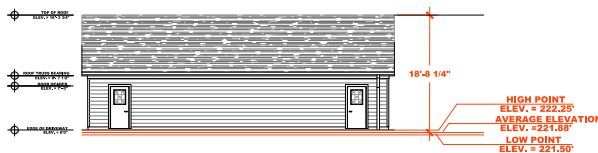
6 ASR - GARAGE G-9A WEST ELEVATION
A2.57 SCALE 1/8\"/>



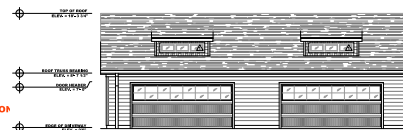
7 ASR - GARAGE G-1A SOUTH ELEVATION
A2.57 SCALE 1/8\"/>



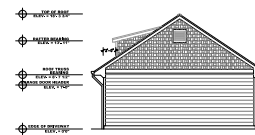
8 ASR - GARAGE G-1A NORTH ELEVATION
A2.57 SCALE 1/8\"/>



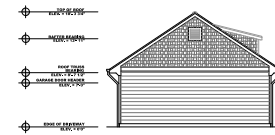
9 ASR - GARAGE G-9B EAST ELEVATION
A2.57 SCALE 1/8\"/>



10 ASR - GARAGE G-9B WEST ELEVATION
A2.57 SCALE 1/8\"/>



11 ASR - GARAGE G-9B SOUTH ELEVATION
A2.57 SCALE 1/8\"/>



12 ASR - GARAGE G-9B NORTH ELEVATION
A2.57 SCALE 1/8\"/>

TOWNHOMES TH-9, GARAGE G-9A, G-9B

ELEVATIONS

FIFTH OAK MULTI-FAMILY

RALEIGH, NC

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1005 S. ANDERSON BLVD., UNIT 1C
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PROJECT #:
DATE: 07/20/21
SCALE: 1/8\"/>

CHECKED: EAC/3/21
REVISIONS: 18/3/22
SHEET NUMBER: **A2.57**

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

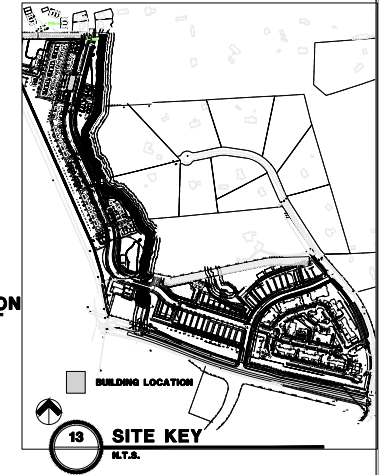
X



1 ASR - TOWNHOME TH-10 EAST ELEVATION
A2.58 SCALE 1/8\"/>



2 ASR - TOWNHOME TH-10 NORTH ELEVATION
A2.58 SCALE 1/8\"/>



13 SITE KEY
N.T.S.

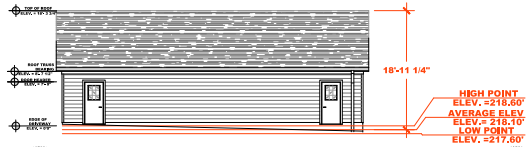
TOWNHOME TH-10 PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ABOVE AVERAGE
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	
EAST 1/A2.55	221.00	220.95	220.30	220.63	33' - 9 7/8"
GARAGE G-10A PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ABOVE AVERAGE
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	
EAST 5/A2.55	218.60	218.60	217.60	218.10	18' - 11.25"
GARAGE G-10B PRIMARY STREET AVERAGE GRADE					TOP OF ROOF ABOVE AVERAGE
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	
EAST 3/A2.55	219.50	219.50	218.58	219.04	19' - 2 1/4"



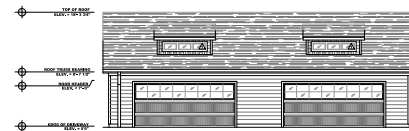
3 ASR - TOWNHOME TH-10 WEST ELEVATION
A2.58 SCALE 1/8\"/>



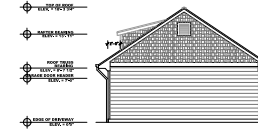
4 ASR - TOWNHOME TH-10 SOUTH ELEVATION
A2.58 SCALE 1/8\"/>



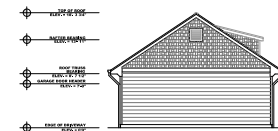
5 ASR - GARAGE G-10A EAST ELEVATION
A2.58 SCALE 1/8\"/>



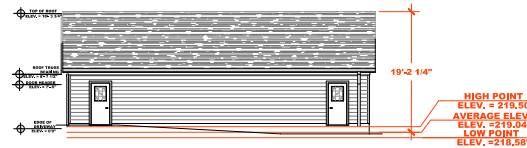
6 ASR - GARAGE G-10A WEST ELEVATION
A2.58 SCALE 1/8\"/>



7 ASR - GARAGE G-10A SOUTH ELEVATION
A2.58 SCALE 1/8\"/>



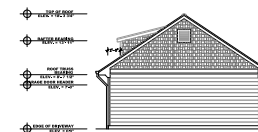
8 ASR - GARAGE G-10A NORTH ELEVATION
A2.58 SCALE 1/8\"/>



9 ASR - GARAGE G-10B EAST ELEVATION
A2.58 SCALE 1/8\"/>



10 ASR - GARAGE G-10B WEST ELEVATION
A2.58 SCALE 1/8\"/>



11 ASR - GARAGE G-10B SOUTH ELEVATION
A2.58 SCALE 1/8\"/>



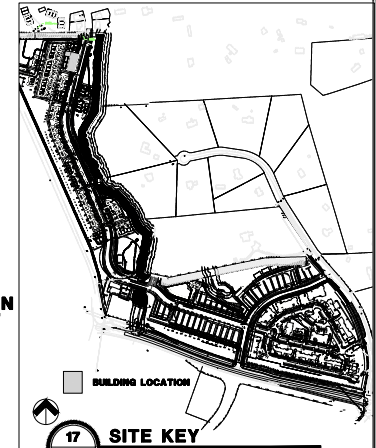
12 ASR - GARAGE G-10B NORTH ELEVATION
A2.58 SCALE 1/8\"/>



1 ASR - TOWNHOME TH-11 EAST ELEVATION
A2.59 SCALE 1/8\"=1'



2 ASR - TOWNHOME TH-11 NORTH ELEVATION
A2.59 SCALE 1/8\"=1'

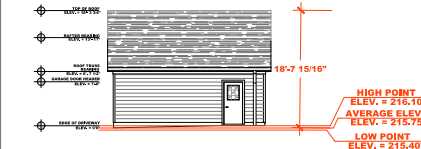


3 ASR - TOWNHOME TH-11 WEST ELEVATION
A2.59 SCALE 1/8\"=1'



4 ASR - TOWNHOME TH-11 SOUTH ELEVATION
A2.59 SCALE 1/8\"=1'

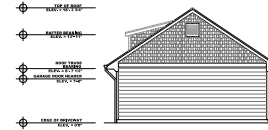
TOWNHOME TH-11 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.59	220.25	220.20	219.50	219.85	33' - 10 3/16"
GARAGE G-11A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.59	216.10	216.10	215.40	215.75	18' - 7 15/16"
GARAGE G-11B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.59	217.10	217.10	216.40	216.75	18' - 7 15/16"
GARAGE G-11C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.59	217.45	217.45	216.75	217.10	18' - 7 15/16"



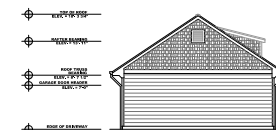
5 ASR - GARAGE G-11A EAST ELEVATION
A2.59 SCALE 1/8\"=1'



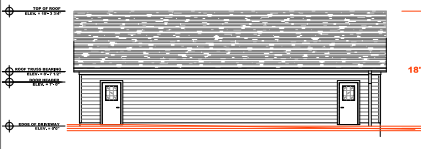
6 ASR - GARAGE G-11A WEST ELEVATION
A2.59 SCALE 1/8\"=1'



7 ASR - GARAGE G-11A SOUTH ELEVATION
A2.59 SCALE 1/8\"=1'



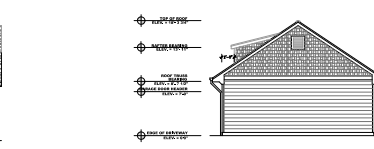
8 ASR - GARAGE G-11A NORTH ELEVATION
A2.59 SCALE 1/8\"=1'



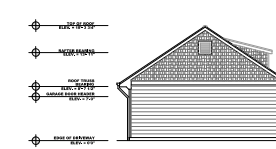
9 ASR - GARAGE G-11B EAST ELEVATION
A2.59 SCALE 1/8\"=1'



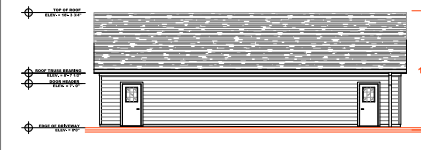
10 ASR - GARAGE G-11B WEST ELEVATION
A2.59 SCALE 1/8\"=1'



11 ASR - GARAGE G-11B SOUTH ELEVATION
A2.59 SCALE 1/8\"=1'



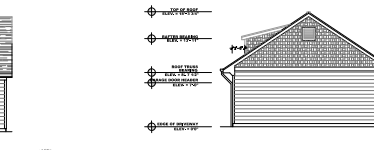
12 ASR - GARAGE G-11B NORTH ELEVATION
A2.59 SCALE 1/8\"=1'



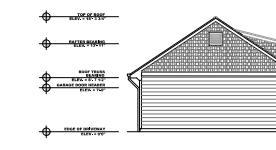
13 ASR - GARAGE G-11C EAST ELEVATION
A2.59 SCALE 1/8\"=1'



14 ASR - GARAGE G-11C WEST ELEVATION
A2.59 SCALE 1/8\"=1'



15 ASR - GARAGE G-11C SOUTH ELEVATION
A2.59 SCALE 1/8\"=1'



16 ASR - GARAGE G-11C NORTH ELEVATION
A2.59 SCALE 1/8\"=1'

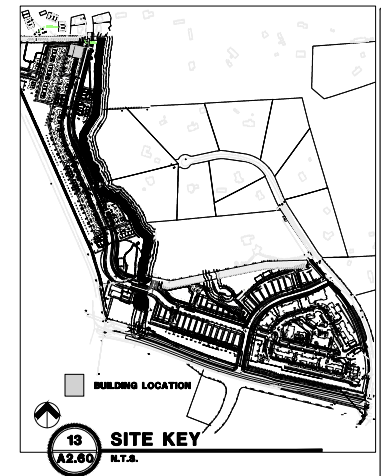
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



1 ASR - TOWNHOME TH-12 EAST ELEVATION
A2.60 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-12 WEST ELEVATION
A2.60 SCALE 1/8"=1'

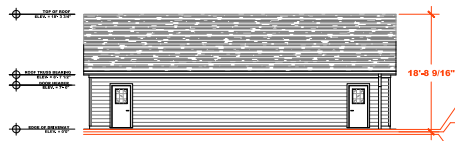


3 ASR - TOWNHOME TH-12 SOUTH ELEVATION
A2.60 SCALE 1/8"=1'



4 ASR - TOWNHOME TH-12 NORTH ELEVATION
A2.60 SCALE 1/8"=1'

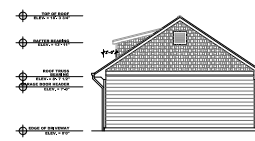
TOWNHOME TH-12 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.60	216.25	216.20	215.50	215.85	33' - 10 3/16"
GARAGE G-12A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.60	215.00	215.00	214.20	214.60	18' - 8 9/16"
GARAGE G-12B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.60	215.50	215.50	214.70	215.10	18' - 8 9/16"



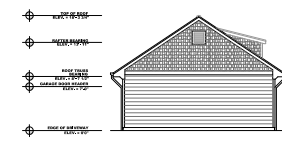
5 ASR - GARAGE G-12A EAST ELEVATION
A2.60 SCALE 1/8"=1'



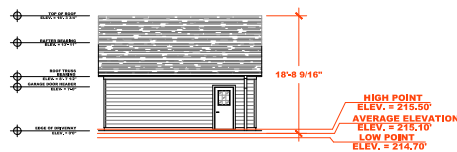
6 ASR-GARAGE G-12A WEST ELEVATION
A2.60 SCALE 1/8"=1'



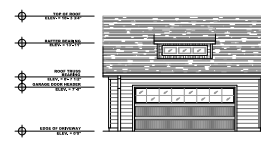
7 ASR-GARAGE G-12A SOUTH ELEVATION
A2.60 SCALE 1/8"=1'



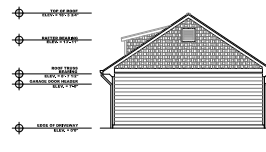
8 ASR-GARAGE G-12A NORTH ELEVATION
A2.60 SCALE 1/8"=1'



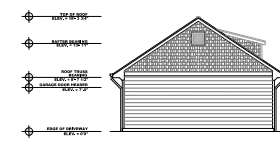
9 ASR - GARAGE G-12B EAST ELEVATION
A2.60 SCALE 1/8"=1'



10 ASR - GARAGE G-12B WEST ELEVATION
A2.60 SCALE 1/8"=1'



11 ASR-GARAGE G-12B SOUTH ELEVATION
A2.60 SCALE 1/8"=1'



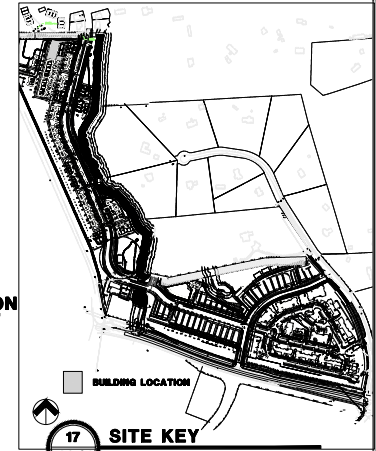
12 ASR - GARAGE G-12B NORTH ELEVATION
A2.60 SCALE 1/8"=1'



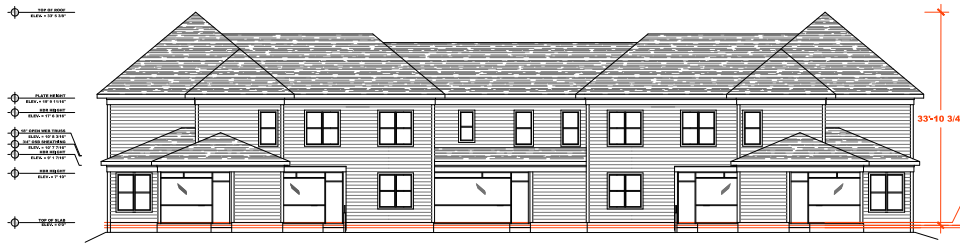
1 ASR - TOWNHOME TH-13 WEST ELEVATION
A2.61 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-13 NORTH ELEVATION
A2.61 SCALE 1/8"=1'



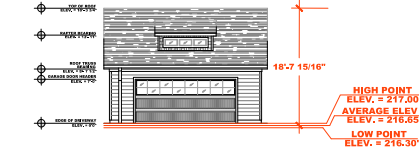
TOWNHOME TH-13 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.61	216.40	216.40	215.50	215.95	33' - 10 3/4"
GARAGE G-13A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.61	215.50	215.50	214.30	214.90	18' - 10 15/16"
GARAGE G-13B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.61	216.50	216.50	215.30	215.90	18' - 10 15/16"
GARAGE G-13C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.61	217.00	217.00	216.30	216.65	18' - 7 15/16"



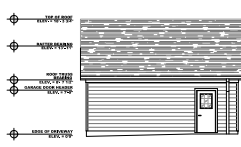
3 ASR - TOWNHOME TH-13 EAST ELEVATION
A2.61 SCALE 1/8"=1'



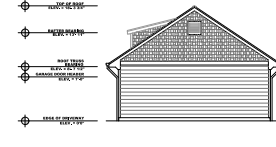
4 ASR - TOWNHOME TH-13 SOUTH ELEVATION
A2.61 SCALE 1/8"=1'



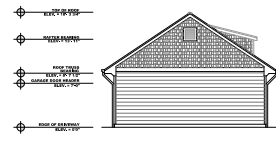
5 ASR - GARAGE G-13C EAST ELEVATION
A2.61 SCALE 1/8"=1'



6 ASR - GARAGE G-13C WEST ELEVATION
A2.61 SCALE 1/8"=1'



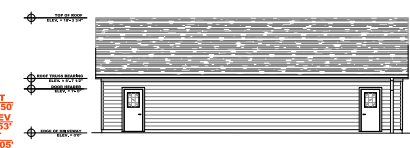
7 ASR - GARAGE G-13C NORTH ELEVATION
A2.61 SCALE 1/8"=1'



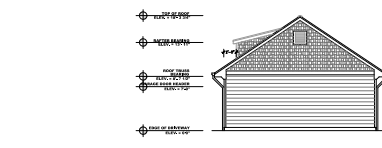
8 ASR - GARAGE G-13C SOUTH ELEVATION
A2.61 SCALE 1/8"=1'



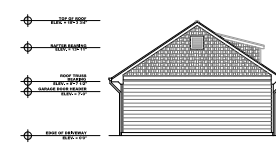
9 ASR - GARAGE G-13B EAST ELEVATION
A2.61 SCALE 1/8"=1'



10 ASR - GARAGE G-13B WEST ELEVATION
A2.61 SCALE 1/8"=1'



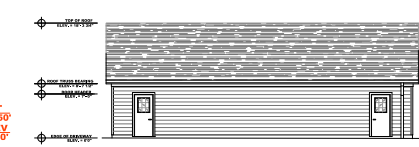
11 ASR - GARAGE G-13B NORTH ELEVATION
A2.61 SCALE 1/8"=1'



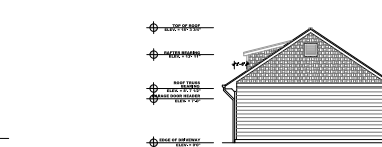
12 ASR - GARAGE G-13B SOUTH ELEVATION
A2.61 SCALE 1/8"=1'



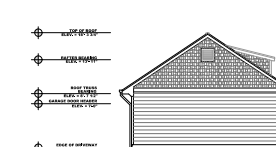
13 ASR - GARAGE G-13A EAST ELEVATION
A2.61 SCALE 1/8"=1'



14 ASR - GARAGE G-13A WEST ELEVATION
A2.61 SCALE 1/8"=1'



15 ASR - GARAGE G-13A NORTH ELEVATION
A2.61 SCALE 1/8"=1'



16 ASR - GARAGE G-13A SOUTH ELEVATION
A2.61 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



1 ASR - TOWNHOME TH-14 WEST ELEVATION
A2.62 SCALE 1/8"=1'-0"



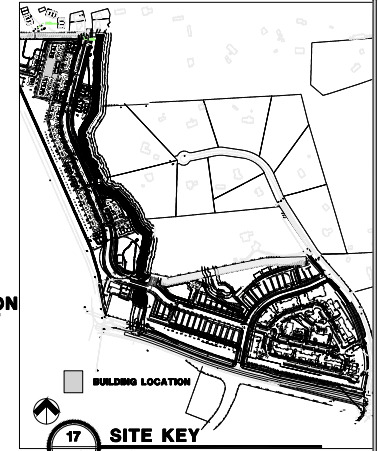
2 ASR - TOWNHOME TH-14 NORTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



3 ASR - TOWNHOME TH-14 EAST ELEVATION
A2.62 SCALE 1/8"=1'-0"



4 ASR - TOWNHOME TH-14 SOUTH ELEVATION
A2.62 SCALE 1/8"=1'-0"

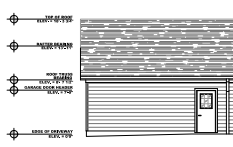


17 SITE KEY
A2.62 N.T.S.

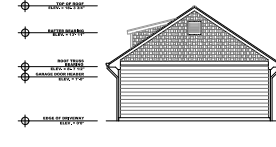
TOWNHOME TH-14 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.64	218.20	218.20	217.50	217.85	33'-9 9/16"
GARAGE G-14A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.64	217.45	217.45	216.75	217.10	18'-7 15/16"
GARAGE G-14B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.64	217.70	217.70	217.00	217.35	18'-7 15/16"
GARAGE G-14C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.64	218.60	218.60	217.90	218.25	18'-7 15/16"



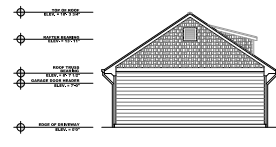
5 ASR - GARAGE G-14C EAST ELEVATION
A2.62 SCALE 1/8"=1'-0"



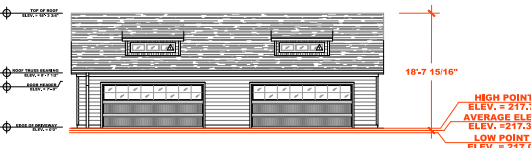
6 ASR - GARAGE G-14C WEST ELEVATION
A2.62 SCALE 1/8"=1'-0"



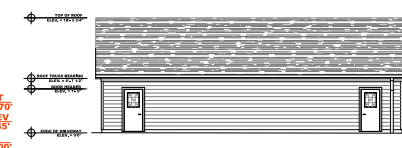
7 ASR - GARAGE G-14C NORTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



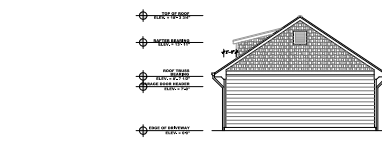
8 ASR - GARAGE G-14C SOUTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



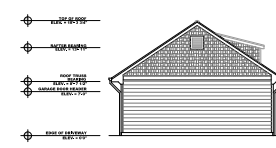
9 ASR - GARAGE G-14B EAST ELEVATION
A2.62 SCALE 1/8"=1'-0"



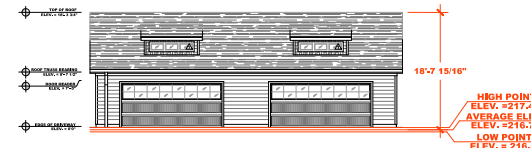
10 ASR - GARAGE G-14B WEST ELEVATION
A2.62 SCALE 1/8"=1'-0"



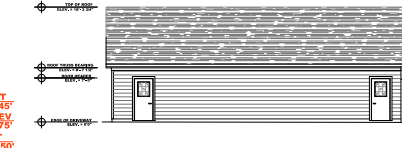
11 ASR - GARAGE G-14B NORTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



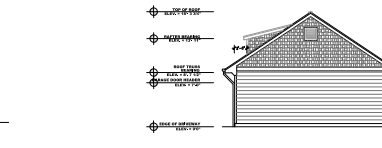
12 ASR - GARAGE G-14B SOUTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



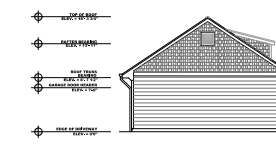
13 ASR - GARAGE G-14A EAST ELEVATION
A2.62 SCALE 1/8"=1'-0"



14 ASR - GARAGE G-14A WEST ELEVATION
A2.62 SCALE 1/8"=1'-0"



15 ASR - GARAGE G-14A NORTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



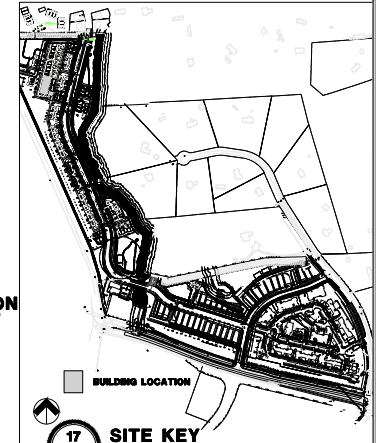
16 ASR - GARAGE G-14A SOUTH ELEVATION
A2.62 SCALE 1/8"=1'-0"



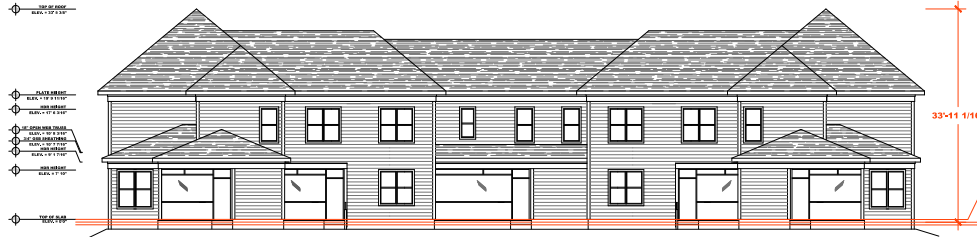
1 ASR - TOWNHOME TH-15 WEST ELEVATION
A2.63 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-15 NORTH ELEVATION
A2.63 SCALE 1/8"=1'



TOWNHOME TH-15 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.63	221.15	221.10	220.25	220.68	33' - 11 1/16"
GARAGE G-15A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.63	219.65	219.65	218.60	219.13	18' - 10 1/16"
GARAGE G-15B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 9/A2.63	221.25	221.25	219.25	220.38	19' - 2 1/4"
GARAGE G-15C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 13/A2.63	222.20	222.20	221.00	221.60	18' - 10 15/16"



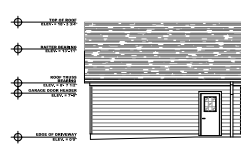
3 ASR - TOWNHOME TH-15 EAST ELEVATION
A2.63 SCALE 1/8"=1'



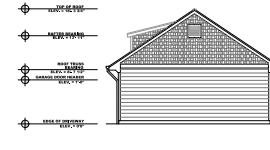
4 ASR - TOWNHOME TH-15 SOUTH ELEVATION
A2.63 SCALE 1/8"=1'



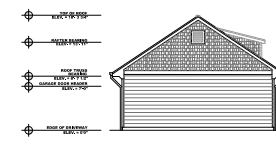
5 ASR - GARAGE G-15A EAST ELEVATION
A2.63 SCALE 1/8"=1'



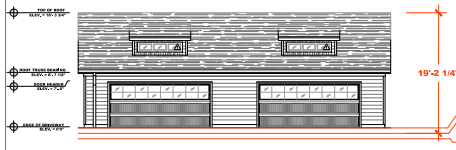
6 ASR - GARAGE G-15A WEST ELEVATION
A2.63 SCALE 1/8"=1'



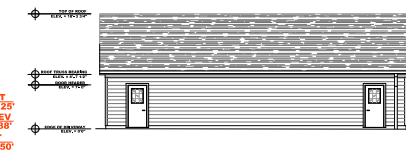
7 ASR - GARAGE G-15A NORTH ELEVATION
A2.63 SCALE 1/8"=1'



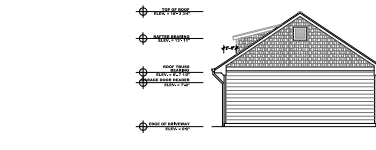
8 ASR - GARAGE G-15A SOUTH ELEVATION
A2.63 SCALE 1/8"=1'



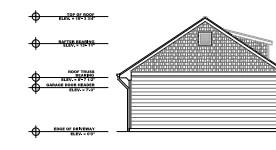
9 ASR - GARAGE G-15B EAST ELEVATION
A2.63 SCALE 1/8"=1'



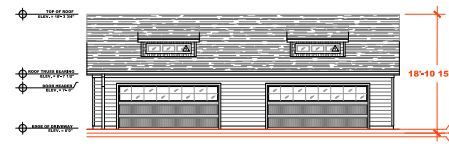
10 ASR - GARAGE G-15B WEST ELEVATION
A2.63 SCALE 1/8"=1'



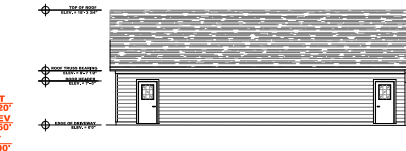
11 ASR - GARAGE G-15B NORTH ELEVATION
A2.63 SCALE 1/8"=1'



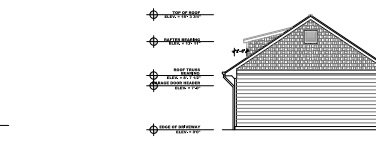
12 ASR - GARAGE G-15B SOUTH ELEVATION
A2.63 SCALE 1/8"=1'



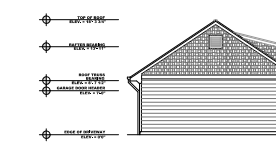
13 ASR - GARAGE G-15C EAST ELEVATION
A2.63 SCALE 1/8"=1'



14 ASR - GARAGE G-15C WEST ELEVATION
A2.63 SCALE 1/8"=1'

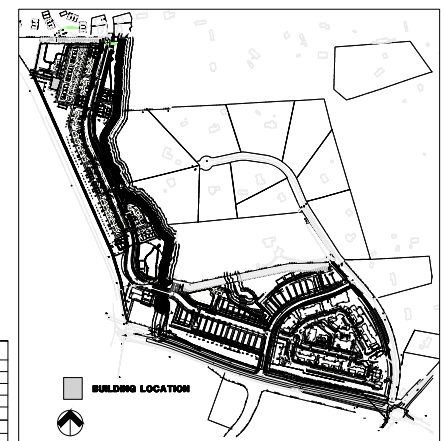


15 ASR - GARAGE G-15C NORTH ELEVATION
A2.63 SCALE 1/8"=1'



16 ASR - GARAGE G-15C SOUTH ELEVATION
A2.63 SCALE 1/8"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



13 SITE KEY
A2.64 N.T.S.

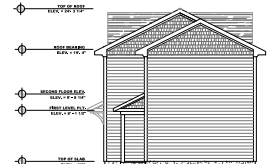
TOWNHOME D-14 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 3/A2.64	221.55	221.55	220.85	221.20	24' - 7 3/4"
TOWNHOME TH-16 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 5/A2.64	219.15	219.10	218.40	218.75	33' - 10 3/16"
GARAGE G-16A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 12/A2.64	216.30	215.50	215.40	215.45	19' - 1 15/16"



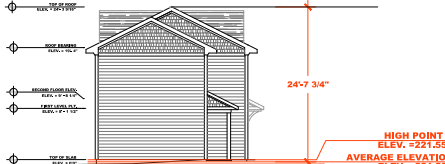
2 ASR - TOWNHOME D-14 SOUTH ELEVATION
A2.64 SCALE 1/8"=1'



1 ASR - TOWNHOME D-14 NORTH ELEVATION
A2.64 SCALE 1/8"=1'



4 ASR - TOWNHOME D-14 WEST ELEVATION
A2.64 SCALE 1/8"=1'



3 ASR - TOWNHOME D-14 EAST ELEVATION
A2.64 SCALE 1/8"=1'



6 ASR - TOWNHOME TH-16 WEST ELEVATION
A2.64 SCALE 1/8"=1'



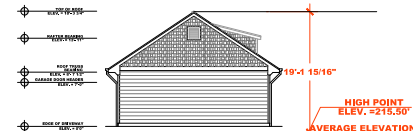
5 ASR - TOWNHOME TH-16 EAST ELEVATION
A2.64 SCALE 1/8"=1'



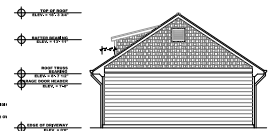
8 ASR - TOWNHOME TH-16 NORTH ELEVATION
A2.64 SCALE 1/8"=1'



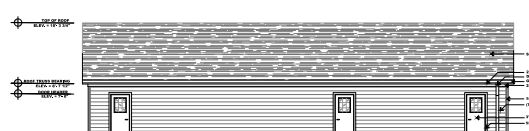
7 ASR - TOWNHOME TH-16 SOUTH ELEVATION
A2.64 SCALE 1/8"=1'



12 ASR - GARAGE G-16A EAST ELEVATION
A2.64 SCALE 1/8"=1'



11 ASR - GARAGE G-16A WEST ELEVATION
A2.64 SCALE 1/8"=1'



10 ASR - GARAGE G-16A SOUTH ELEVATION
A2.64 SCALE 1/8"=1'



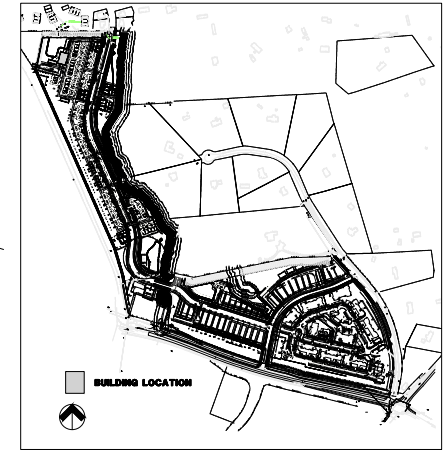
9 ASR - GARAGE G-16A NORTH ELEVATION
A2.64 SCALE 1/8"=1'



1 ASR - TOWNHOME TH-17 EAST ELEVATION
SCALE 1/8"=1'



2 ASR - TOWNHOME TH-17 WEST ELEVATION
SCALE 1/8"=1'



9 SITE KEY
N.T.A.

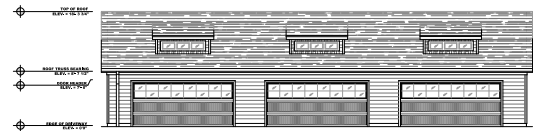


3 ASR - TOWNHOME TH-17 SOUTH ELEVATION
SCALE 1/8"=1'

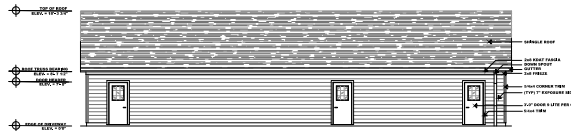


4 ASR - TOWNHOME TH-17 NORTH ELEVATION
SCALE 1/8"=1'

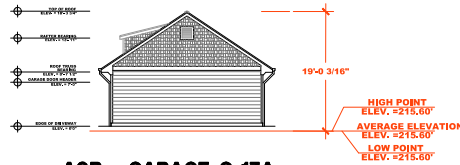
TOWNHOME TH-17 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 1/A2.65	216.70	216.65	216.00	216.33	33' - 9 7/8"
GARAGE G-17A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 7/A2.65	216.30	215.60	215.60	215.60	19' - 3/16"



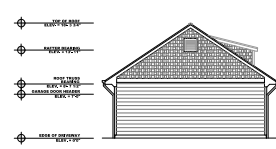
5 ASR - GARAGE G-17A NORTH ELEVATION
SCALE 1/8"=1'



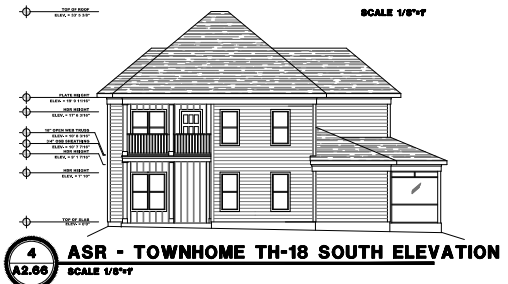
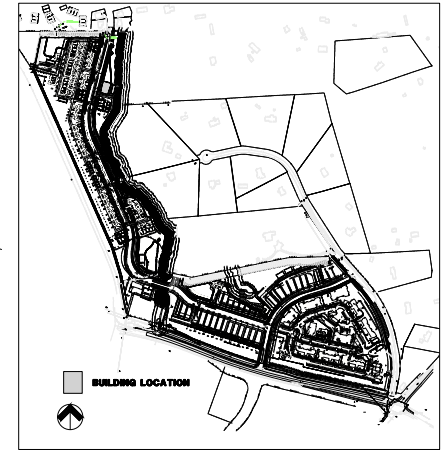
6 ASR - GARAGE G-17A SOUTH ELEVATION
SCALE 1/8"=1'



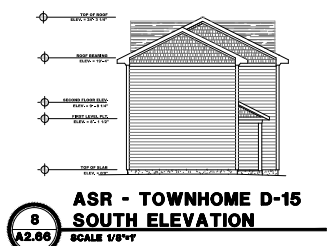
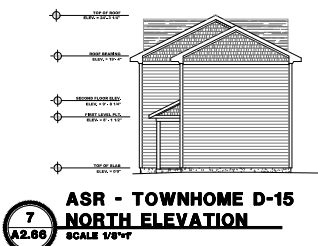
7 ASR - GARAGE G-17A EAST ELEVATION
SCALE 1/8"=1'



8 ASR - GARAGE G-17A WEST ELEVATION
SCALE 1/8"=1'



TOWNHOME TH-18 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE OUTSIDE
WEST 1/A2.66	221.15	221.10	220.40	220.75	33' - 10 3/16"
TOWNHOME D-15 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 5/A2.66	219.35	219.35	218.15	218.75	24' - 10 7/16"

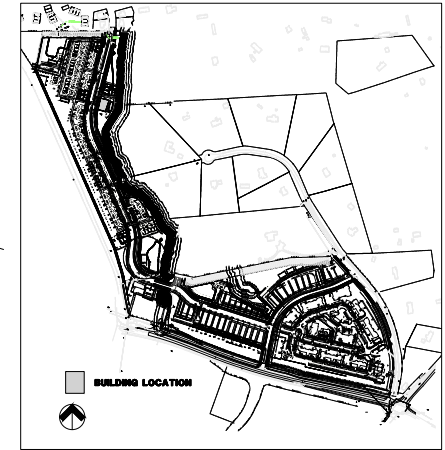




1 ASR - TOWNHOME TH-19 WEST ELEVATION
SCALE 1/8"=1'-0"



2 ASR - TOWNHOME TH-19 EAST ELEVATION
SCALE 1/8"=1'-0"



9 SITE KEY
N.T.S.



3 ASR - TOWNHOME TH-19 NORTH ELEVATION
SCALE 1/8"=1'-0"



4 ASR - TOWNHOME TH-19 SOUTH ELEVATION
SCALE 1/8"=1'-0"

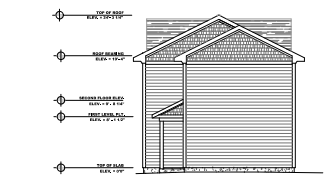
TOWNHOME TH-19 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE GRADE
WEST 1/A2.66	222.65	222.60	221.95	222.28	33' - 9 7/8"
TOWNHOME D-16 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE GRADE
WEST 5/A2.66	219.40	219.40	218.20	218.80	24' - 10 7/16"



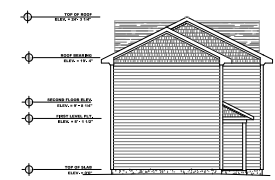
5 ASR - TOWNHOME D-16 WEST ELEVATION
SCALE 1/8"=1'-0"



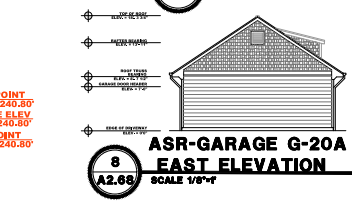
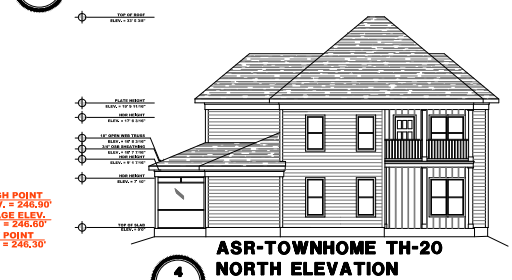
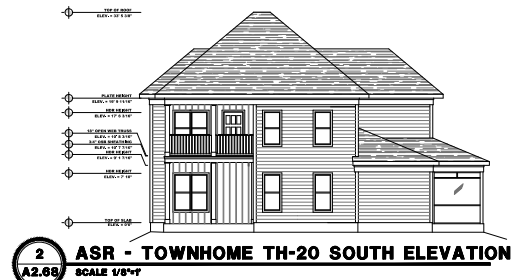
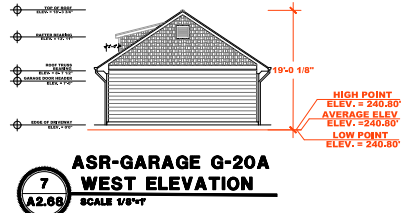
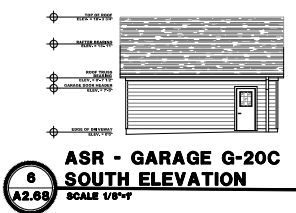
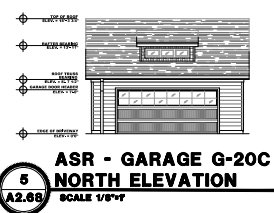
6 ASR - TOWNHOME D-16 EAST ELEVATION
SCALE 1/8"=1'-0"



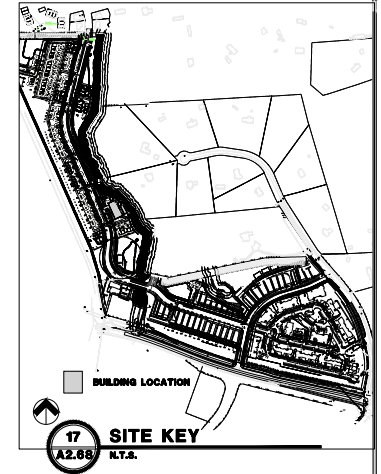
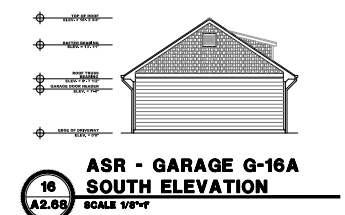
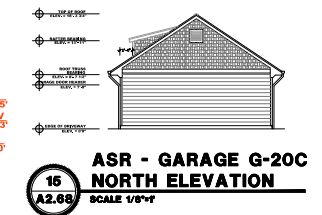
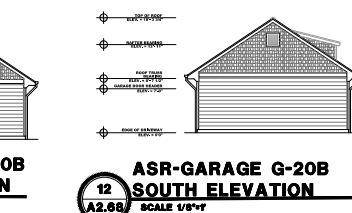
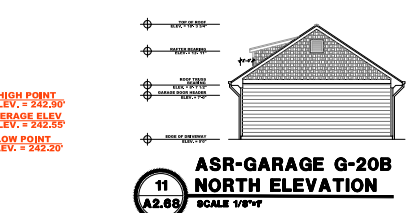
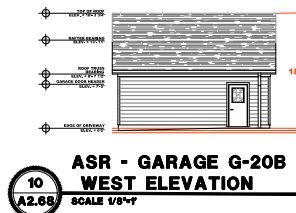
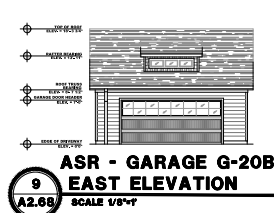
7 ASR - TOWNHOME D-16 NORTH ELEVATION
SCALE 1/8"=1'-0"



8 ASR - TOWNHOME D-16 SOUTH ELEVATION
SCALE 1/8"=1'-0"



TOWNHOME TH-20 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 3/A2.68	247.00	246.50	246.30	246.60	33' - 10 3/16"
GARAGE G-20A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 7/A2.68	241.50	240.00	240.00	240.00	19' - 1/8"
GARAGE G-20B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 10/A2.68	242.90	242.90	242.20	242.55	18' - 7 15/16"
GARAGE G-20C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 14/A2.68	244.25	244.25	243.00	243.63	18' - 11 1/4"

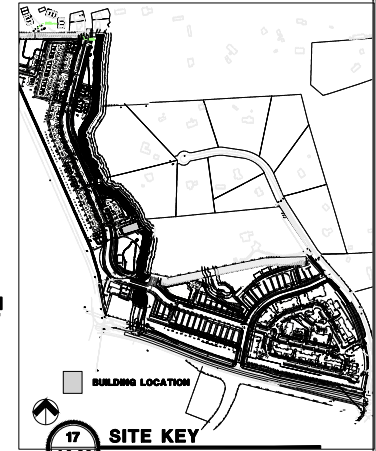




1 ASR - TOWNHOME TH-21 SOUTH ELEVATION
A2.69 SCALE 1/8"=1'



2 ASR - TOWNHOME TH-21 EAST ELEVATION
A2.69 SCALE 1/8"=1'



17 SITE KEY
A2.69 N.T.S.



3 ASR - TOWNHOME TH-21 NORTH ELEVATION
A2.69 SCALE 1/8"=1'

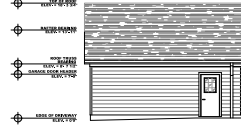


4 ASR - TOWNHOME TH-21 WEST ELEVATION
A2.69 SCALE 1/8"=1'

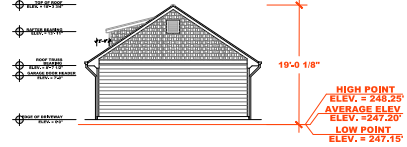
TOWNHOME TH-21 PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
WEST 4/A2.63	247.75	247.00	247.00	247.00	34' - 2 3/8"
GARAGE G-21A PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 15/A2.63	245.50	244.80	244.80	244.80	19' - 1/8"
GARAGE G-21B PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 11/A2.63	245.05	244.25	244.25	244.25	19' - 1 3/8"
GARAGE G-21C PRIMARY STREET AVERAGE GRADE					
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOVE AVERAGE
EAST 7/A2.63	244.75	244.00	244.00	244.00	18' - 3/4"



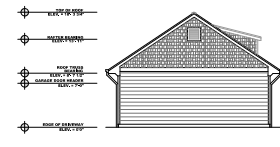
5 ASR - GARAGE G-21C NORTH ELEVATION
A2.69 SCALE 1/8"=1'



6 ASR - GARAGE G-21C SOUTH ELEVATION
A2.69 SCALE 1/8"=1'



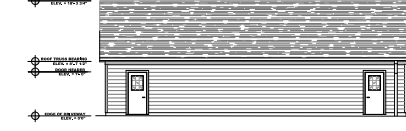
7 ASR-GARAGE G-21C WEST ELEVATION
A2.69 SCALE 1/8"=1'



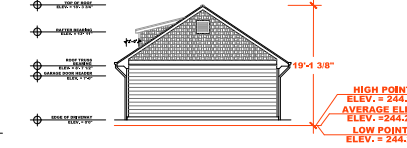
8 ASR-GARAGE G-21C EAST ELEVATION
A2.69 SCALE 1/8"=1'



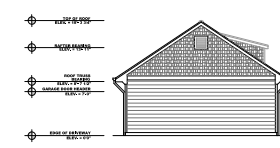
9 ASR - GARAGE G-21B NORTH ELEVATION
A2.69 SCALE 1/8"=1'



10 ASR - GARAGE G-21B SOUTH ELEVATION
A2.69 SCALE 1/8"=1'



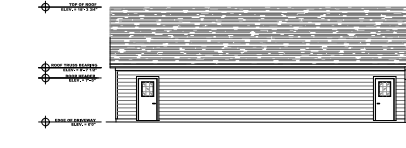
11 ASR-GARAGE G-21B WEST ELEVATION
A2.69 SCALE 1/8"=1'



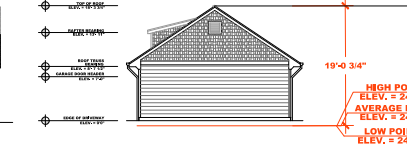
12 ASR-GARAGE G-21B EAST ELEVATION
A2.69 SCALE 1/8"=1'



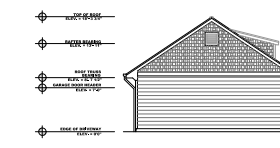
13 ASR - GARAGE G-21A NORTH ELEVATION
A2.69 SCALE 1/8"=1'



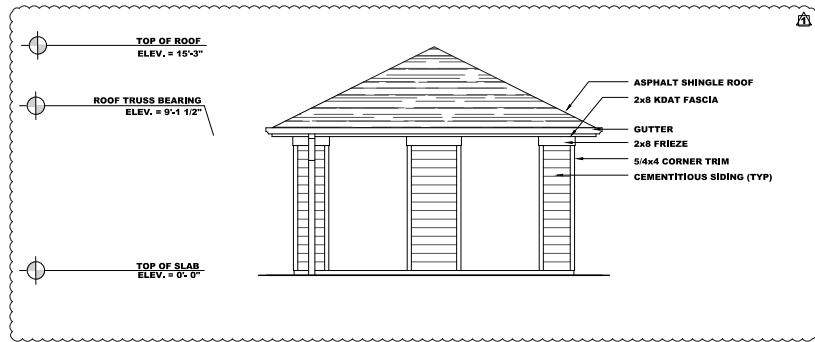
14 ASR - GARAGE G-21A SOUTH ELEVATION
A2.69 SCALE 1/8"=1'



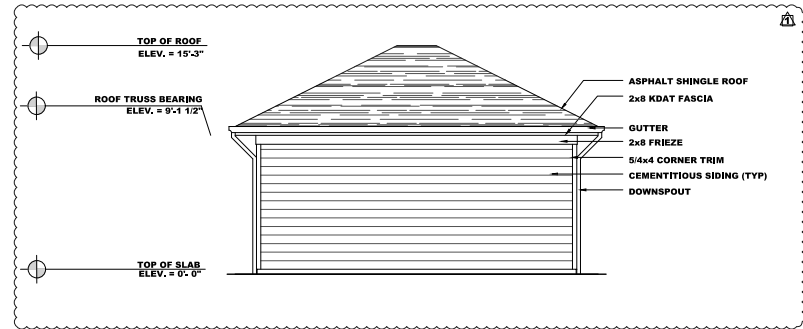
15 ASR-GARAGE G-21A WEST ELEVATION
A2.69 SCALE 1/8"=1'



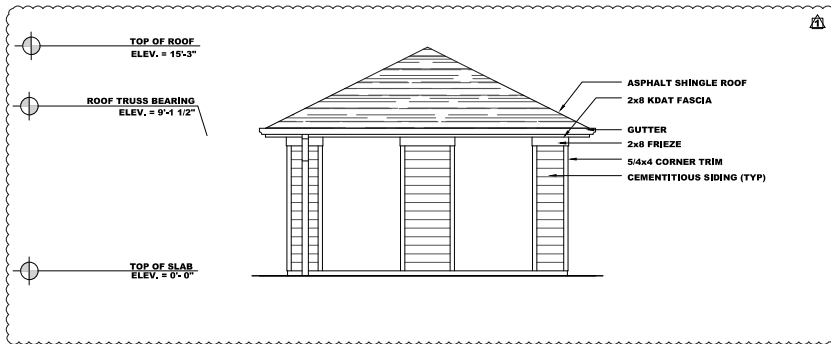
16 ASR-GARAGE G-21A EAST ELEVATION
A2.69 SCALE 1/8"=1'



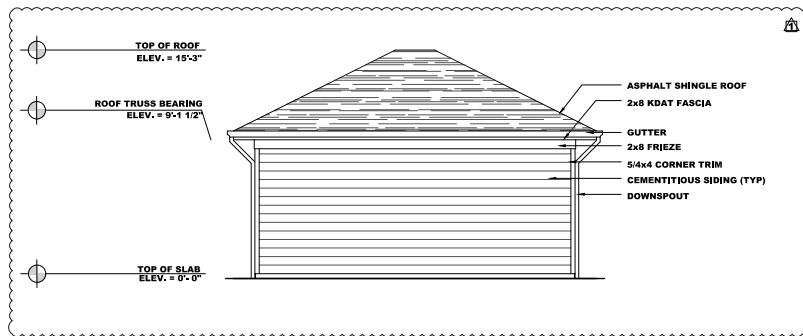
1 MAIL KIOSK: FRONT ELEVATION
A8.11 SCALE 1/4"=1'



2 MAIL KIOSK: SIDE ELEVATION
A8.11 SCALE 1/4"=1'

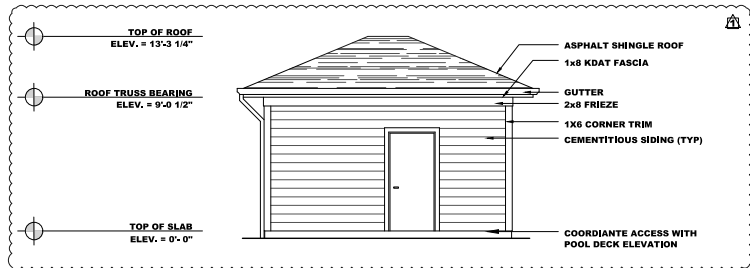


3 MAIL KIOSK: REAR ELEVATION
A8.11 SCALE 1/4"=1'

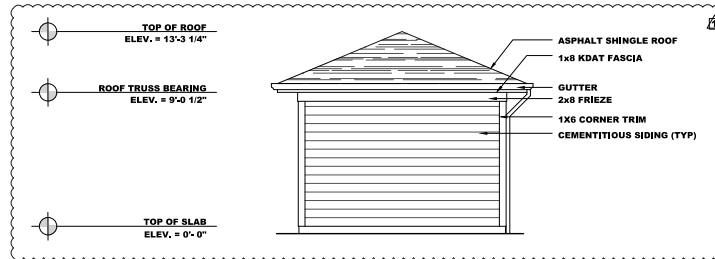


4 MAIL KIOSK: SIDE ELEVATION
A8.11 SCALE 1/4"=1'

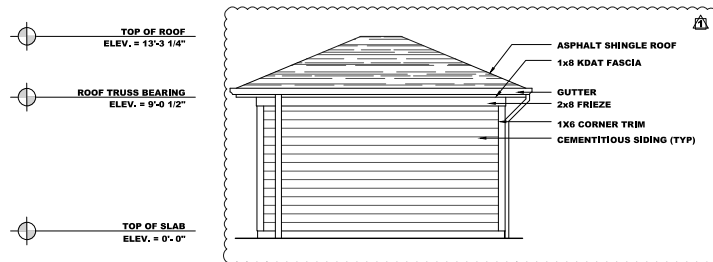
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



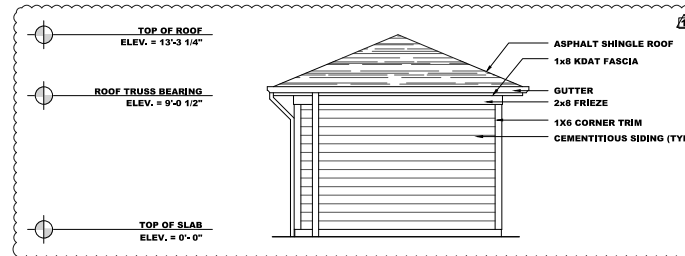
1 POOL EQUIPMENT BUILDING: POOL DECK (FRONT) ELEVATION
SCALE 1/4"=1'



2 POOL EQUIPMENT BUILDING: SIDE ELEVATION
SCALE 1/4"=1'

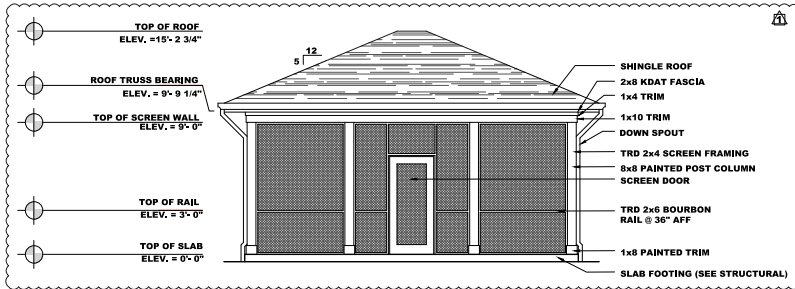


3 POOL EQUIPMENT BUILDING: POOL DECK (FRONT) ELEVATION
SCALE 1/4"=1'

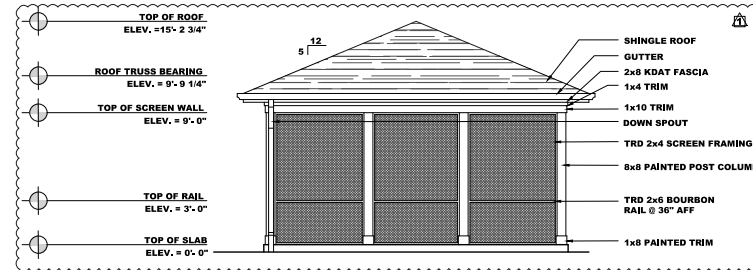


4 POOL EQUIPMENT BUILDING: SIDE ELEVATION
SCALE 1/4"=1'

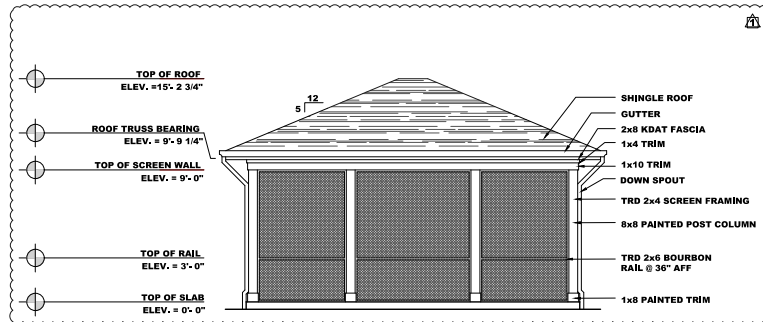
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



1
A8.31 **POOL SCREEN ROOM: FRONT (POOL DECK) ELEVATION**
SCALE 1/4"=1'

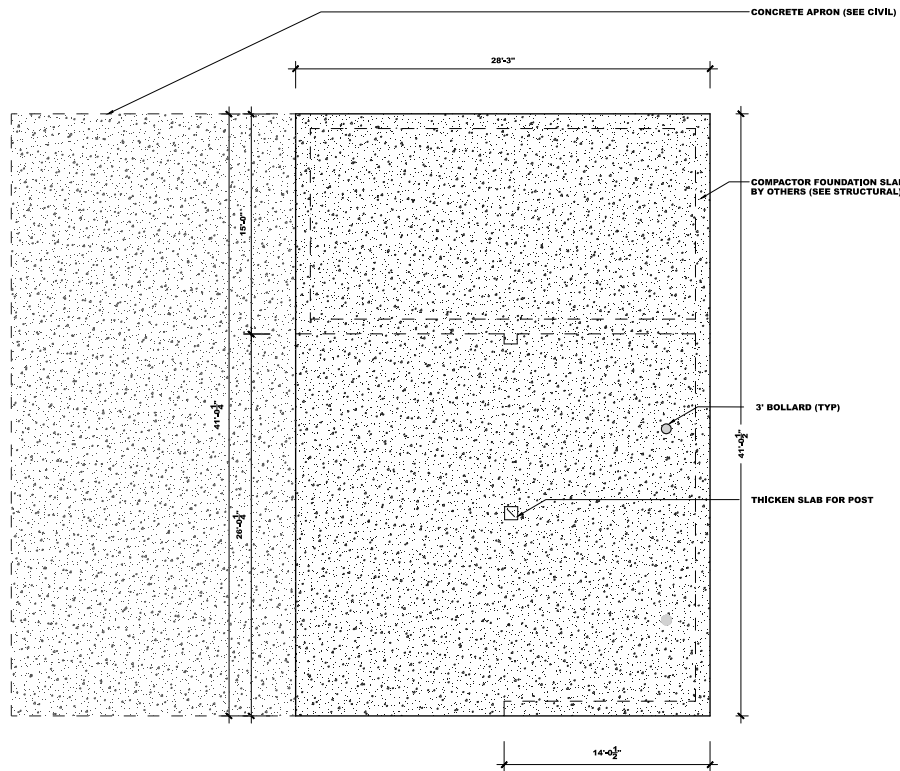


2
A8.31 **POOL SCREEN ROOM: SIDE ELEVATION**
SCALE 1/4"=1'



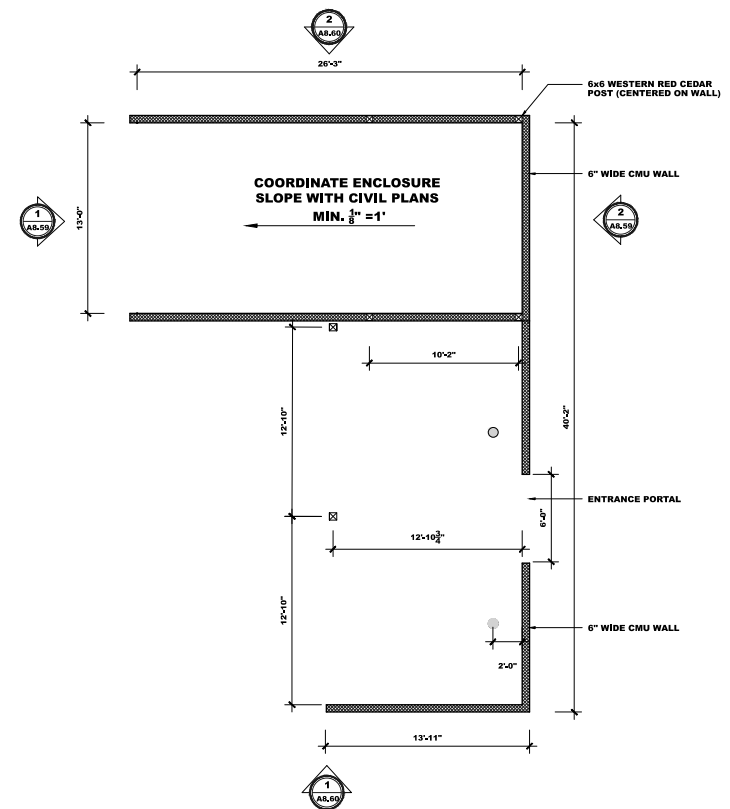
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A8.31 **POOL SCREEN ROOM: REAR ELEVATION**
SCALE 1/4"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



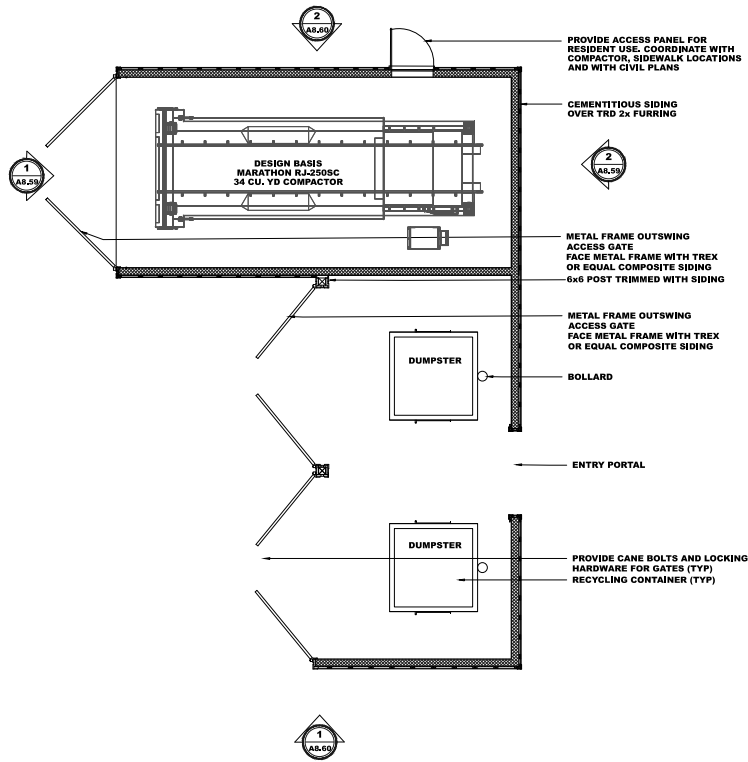
1
A8.57
COMPACTOR ENCLOSURE EDGE OF SLAB PLAN
SCALE 1/4"=1'

NOTE:
THE CONTRACTOR IS COORDIANTE THE ENCLOSURE WITH THE COMPANY PROVIDING THE COMPACTOR AND THAT COMPANY'S SPECIFICATIONS. THE CONTRACTOR IS ALSO TO COORDIANTE WITH THE CIVIL PLANS TO PROVIDE POSITIVE DRAINAGE FOR THE ENCLOSURES AND AN ACCESSIBLE ROUTE AND USE OF THE ENCLOSURE IN COMPLIANCE WITH APPLICABLE CODES.



2
A8.57
COMPACTOR ENCLOSURE FLOOR PLAN
SCALE 1/4"=1'

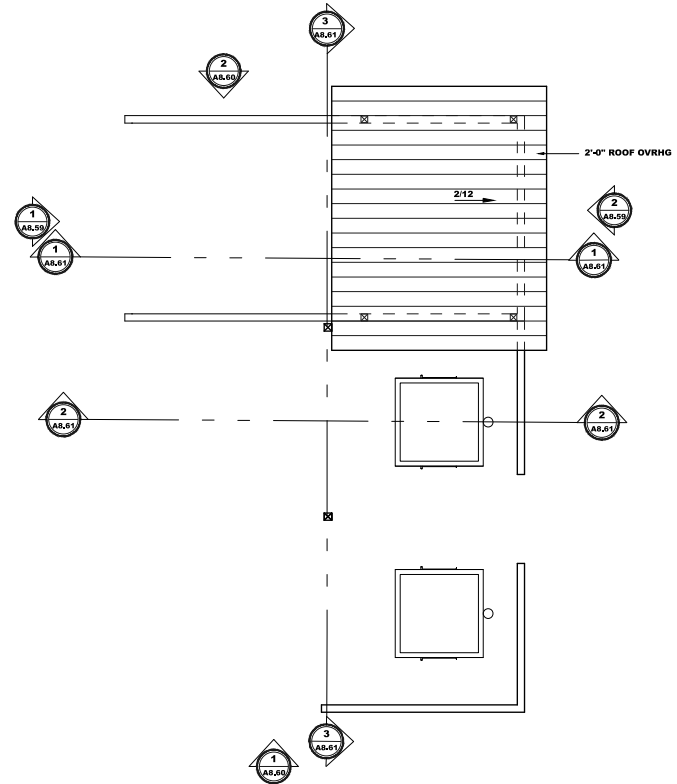
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



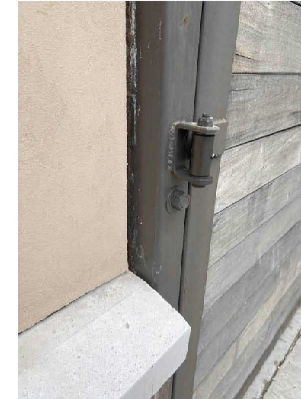
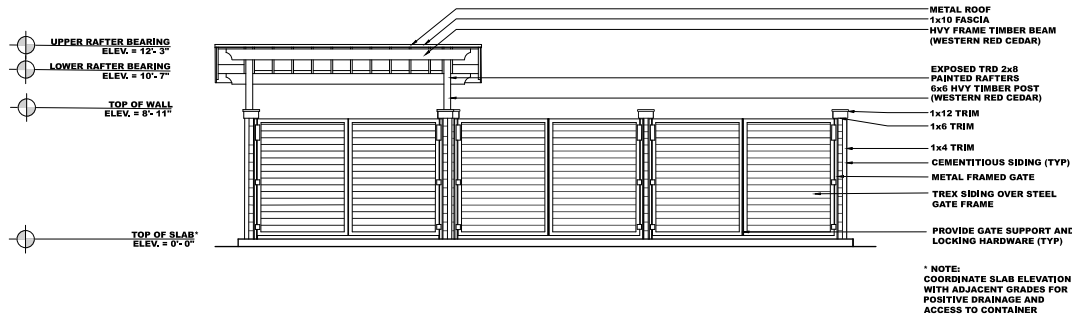
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A8.57 **COMPACTOR ENCLOSURE FLOOR PLAN AT WALL**
SCALE 1/4"=1'

NOTE:
THE CONTRACTOR IS COORDINATE THE ENCLOSURE WITH THE COMPANY PROVIDING THE COMPACTOR AND THAT COMPANY'S SPECIFICATIONS. THE CONTRACTOR IS ALSO TO COORDINATE WITH THE CIVIL PLANS TO PROVIDE POSITIVE DRAINAGE FOR THE ENCLOSURES AND AN ACCESSIBLE ROUTE AND USE OF THE ENCLOSURE IN COMPLIANCE WITH APPLICABLE CODES.

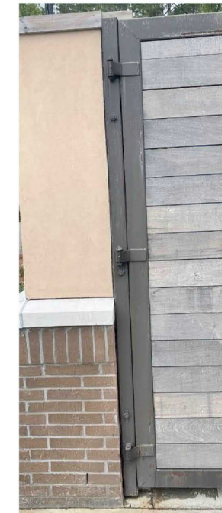
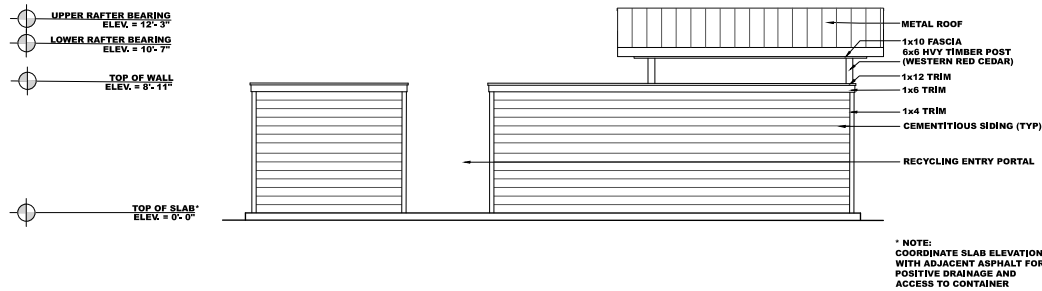
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



2
A8.57 **COMPACTOR ENCLOSURE ROOF PLAN**
SCALE 1/4"=1'

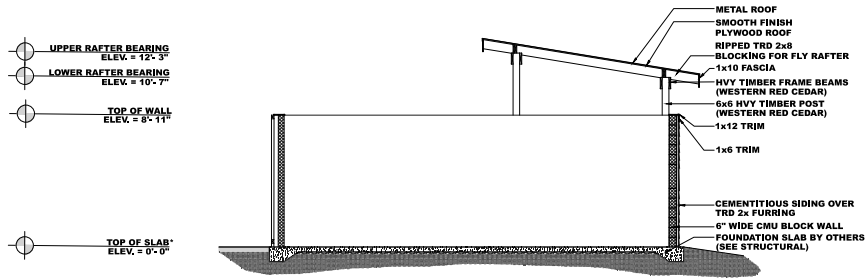


1
A8.59 **COMPACTOR ENCLOSURE FRONT ELEVATION**
SCALE 1/4"=1'

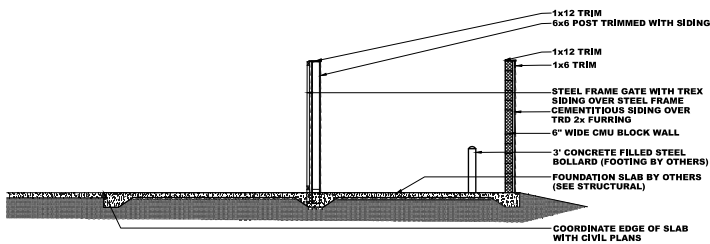


2
A8.59 **COMPACTOR ENCLOSURE REAR ELEVATION**
SCALE 1/4"=1'

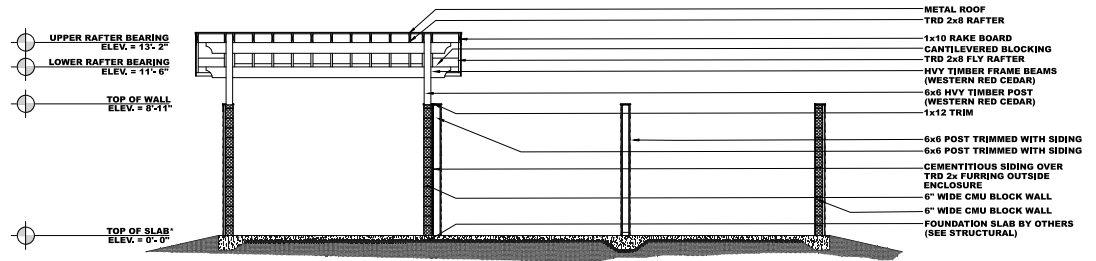
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A8.59 **COMPACTOR GATE CONNECTION EXAMPLES**



1
A8.61 **COMPACTOR ENCLOSURE SECTION A**
SCALE 1/4"=1'

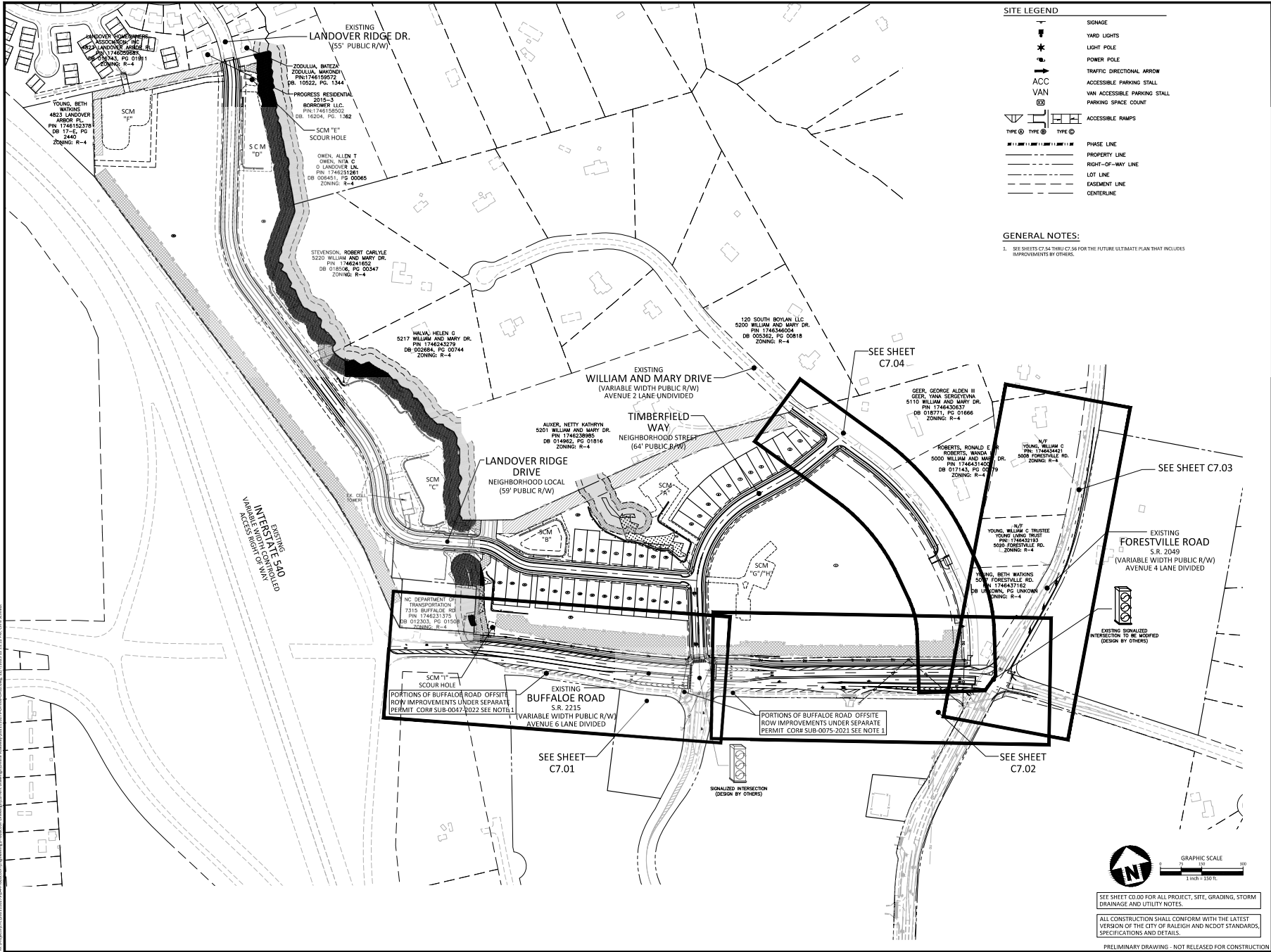


2
A8.61 **COMPACTOR ENCLOSURE SECTION B**
SCALE 1/4"=1'



3
A8.61 **COMPACTOR ENCLOSURE SECTION C**
SCALE 1/4"=1'

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



**FIFTH OAK MULTI-FAMILY
OFFSITE IMPROVEMENTS PLAN
7425 BUFFALO ROAD
RALEIGH, NORTH CAROLINA**

REVISIONS

NO. DATE

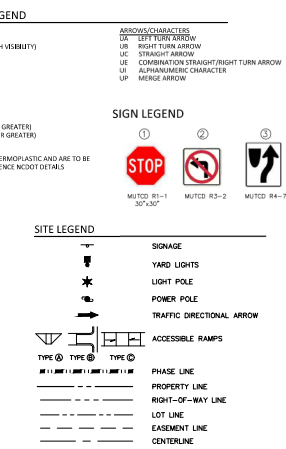
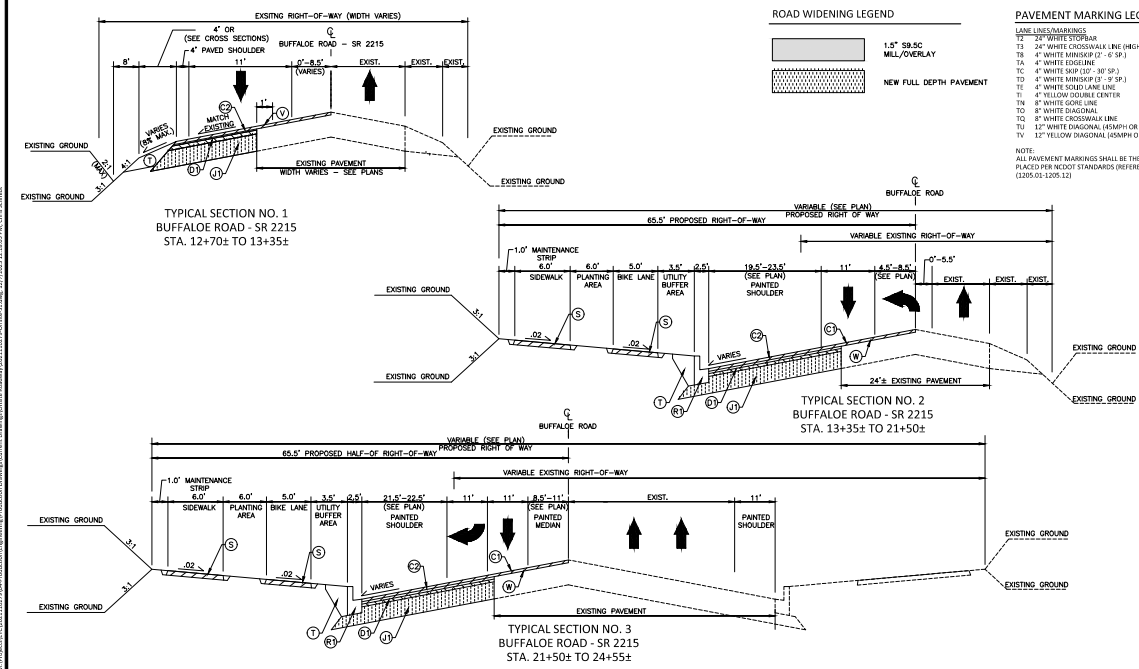
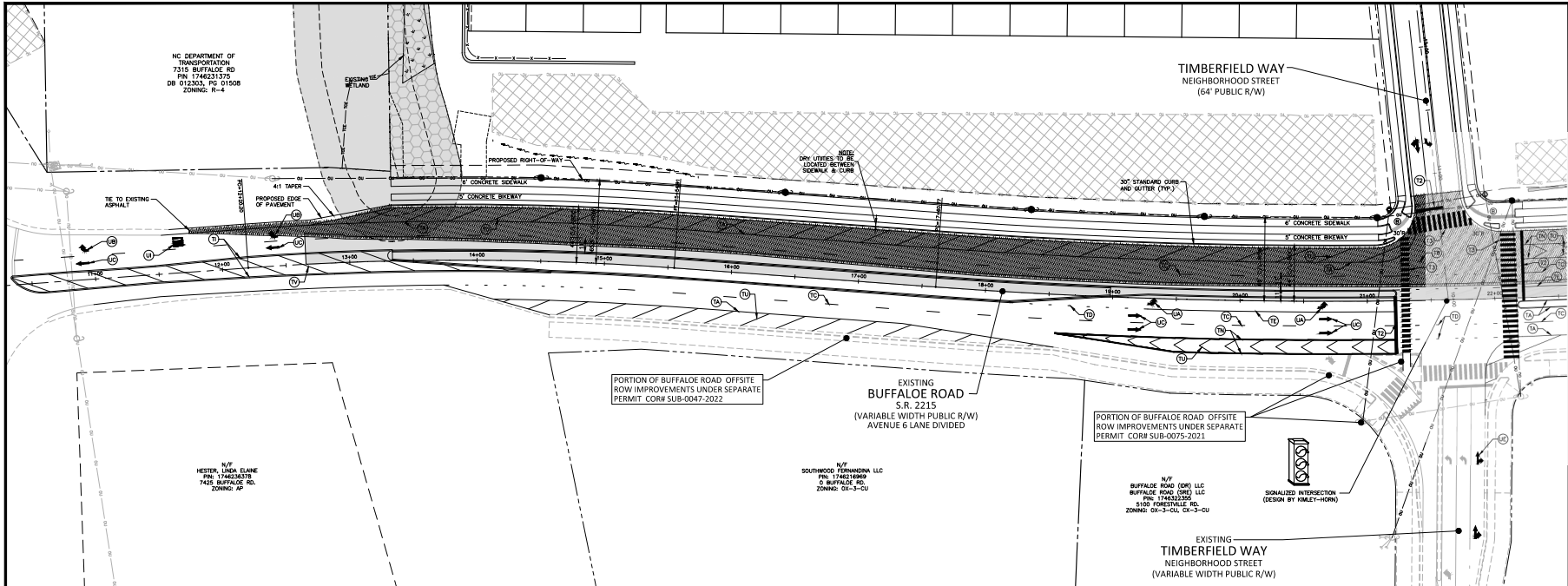
PLAN INFORMATION

PROJECT NO. 2021110279
FILENAME 2021110279-OFFSITE-OAS1
CHECKED BY JRB
DRAWN BY CDR
SCALE 1"=150'
DATE 011.xx.2023

SHEET

**OVERALL INFRASTRUCTURE
IMPROVEMENTS PLAN**

C7.00



BUFFALO ROAD (SR-2215) PAVEMENT SCHEDULE	
CODE	DESCRIPTION
C1	PROP. APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE OVERLAY, TYPE 59.5C.
C2	PROP. APPROX. 3.0" ASPHALT CONCRETE SURFACE COURSE, TYPE 59.5C, IN EACH OF TWO 1.5" LAYERS.
D1	PROP. VAR. DEPTH ASPHALT CONCRETE SURFACE COURSE, TYPE 59.5C, TO BE PLACED IN LAYERS NOT LESS THAN 1.5" IN DEPTH OR GREATER THAN 2.0" IN DEPTH.
D2	PROP. APPROX. 4.0" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 119.0C.
D3	PROP. VAR. DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 119.0C, TO BE PLACED IN LAYERS NOT LESS THAN 2.5" IN DEPTH OR GREATER THAN 4.0" IN DEPTH.
E2**	PROP. APPROX. 5.0" ASPHALT CONCRETE BASE COURSE, TYPE 80.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.0" IN DEPTH.
E3	PROP. VAR. DEPTH ASPHALT CONCRETE BASE COURSE, TYPE 80.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.0" IN DEPTH.
J1	PROP. 10" AGGREGATE BASE COURSE (E2** WHEN LESS THAN 6" WIDE)
T	COMPACTED EARTH MATERIAL
U	EXISTING PAVEMENT
W	VARIABLE DEPTH ASPHALT PAVEMENT (SEE WEDGING DETAIL)
R1	2'-6" CONCRETE CURB & GUTTER
R2	1'-6" CONCRETE MEDIAN CURB
R3	5" MONOLITHIC CONCRETE ISLAND (VIEWED IN)
S	4" THICK CONCRETE SIDEWALK / BIKEWAY
V	1.5" MLL/OVERLAY, TYPE 59.5C

NOTES

- PAVEMENT SECTION SHOWN IS BASED UPON MINIMUM STANDARDS. A FINAL PAVEMENT SECTION DESIGN BY GEOTECH ON-SITE IS REQUIRED TO BE SUBMITTED TO NCDOT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
- SEE CROSS SECTIONS FOR ROADWAY CROSS SLOPES.
- CONTRACTOR TO SAW CUT EXISTING EDGE OF PAVEMENT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT.

SIGNAL PLAN NOTES **

- FINAL LOCATION OF SIGNAL POLE TO BE COORDINATED WITH SIGNAL PLANS. NEW / EXISTING SIGNAL PLANS TO BE PROVIDED BY OTHERS.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS, AS WELL AS THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
OFFSITE IMPROVEMENTS PLAN
7425 BUFFALO ROAD
RALEIGH, NORTH CAROLINA**

REVISIONS

NO.	DATE
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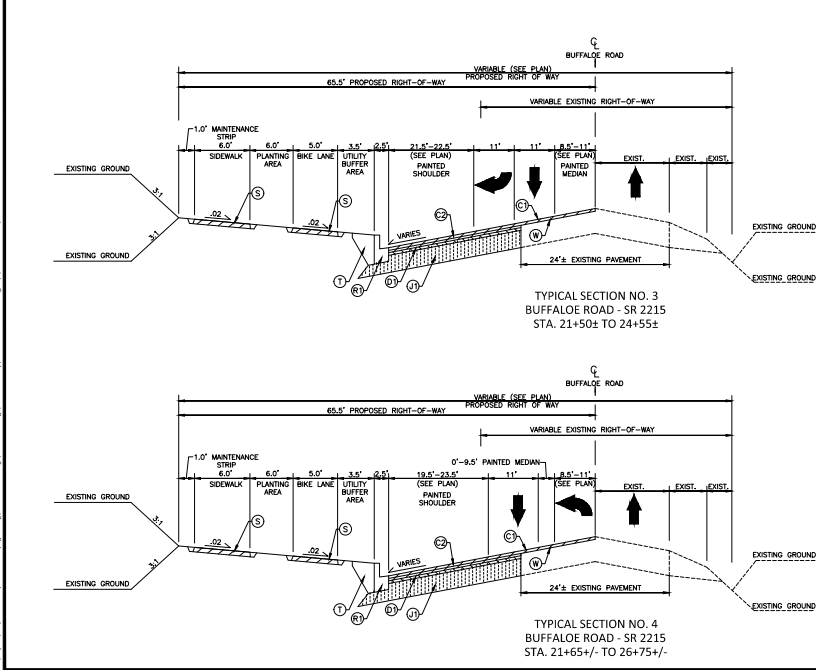
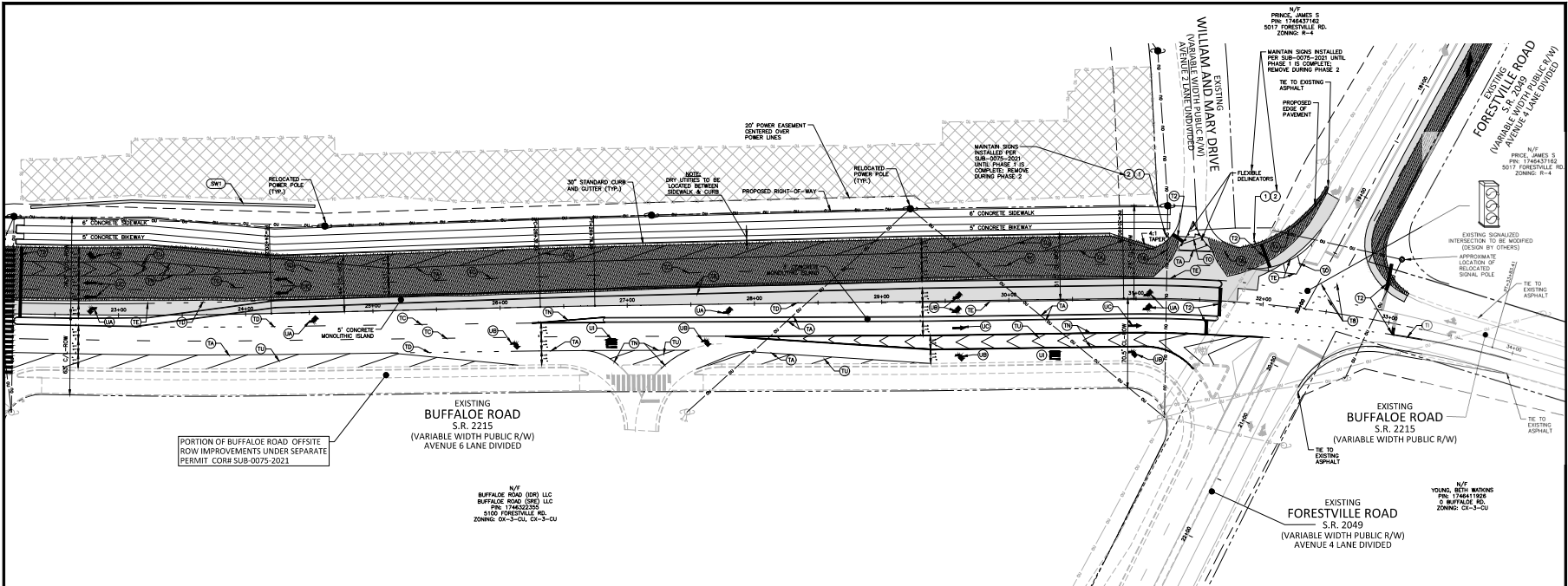
PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-OFFSITE-51.DWG
CHECKED BY	JRB
DRAWN BY	JRB
SCALE	1"=40'
DATE	01.11.2023

SHEET

**BUFFALO ROAD
IMPROVEMENTS PLAN
C7.01**

**FIFTH OAK MULTI-FAMILY
OFFSITE IMPROVEMENTS PLAN
7425 BUFFALO ROAD
RALEIGH, NORTH CAROLINA**



PAVEMENT MARKING LEGEND

LANE LINE MARKINGS	ABREVIATIONS
T1 2" WHITE CROSSWALK LINE (HIGH VISIBILITY)	UP LEFT TURN ARROW
T2 2" WHITE MEDIAN (2' - 6" SP.)	UR STRAIGHT ARROW
T3 4" WHITE EDGE LINE	UR COMBINATION STRAIGHT/RIGHT TURN ARROW
T4 4" WHITE SHIP (2' - 30' SP.)	UP ALPHABETIC CHARACTER
T5 4" WHITE SHIP (2' - 30' SP.)	UP MERGE ARROW
T6 4" WHITE SOLID LANE LINE	
T7 4" WHITE DOUBLE LANE LINE	
T8 4" WHITE CENTER LINE	
T9 4" WHITE DIAGONAL	
T10 4" WHITE CROSSWALK LINE	
T11 12" WHITE DIAGONAL (SLOPE OR GREATER)	
T12 12" YELLOW DIAGONAL (SLOPE OR GREATER)	

NOTE: ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCOT STANDARD REFERENCE NCOT DETAILS (1205.01-1205.12)

ROAD WIDENING LEGEND

1.5" 59.5C MILL/OVERLAY
NEW FULL DEPTH PAVEMENT

SITE LEGEND

↓	SIGNAGE
⬆	YARD LIGHTS
⬆	LIGHT POLE
⬆	POWER POLE
➡	TRAFFIC DIRECTIONAL ARROW
⬆	ACCESSIBLE RAMP
---	PHASE LINE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE
---	CONTRIBUTOR

POSTED SPEED = 45 MPH
DESIGN SPEED = 50 MPH
SIGNING AND MARKERS NOTES

SIGNAL PLAN NOTES **

1. FINAL LOCATION OF SIGNAL POLE TO BE COORDINATED WITH SIGNAL PLANS. NEW / REVISED SIGNAL PLANS TO BE PROVIDED BY OTHERS.
2. ALL NEW SIGNS WILL INCLUDE PRELIMINARY SHEETINGS AND WILL CONFORM TO THE LATEST REVISIONS OF THE NCOT STANDARD REFERENCE NCOT DETAILS (1205.01-1205.12).
3. EXISTING SIGNS SHALL BE RELOCATED TO THE APPROPRIATE LOCATION IN THE FIELD.
4. RAISED REFLECTIVE MARKERS SHALL BE INSTALLED AT ALL NEW PAVEMENT IN ACCORDANCE WITH NCOT STD. 1251.01 & 1251.02.

SIGN LEGEND



BUFFALO ROAD (SR-2215) PAVEMENT SCHEDULE

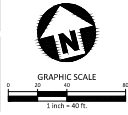
CODE	DESCRIPTION
C1	PROP. APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE OVERLAY, TYPE 59.5C.
C2	PROP. APPROX. 3.0" ASPHALT CONCRETE SURFACE COURSE, TYPE 59.5C, IN EACH OF TWO 1.5" LAYERS.
C3	PROP. VAR. DEPTH ASPHALT CONCRETE SURFACE COURSE, TYPE 59.5C, TO BE PLACED IN LAYERS NOT LESS THAN 1.5" IN DEPTH OR GREATER THAN 3.0" IN DEPTH.
D1	PROP. APPROX. 4.0" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 119.0C.
D2	PROP. VAR. DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 119.0C, TO BE PLACED IN LAYERS NOT LESS THAN 1.5" IN DEPTH OR GREATER THAN 3.0" IN DEPTH.
E2+H	PROP. APPROX. 6.0" ASPHALT CONCRETE BASE COURSE, TYPE 825.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.5" IN DEPTH.
E3	PROP. VAR. DEPTH ASPHALT CONCRETE BASE COURSE, TYPE 825.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.5" IN DEPTH.
J1	PROP. 10" AGGREGATE BASE COURSE (E2+H WHEN LESS THAN 4' WIDE)
T	COMPACTED EMERY MATERIAL
U	EXISTING PAVEMENT
W	VARIABLE DEPTH ASPHALT PAVEMENT (SEE WIDENING DETAILS)
R1	2'-6" CONCRETE CURB & GUTTER
R2	1'-6" CONCRETE MEDIAN CURB
R3	12" MONOLITHIC CONCRETE ISLAND (KEYED IN)
S	4" THICK CONCRETE SIDEWALK / BIKEWAY
V	1.5" MILL/OVERLAY, TYPE 59.5C

NOTES

1. PAVEMENT SECTION SHOWN IS BASED UPON MINIMUM STANDARDS. A FINAL PAVEMENT SECTION DESIGN BY GEOTECH ON-SITE IS REQUIRED TO BE SUBMITTED TO NCOT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
2. SEE CROSS SECTIONS FOR ROADWAY CROSS SLOPES.
3. CONTRACTOR TO SAW CUT EXISTING EDGE OF PAVEMENT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS, AS WELL AS THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE
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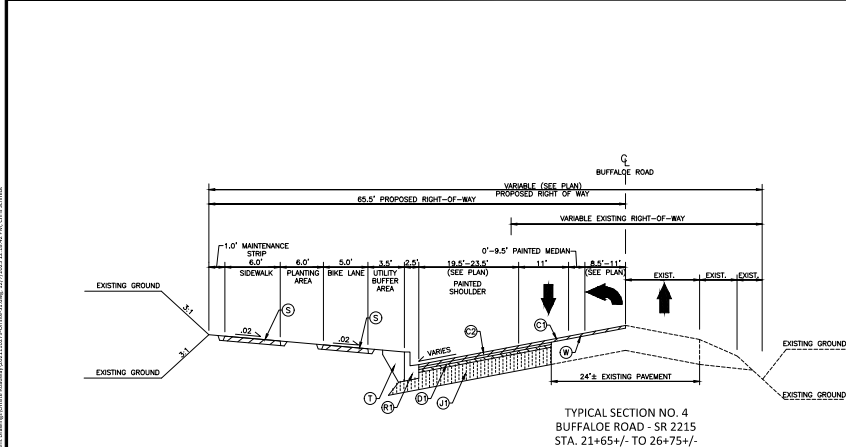
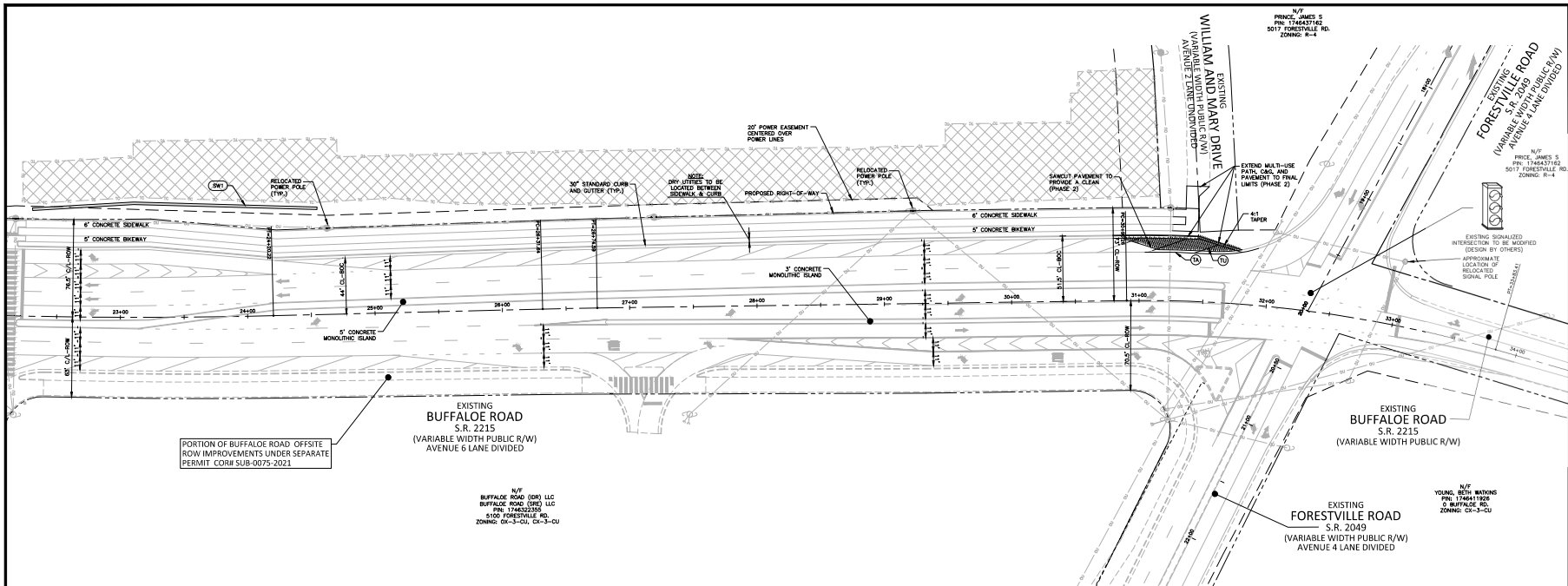
PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-OFFSITE-51.DWG
CHECKED BY	JRB
DRAWN BY	JRB
SCALE	1"=40'
DATE	011.xx.2023

SHEET

BUFFALO ROAD
IMPROVEMENTS PLAN PHASE 1

C7.02a



PAVEMENT MARKING LEGEND

LANE LINE MARKINGS	ARROWS/CHARACTERS
T1 2" WHITE CROSSWALK LINE (HIGH VISIBILITY)	UP LEFT TURN ARROW
T2 2" WHITE MONOLITHIC ISLAND (H.S.P.)	UP RIGHT TURN ARROW
T3 4" WHITE EDGELINE	UP STRAIGHT ARROW
T4 4" WHITE SHIP (10" 30" SP.)	UP COMBINATION STRAIGHT/TURN ARROW
T5 4" WHITE SOLID LANE LINE	UP ALPHANUMERIC CHARACTER
T6 4" WHITE DOUBLE LANE LINE	UP MERGE ARROW
T7 4" WHITE DOUBLE CENTER	
T8 4" WHITE CORE LINE	
T9 4" WHITE DIAGONAL	
T10 4" WHITE CROSSWALK LINE	
T11 12" WHITE DIAGONAL (SLOPE OR GRATE)	
T12 12" YELLOW DIAGONAL (SLOPE OR GRATE)	

NOTE:
ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCOT STANDARD REFERENCE NCOT DETAILS (1205.01-1205.12)

ROAD WIDENING LEGEND

1.5" 59.5C MILL/OVERLAY	NEW FULL DEPTH PAVEMENT
-------------------------	-------------------------

SITE LEGEND

↓	SIGNAGE
★	YARD LIGHTS
✱	LIGHT POLE
⬇	POWER POLE
➡	TRAFFIC DIRECTIONAL ARROW

ACCESSIBLE RAMP

TYPE ①	TYPE ②	TYPE ③
--------	--------	--------

—	PHASE LINE
—	PROPERTY LINE
—	RIGHT-OF-WAY LINE
—	LOT LINE
—	EASEMENT LINE
—	CENTURLINE

SIGNAL PLAN NOTES **

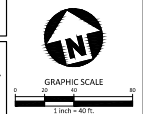
1. FINAL LOCATION OF SIGNAL POLE TO BE COORDINATED WITH SIGNAL PLANS. NEW / REVISED SIGNAL PLANS TO BE PROVIDED BY OTHERS.

POSTED SPEED = 45 MPH
DESIGN SPEED = 50 MPH
SIGNING AND MARKERS NOTES

1. ALL NEW SIGNS WILL INCLUDE PRELIMINARY SHEETINGS AND WILL CONFORM TO THE LATEST RETRO-REFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
2. ALL SIGNS MUST MEET MUTCD GUIDELINES FOR LETTER HEIGHT, LETTER COLOR AND SIGN COLOR.
3. EXISTING SIGNS SHALL BE RELOCATED TO THE APPROPRIATE LOCATION IN THE 190'.
4. RAISED REFLECTIVE MARKERS SHALL BE INSTALLED AT ALL NEW PAVEMENT IN ACCORDANCE WITH NCOT STD. 1250.01 & 1250.02.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS, AS WELL AS THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT

EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407

FIFTH OAK MULTI-FAMILY OFFSITE IMPROVEMENTS PLAN 7425 BUFFALO ROAD RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE
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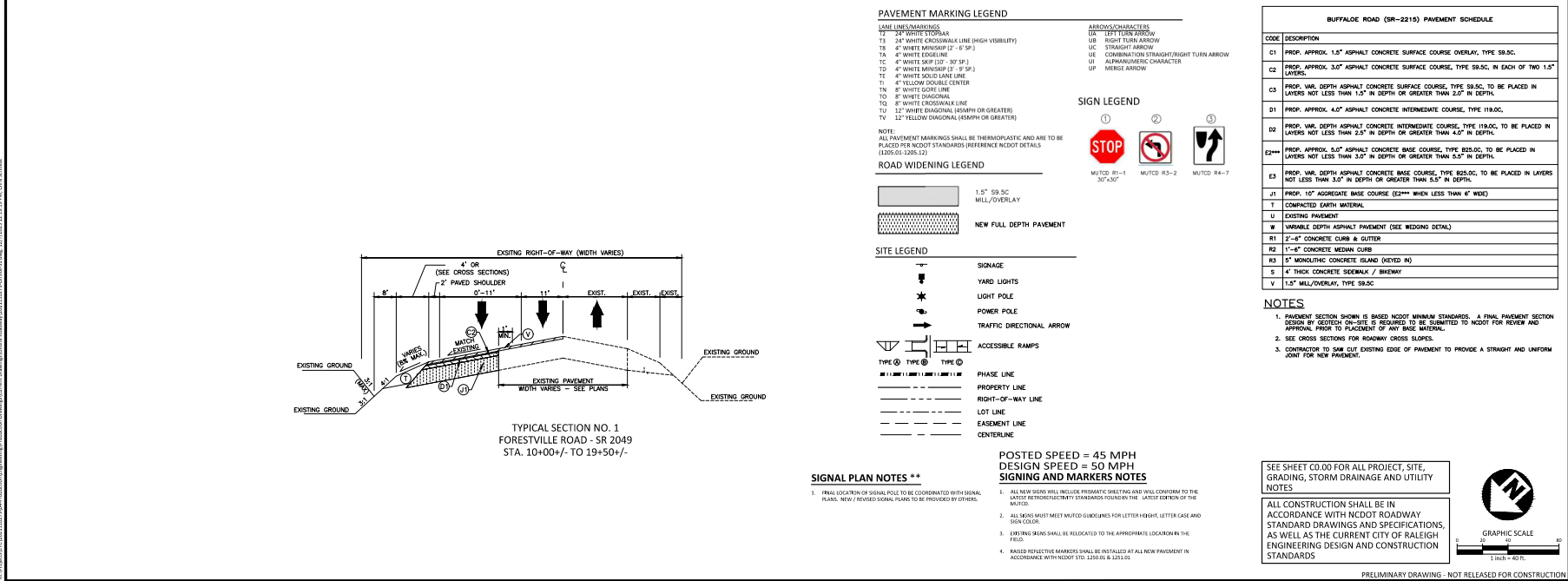
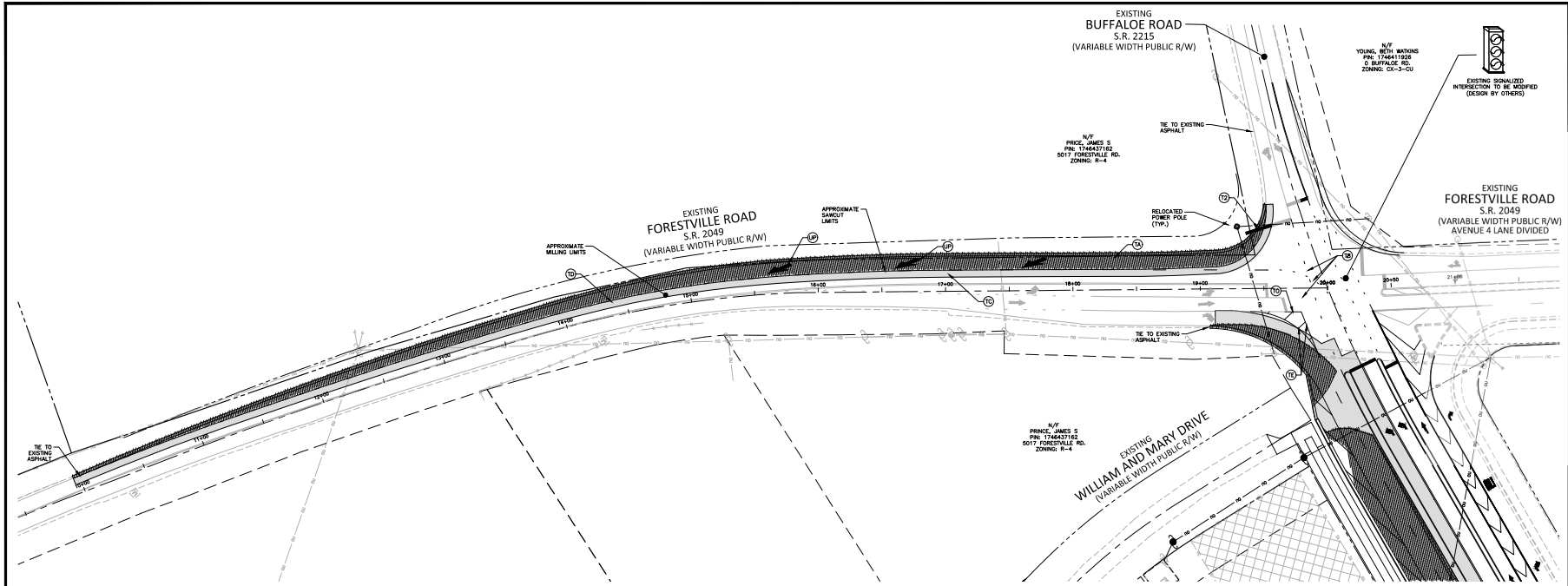
PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-OFFSITE-S1.DWG
CHECKED BY	JRB
DRAWN BY	JRB
SCALE	1"=40'
DATE	011.xx.2023

SHEET

BUFFALO ROAD
IMPROVEMENTS PLAN PHASE 2

C7.02b



McADAMS
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Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
OFFSITE IMPROVEMENTS PLAN
7425 BUFFALO ROAD
RALEIGH, NORTH CAROLINA**



REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-OFFSITE-51.DWG
CHECKED BY	JRB
DRAWN BY	JRB
SCALE	1"=40'
DATE	011.xx.2023

SHEET

**FORESTVILLE ROAD
IMPROVEMENTS PLAN
C7.03**

120 SOUTH BOYLAN LLC
5200 WILLIAM AND MARY DR.
PIN 1746346004
DB 00362, PG 00618
ZONING: R-4

GEER, GEORGE ALDEN III
GEER, YANA SERGEYEVNA
5110 WILLIAM AND MARY DR.
PIN 1746430637
DB 018771, PG 01666
ZONING: R-4

EXISTING
WILLIAM AND MARY DRIVE
S.R. 2965
(VARIABLE WIDTH PUBLIC R/W)
NEIGHBORHOOD LOCAL

TIMBERFIELD WAY
NEIGHBORHOOD STREET
(64' PUBLIC R/W)

PAVEMENT MARKING LEGEND

LINE LINES/MARKINGS	ARROWS/CHARACTERS
Y2 24" WHITE TOPBAR	LA LEFT TURN ARROW
T2 24" WHITE CROSSHAIR LINE (HIGH VISIBILITY)	LB RIGHT TURN ARROW
T8 4" WHITE MINISAP (2" - 6" SP.)	LC STRAIGHT ARROW
TA 4" WHITE EDGE LINE	LE COMBINATION STRAIGHT/RIGHT TURN ARROW
TC 4" WHITE STOP (10' - 30' SP.)	LI ALPHANUMERIC CHARACTER
TD 4" WHITE MINISAP (2" - 6" SP.)	LP MERGE ARROW
TE 4" WHITE SOLID LAINE LINE	
TF 4" YELLOW DOUBLE CENTER	
TN 8" WHITE GORE LINE	
TO 8" WHITE TRAIL LINE	
TV 12" WHITE DIAGONAL (EMPHY OR GREATER)	
TV 12" YELLOW DIAGONAL (EMPHY OR GREATER)	

NOTE:
ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE NCDOT DETAILS 13.09.01-13.09.13)

ROAD WIDENING LEGEND

1.5" SB/SC MIL/OVERLAY	NEW FULL DEPTH PAVEMENT
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SIGN LEGEND

MUTED R1-1 30"x30"	MUTED R3-2 30"x30"	MUTED R14-2 30"x30"
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WILLIAM AND MARY DRIVE (SR-2965) PAVEMENT SCHEDULE

CODE	DESCRIPTION
C1	PROP. APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE OVERLAY, TYPE SB/SC.
C2	PROP. APPROX. 3.0" ASPHALT CONCRETE SURFACE COURSE, TYPE SB/SC, IN EACH OF TWO 1.5" LAYERS.
C3	PROP. VAR. DEPTH ASPHALT CONCRETE SURFACE COURSE, TYPE SB/SC, TO BE PLACED IN LAYERS NOT LESS THAN 1.5" IN DEPTH OR GREATER THAN 2.0" IN DEPTH.
D1	PROP. APPROX. 4.0" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 11B/SC.
D2	PROP. VAR. DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 11B/SC, TO BE PLACED IN LAYERS NOT LESS THAN 2.0" IN DEPTH OR GREATER THAN 4.0" IN DEPTH.
E2**	PROP. APPROX. 5.0" ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.5" IN DEPTH.
E3	PROP. VAR. DEPTH ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, TO BE PLACED IN LAYERS NOT LESS THAN 3.0" IN DEPTH OR GREATER THAN 5.5" IN DEPTH.
J1	PROP. 10" AGGREGATE BASE COURSE (E2** WHEN LESS THAN 6" WIDE)
T	COMPACTED EARTH MATERIAL
U	EXISTING PAVEMENT
W	VARIABLE DEPTH ASPHALT PAVEMENT (SEE WEDGING DETAILS)
R1	2'-6" CONCRETE CURB & GUTTER
R2	1'-6" CONCRETE MEDIAN CURB
R3	6" MANUFACTURING CONCRETE ISLAND (VEEDING R)
S	4" THICK CONCRETE SIDEWALK / BIWAY
V	1.5" MIL/OVERLAY, TYPE SB/SC

NOTES

- PAVEMENT SECTION SHOWN IS BASED NCDOT MINIMUM STANDARDS. A FINAL PAVEMENT SECTION DESIGN BY GEOTECH ON-SITE IS REQUIRED TO BE SUBMITTED TO NCDOT FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
- SEE CROSS SECTIONS FOR ROADWAY CROSS SLOPES.
- CONTRACTOR TO SAW CUT EXISTING EDGE OF PAVEMENT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT.
- SECTION OF WILLIAM AND MARY DRIVE TO BE REMOVED/ABANDONED UPON COMPLETION AND ACCEPTANCE OF TIMBERFIELD WAY BY THE CITY OF RALEIGH.

SITE LEGEND

TYPE	DESCRIPTION
1	SIGNAGE
2	YARD LIGHTS
3	LIGHT POLE
4	POWER POLE
5	TRAFFIC DIRECTIONAL ARROW
6	ACCESSIBLE RAMPS
7	PHASE LINE
8	PROPERTY LINE
9	RIGHT-OF-WAY LINE
10	LOT LINE
11	EASEMENT LINE
12	CENTERLINE

POSTED SPEED = 20 MPH DESIGN SPEED = 25 MPH SIGNING AND MARKERS NOTES

- ALL NEW SIGNS WILL INCLUDE PRIMAVERA SHEETING AND WILL CONFORM TO THE LATEST RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MANUAL.
- ALL SIGNS MUST MEET MUTCD GUIDELINES FOR LETTER HEIGHT, LETTER CASE AND SIGN COLOR.
- EXISTING SIGNS SHALL BE RELOCATED TO THE APPROPRIATE LOCATION IN THE FIELD.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DRAWINGS AND SPECIFICATIONS, AS WELL AS THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

GRAPHIC SCALE
1 inch = 40 ft

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
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CLIENT

EYC COMPANIES
1005 C STREET ANDREWS BOULEVARD
CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES

**FIFTH OAK MULTI-FAMILY
OFFSITE IMPROVEMENTS PLAN**
7425 BUFFALO ROAD
RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE
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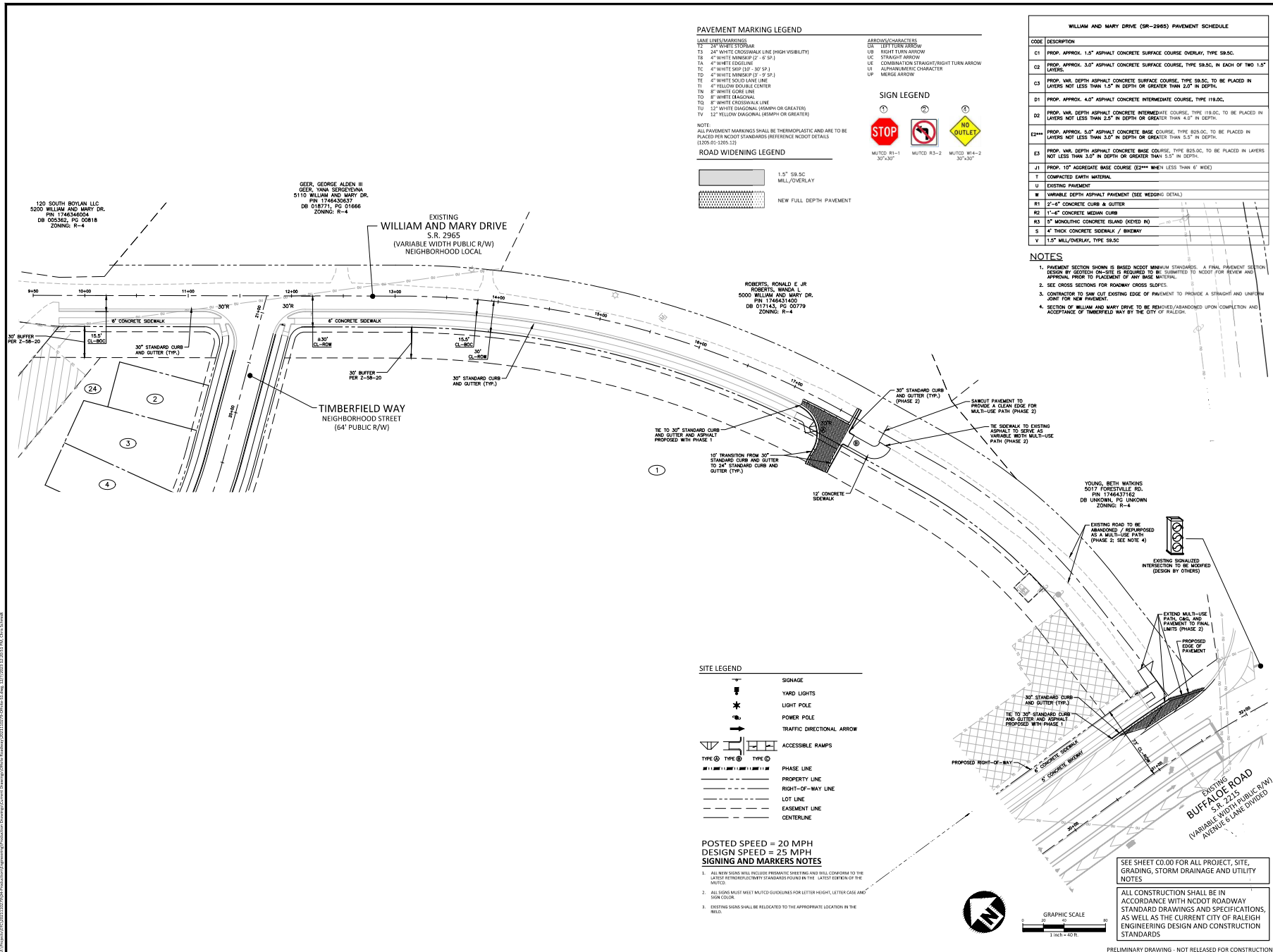
PLAN INFORMATION

PROJECT NO.	2021110279
FILENAME	2021110279-OFFSITE-51.DWG
CHECKED BY	JRB
DRAWN BY	JRB
SCALE	1"=40'
DATE	011.xx.2023

SHEET

WILLIAM AND MARY DRIVE
IMPROVEMENTS PLAN PHASE 1

C7.04a



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FIFTH OAK MULTI-FAMILY OFFSITE IMPROVEMENTS PLAN
7425 BUFFALO ROAD
 RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	01.11.2023	ISSUED FOR PERMIT

PLAN INFORMATION

PROJECT NO. 2021110279
 FILENAME 2021110279-OFFSITE-51.DWG
 CHECKED BY JRB
 DRAWN BY JRB
 SCALE 1"=40'
 DATE 01.11.2023

WILLIAM AND MARY DRIVE IMPROVEMENTS PLAN PHASE 2

C7.04b