

Case File / Name: ASR-0005-2023 DSLC - FIFTH OAK MULTI-FAMILY

LOCATION: 7425 Buffaloe Road - The 53.71 acre site zoned both R-10-CU and RX-3-CU is at the northeast corner of Buffaloe Road and I-540. Buffaloe Road is the southern boundary, I-540 is the western boundary, William & Mary Drive is the eastern boundary with a Neuse Riparian Buffer marking the northern boundary. The proposed development is located within a previously approved subdivision, case SUB-0087-2022, which has not been recorded at the time of this site plan approva This application seeks approval for a multi-family development consisting of 10 apartment buildings and 37 townhouse buildings consisting of two to five dwelling units where entire buildings will be placed on a single lot.

Emphasizing the preservation of tree conservation areas and the creation of amenity spaces, the 10 apartment buildings will include 240 units with sizes ranging from 24,280 to 29,803 square feet, culminating in a total building area of 264,892 square feet. A separate clubhouse and several garage buildings are also proposed.

The 37 townhome buildings will include 118 units ranging in size from 2,716 to 10,007 square feet, resulting in an overall building area of 222,132 square feet.

This project includes construction of private drives and alleys interconnecting with public streets being created with the previously approved subdivision (SUB-0087-2022). Note nearby single-family detached dwellings on individual lots will be permitted separately in the subdivision.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: SUB-0087-2022: DSLC - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 6, 2023 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Subdivision SUB-0087-2022 for Fifth Oak Family is recorded, and a copy of the signed, stamped, record plat is inserted into the plans set and all lots as shown on this Administrative Site Review (ASR) is recorded with a PIN#.



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- 2. All SPRs shall reflect which trees are classified as 'Shade' and 'Understory' trees prior to SPR approval.
- 3. The SPR plans for the parent subdivision for this development, case SUB-0087-2022, shall be updated to show lots 21 and 37 consistently with this plan as open lots for development. The original plans for SUB-0087-2022 showed those lots labeled as "HOA Common Lot / Open Lot".

Engineering

- Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
- 5. There are ongoing discussions as related to pedestrian connection and access management still ongoing that can be addressed through SPR per email correspondence and conversations with the design team.
- A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
- 7. See the conditions of approval for SUB-0087-2022 for additional clarification of the entitlements and requirements of the site.
- 8. The intersection of Buffaloe Road and William and Mary Drive, as part of this development, will ultimately lead to the intersection of the noted streets to be removed and replaced by a multiuse path connection and updated with the required elements to update this section. The phasing plan will be further detailed at SPR and the access of those existing properties on William and Mary Drive that will utilize Timberfield Way will be priortized and access to Buffaloe Road maintained throughout the project and access sent thrown Timberfield Way once accepted by COR. The process to maintain or reduce right of way for the purposes of updated easements will too be discussed in detail at SPR.

Public Utilities

9. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

- 10. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
- 11. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 12. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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13. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

- 14. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 15. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Ø	Public Access Deed of Easement Required	V	Right of Way Deed of Easement Required
Ø	Slope Easement Deed of Easement Required	Ŋ	Utility Placement Deed of Easement Required

☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
- 2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
- 3. Retaining walls will be reviewed under separate permit.

Engineering

4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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- 5. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 7. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 8. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

- 9. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
- 10. A Water and/or Sewer Assessment fee shall be paid to the Assessment Specialist in the City of Raleigh Engineering Services Department.
- 11. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
- 12. A fee-in-lieu of construction shall be paid to the City of Raleigh Public Utilities Department for the construction of a water and/or sewer main.

Stormwater



- 13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
- 14. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 15. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 16. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- 17. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

Urban Forestry

- 18. A public infrastructure surety for 19 street trees along William and Mary Drive, 49 street trees along Timberfield Way, 153 street trees along Landover Ridge Drive shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 7.23 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 3. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)



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4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

- 5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 19 street trees along William and Mary Drive, 49 street trees along Timberfield Way, 153 street trees along Landover Ridge Drive.
- 6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
- 3. All street lights and street signs required as part of the development approval are installed.
- 4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

- 5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 31, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has



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City of Raleigh Development Services Department One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Daviel L. Stegall Date: _____ Date: _____ Signed: _____ 01/31/2024

Staff Coordinator: Jermont Purifoy

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The solvey specific discuss of all tage specify severally is average of the specifications of all of the present distance the solvey of the specification of the present several tage specifications of the present distance substitute tages, and m assistance with the presents matching tages and magnitude benefitives?	ALLISE RYNNE DIE PRUTUAL ALLING KUNLING AUGUMENT LINTE. BESPROEF, AS BULLING STELLEN KOEKEN HALLEN DUNG THE PARCEL ABOVE AND ALDING THE FRONTAGE OF WILLIMM AND MARY DEVICE TO REMAIN.	Automatic et al. (1) (2) (3) (2) (3) (3) (3) (3) (3) (3) (3) (3) (3) (3	CIT 4. C 62815 F SHOLL FAULT (COUNT) O.14 4.C 62815 F SHOLL FAULT (COUNT) O.14 4.C 62973 F SHOLL FAULT (COUNT) O.14 4.C 64973 F SHOLL FAULT (COUNT) O.14 4.C 64995 F SHOLL FAULT (COUNT)		jeff.caines@raleighnc.gov DN: E=jeff.caines@raleighnc.gov,	
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Ispeane Dew 1209/22 Prince News, Elige & Galerian	NOTES RESPONSE - A 30' UNDISTURBED BUFFER ALONG WILLIAM AND MARY HAS BEEN MAINTAINED.	Towner (Sch 2, 2):29(3)) (2014) (117 - 1013) - 24(3):44(3) (2004)) Towner (Sch 1, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013) - 24(3):44(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (117 - 1013)) Towner (Sch 2, 2):29(3) (2014) (117 - 1013)) Towner (Sch 2, 2):29(3) (117 - 101	18 C.O. M.C. 4.050 SF SHOLE FAMILY DECISION 19 Ci 12 AC 5.354 SF SHOLE FAMILY DECISION 20 Ci 13 AC 5.514 SF SHOLE FAMILY DECISION 21 A:86 AC 5.214 SF SHOLE FAMILY DECISION	RX-3-CU RX-3-CU RX-3-CU RX-3-CU	Date: 2024.02.01 10:39:11-05'00'	
	THOTCO 1. THE MANNUM CORRECT CLEARANCE TOR A DIMENSIVITION THE CUIRE UNLY OF INTERSCHILD STRETTS SHILL BE AT LEAST 30 FTET 1. THE MANNUM CORRECT CERABLEST OF THE CURE. NO DRIVENANS SHILL INCIDENCY ON THIS MINIMAM CORRECT CLEARANCE. ROOM SECTION 52.0. 2. PER TCS-61.8 AND SEC. 15.4.C, THE ORIGINAL STREET DISCIDITION SHILL BE:	TOTAL KUCU TOANKOWS - SERVICES UNITS	22 0.16 A/2 6,053 SF SINGLE FAMILY DETACHED 23 0.14 A/2 6,055 SF SINGLE FAMILY DETACHED 24 0.12 A/2 6,053 SF SINGLE FAMILY DETACHED 25 0.12 A/2 5,053 SF SINGLE FAMILY DETACHED 26 0.12 A/2 5,053 SF SINGLE FAMILY DETACHED	8X-3-CU 9X-3-CU 9X-3-CU 9X-3-CU		
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Fage 1 of 3 second con-	RIGHT-OF-WAY OBSTRUCTION NOTES 1. STRET, LARE, AND SORDWALK CLOSHES ON CETOWIS PROF TO ANY WORK THAT IMPACTS THE RIGHT OF WAY OR CLOSING OF ANY STREET, LANE, ON SORDWAK, THE CONTRACTION MIST ANY YOR AT PRANT WITH RIGHT OF WAY SERVICES.	Heart Structure Heart Stru	34 0.12 AC 5.349 SF SINGLE FAMLY DETACHED 36 0.12 AC 5.349 SF SINGLE FAMLY DETACHED 38 0.16 AC 6.061 SF SINGLE FAMLY DETACHED 37 3.52 AC 155.320 SF MULTI-UNIT TORMICOLE	RX-3-CU RX-3-CU RX-3-CU RX-3-CU, R-10-CU		
rajedure das	A REMAIN REQUEST WITH A TRAFEC CONTEXC, AND/OR PEDISTAIN AN A WALL & SUBARTID TO <u>Institutionarised strateging and <u>Jawan Johop view</u> (WINDO TO EACH OF WAY SUBARTS PROVIDED THE START OF WORK, THE CLIENT SALL LONGOUST AF RECONSTRUCTION METHING WITH THE REMARKING REPORT TO THE START OF WORK, THE CLIENT SALL LONGOUST AF A REMARKST TAKAN AND DESKINE ALL REMAINS ARE </u>	BALILINGCITULCTURE STITALOS - SORE RE-3-QU RECENTRAL DE LA RECENTRAL DE LA RE	D M.R. P. LEU BY MALL LeV Treemont 2.5.1.5.4.6. 2.6.1.5.7 MALL LeV Treemont MALL LeV Treemont 2.5.1.5.6. 2.6.1.5.7 MALL LeV Treemont MALL LeV Treemont 2.5.1.6. 2.6.1.5.7 MALL Treemont MALL LeV Treemont 2.5.1.6. 2.6.1.5.7 MALL Treemont MALL Treemont 2.5.1.6. 2.6.1.5.7 MALL Treemont MALL Treemont 2.5.1.6. 2.6.1.5.7 MALL Treemont MALL Treemont 2.5.1.6. 2.6.1.7 MALL Treemont MALL Treemont 2.5.1.7	R-10-CU, 8X-3-CU R-10-CU, 8X-3-CU FDN AREA	PUBLIC INFRASTRUCTURE AND STORMWATER MANAGEMENT SHOWN ON THESE PLANS IS TO BE PERMITTED UNDER THE SP DRAWINGS ASSOCIATED WITH SUB-0087-2022	
	IBSUID. 4. THE CITY OF RALENSH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION FERMIT FOR WORK ON ANY PUBLIC STREET OR SIGNIFIALS AND INCODE READ WITHIN AN LIGHT'S JURISOCITOR.	TO WINK DOLLARS SAVATED (MINE 17 FOR USE SIG 2.2.8 TROM PERMITSION SAVATED (MINE 17 FOR USE SIG 2.2.8			ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCOOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS	
-SITE	 ALL TRAFE CONTROL SOUNDED AND PRACTICES SHULL AREATE TO THE MANULL OR UNITION THATE CONTROL, AND THE LATEST DEPIDE OF THE NEEDO'S LANDARIAS SPECICICADOR IS DIADWAY STRUCTURES', NCDOT VIGADWAY STANDARD DRAWING MANUA', MRI THE INCOT SUPPLEMENT TO THE INJECT. ALL PUBLIC SOUNDARY, MILL THE COST SUPPLEMENT TO THE INJECT. ALL PUBLIC SOUNDARY MUST BE ACCESSILE TO DESCENSA WHO ARE VIGALILY MANARD AND/OR PORTE WITH MOBILITY CONCINCE. DISTING AND ATTEMPT PORSITIVE OF INSET TO SUMM CONCINCTION SHULL IN EQUILIDATION OF INCOME. 	No.02 (Wint Jan) The Distance of the D			SOLID WASTE INSPECTION STATEMENT: 1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE RECOMERMENTS SET FORTH IN THE SOLD WASTE DESIGN MANALAL.	
	CONCEINS: UNIT NO AND ALTIMATIVE PRESTINATION CONTROLONG CONTROLLONG THE REQUILET TO BE COMPLAY WITH IN THE DELICE BOARTS OF AN ACCESSIBLET CONTROL CONTROL CONTROLLONG THE AND STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNITARIA CONTROL OVERS SAUTOS. ALL REPRESTINGT SHOT FRANCISCON CONTROL OVERS SAUTOS.	IREAD STORY IP PRILOD SEC.3.1.4 IREAD STORY IP PRILOD SEC.2.1.3 IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY IREAD STORY			2. THE SOLID WASTE REMOVALE FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALENSE SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.	
	GREENWAY EASEMENT NOTES	TO INVESSE TO INV			ATTENTION CONTRACTORS	
	 NO TEMPORAY OR H'IMMERTE ENCROCHMENTS (INCLUDING BUT NOT LIMITED TO CLEANING, GIADING, FENCING, AND THE BRITALIATION OF RETAINING WALLS ON OTHER STRUCTURS), AND PURMITTED WITHIN THE GREENWAY EXCELIMENT ANEA WITHOUT PROF. APPROVAL, BY THE CITY OF RALEOR. 	LUT ANA REQUERMENTS - ZONE RE-3-CO.			The Construction Contractor responsible for the extension of water, sever, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (2010) 292-2540, and the Public Utilities Department at (2010) 292-2540, at least <u>teanity four house</u> prior to beginning any of their construction.	REVISIONS
		LOT AREA REQUIREMENTS - ZOAR R-30-CL; (07.3) MERCES M (7/10/ME) MERCES M. SUBJECTION MERCES M. SUBJECTION			<u>tennity four hours</u> prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of meetary fines, and require reinstaliation of any acter or sever facilities not inspected as a result of this notification failure.	ND. DATE 1 05.54.3023 REVIEED FER COR 317 ASR COMVENTS 2 08.21.3023 REVIEED FER COR 314 ASR COMMENTS
		EA TRACKING TABLE		\mathbf{a}	reinstaución d'en y server conserve consultante non respected as o result of bian collicion foture. Follure to coll for inspection, install a Dewnstream Plug, hove Permitted Reiss on the Jobskir, or any other Volation of City of Releigh Standards will result in a <u>Cite and Possible Evolusion</u> , from future work in the City of Releigh.	3 12.06.3023 REVISED FER COR 3H ASR COMMENTS
	1011 1012 1013 1014 1015 1016 1017 10	DATE LOTID LOTID <thl< td=""><td></td><td></td><td></td><td></td></thl<>				
	MAX. IMPERVIOUS AREA (PERCENT) 59.0% 45.0% 47.0% 55.0% 54.0% 49.0% 50 MAX. IMPERVIOUS AREA (AC) 7.11 0.04 0.07	46.0% 48.0% 47.0% 58.0% 47.0% 52.0% 47.0% 49.0% 45.0% 49.0% 51.0% 07 0.07 0.07 0.06 0.07 0.04 0.05 0.04 0.05 0.04 0.05 0.06 177 10728 L0729 L0730 L0731 L0731 L0733 L0735 L0735 L0735 L0735 L0737 L0738 L0737 L0738 L0735 L0737 L0738 L0738 L0737 L0738	39	OF	NTRACTOR SHALL NOTIFY 'NC811" (811) OR (1-800-632-4949) AT ST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. NTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE	ADMINISTRATIVE SITE REVIEW FOR:
VICINITY MAP	LOT SIZE (87) 5.514 215,022 6.953 5.954 5.400 5.340 5.340 LOT SIZE (AC) 0.33 4.96 0.16 0.14 0.12 <	349 5.349 5	691 59 5% 13	(now what's DOIOW. TH	EIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". PORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.	FIFTH OAK MULTI-FAMILY/PLOTS 1-39 7425 BUFFALOE ROAD/PRALEIGH, NORTH CAROLINA, 27603 PROJECT NUMBER: 2021110279
					PREUMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION	1

SITE PLAN NOTES

INTERSECTION OF TH INCH-CH-WAYS, THE MANNAM COMMENCEALABACE FROM CURE UNLIGHTED OF DAVIANENT OF INTERSECTION STREETS OF BEAT LIAST OF DEFE FROM THE POINT OF TANGINEY OF THE RADIUS OF CURKATURE, OF XATEFF FROM THE POINT RIGHT-OF-WAY UNS, WARDLEVER IS GRAZING. THE RADIUS OF THE DRIVEN SHALL NOT EXECTION ON THE WINNAM.

REFT OF WAY SHALL BE CLEARED AND GRUBBED WITHIN 59' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTED INTERSECTIONS. THE FULL LINENTIO FOR INFORMATIONAL BRECLEARED AND GRADED ALLINGE, MINOR, & STATURY ARIA TRADECOMPARIS.

- WHEN IN A ADMINIST MORE DESIDENTIAL. WHEN THE AREA DEFINED SIGNET TRANSPORTS SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY ORDINOLTIME WALL, FINCE, JOAN, FOLMER BERMS, OR PARTED VIEWES RETWITINT HIE HOLD'S OF 24 MOUNTS AND B FITT WESSION OF THE REAL STREET DESIDENT MOMMAN. (FOR ADMINISTRATION DETAILS).
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF INAEBINE TRANSPORTATION DIVERSION THAT THE MULTIWAY STOP PERTALLATION WARRANTS CAN BE INFE AND ODIMINATED BY CITY COLINE & APPRIXAL
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF OURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCOLAURENT, DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OF/SET, TRANSING, INTER, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCK STANDARD APPURTPANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND AUXIMMENTS DIRECTOR OF THE FLAKS.
- CONTRACTOR SHALL NOTIFY "INCELL" (BLL) OR (1-800-632-9409) AT LEAST 3 FULL BUSINESS ON'S PROR TO BEGINNING CONSTRUCTION OR EXCANDION TO HAVE DISTING UPLICIES LOCATED, CONTRACTOR SHALL CONTACT, ANY LOCAL UPLICES THAT FROMUE THER OWN LOCATON SERVICES INDEPENDENT OF "NOSLL", REPORT ANY DISCREPANCES TO THE ENGINEER INVERDIDATE.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS ILE, POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION REVINE DISCON CONTEX, MAGNES, THE GREEN CONTEXCENT SHALL SCHEDEL AN ATTEMD A PERCONTRUCTION CONSTRUCTION OF A CONTEXCENT AND A CONSISTENT OF A CONTEXCENT OF A CONTEXCENT AND A REPRESENTATIVE OF THE INSERTION AND OWNER, THE PURPOSE OF THE MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND CONTRUMENT OF THE CALLER'S GUINE OF A CONTEXCENT.
- ALL DRANDING AND GARDES SHOWN IN THE HANG SHALL BE EED UTBREED IN THE CONTINCTOR PARTY TO CONTINUETING ADDITIONATION AND ADDITIONED AND ADDITIONAL ADDITICAL ADDITICAL ADDITIONAL ADDITICAL ADDITIONA ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PALEIGH UNITED DEVELOPMENT ORDINANCE (DOD) BITMUS.
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECOMOUS REPORT SHALL OVER NDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHARCH, RUNNERE DEEMS A HARVER SECTION OF REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNERIN WINTING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADOITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE TOURINEWNT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MAAUU, AND CONTACT PUBLIC WORKS STAFF FOR FURTHER SUIDANCE.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SISTEM SHALL ADHERE TO MUTCO STANDARDS AND SPECIFICATION
- AWY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALDIGH TRANSIT ROUTE HAS BEEN FINAL BED. ALL TRANSIT STOPS SHALL HAVE A 10'X20'X6'' (2000 PSI) CONCRETE PAD.

ADDITIONAL UTILITY NOTES

- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DUAMETER ARE TO BE DUCTLE IRON P.P.E. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER INVITIOUS FITTINGSS TO THE WATER METER.
- ALL SEWER MAINS SHALL BE EITHER PVC OR DUCHLE NON PPE AS SHOWN ON THE PLANS. ALL PPE MATERIAL SHALL MEET DTY OF PALIDEN STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UMPED DEPLOYMENT OPDIMANCE (UDD). ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5"WYS'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT
- ALL SANTARY SEVER INTERCEPTOR UNES (32" AND LARGER), AS WELL AS MANINCES AND FITTINES ASSOCIATED WITH THE INTERCEPTOR UNE, SAND, BIT ITERALLY UNED WITH PROTECTO 440, OR APPROVED COULT IN PROTECTION AND APPLICATION METHODS.
- IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTLITES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE, CONTINUCTOR SHALL CONDINNET DIRECTLY WITH THE CITY OF INALIGN PUBLIC UTLITES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING PUBLIC RESERVOIRSMENTS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRIVANINGS. THE CONTRACTOR SHALL VORTY COMMITIONS PHOR TO BEGINNING CONSTRUCTION. ANY DECREPANCIES RETWEEN ACTUAL HELD CONDITIONS AND THE PLANS SHALL BERFORTED TO THE INSIDER MANDED TELL. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS OF WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL WATER AND SEVER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL NOTIFY "THOSE I" (BLL) ON (1: 800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PROR TO REGINNING CONSTRUCTION OR E RELAXION TO HAVE DISTING UTILITIES LOCATED, CONTRACTOR SHALL CONTRACT ANY DOCUMENT HAVE TRAVELED THE OWN LOCATOR SERVICES INFORMATION OF "NEEL". "REVENTIAN DECEMBRISTS TO THE INFORMATION FOR THE INFORMATION OF THE OWN LOCATOR SERVICES INFORMATION OF "NEEL". "REVENTIAN AND REVENTIGES TO THE INFORMATION OF
- ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED

ETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THISE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALLAST TO THE WALL THE CONTRACTOR RESPONSER FOR RESIDING RETAINING WALLASTR NOT COLOTED IN AWY DEPICTOR THE DEPICT OF THE WALLAST PLANT REPORT OF THE DEPICT OF THE WALLAST.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OPTIMINE IN ALL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFLIED WITH OFF-STE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTINUCTOR CAN PROVIDE TO THE OWNER WITH CONFEMANTION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESINERY, THAT ERACITY AVAILABLE OF SITE SOLIS CAN BE USED. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ADDRY GRADE TO THE TOP OF THE CAPP BELOK COUNTES SHALL BE EXTENDED TO THE RETAINING WALL BARANDES.
- ALL RETAINING WALLS OVER 30° HIGH SHALL HAVE A SAFETY FENCE IDESIGN BY OTHERS)
- ANY PART OF ANY BETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WELL REQUIRE AN ENCORCHMENT AGREEMENT ENCRORCHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL
- ANY TIFRACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS, ANY RUN-OFF FLOWING TO AND GVER A RETAINING WALLS HALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.
- ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE WITHE GEOTECHNICAL REPORT.

TORM DRAINAGE NOTES

- ALL STOMM DRAINGER PHESISIONN SINULL BE REINFORCED CONCETTE (ILCP) (INTRIMUM CLASS II) (INTESS NOTED OTHENNISS, CONTRACTOR TO CORDONATE WITH THE GEOTECH TO VERY THE OF BEDING INCLARED MASED ON SOIL CONCITONS, CONTRACTOR TO SELECT REQUIRED CLASS OF PHE BASED ON DEPTH OF PHE AND BEDING FROMOED PER THE
- STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH S
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREPORTED JOINT SEALER, WHICH CONFORMS TO ARCHTO SPECIFICATION M-200 FOR TYPE B FLOREDE PLACED CASHETS UNLESS OTHERWISE MOTED.
- THE INTERIOR SUBFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTHM MIXED TO MANUFACTURES SPECIFICATIONS. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIA, OR OTHER DELECTIONABLE MATERIAL, SAD WATERIA, SHALL BE CAPABLE OF BEING COMPACTIO BY MERCHANCIA, MEMORY MOSAULL MAYLY NO TINDERVET TO FLOW OR BEHAVE IN A PLASTIC MAMREE MUBBER THE TAMPORE MUBBING OF REPORT SALURG.
- MATEMALS DEEMED BY THE DWINER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BADIFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILUNG OF TRENCHES SHALL BE ACCOMPUSHED INVMEDIATELY AFTER PIPE IS LAUD. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED 19 55 NOT THE MAXIMUM DRY DESKITY OBTINMABLE WITH THE STANDARD PROCEDR TEST. THE TOP EGRY THI INCRES SHALL BE COMPACTED 10 30 OFFECTIOR TSANDARD PROCEDR.
- UNDER NO CIRCUMSTANCES SHALL WATER REAL OWED TO JEST IN UNBACKELLED TRENCHES AFTER NEE HAS REEN REACED. IL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET INCOOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKINS ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT RE INSTALLED.
- "XNOCK-OUT" ROXES OR HOPE FIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF PALESSH STORMWATER DEPARTMENT.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SHEFTER ATIONS INFERENCE: CORPUT HANDROXX: CLIRIFUL FORTIONI UTILITY SEPARATION REDUREMENTS:
- a) A DEFARCE OF 180° SHALL BE MAINTAINED BETWEEN SANTRAFF SEWER & ANY PRIVATE OF POLICE WATER SUPPLY SOLRCE SOLFA SA MINPOINTED BETHODI USED AS SOLRCE OF DENNING WATER IF APERATER LATERAL SEPARATION CANNO BE ACHIEVED, TERMOLS SURTAINE SOLRCE PER SHALL BESCHEED & INSTALLE OF DOWNEENER SECONDANS, HOWEVER THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL ON 59' FROM A PUBLIC WILL. In the second second
- c) WHERE IT IS INFOSMELE TO DRITAIN PROPER SEPARATION, OR ANYTINE A SANITARY SERVER PASSES OVER A WATERMAIN, DP MATERIALS OR STELL ENCOMENTE EXTENDED 30' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERIALS SPECIFICATIONS. d) 5.0° MINIMUM HORIZONTAL SEPARATION & REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) NAMETAN LEF NAN, VERTICAL SERARATION AF ALL WATERAMIN & REP. PETERAL DARIK CROSSINGS, MANITANI X.º MINI, VERTICAL SENARTINIA AT ALL SANTANI SAWITE IN DATISTIAM DIANI CIDOSINGS, WHER ADQUART ESPARATINIA CONTO DA ADDIENSO SPECIFY DIA MATERIALIS & COMPUTE CAUGH HANNE OF MIL. CLARANCE (FIR CONFUD DETAIL W-LL 8.5-91).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACENTES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVENONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PURILE UTILITIES DEPARTMENT PROFITO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTRALOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & RUSINESSES THIOUGHOUT CONSTRUCTION OF PROJECT, ANY RECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RANGED FURILIC UTILIES DEPARTMENT. 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ADAMDON OR REMOVE EXISTING WATER & SEWIR SERVICES NOT BEING USED IN REDIVLICAMENT OF A STE UNLESS OTHERWISE DERECTED BY THE CITY OF PALEOR (FUNCE UTLINES DEPARTIMENT, THIS INCLUDES ADAMDONING THAT AT MAN & REMOVAL OF SEWICE FROM REVOLD EXISTING THAT COMPUTE HANDRONG FROMEDULE.
- INSTALL 3/4" COPPER "WATER SERVICES WITH INTERS LOCATED AT NOW OR WITHIN A 2322" WATER INE EASEMENT INMEDIATEL ADM/DRIT, NOTE, IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVED A ADMINISTER FOW & REVEALA
- B. INSTALL 4" PVC" SEWER SERVICES (#) 10% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SAMETARY SERVI SERVING A BUILDING INSTALLED ON A FLOOR WITH A EMISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE
- STOTING A BUILDING INSTALLE ON A FLOOR WITH A FINANTED FLOOR FLEVATION BLOW THE LEVATIONS OF THE MARHOED OCTORY OF THE AVENT POLICY STAVEL AND AND LEVATION AND L
- 25. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM INCOMO, USACE BYOR FEMA FOR ANY REPARLIN BUFFER, WITTLAND BYOR FLOOD FLAM IMPACTS (RESPECTIVELY) FROM TO CONSTRUCTION. 26. NCDOT / RAURDAD ENCEDAD IMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TARS) WITHIN STATE OR RAURDAD ROW FROM TO CONSTRUCTION.
- 27. GREASE INTERCEPTOR / OIL WATER SEPARATOR SOING CALCULATIONS & INSTALLATION SECDEDATIONS SHALL BE APPROVED BY THE CORPUS FOG PROCEMME CONSIMILATION PRIOR TO ISSUMACE OF A BULDING FEMALE. CONTACT STEPHEN CAUSELEY AT (935) 294–2394 OF STEPHEN CAUSELING PROLEMANCE OF A BULDING FEMALE.
- COSS COMPACTOR CONTRA HORIZON COVERS AN REQUIRED BADD ON COLLER OF MADA HANDED BADD ON A UTT CONSCIONMENT. THE OVERS SHALL MANY AND A DEVELOPMENT OF SAME AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL MAIL AND A DEVELOPMENT OF SAME AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL MAIL TAKEN SOLITOR OF SAME AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL MAIL TAKEN SOLITOR OF SAME AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL MANY AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL MANY AND A DEVELOPMENT REQUIREMENT. THE OVERS SHALL AND A DEVELOPMENT REQUIREMENT SHALL AND A DEVELOPMENT AND A

GRADING NOTES

- ALL DREAMSINGS AND GARGES SHOWN ON THE PLANS SHALL E FELL VIEWED BY THE CONTRACTOR FROM TO CONSTRUCTION, ON CONTRACTOR WILL NOTEY THE CHARMENT I AND EXCEPTIONETS BOYS THE CONTRACTOR FROM TO SOCIETATION, ON NECESSARY PLANS ON GRADE CHARGES, NO XITAL COMPRESATION SHALL BE PAD TO THE CONTRACTOR OF ANY WORK DORE DUE TO DIMENSION OR GRADES SHOWNIN INCORRECTLY ON THESE PLANS. SOUCH NOTECONTRACTOR OF ANY WORK DORE DUE TO DIMENSION OR GRADES SHOWNIN INCORRECTLY ON THESE PLANS. SOUCH NOTECONTRACTOR OF ANY WORK DORE DUE TO DIMENSION OR GRADES SHOWNIN INCORRECTLY ON THESE PLANS. SOUCH NOTECONTRACTOR OF ANY WORK DORE
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR DX:AVATIONS; FAAL, RULE 29C/R PART 1956, SUBART "* APLIES TO ALL DX:AVATIONS DX:DDMC FAYE (S) FLT IN 0.074H, DX:AVATION DX:ETDMC TWINTY (D) HEIT IN CONTRACTOR REPORTINGE FOR DX:AVATION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR INCIDIT STANDARDS AND SPECIFICATION APPLICABLE.
- CONTRACTOR SHALL NOTRY "NICELL" (BLL) OR (1-800-430-4496) AT LEAST 3 FULL BUSINESS DAYS FROM TO INGONING CONTRACTOR SHALL NOTRY TO HAVE SOSTING UTILITIS LOCATED CONTRACTOR SHALL DOVERCE ANY LOCAL UTILITIES THAN DAYS DAYS TO INCLOAD RESERVATIONS IN DEPENDENT OF WORLS. J. MODERATING TO DECEMPINES TO THE EMGINERE MARKED THE THE DECEMPENT OF THE DESERVATION OF THE DECEMPENT OF THE DECEMPINES.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALESIST STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATION OF THE CONNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THANKS OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDEREROUND AND AROVE GROUNE, ARE BARED ON A TITLD SURVEY AND THE BIST AVAILABLE RECORD DRAWINGS. THE CONTINUED STRUCTURE SHOULD UTILITIES AND STRUCT DE BEGINNING RELATED CONSTRUCTION. AND CORREPANCES SHALLD BERFORDED TO THE ENGINEES IMMEDIATE.
- SOL UNDER BUILDINGS, PRVED AREAS AND WITHIN SLOPES GREATER THAN 3-1 (H-V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- 9. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE WITHE GEOTECHNICAL REPORT.

CONSTRUCTION NOTES

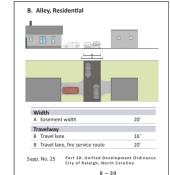
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFF
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH INVOST CURRENT EDITIONI. PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF PALESIN TRANSPORTATION FELD SERVICES STARF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL ORDER A BEN IC-ANN CONTRACTOR REMIT TO A ANY KORE WARD RECORDER THE THROPADW. CODRECT ON THE TAKEL LARGE AND BE AND REPORTED REMITLY FOR ANY KORE WARD RECORDER THE THROPADW. ADVANCE, ANY TEMPORTURY STREET CLOSENER MUST BE SUBATITED 2 WEERS FROM SEE "PARTICIPANY CLOSENES" ON WWW A ALLERANC, COVIN 2015 BUT ICH SHIPTIC TO SUBTICIPANY RESULT TO INSIGN FORMATISCH CLOSENES" ON WWW A ALLERANC, COVIN 2015 BUT ICH SHIPTIC TO SUBTICIPANY RESULT TO SUBTICIPANY RESULT SUBTICIPANY AND RECORDER. COVI.
- 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE MIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 3. LL SERVINUE NET SE ACESSI EL TU RESIDIE VIDO AL EVOLUTI VIMINED AUDORENE, METTI MENETO DOBOTIO DE DISTORIO RESIDIENTE RECENCIONA DU TRIMETE RESIDIENTA ROCTE DU REGIO CONTRUITO NUE ULLE RECURSO DO LE COMPLIANT WITH THE PULLE RECENCIÓN VIA ACCESSIBILITY GUIDELINES IRROVINO, 2010 ADA STANDARDS FOR ACCESSIBILI DESINI AND THE MANILLO. ON LIFORMITATIONE CONTECCIÓN CONTRUCTION DU RECENCIÓN DO LA CONTRUCTION DU RECENCIÓN DO LA CONTRUCTION.

DEMOLITION NOTES:









Published December 2022

GFL

June 19, 2023

Attn: Jay Matey

McAdams Engineering 2100 South Tryon St Suite 400 Charlotte, NC 28203

RE: Fifth Oak Multi-Family - 7425 Buffaloe Rd., Raleigh

development being planned at <u>7425 Buffaloe Rd., Raleigh, NC 27616</u>. We have reviewed the plans obmitted on June 19, 2023 and have found that GFL Environmental will be able to safely perform needed services.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transformable

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service.

We look forward to providing waste and recycling services at your new property once it has been

Should you have any questions or need more information, please contact me at chialek@gflery.com.

3301 Benson Drive, Suite 601, Raleigh, NC 27609 Tel: 919-325-3000 | gfleriv.com

ur new Fifth Oak Multi-Fami

ental will be able to safely perform all

This is a letter of support for trash and n

Sincerely, Christie Biolek Account Manager GFL Environmental – Raleigh

3741 Conquest Drive Garner NC 27529 M) 919-449-1692



8.5.4.C NEIGHBORHOOD STREET

8.5.4.B NEIGHBORHOOD LOCAL . B Back-of-curb to back-of-curl eetscape Utility placement, ea



CLIENT EYC COMPANIES 1005 C STREET ANDREWS BOULEVARD CHARLESTON, SOUTH CAROLINA 29407 Sidewalk Tree lawn 40' o.c. avg EYC COMPANIES

MCADAMS

phone 919. 361. 5000 fax 919. 361. 2269 nse number: C-0293, C-187

www.mcadamsco.com

IFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW AMENION ADMINISTRATIVE SITE REVIEW CITY OF RALIED (1987) 4900-2023

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

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PROJECT NOTES

CO.01

The John R. McAdams Company 621 Hillsborough Street Suite 500 Raleigh, NC 27603

AND

WILLIAM & MARY DRIVE







CLIENT EVC COMPANIES 1005 C STREET ANDREWS BOULEVARD CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES 🔘

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City of Ruleigh Post, Office Box 590 × Raleigh North Carolina 22602-0590 (Natling Address)

FROM: Eric J. Lamb, PE, Transportation Planning Manager Raleigh MEMO

DATE: May 25, 2021 SUBJECT: Traffic Impact Analysis Review for Z-58-20 – Buffaloe Road Mixed-Use

TO: Bynum Walter, AICP, Comprehensive Planning Supervisor

We have reviewed the updated Traffic Impact Analysis (TIA) prepared by Ramey Kemp & Associates (RKA) for the Burfabe Road Mixed-Use rezoring, case number 2-58-52. The following memorandum summarizes the monet relevant information pertaining to the study as well as City Staff's review of the analysis and recommendations.

Development Details

Site Location:	Northeast Raleigh on the northeast corner of I-54 and Buffaloe Road
Address:	7425 Buffaloe Road
Property PIN(s):	1746236378
Current Zoning:	AP
Proposed Zoning:	R-10, RX-3
Existing Land Use:	Forestry
Allowable Land Use:	20 single family homes
Maximum Proposed Zoning Land Use:	426 single family homes
Build-out Year:	2024

Study Recommendations

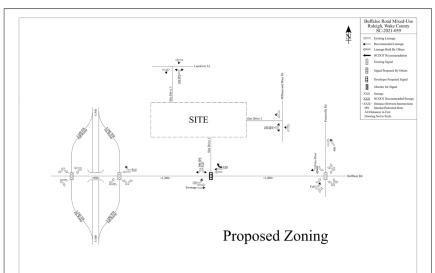
The analysis performed by RKA indicates that the full build-out of the proposed zoning entitlement will have impacts to the surrounding roadway network and intersections that can be partially mitigated with the study's recommended improvements listed below. The study allocates mitigations into three categories: Background Improvements by Others

 Buffalce Road and Forestville Road
 Construct an exclusive southbound right-turn lane with at least 150 feet of storage and
 appropriate taper.
 o Restripe existing southbound shared through-right to a through lane. Improvements by Developer - Proposed Zoning

- Inspranments by Orestoger Processe Zonia Bulkes Performance Construct an additional westband takes to accumulate tee-flow right-arming means that is instructed on the oreastic flow accumulate tee-flow right-arming section. Applicat with the required to disclose a memory of ore-half of the required section. Applicat with the required to disclose a memory of ore-half of the required section. Applicat with the required to disclose a memory of ore-half of the required section. Applicat with the required to disclose a memory of ore-half of the required section. Applicat with the required to disclose a memory of ore-half of the required to the required to the section of the required to the required to the required in the required to the required to

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FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RAIGHCKEE A. AR A005-2023



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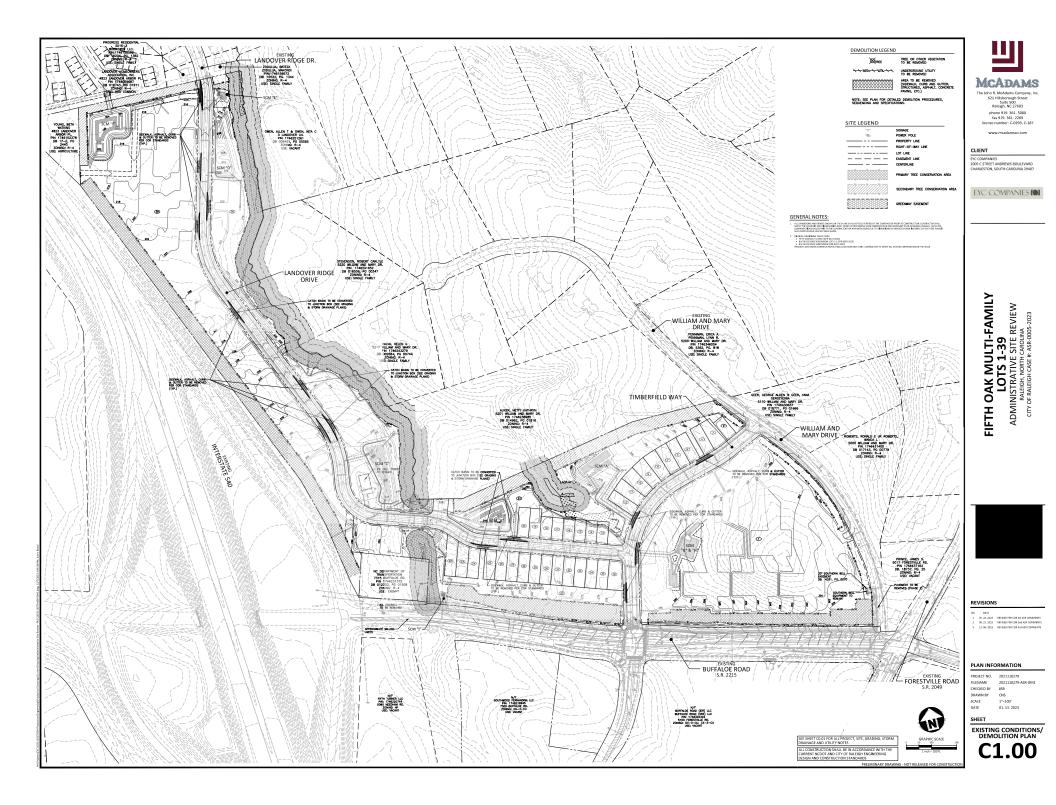
TIA RECOMMENDATIONS

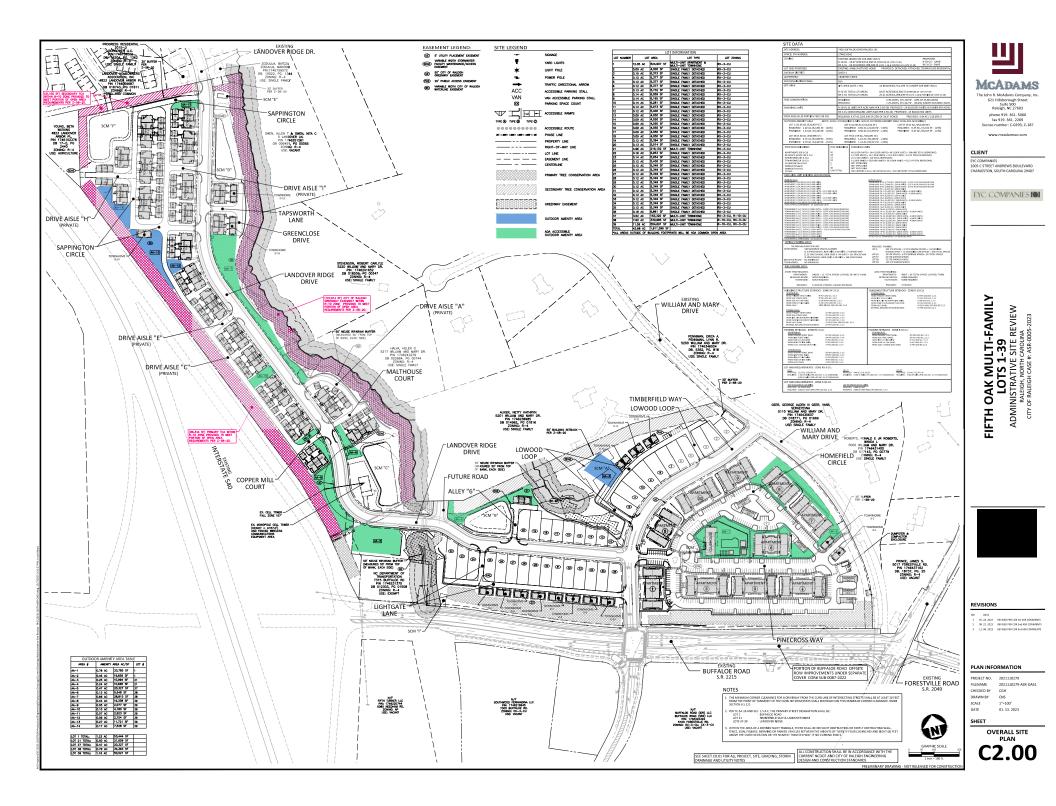


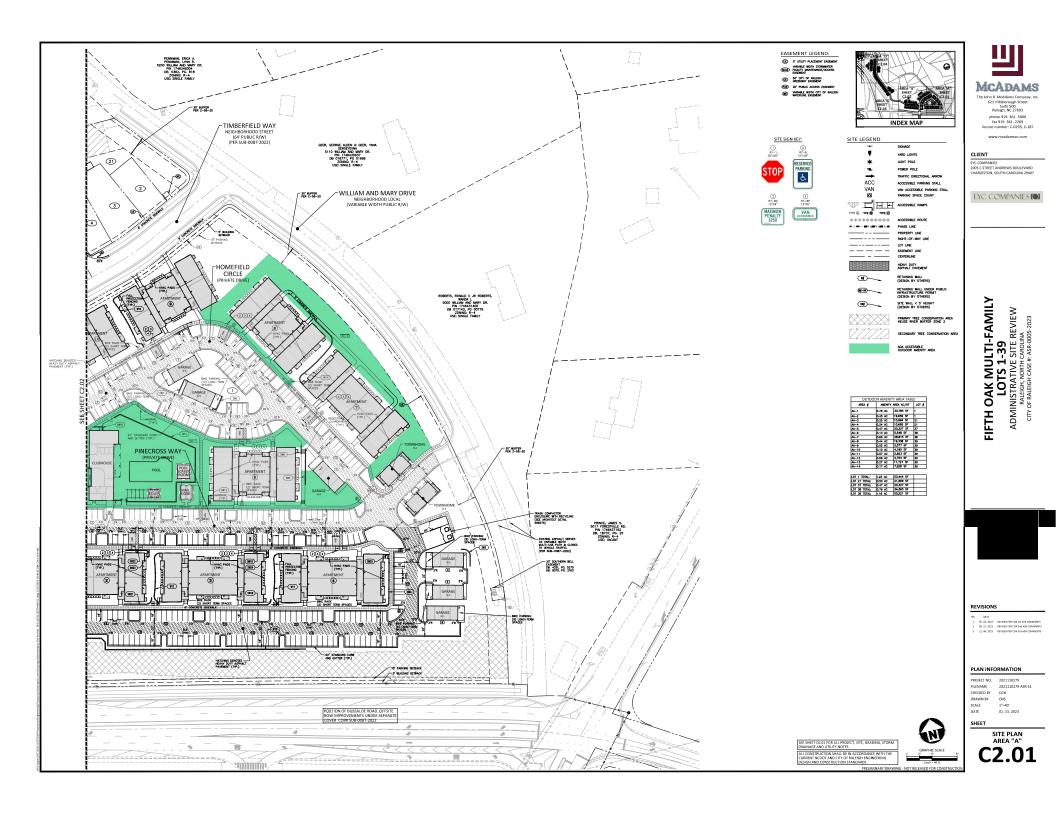
CONTRACTOR SHALL NOTEY 'NC811' (811) OR (1-800-632-4949) AT LEAST 3 FUL BUSINESS DAYS PROR TO BEGINNING CONSTRUCTION OR EXCANTOR TO HAVE EXSTRUCTION COLATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTLITES THAT PROVIDE THEIR OWN LOCATOR SERVICES TO DEPENDENT OF INGS11. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

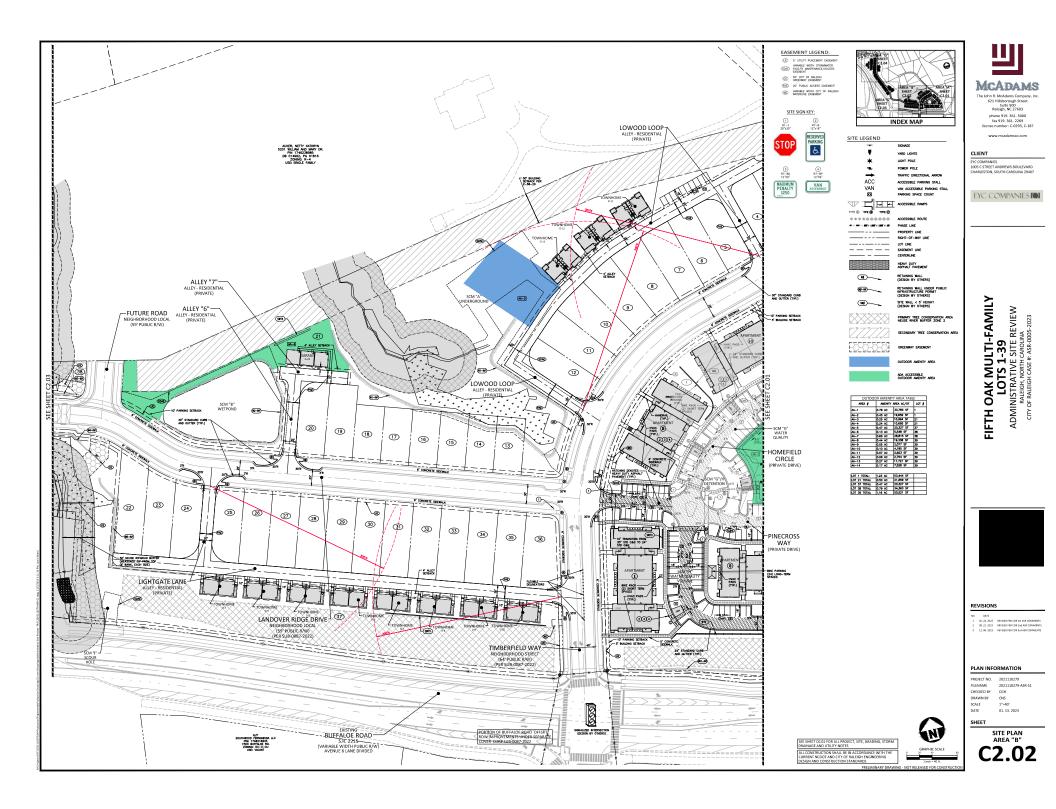


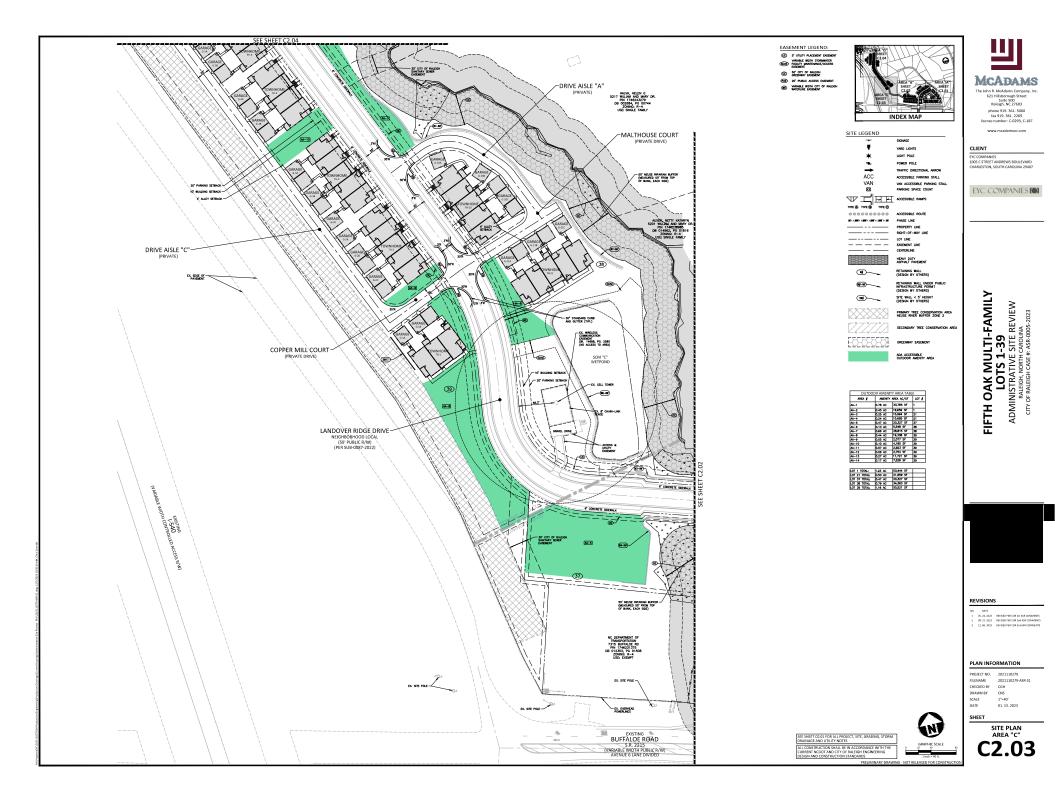
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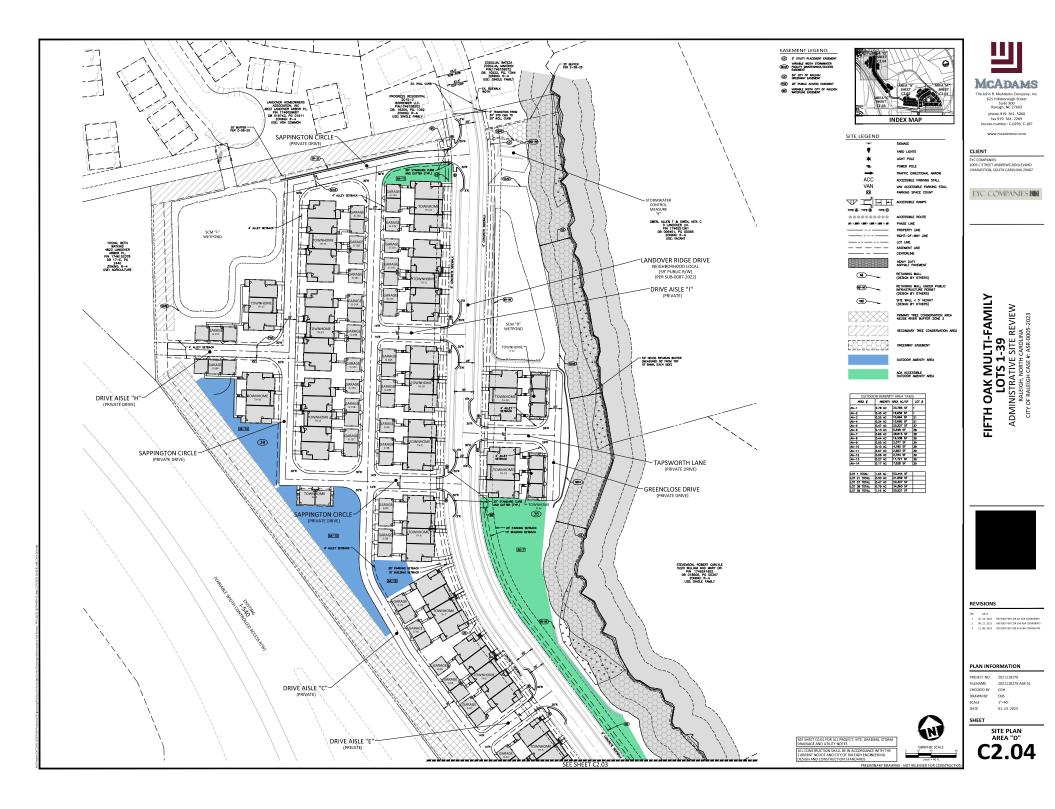


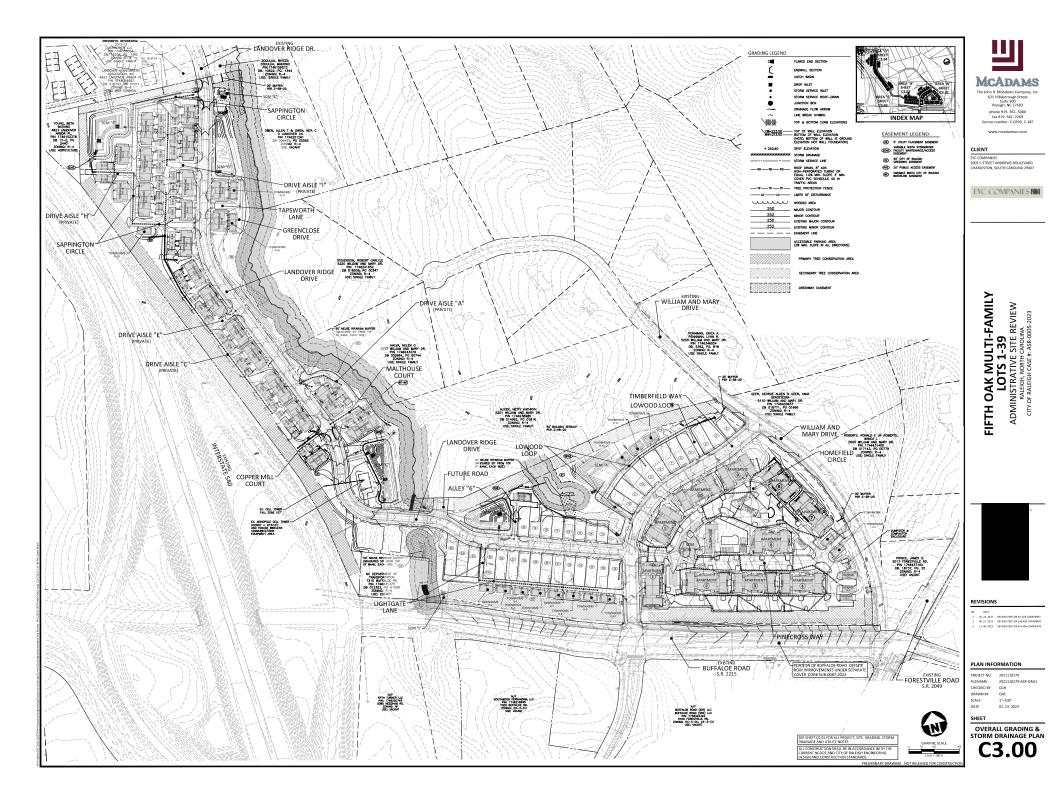


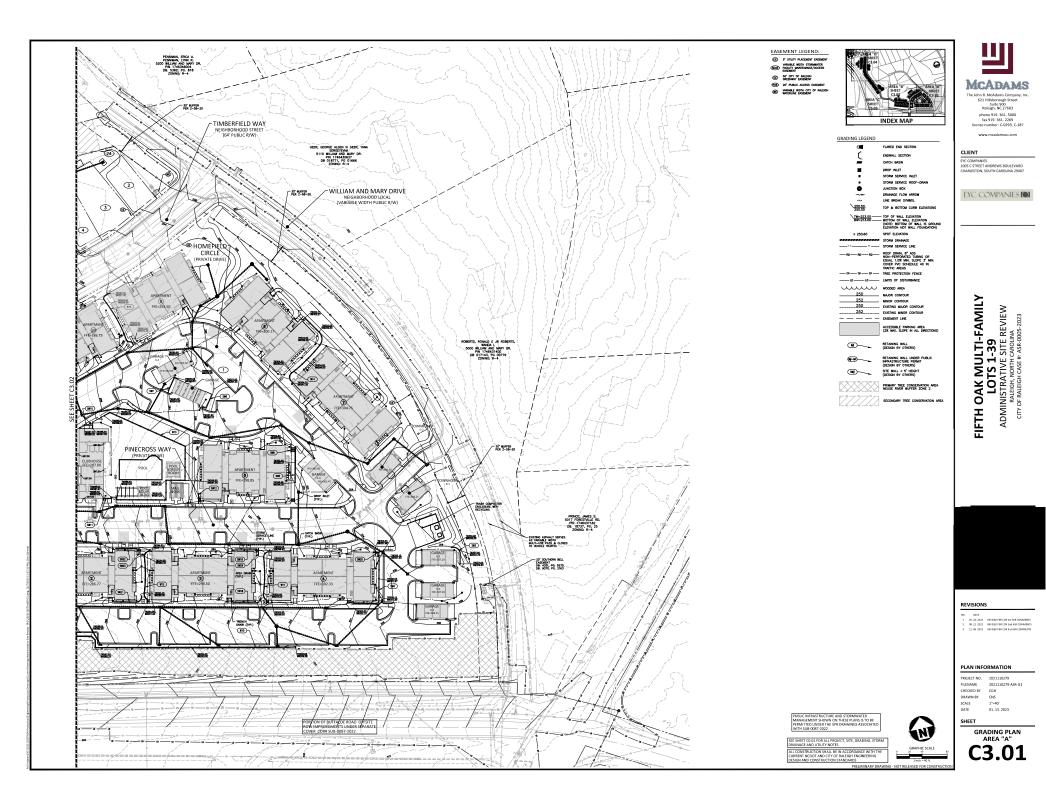


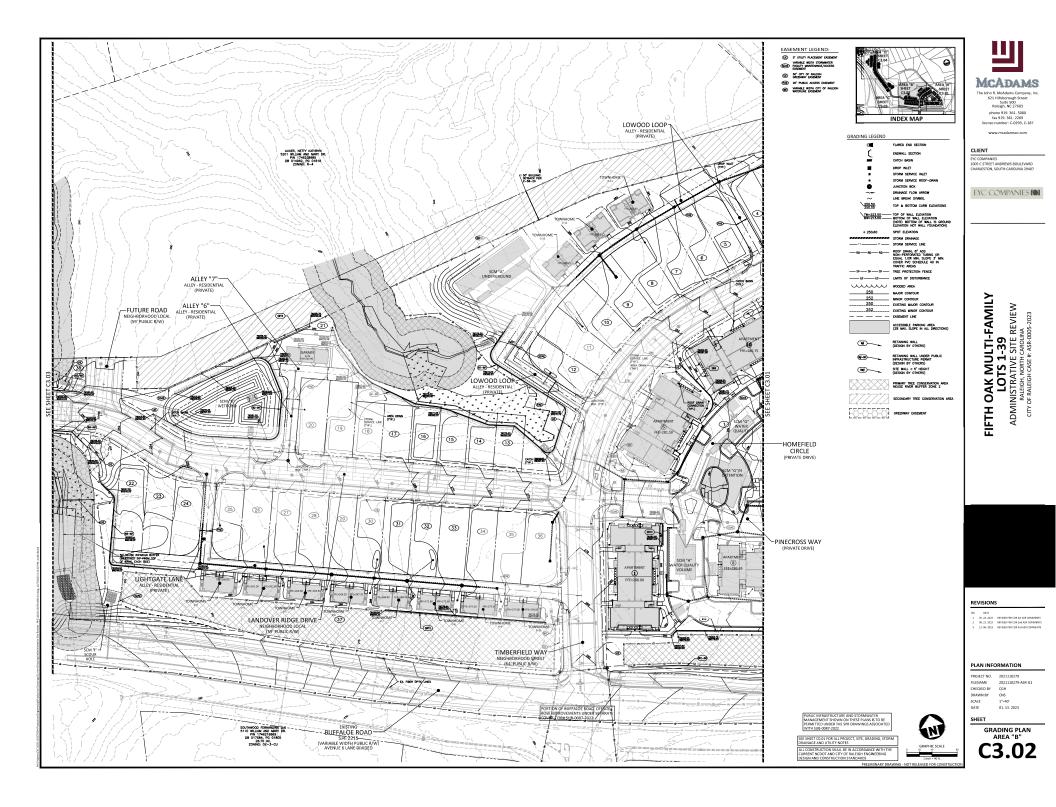


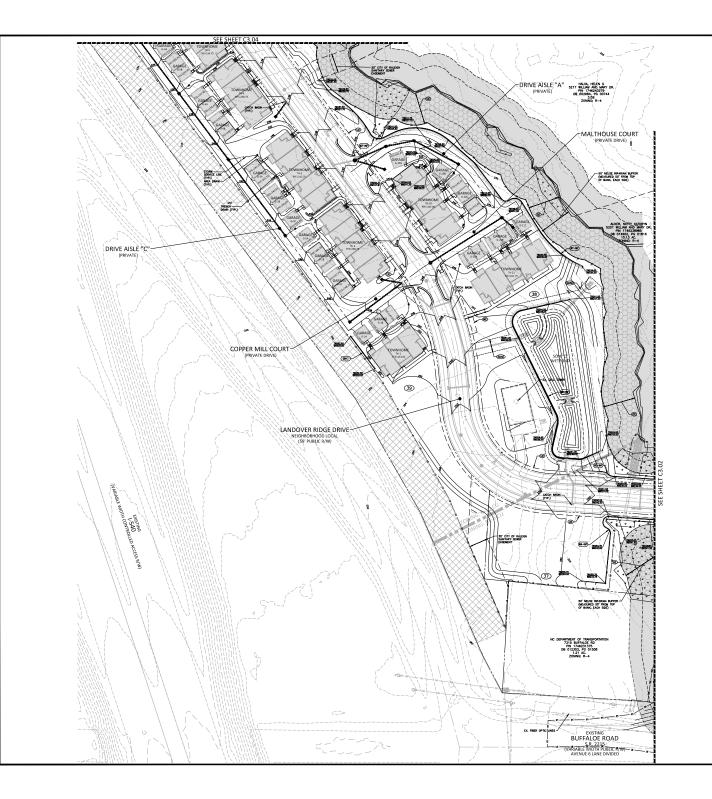


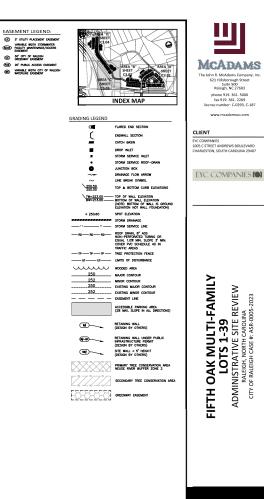














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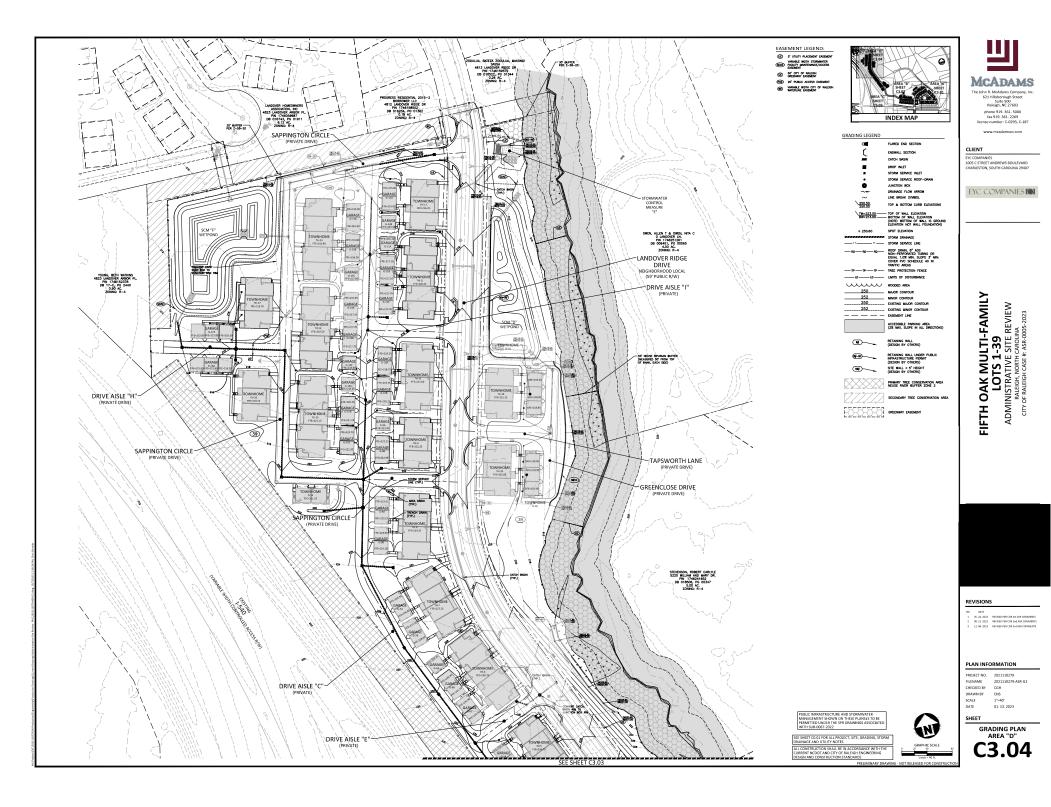
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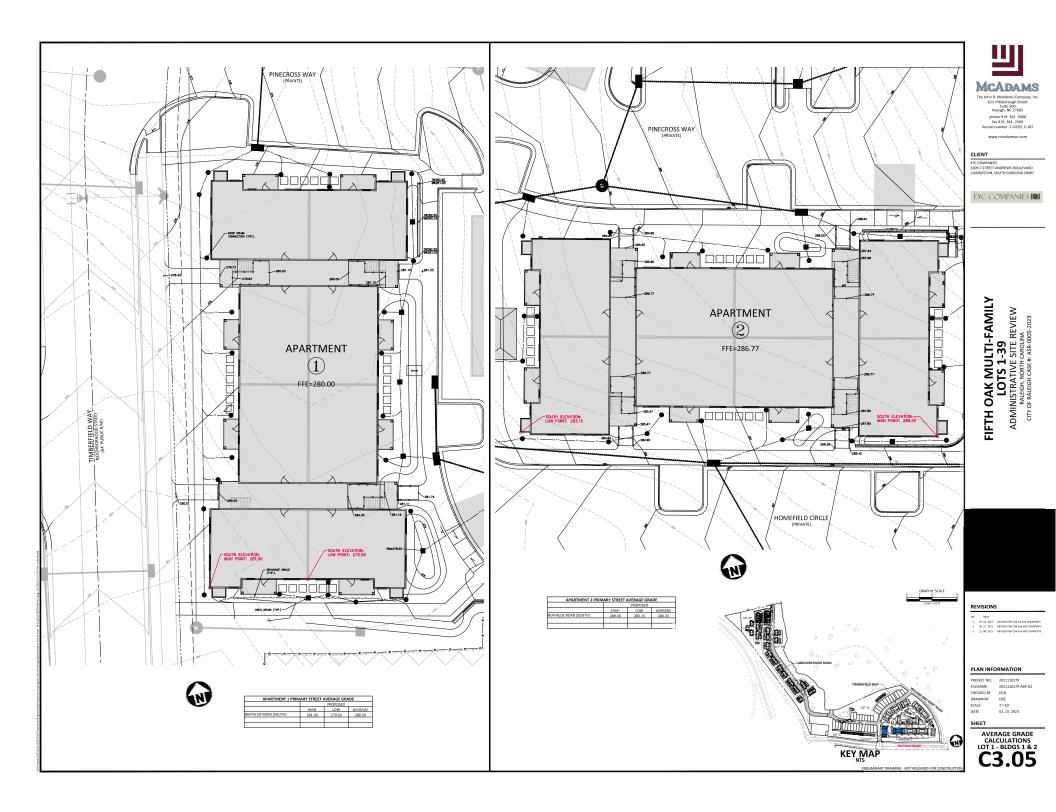
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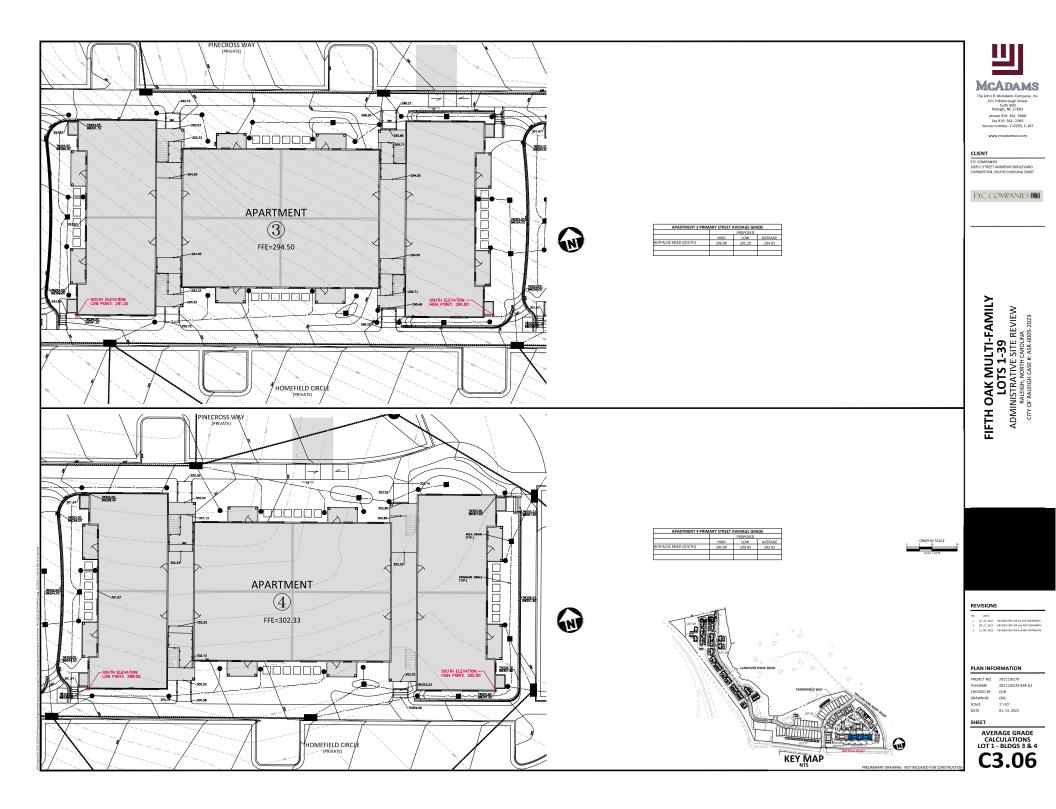
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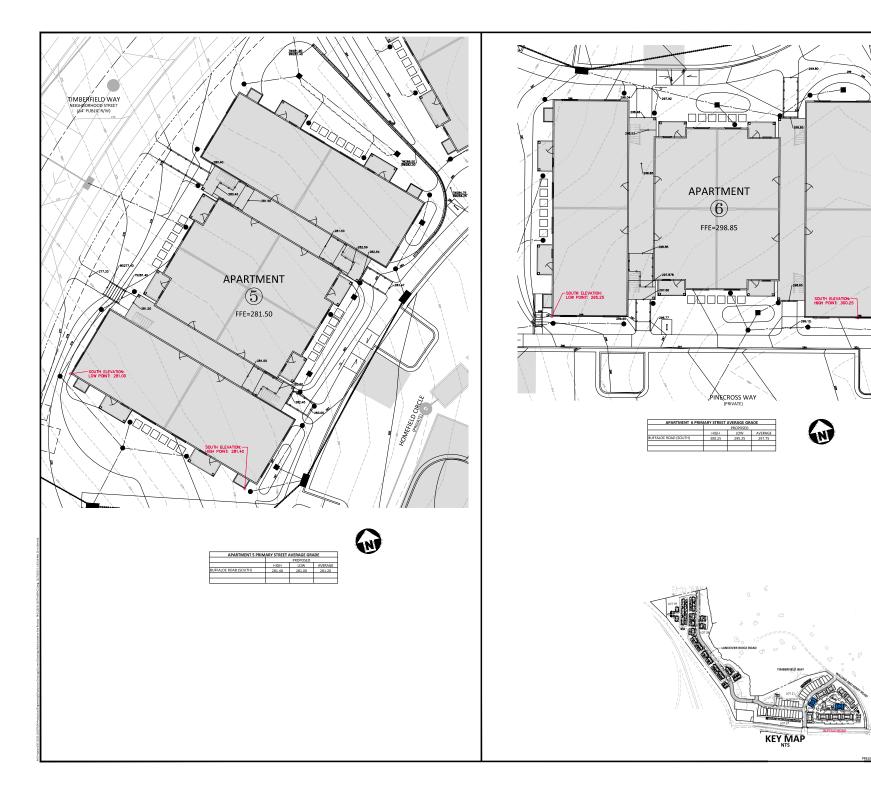
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FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RAIEGH NORTH CAROUNA CITY OF RALIEGH CARE #: ASR 0005-2023

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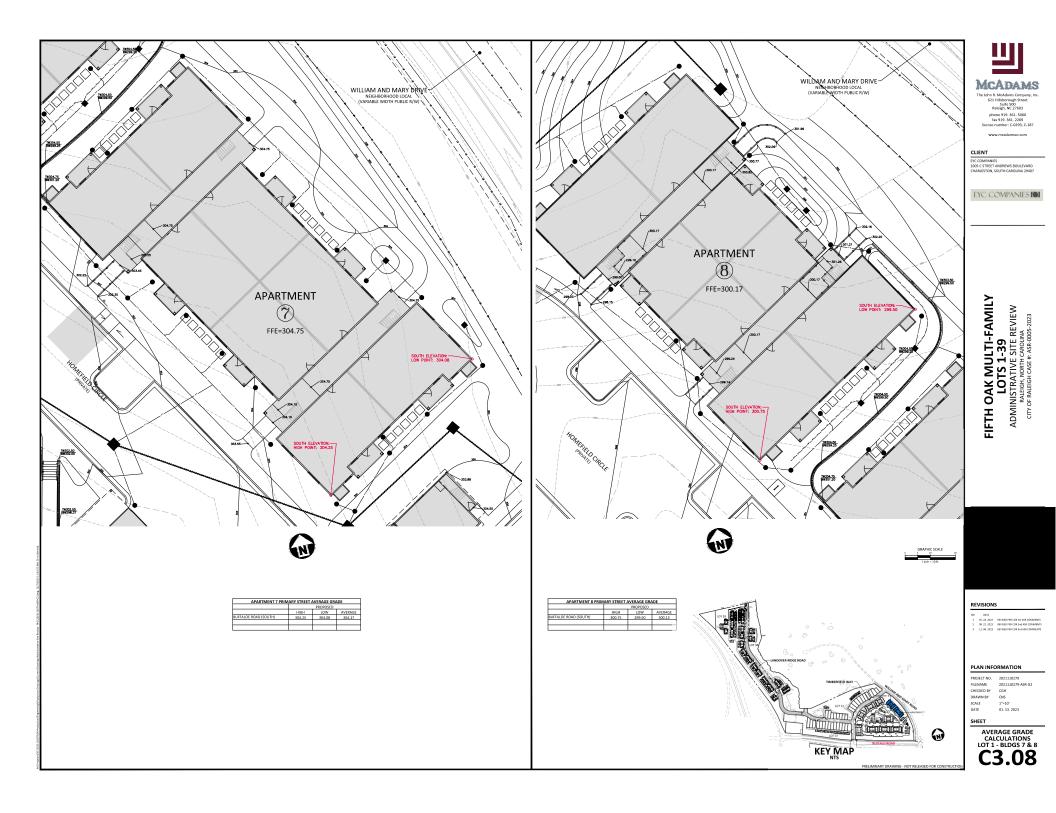
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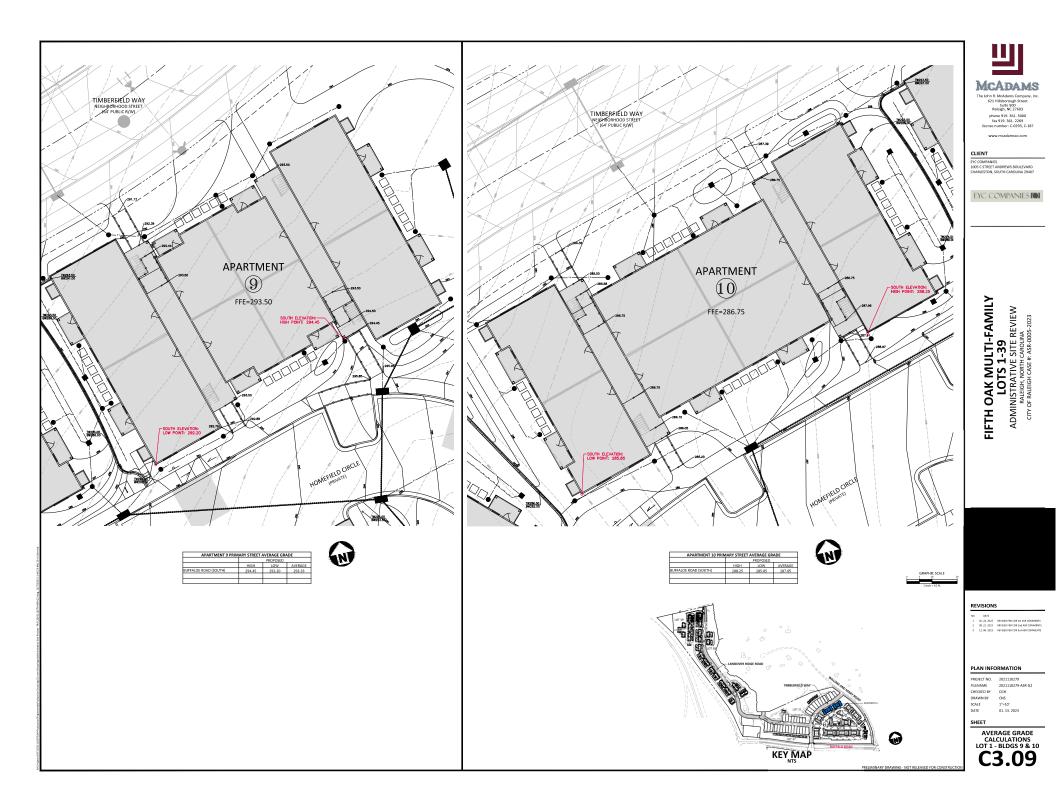
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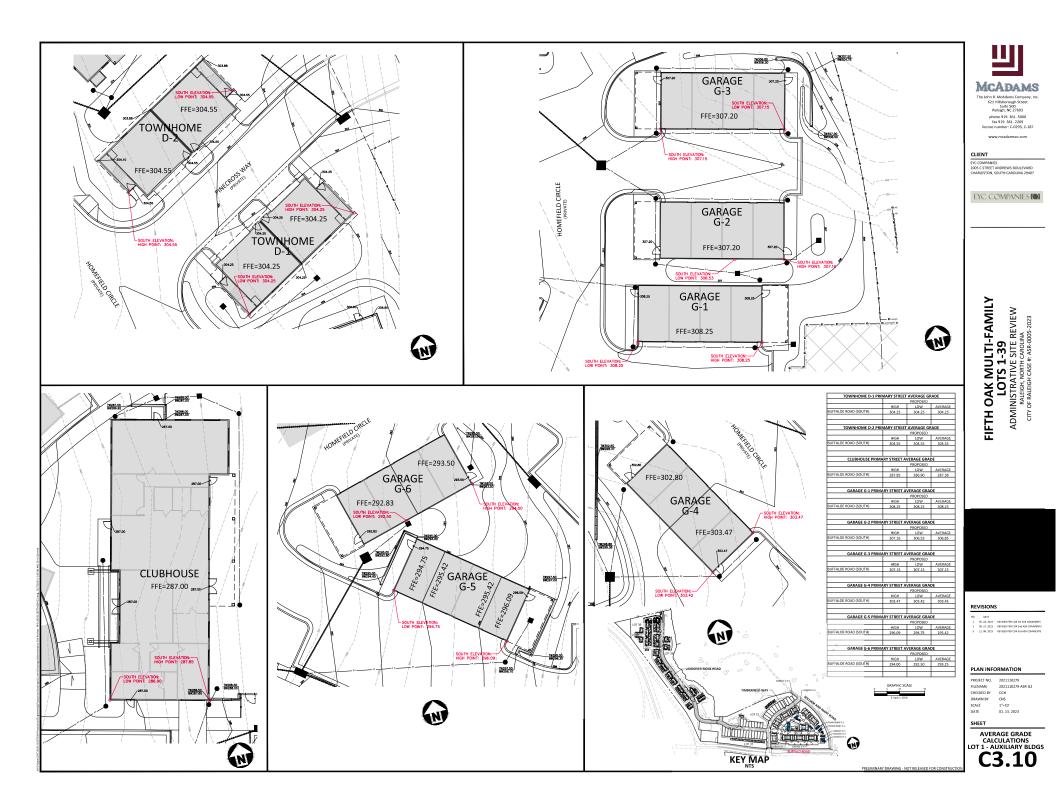
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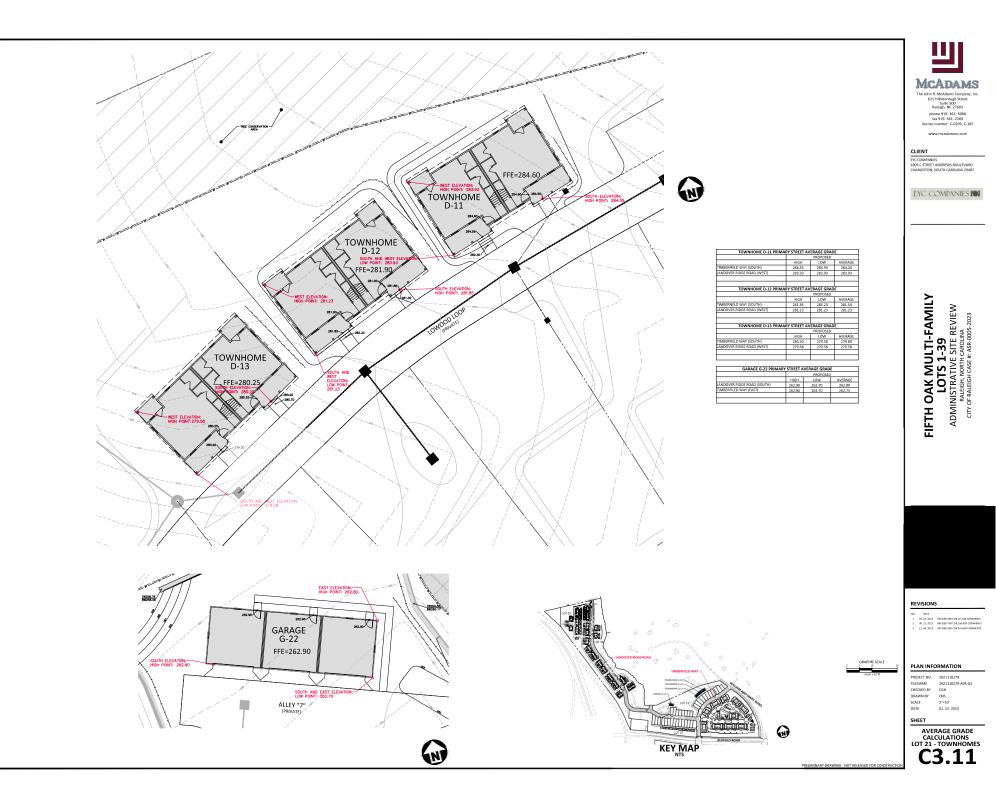
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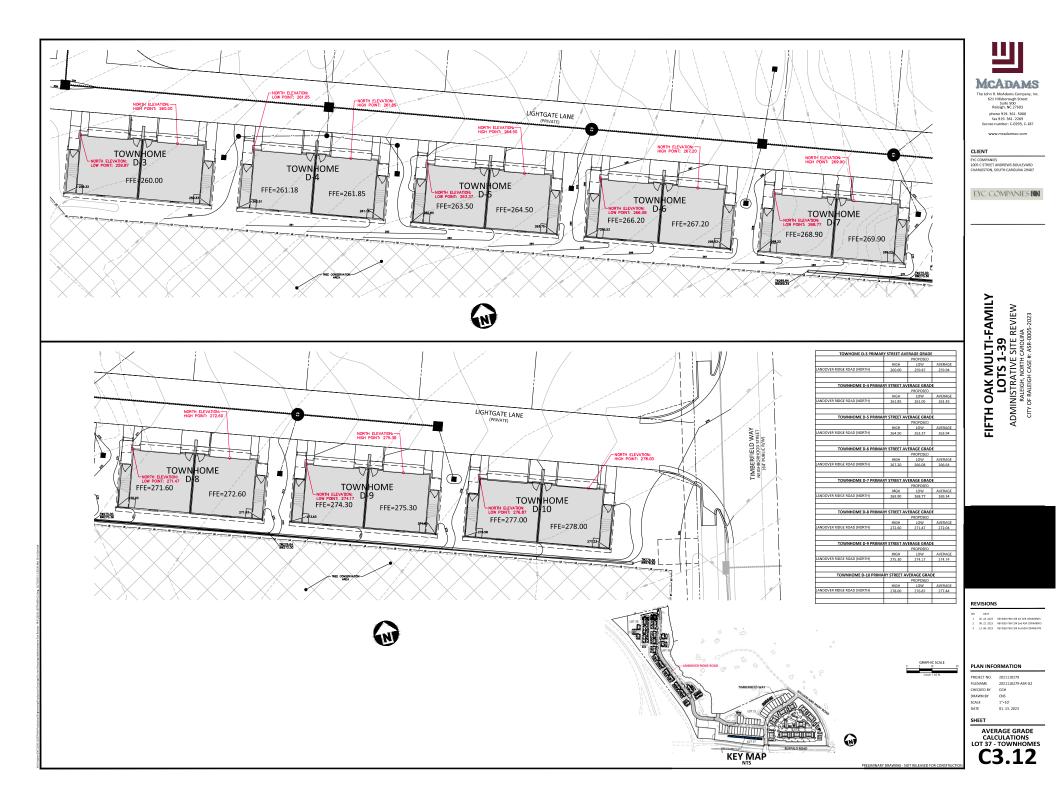
SHEET AVERAGE GRADE CALCULATIONS LOT 1 - BLDGS 5 & 6 C3.07

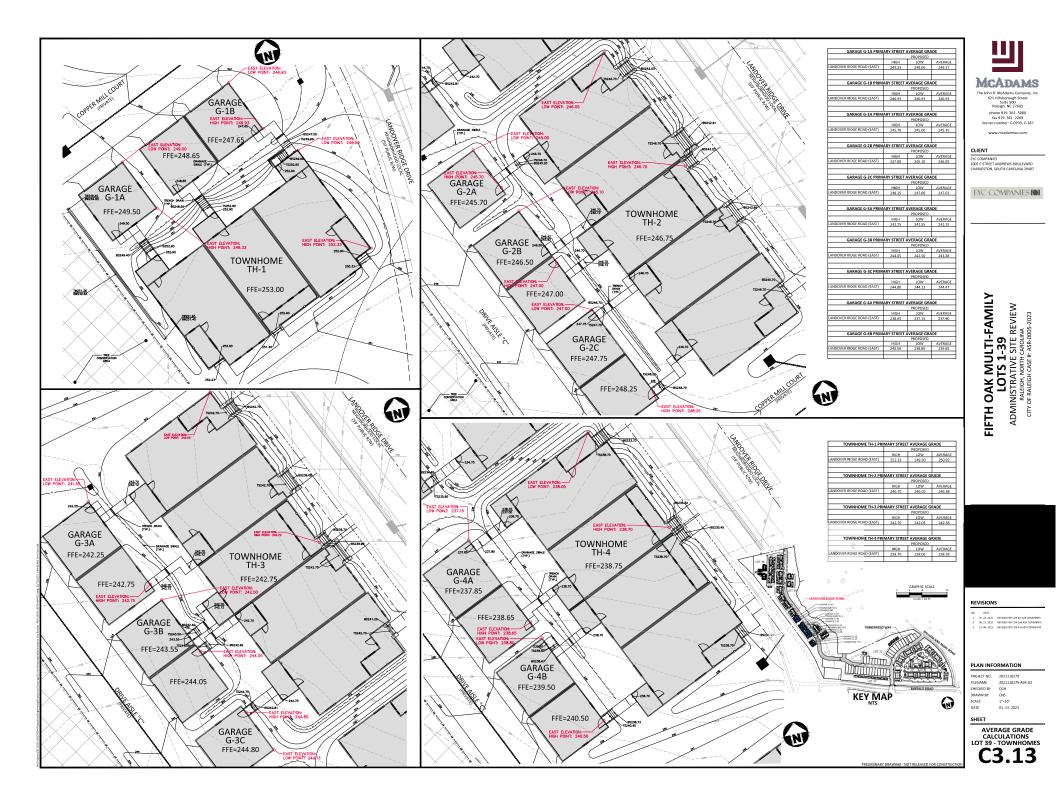






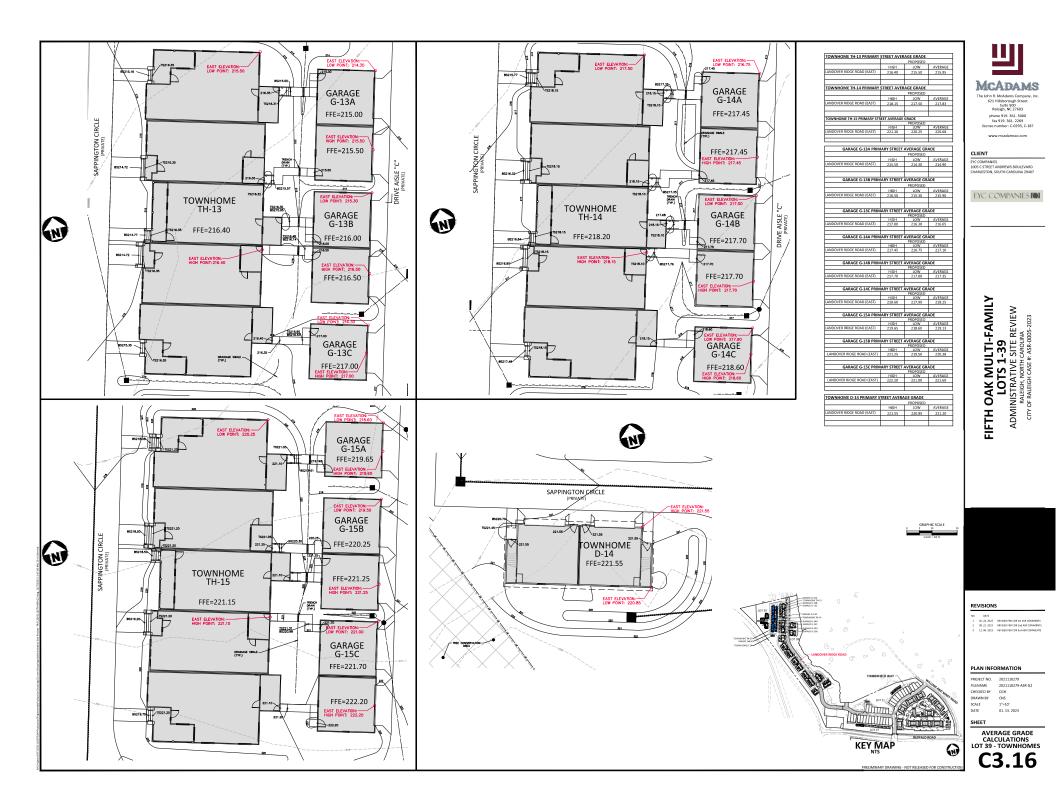




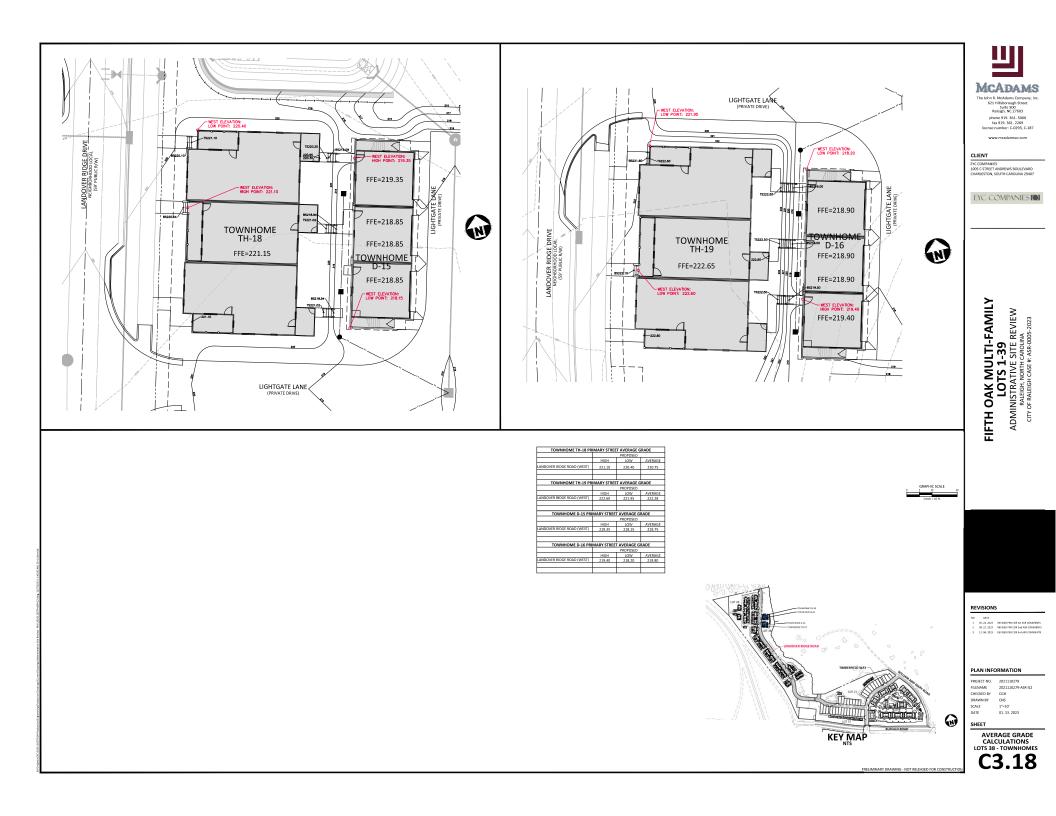


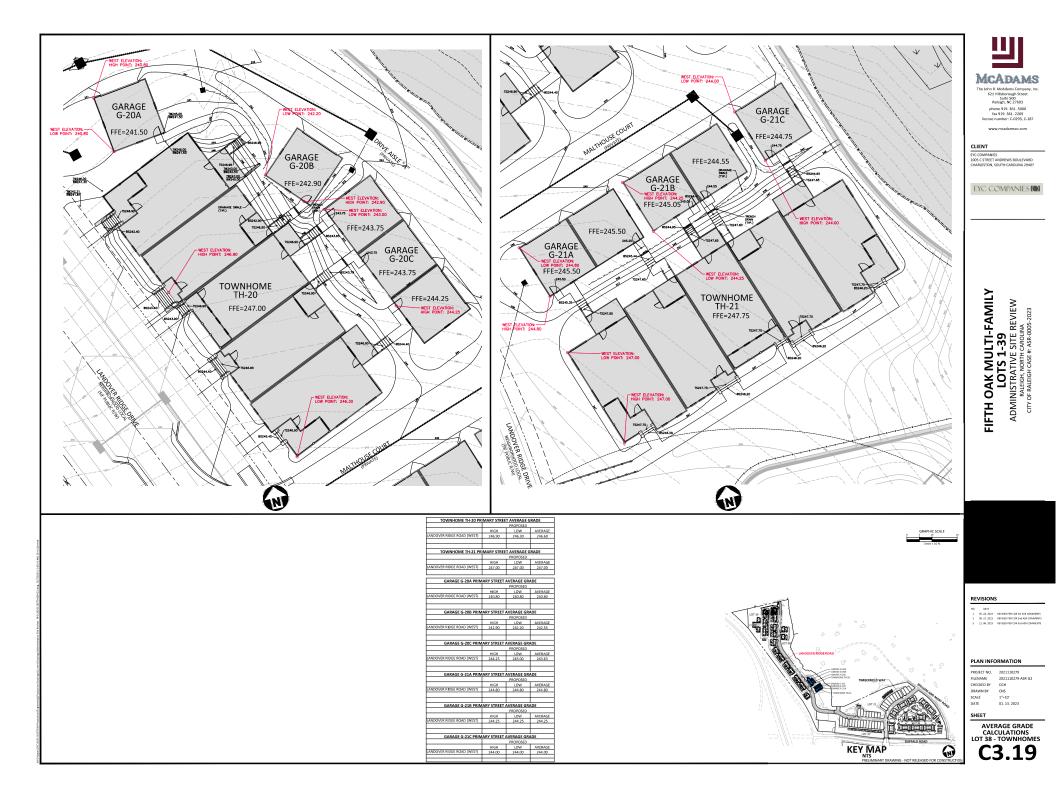


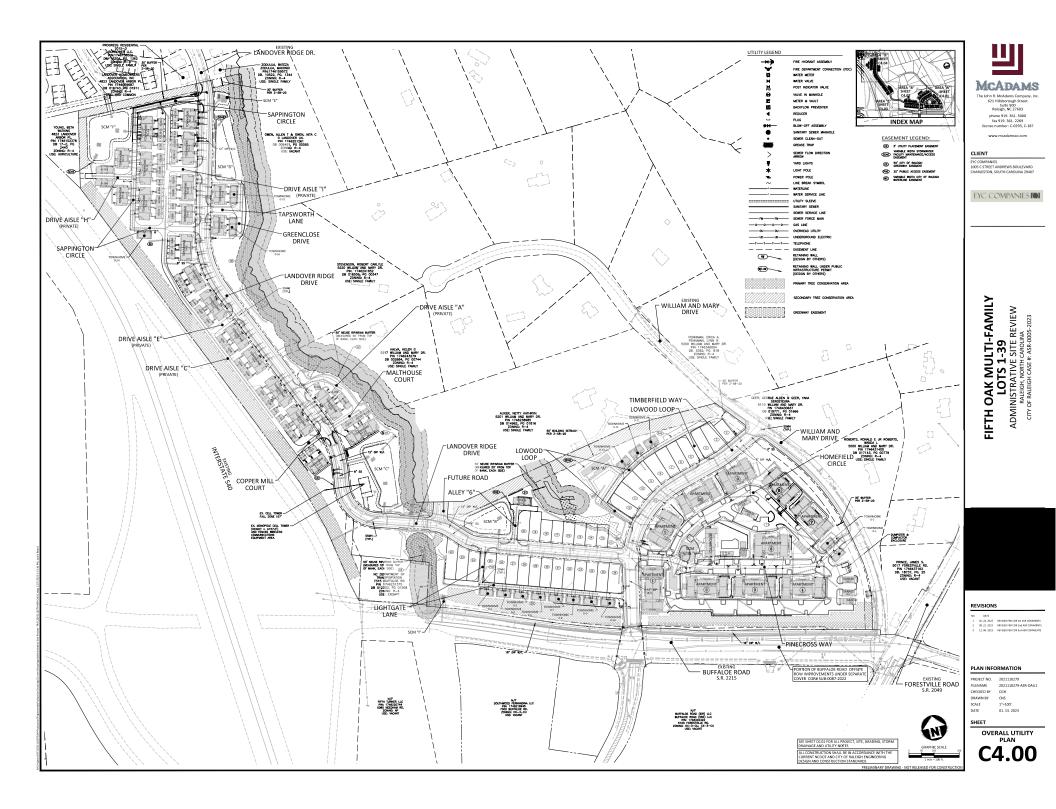


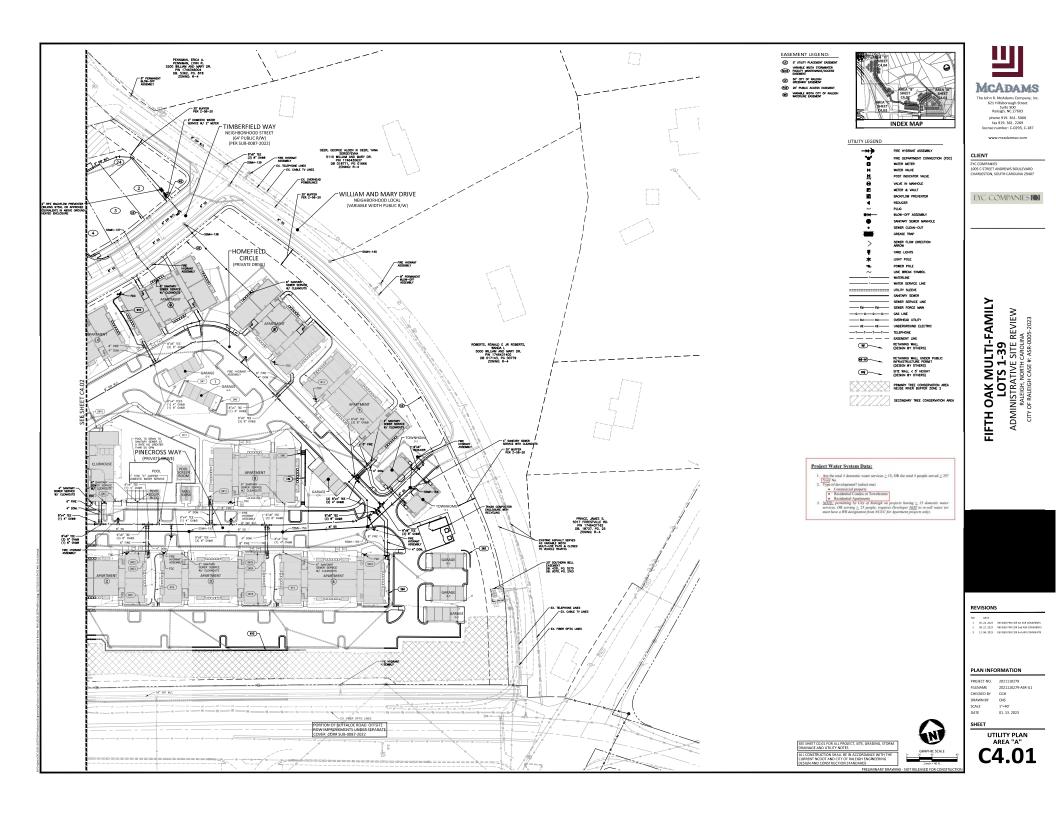


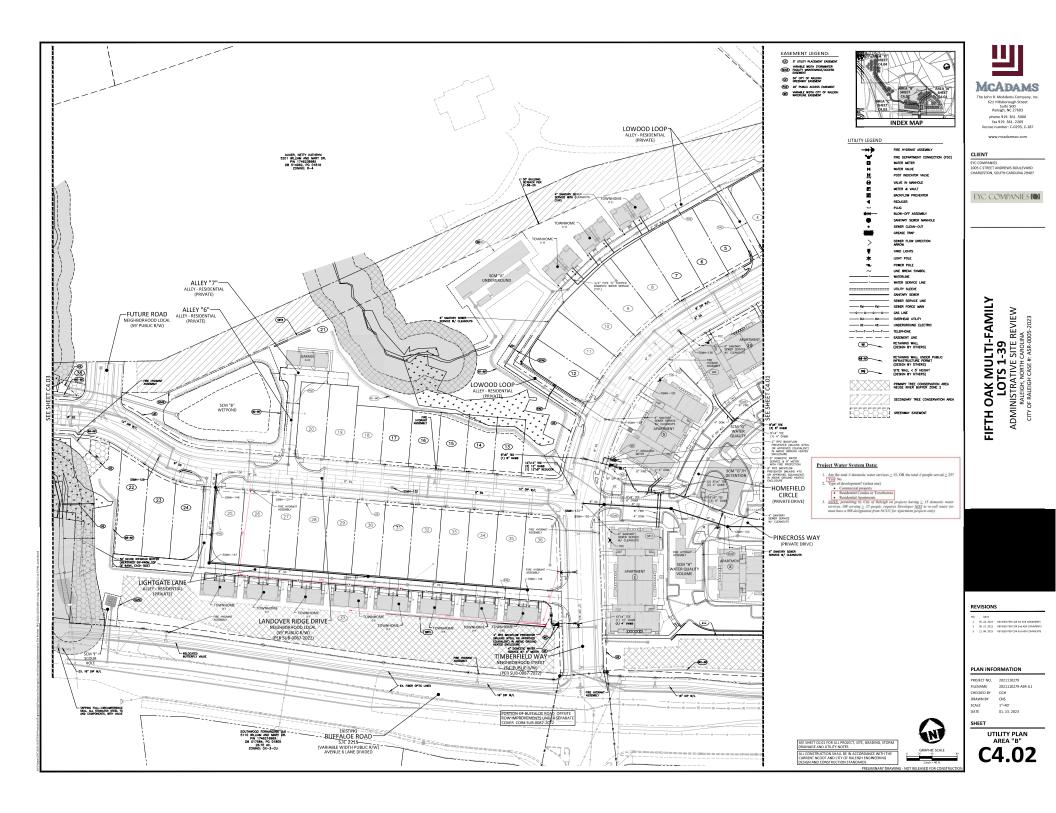


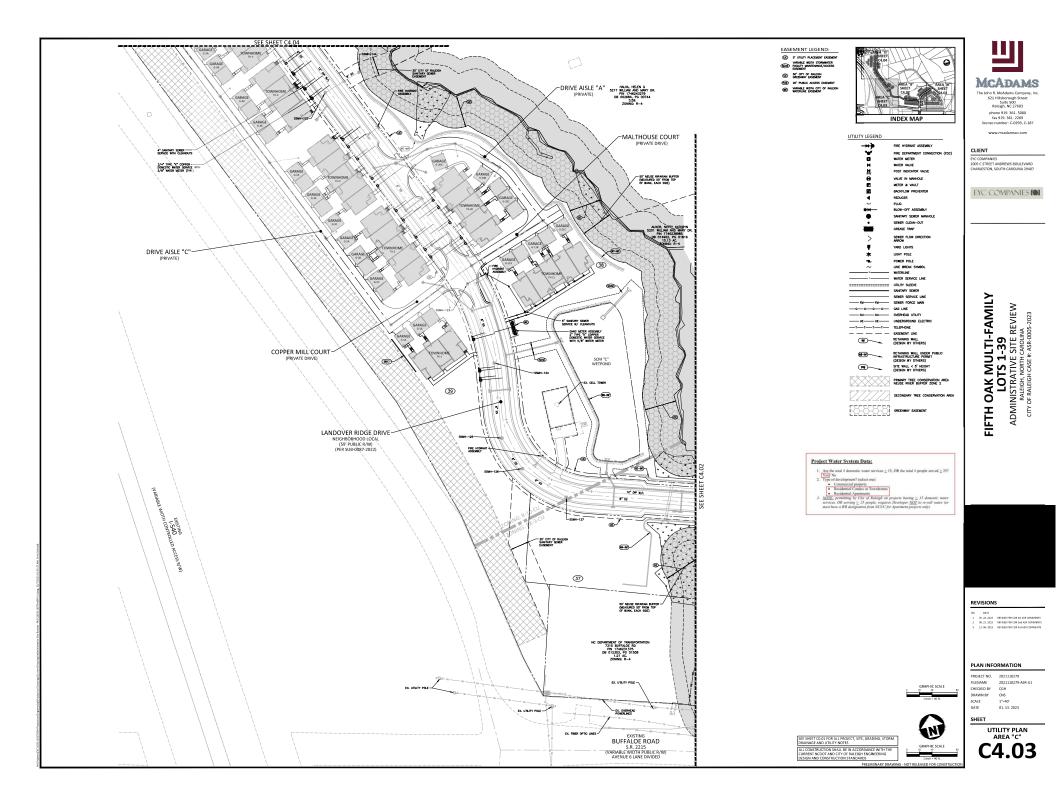


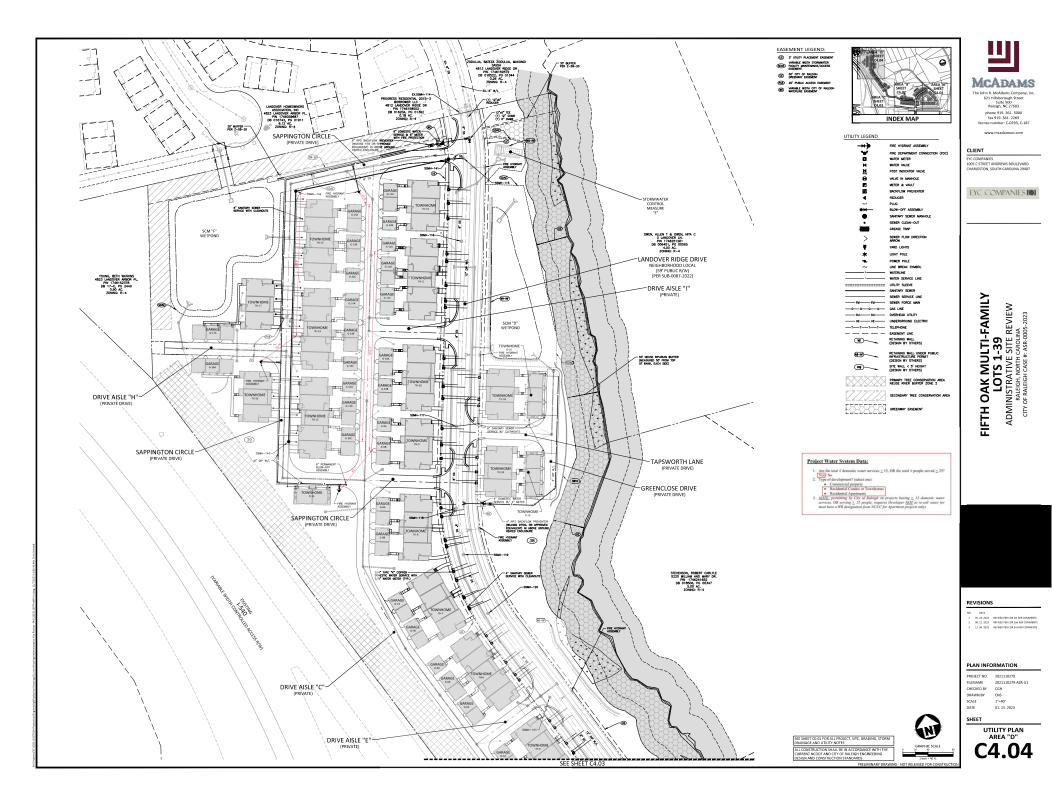


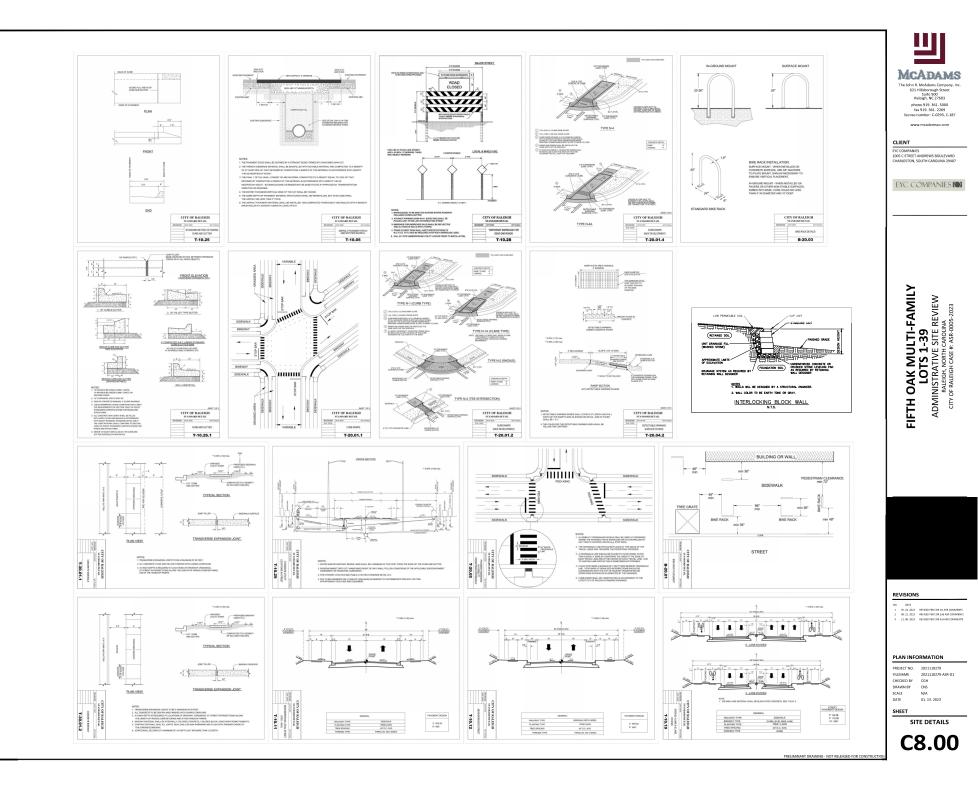




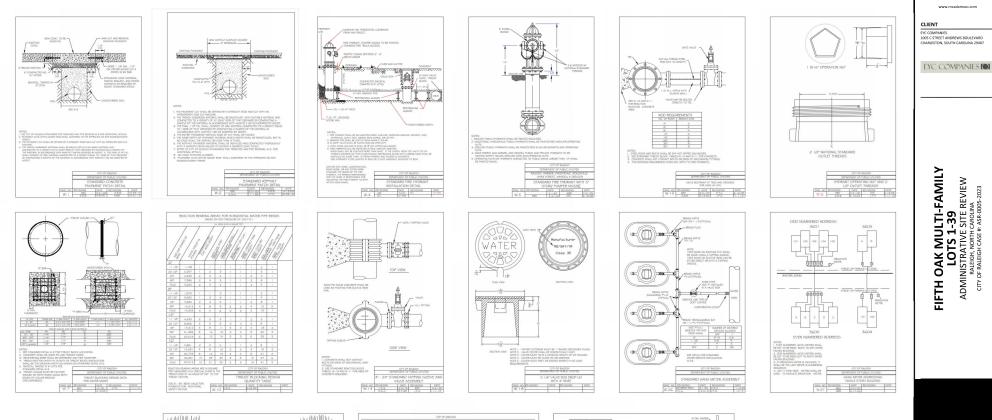


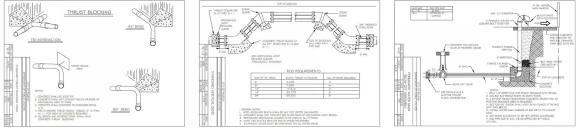






McAddacks The John R. McAdams Company, Inc. 621 Hilbsrough Stret Suite 500 Raleigt, NC 27603 phone 919, 361, 1260 fax 910, 361, 2269 license number: C-0293, C-187







 PROJECT NO.
 2021110279

 FILENAME
 2021110279-ASR-01

 CHECKED BY
 CGH

 DRAWN BY
 CNS

 SCALE
 N/A

 DATE
 01.13.2023

PLAN INFORMATION

WATER DETAILS



PRELIMINARY DRAWING - NOT RELEASED FOR

MCADAMS The John R. McAdams Company, Ir 621 Hillsborough Street Suite 500 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187 www.mcadameco.com

CLIENT EVC COMPANIES 1005 C STREET ANDREWS BOULEVARD CHARLESTON, SOUTH CAROLINA 29407

EYC COMPANIES (

FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RATEIGH NORTH CAROUNA CITY OF RALEIGH CARE #: ASP 0005-2023

NOTES: 1. THE GUTE OF THE GUTTER TO THE GATCH EARN OF THE UPPER LADE BALL BEDN OF PROM THE THE GATCH EARN THE SURVEY OF THE CONTINUES. THE SURVEY OF THE CONTINUES AND THE CONTINUES AND AUX EXCOLOR AND AUX EXCOLOR AND AUX CONTINUES GRATE PER CITY STANDARDS USE STD. SW-10.08 OR SW-10.09 NOTHERAR FOC + + > GROUT PRAME TO BLAR TOP 934 J FOR SLOPE REQ 5 SEE 1 And Internet NOTES: 1. FOR 34" PRPE & LANGER USE PIPE DAWETER PLUE 12" POR MINIMUM INSIDE DWENSION. риз рол — 100 раз PERMIT 140 ASA BT TO TO OF BRIDE Los h 2. USE F & F & F & F OLF & F & W SOLE-CONONETE BLOOK, ONET IN PLACE ON PRECAST CONONE TO VIET ACCOUNT DAMAGEMENT ACCEPTIANE. STORA p-ta-q 2107 IN 10 NT PLATER-V VANISAR OF TOTAL pa1 12" MINIMUM OVER IF DEEP, 12" MINIMUM OP 10-0"-FROM TOP OF GRATE. 3 FOR STEP REQUIREMENTS, SEE NOTE 4 ON STANDARD OFTAX, RW 4030 3. SOLID CONCRETE BRICKS MAY BE VIEW IN ERDE OF GERMA SZER. 4 INDOR APPROVED INFOAST OMOGETE BOURD ACCOMPANY USED TRANSPOST SCAFFING 5 DORESTIC CASTING RECIPEO WIT, STREET BOAT OF ANY 6. I "MADRIAL ESTENSION OF IMPE INTO THE STORM BOX. 25 1/1" SEWER 25.54* SPACE DO N 24 • • 23P IF UP TO 12 DEEP 12 OVER 12 DEEP 58° Ø NOTES: 1.708 JP-RD & LARGER USE PRE DAMETRI FLUI 19700 MINIMAN MEDIC DIMENSION 1.97 X DF CASING WITH 127 197 A RF PRE JP X JP CARING ON CASING WITH 127 198 A RF PRE JP X JP CARLOC REV CASING WITH 127 TRAFFE BANKING THRE HUR NECOTI STANDARDS. STANDARD C.B. STEP H BUTYL-NEK OR APPROVED SEALANT BETWEEN FRAME AND COVER 990.0 DETAIL OF pb1 PLATES 11 T I. LUE P'X P'X P'X P'OR P'X P'X 1P SOLD CONCRETE BLOCK CART IN PLACE OR INSCRETE BLOCK CART INET INCLI O'T, STANDWRDS ACCEPTINE. NO.3 NEEDA Y O.L. PLACED Y FROM EDOE, ALL EDOES.
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 1100 P MINIMA ONDA U 2012⁴ U MANAGER UP TO ETHIOR DE UNIVERSIT A STEPS SHALL BE INSTALLED IN ALL DROP INLETS OVER 7 IN ODPTH. DEPTH SHALL BE MEAUARED FROM THE TOP OF GRAFTE TO THE INVERT OF THE DROP INLE NOTES: 1. ALL MANHOLE FRAMES EVALL BE DOWESTICALLY OF 2. FRAME EVALL BE A MINIMAR WEDHT OF 120 LBS. IN PORSU FORMATION FOR SEVERAL 3. COVER EVALL WEDHT A MINIMAR OF 120 LBS. HCTON. CITY OF RALEIGH STANDARD PETAIL POISON INTERNET S OBCATCH MON CITY OF RALEIGH STANDARD INCLUI 201004 are seen STANDARD DROP INLET CITY OF RALEIGH STANDARD DETAIL MYPOOR DIVINING OF GATOLIDAGN STELL TOP CITY OF RALEIGH STANDARD RETAIL COVER SHALL WEIGH A MINIMUM OF 120 LBS.
 ALL MANHOLE FRAMES OUTSIDE OF PAYED SURFACE SHALL BOLTED TO THE COVER SECTION OR RING WITH A MINIMUM OF A RY TO BEEL COVER SECTION OR RING WITH A MINIMUM STANDARD STORM INKNYKULE COVER SW-10.01 SW-10.03 SW-10.04 SW-10.07 SW-10.10 1.1 n -----SIDE ELEVATION 8 -0 0 CLAN ALLO APPE A SI' HOLES FOR HANDLES GEE DETAIL 0. PLAN OF C 0 -COLOR PARTIES SECTION B-B TOP VIEW 1.0 ġ. 111 DETAL OF HADLE 0 0 pr Ter _1[____ USE EAST JORDAN RON KORKS, RC V4356-7 OR APPROVED EGUAL CITY OF RALEIGH YTANDARD BETAL IPHOCOL INTERNA CATCHING SW-10.06.1 CTTY OF RALEIGH XTANDARD BETALL REVEORE DATA STORE COLOMBAN COLOMBAN CITY OF RALEIGH SEANBLID DETAIL ADIDON OFTIME OPOP N.ET CASTING SW-10.08 SW-10.08 SW-10.06.1 SW-10.06.2

REVISIONS

 MO.
 DATE

 1
 05, 24, 2925
 REVISED PER COR 318 ASR COMMENTS

 2
 08, 21, 2925
 REVISED PER COR 348 ASR COMMENTS

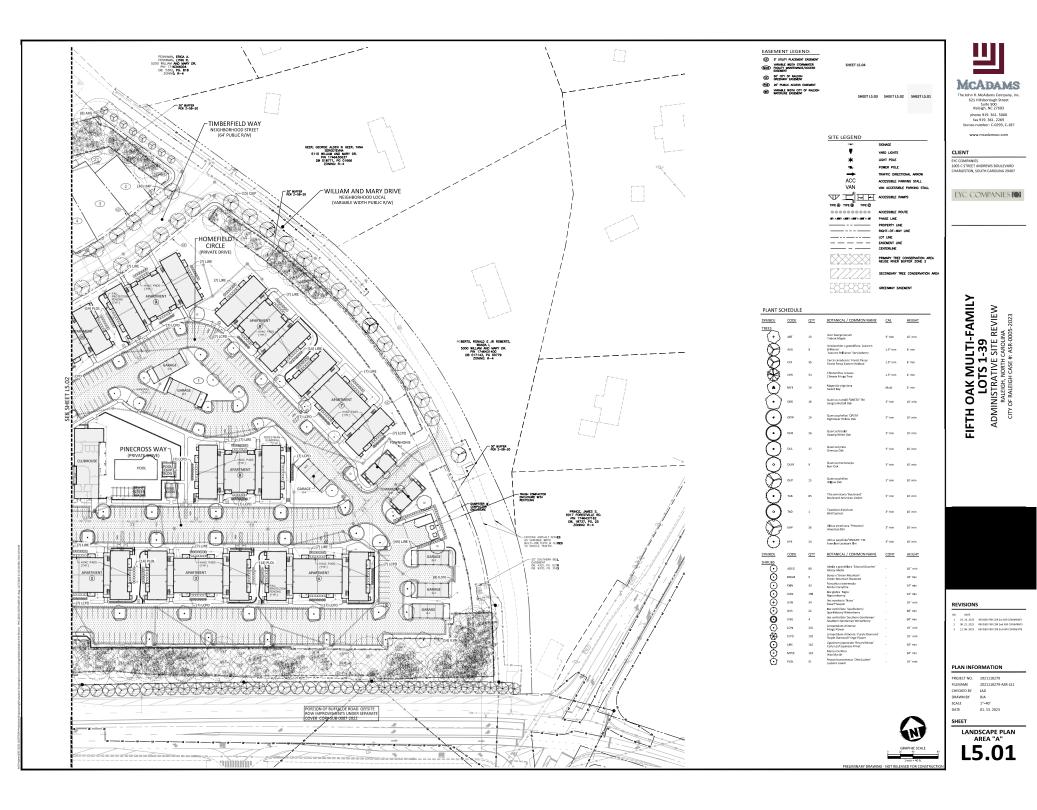
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 REVISED PER COR 348 ASR COMMENTS

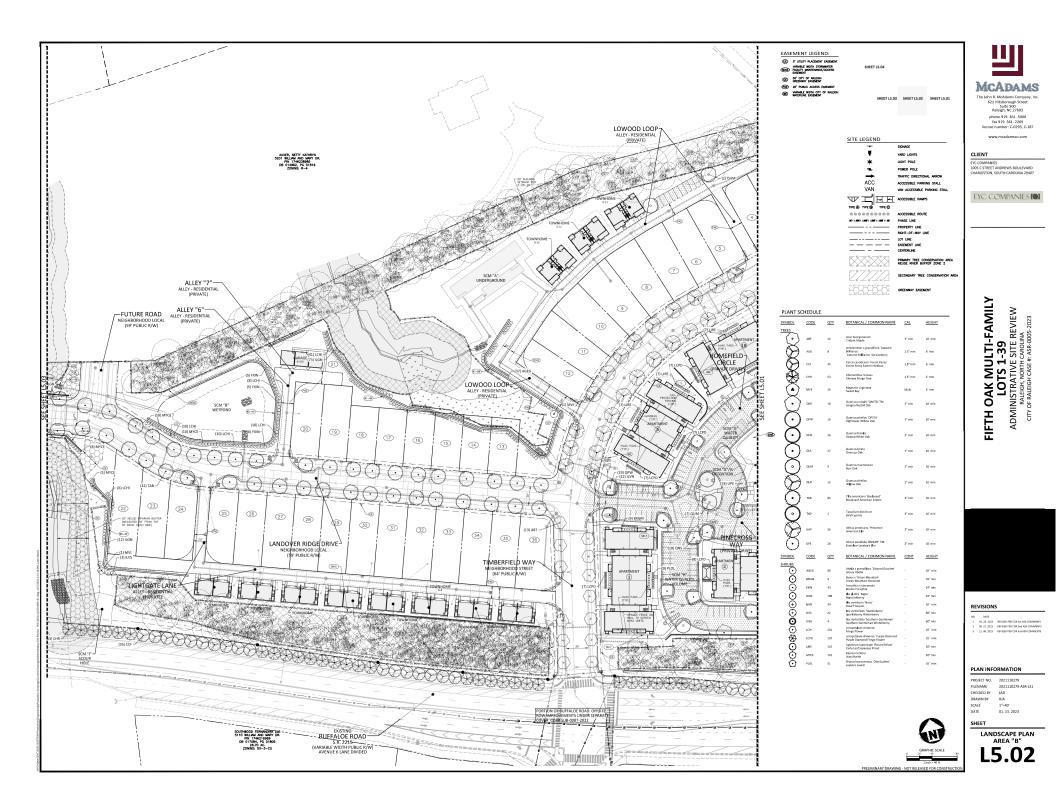
PLAN INFORMATION

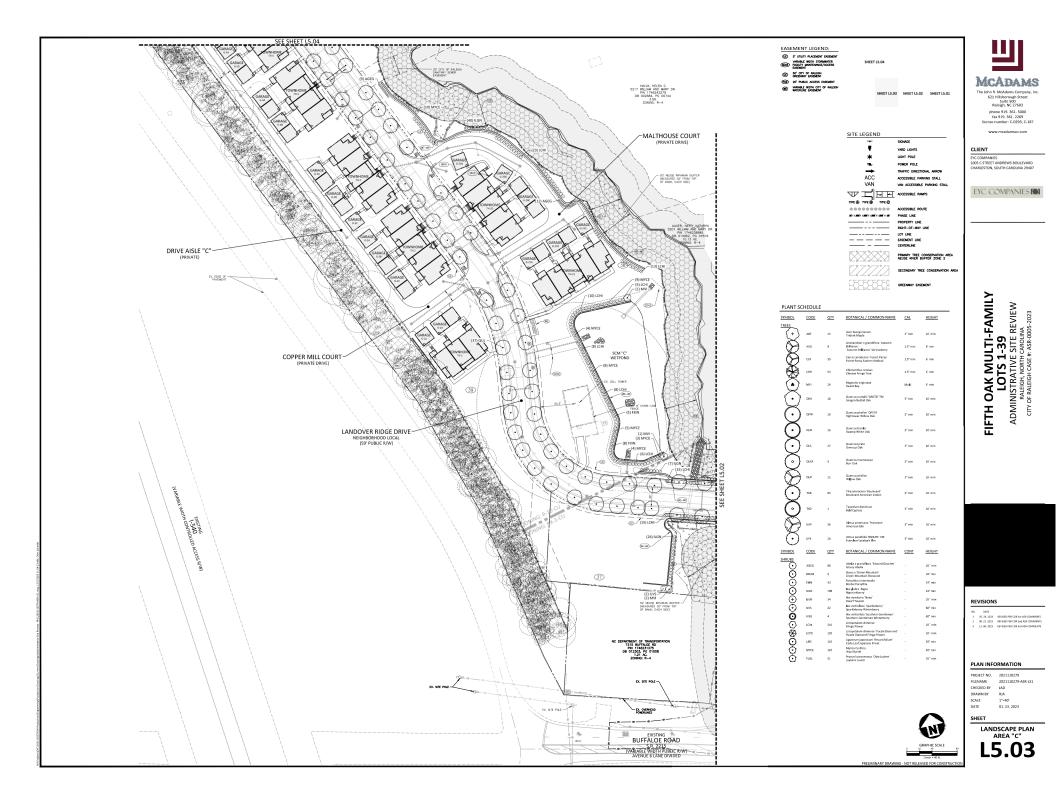
PROJECT NO. 2021110279 FILENAME CHECKED BY DRAWN BY 2021110279-ASR-D1 CGH CNS N/A SCALE DATE 01. 13. 2023

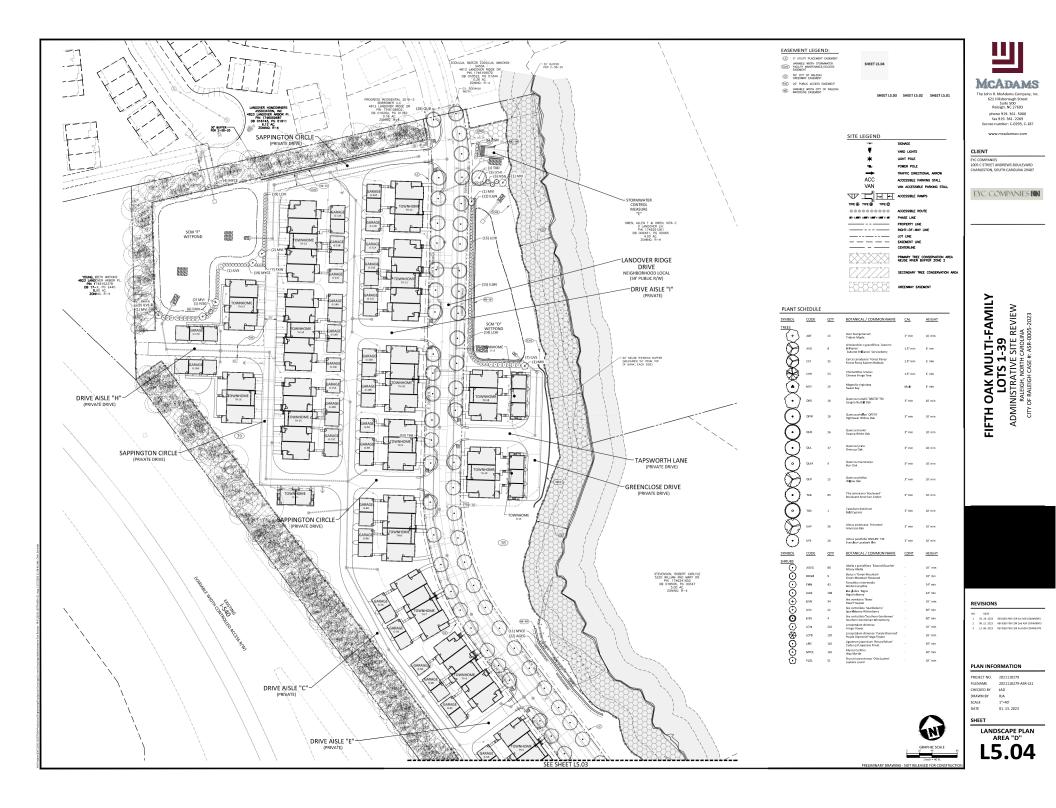
SHEET STORM DRAINAGE & SEWER DETAILS **C8.02**

PRELIMINARY DRAWING - NOT RELEASED FOR

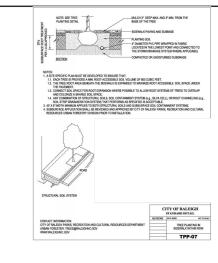








L	ANDSCAPE NOTES	LANDSCAPE CA	LCULATIONS:	PLANTS	SCHEDULE					
1.	ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BALLERH AND THE STATE OF MORTH CONCUMENTS AND MODE AND SPECIFICATIONS.	STREET TREES	1.723 1/	SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
2.	CONTRACTOR & RESPONSIBLE FOR THE STIE RESPECTION REFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO RECOME FAMILIAR WITH THE DESTING CONDITIONS.	STREET TREES REQUIRED. STREET TREES PROVIDED.	87 UNDERSTORY TREES (1/20 U/) 88 UNDERSTORY TREES (NCDOT REQUIRES UNDERSTORY)	TREES +	49T	13	Azer buergerianum Trident Maple	3" min	10' min	
k	LANDSCAFE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UNUTIES BEFORE BESINNING DEMOLITION OR INSTRULATION.	TIMBERFIELD WAY: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	1,910 LF 48 SHADE TREES (1/40 LF) 49 SHADE TREES	X	AXG	8	Arrelanchier x grandiflora "Autumn Brillioner"	1.5° min	8' min	Understory Tree -
4,	CONTINUCTOR SHALL NOTIFY LANDSCAFE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTRUMENTICS.	LANDOVTR RIDGE DRIVE: SHADE TREES REQUIRED: SHADE TREES PROVIDED:	5,940 LF 148 SHADE TREES (1/40 LF) 153 SHADE TREES	X		35	'Autumn Brillance' Serviceberry Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Bedbad	1.5° min	6' min	Understory Tree -
5.	ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S DOWNER	WILLIAM AND MARY DRIVE:	749 LF (160 UNDER POWER UNES)	×						
6.	LINENSE. THIS PLAN IS FOR PLANTING PURPOSES ONLY, FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, FTC., REFER TO ARCHTECTURE, STTE AND GRAZING PLANE.	SHADE TREES REQUIRED: SHADE TREES PROVIDED:	15 SHADE TREES (1/40 LF); 8 UNDERSTORY TREES (1/20 LF) 15 SHADE TREES; 8 UNDERSTORY TREES	×	CHR	53	Chionanthus retusus Chinese Fringe Tree	1.5° min	6' min	Understory Tree -
7.	VENERCATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, ANY DECEMBER 1994 AND A RECEIPT TO THE	TO ADDED DRIVEWAYS* NEIGHBORHOOD TRANSITION F		\odot	MVI	14	Magnella virginiana Sweet Bay	Multi	6' min	Understory Tree -
8.	ATTENTION OF THE LANDSCAPE ARCHITECT. CONTRACTOR TO ENSURE PROPER STARLICATION AND SEEDING OF THE SITE IN ACCOMPANCE WITH APPLICABLE RESULTIONS.	30' UNDISTURBED BUFFER PER	2-58-20 - SEE COVER SHEET FOR FURTHER INFO.	{•) ans	18	Quercus nuttall VQNSTD' TM Sangria Nuttall Qak	3° min	10' min	
9.	LANDSCAPE MATERIAL SHALL BE WELLFORWED, VICENDUS, DROWING SPECIMENS WITH ORIGINAL DEVALUTE SPECIFIED AND SWALL DE RECEFICING MANAGE, WESCH AND DESARGES, MATERIAL SHALL DOUAL DE SUBPASS AL CUMULY AS DEFINED IN THE CUMENT SSUEL OF "AMARENAN COMMAND OF DEVELOPMENT STOLES" AS UNLIFICATED BY THE	STORMWATER SCRIEN ALL SCM PONDS TO AN ADAPTIME EVENDREEN SPECIES MATURITY BESIDES AS MENTO	AVERAGE MATURE HEIGHT OF 6' ABOVE GRADE; 75% MIN. LOCALLY NO MODE THAN 2' HORZONTAL OPENINGS RETWITE HAVES AT	Q) arw	19	Quercus phellos 'QPSTA' Hightower Willow Oak	3" min	10' min	
23.	AVEREANNURSERY & LANDSCAPE ASSOCIATION. ALL PLANT WATERING. TO BE CAREFULLY MANDED BY THE FOOT BALL. NOT THE THINK SUBMORDS AND/OR FOLLAGE OF THE FLANT. MISHINGKLED FLANT MATERIAL MAY BE RELECTED BY THE LANDSCAPE ADOPTICET.	SCM SCREENING SCM LENGTH: REQUIRED SCREENING: PROVIDED SCREENING:	2.345 LF 2.265 LF (80 LF OF ACCESS EASEMENTS) 2.265 LF (NCLUDES PRESERVED VEGETATION)	<u> </u>	QUB	26	Quercus bicolor Sacamp White Oak	3° min	10' min	
11.	ARCHITELT ALL PLANT MATTERN, IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMARKS INTACT THROUGH OUT THE PLANTING FROOTSS, DEFICIENT PLANT MATTERN, MAY BE RELECTED BY THE LANDROLFF ARCHITECT OR OWNER.	MINIMUM EVERGREEN SPECIES PROVIDED EVERGREEN SPECIES	 1.759 LF (75% OF PROVIDED SCREENING) +/-2.503 LF (CONTRACTOR TO VERIFY EXISTING EVERGREEN VEGETATION IN THE FIELD AND 	$\dot{\mathbf{c}}$) aur	37	Quercus kyrata Overcup Oak	3" min	10' min	
12.	LANDSCREW ARCHITECT OR CONSIGN ALL PLANTS TO BE A INIX MURITORY WHAT IS SPECIFIED IN THE PLANT SCHEDULE ANY CHARGES OR SUBSTITUTIONS SHALL MEAPERWIDE BY THE LANDSCREE ARCHITECT AND COVERNME JURISECTION PROF TO ANY HERE PROFIDE TURING	PLANTINGS ALC	SUPPLEMENT AS NEEDED)	Ċ	QUM	9	Quercus macrocarpa Burr Oak	3° min	10' min	
13.	INVERTIGATION CONTRACTOR OF A CONTRACT OF THE OWNER OWN		ENTS FOR 45 MPH SPEED LIMIT AND URBAN/SUBURBAN CATEGORY	\sim	qup	15	Quercus pholios Willow Oak	3° min	10' min	
34	IF NOT SPECIFICALLY SHOWN ON PLANS. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.	SHRUBS: SMALL TREES: LARGE TREES:	6' MIN, FROM BACK OF CURB 8' MIN, FROM BACK OF CURB (VARIANCE NEEDED) 12' MIN, FROM BACK OF CURB (VARIANCE NEEDED)	Č.	TAB	85	Tilla americana 'Boolevard' Roulevard American Listen	3° min	10' min	
15.	PROPOSED TREES TO BE PLANTED A MINIMUM LOPEET PROM ANY UGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.	ALL VEGETATION TO BE 5' NEEDED)	MIN. FROM DITCHES AND DRAINAGE STRUCTURES (VARIANCE	\sim	·					
15.	PROPOSED TREES TO BE PLANTED A MINIMUM S FEET FROM ANY FIRE HYDRART AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRART.	SUGGESTED TREE SPACING		୍	THD	1	Taxodium distictum Bold Cypress	3° min	10' min	
17.	CONTINUETION SHALL COMPLETE SCIETTEST IN ALL PLANTING APEAS TO DETERMINE SCIE AVIENDMENT REQUIREMENTS UNLESS WAITED BY ORINNER'S REPRESENTATIVE. CONTRACTOR SHALL ADULST FH AND FERTLITY BASED UPON THE SCIETTEST RESULTS.	SMALL TREES: MECHUM TREES: LARGE TREES:	2010.C. 3010.C. 4010.C.	() S) we	36	Ulmus americana 'Princeton' American Elm	3ª min	10' min	
	TOPSON, BHALL BE FREE OF MATTERAL LARGER THAN LO INCHIN LEARNTER OR LENGTH AND SHALL NOT CONTAIN SLAG, ENVIESS, STORVES, LUNGEN OF SON, STORS, ROOTS, TRASH, OR OTHER EXTRAMEOUS MATERIAL		IIONS IF ABOVE STREETS AND 7" ABOVE SIDEWALKS TO BE MAINTAINED AT W, AND TREES AND LARGE SHRUBS UNDER TRIMMED SUFFICIENTLY	Õ	UPE	24	Ulmus parvifolia 'BSNUPF' TM Evercitar Lacebark Elm	3° min	10' min	
23.	LODSEN SUBCRACE / SUBFACE SOL TO ANNAUSE DEPTH OF 6 WORKS APPLY SOL AMERICANENTS AND FERTILITIES AS RECURED OF THE SOL TIST RESULTS TO ACHIEVE A HEALTHY GROUNDS MEETA AND MIS THOROUGHEV INTO TOP A INCIDES CALL AND REQUEST TO MAINTING SOL AND TO A DEPTH OF 6 INCIDES SUF AND REQUEST TO MAINTEN FROM TO A DEPTH OF 6 INCIDES SUF AND REQUEST TO MAINTEN FROM	TO PERMIT CLEAR SIGHT IS VARIANCE	4 THE AREA BETWEEN 2' AND 6' ABOVE ROADWAY ELEVATIONS	SYMBOL SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	REMARKS
	GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SCILLOR SUBGRADE IS PROZEN, MUDDY, DR DROESSIVEUF WIT.	 PLANTS CAN ENCROACH C APPROVED, THE OWNER IS PRESERVE HEALTHY VISOR 	LOSER TO THE ROADWAY WITH AN APPROVED SETBACK VARIANCE. IF RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED IN ORDER TO DUS TREES	-0	AGEG	80	Abelia x grand flora 'Edward Goucher' Glossy Abelia		18" min	
20.	IF IMPORTED TOPSOIL IS REQUIRED, THE SUBBRADE SHALL BE SCARFED ON TALED TO A OPTH OF AT LEAST 6 MICHES PROFILD RESTALLATION OF IMPORTED TOPSOIL, FOLLOWING INSTALLATION OF IMPORTED TOPSOIL THE TOPSOIL SHALL BE TALED TO INTEGRATE THE SOIL PROFILS.			Q	BXOM EXIN	9	Buxus x 'Green Mountain' Green Mountain Boxwood Forsythia s intermedia		18" min 24" min	
21.	PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERCO OF 12 MONTHS OF ANT MATTRIAL SWHICH BRANN UNITY WILL M	VEHICLE USE AREAS:		\odot	PXIN ILGN	42	Border Forsythia Rex glabra 'Nigra' Nigra Inkborry		24° min 24° min	
	REPLACED BY THE LANDSCARE CONTRACTOR BEFORE THE EXPENSION OF THE GUARANTEE PERIOD OR INVECTATELY IF SO DIRECTED BY THE DRIVER'S PERIODINAL OR LANDSCARE ARCHITECT.	PARKING LOT TREE COVERAGE: SHACE TREES		Ť	ID/N	34	liex vomitoria 'Nana' Dwarf Yaupon		18" min	
22.	ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WTH A MUMMUM 3 FOOT RAENUS FROM DASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MUNITAMED INSEE FREE, MULCH	REQUIRED:	= 69 [1/2,000 SF OF PAROING AREA; PAROING AREA = 137,105 SF] = 70	ŏ	10/5	22	Tex verticitata 'Sparkleherry' Sparkleberry Winterberry		60° min	
	SHALL NOT COVER THE ROOT FLAKE. CONFIRM MULCH SPECIFICATIONS WITH DWINER'S REPRESENTATIVE OR LANDSCAPE ANOHITECT.	C3 YARDS:			IV5G	4	llex verticiliata 'Southern Gentleman' Southern Gentleman Winterberry		60° min	
23.	DO NOT PRUNE TREES AND SHRUBS BEFORE DEUXERI. PROTECT BANK, BRANCHES, AND NOOT SYSTEMS FROM SUN SCALD, DYNYN, SWEATING, WHIFPING, AND OTHER HANDLING AND THINS DAVAGE, DO NOT BEND	SHRUBS: REQUIRED: PROVIDED:	20 PER 100 LF (3.5' TAIL AT MATURITY) 20 PER 100 LF	ୁ	L04	241	Loropetalum chinense Fringe Flower Loropetalum chinense 'Purgle Diamond'		18" min	
	OR INKO TRETRETS OR SHRUIDS IN SUCH A MAANRE AS TO DESTRUCT HERE NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR FLANTS DURING DELIVERY. DO NOT DROP EXTERIOR FLANTS DURING DELIVERY AND WANDING.	PROVIDED:	10 MBR 100 G	o ୧୫୦	LIPE	120	Purple Diamond Fringe Flower Lisustrum inconicum 'Recurvifolium'		18" min 30° min	
34.	DELIVER DIFFEROR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE			Š	MICE	110	Darly Loaf Japanese Privet Myrica Derifera		30° min	
	EED COMPLETED AND INSTALL IMPECTATELY, INVIDUATELY AFTER UNINCOMING, STAND THE TERSE OF TO ESCUCE THE REG OF SUM SCALD. FROMEWAY STANDED TREES AND STANDARD, UNITID AND SPACED, UNLESS INVERDIATELY INSTALLED, SET SUFFICIENT AUXINS AND TREES IN ANALO, FROMEWAY TRANSPORTATION AND AND AND AND AND AND AND AND FROMEWAY TRANSPORTATION AND AND AND AND AND AND AND AND FROMEWAY TRANSPORTATION AND AND AND AND AND AND AND AND MEDIATELY AND			õ	PLOL	51	Wax Myrtle Prunus laurecensus 'Otto Luyken' Luykens Laurel		18" min	
25.	SEE LANDSCARE DETAILS FOR THEE STAKING REQUIREMENTS.									



Understory Tree - Sinale Stern

Understory Tree - Single Ster

Understory Tree - Multi Stem



FIFTH OAK MULTI-FAMILY LOTS 1-39 ADMINISTRATIVE SITE REVIEW RALEIGH NORTH CAROUNA CITY OF RALEIGH CARE #, ASR 2005 2023



REVISIONS

 NO.
 DATE

 1
 05.24.2023
 REVISED PER COR 1st ASR COMMENTS

 2
 08.21.2225
 PEVISED PER COR 2nd ASR COMMENTS

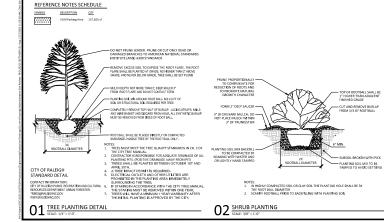
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 12.06.2223
 REVISED PER COR 3nd ASR COMMENTS

PLAN INFORMATION

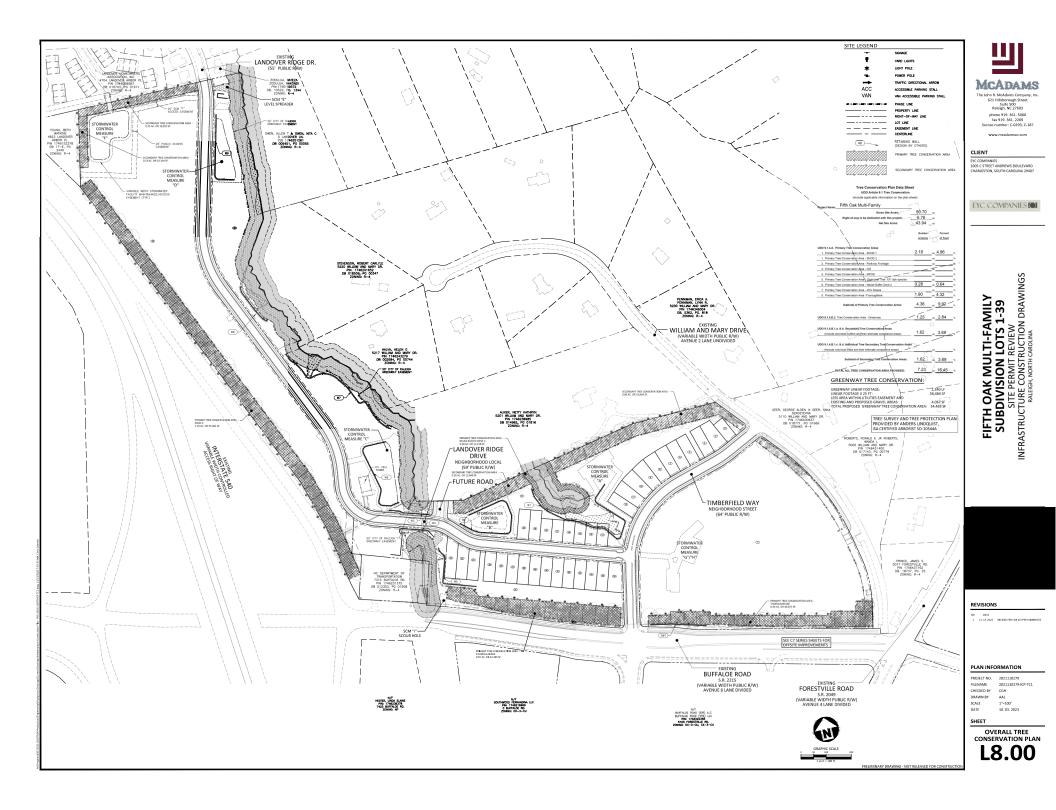
PROJECT NO. 2021110279 FILENAME 2021110229-458-151 CHECKED BY JAD DRAWN BY RJA SCALE AS SHOWN DATE 01.13.2023

SHEET LANDSCAPE NOTES AND DETAILS L5.05

PRELIMINARY DRAWING - NOT RELEASED FOR C



25. SEE LANDSCAPE DETAILS FOR THEE STANING REQUIREMENTS. 26. CONTRACTOR SHALL REMOVE DESIRS AND FINE GRADE ALL FLANTING AREAS FROM TO INSTALLATION. 27. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ISTARUSHMENT. 2.1. THREASTRUM: 3.1. THREASTRUM: GRADE PLANTING AGENCTIO A SWOOTH, UNHFORM SUBPACE PLANE WITH LODGE, UNHFORM THE TRATERS, GRADE TO WITHER FUSC ON MANUES (UNHFORM THE LEVERTON, ROLL AND MARE, REMOVE PROG. AND THE LEVERSTON TO ARE THREAD ON THE INMEDIATE THREASTRUMENT TO AREAS THAT CAN BE PLANTED IN THE INMEDIATE.









TOP OF ROOF ELEV. = 46' - 8 3/4"



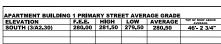
EVEL 2 - WINDOW HEADER ELEV. = 7-0" VEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"		▦	
EVEL 1 - WINDOW HEADER ELEV. = 7'-0" TOP OF SLAB			
ELEV. = 0'0"			

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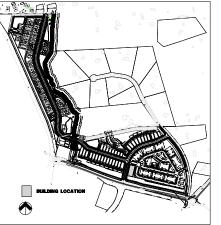
← ELEV. = 46' - 8 3/4"		8 ¹²	5112	e ¹²				
→ 3RD FLOOR ROOF BEARING ELEV. = 31-9 WINDOW HEADER ELEV. = 37-90 ELEV. = 37-00 ELEV. = 37-00 ELEV. = 37-41/2 ^m	4							
• ELEV. = 21•4 1/2" • WINDOW HEADER • ELEV. = 7.0" • ELEV. = 7.0" • ELEV. = 10•8 1/4"								
← WINDOW HEADER ELEV. = 7*0" ← TOP OF SLAB ELEV. = 0'0"								



	e ¹²	/	4 ¹²					
-⊕ <u>3RD FLOOR ROOF BEARING</u> ELEV. = 31-6" -⊕ <u>window Header</u> ELEV. = 7-6"				>				
-ф <u>LEVEL 3 - ТОР ОГ SUB FLOOR</u> ELEV. = 21'4 1/2" -ф <u>WINDOW HEADER</u> ELEV. = 7-0"								
								Y







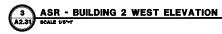


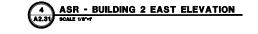
FIFTH OAK MULTI-FAMILY RALEIGH, NC APARTMENT BUILDING ELEVATIONS 07/25/23 SCALE 1/8***1 DESIGN DRAWN EMC/las 10/31/23 REVISED: HEET NUMBER A2.30

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2 A2.31





← TOP OF ROOF ELEV. = 46' - 8 3/4"	a ¹²
LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	
LEVEL 3 - TRANSOM HEADER ELEV. = 8'-0"	
DELEV. = 21'-4 1/2"	
LEVEL 2 - WINDOW HEADER ELEV. = 7'-0"	
ELEV = 10" 8 1/4"	
December 2017 De	▁ <u>▋<u>▋</u> <u>▋▌</u><u>▔▔▕</u>₩₩₩₩₩₩₩₩₩₩₩₩<u></u> <u></u> <u></u><u></u> </u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u> </u> <u></u> <u></u>

• <u>TOP OF ROOF</u> ELEV. = 46' - 8 3/4"	⁴	
LEVEL 3- ROOF BEARING ELEV. = 31'-6' LEVEL 3-TRANSOM HEADER ELEV.= 81-0'		
LEVEL 3 - WINDOW HEADER ELEV. = 7-0"		
← LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10-8 1/4" ← LEVEL 1 - WINDOW HEADER ELEV. = 7'-0"		
Description of the second seco		

ELEVATION	F.E.E.	HIGH	LOW	AGE GRADE	TOP OF ROOF ABO
					AVERAGE
SOUTH (1/A2.31)	286.77	289.50	283.15	286,33	47'- 2"

Ħ

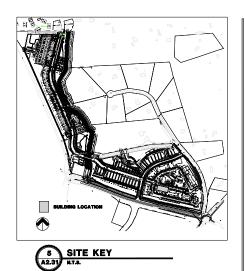
⊞

TOP OF ROOF ELEV. = 46' - 8 3/4" 3RD FLOOR ROOF BEARING	a ¹²	202	a ¹²				
-							
← WINDOW HEADER ELEV = 7.0"							



ASR - BUILDING 2 NORTH ELEVATION



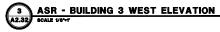




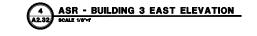
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Front Street





ASR - BUILDING 3 NORTH ELEVATION



• TOP OF ROOF ELEV. = 46' - 8 3/4"	a ¹¹
	²
LEVEL 3 - ROOF BEARING ELEV. = 31-6" LEVEL 3 -TRANSOM HEADER ELEV. = 8-0"	
LEVEL 3 - WINDOW HEADER ELEV. = 7'-0"	
CELEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"	
⊕ LEVEL 2 - WINDOW HEADER ELEV. = 7'-0"	
CELEV = 10' 8 1/4"	
.⊕ <u>LEVEL 1 - WINDOW HEADER</u> ELEV. = 7'-0"	
• TOP OF SLAB ELEV. = 0'0"	

• <u>TOP OF ROOF</u> ELEV. = 46' - 8 3/4"	e ^u	
LEVEL 3- ROOF BEARING ELEV. = 31'-6"	a ²	
LEVEL 3 - TRANSOM HEADER ELEV. = 8'0"		≽
LEVEL 3 - WINDOW HEADER ELEV. = 7-0"		ľ
DELEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"		
ELEVEL 2 - WINDOW HEADER ELEV. = 7-0"		
ELEV = 10'-8 1/4"		
ELEV. = 0'0"		L

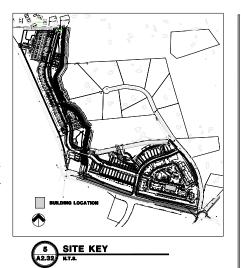
LOW POINT ELEV. = 291.20'

ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF
SOUTH (1/A2.32)	294.50	296.90	291.20	294,05	47'-21

TOP OF ROOF ELEV. = 46'-8 3/4" 3RD FLOOR	e ¹²		a ¹²		$\overline{}$		/	
ROOF BEARING ELEV. = 31'.6" WINDOW HEADER ELEV. = 7.0" LEVEL 3 - TOP OF SUB ELOOR						,		
ELEV. = 21-4 1/2" WINDOW HEADER ELEV. = 7-0" LEVE. 2 - TOP OF SUB FLOOR ELEV. = 10-8 1/4"								
								ſ

ASR - BUILDING 3 SOUTH ELEVATION A2.32





Front Street S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 pob@andron.com

SHEET NUMBER A2.32 Х

FIFTH OAK MULTI-FAMILY RALEIGH, NC

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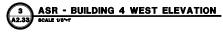
APARTMENT BUILDING ELEVATIONS

SCALE 1/8"=1" DESIGN/DRAWN:

-----REVISED:



2 A2.33





← <u>TOP OF ROOF</u> ELEV. = 46'- 8 3/4"	50
LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	an en
LEVEL 3 -TRANSOM HEADER ELEV. = 8'-0"	
LEVEL 3 WINDOW HEADER ELEV. = 7:0"	
← LEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"	
ELEVEL 2 - WINDOW HEADER ELEV. = 7'-0"	
ELEV = 10'8 1/4"	
ELEVEL 1 - WINDOW HEADER ELEV = 7'-0"	
	<u>11111 111 + Hadamaaaaaaaaaaa 9 9 9 9 9 9 9 9 9 9 10 11 11 11 11 11 11 11 11 11 11 11 11 </u>

← TOP OF ROOF ELEV. = 46' - 8 3/4"	a ¹²	
LEVEL 3 - ROOF BEARING ELEV. = 31-6° ULEVEL 3 - TRANSOM HEADER ELEV. = 81-0°	ea an	
LEVEL 3 - WINDOW HEADER ELEV. = 7-0" ELEV. = 7-0" ELEV. = 7-10" ELEV. = 7-10"		
↓ LEVEL 2 - WINDOW HEADER ELEV. = 7:0"		
◆ LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10°-8 1/4" ↓ LEVEL 1 - WINDOW HEADER ELEV. = 7'-0"		
COLOR OF SLAB		

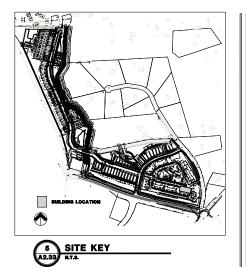
			AVERAGE	AVERAGE
302.33	305.00	299.05	302.03	47'- 3/8"
	302.33	302.33 305.00	302.33 305.00 299.05	302.33 305.00 299.05 302.03

TOP OF ROOF • ELEV. = 46' - 8 3/4" 3RD FLOOR	a ⁱⁱ	au.		a ¹²			_	
← ROOF BEARING ← ELEV. = 31-8" ← WINDOW HEADER ← UNDOW HEADER ELEV. = 7-0" LEVEL 3 - TOP OF SUB FLOOR ← ELEV. = 21-4 1/2"								
↓ ELEV. = 21'4 1/2" ↓ WINDOW HEADER ELEV. = 7'-0" LEVEL 2 - TOP 0F SUB FLOOR ↓ ELEV. = 10'-8 11/4"								
⊕ WINDOW HEADER ELEV = 7'-0" ELEV = 7'-0" ELEV = 0'0"			Ĩ⊞					



ASR - BUILDING 4 NORTH ELEVATION



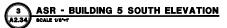




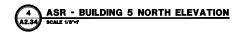
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Front Street





2 ASR - BUILDING 5 WEST ELEVATION A2.34 scale very







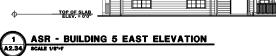
-

<u>TOP OF ROOF</u> ELEV. = 45'-4 3/4"	,ª	a¹²	~
L 3 - ROOF BEARING ELEV. = 31'-6" 3- WINDOW HEADER ELEV. = 7'-0"			Ì
- <u>TOP OF SUB FLOOR</u> ELEV. = 21'-4 1/2" 2 - <u>WINDOW HEADER</u> ELEV. = 7-0" - <u>TOP OF SUB FLOOR</u> ELEV. = 10'-8 1/4"			
LLEV. = 10-8 1/4" 1 - WINDOW HEADER ELEV. = 7'-0" TOP OF SLAB ELEV. = 000			

ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOV
SOUTH (3/A2.34)	281.50	281.40	281.00	281,20	45'- 8 3/8
	-				

	***	" ¹²	
LEVEL 3 - ROOF BEARING ELEV. = 31'-8"	*		
↓ LEVEL 3- WINDOW HEADER ↓ LEVEL 3- WINDOW HEADER ELEV. = 7'-0"			
← LEVEL 2 TOP OF SUB FLOOR ELEV = 10'-8 1/4" ← LEVEL 1 WINDOW HEADER			
TOP OF SLAB ELEV. = 0'0''			

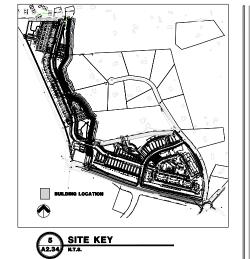
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TOP OF ROOF ELEV. = 45' - 4 3/4"

• <u>TOP OF ROOF</u> • <u>ELEV. = 45' - 4 3/4"</u>	e ¹²	e ³²	
LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	e ¹² 2012		
↓ ELEV. = 31'-6" ↓ LEVEL 3- WINDOW HEADER ELEV. = 7'-0"			
Devel 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"			
• ELEVEL 2 - TOP OF SUB FLOOR ELEV = 10'8 1/4"			
• LEVEL 1 WINDOW HEADER ELEV. = 7'-0"			

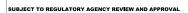






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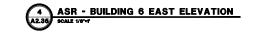
Front Street



2 A2.35

SCALE 1/8"+T







← <u>TOP OF ROOF</u> ← ELEV. = 45 [*] -4 3/4"	⁶⁸	
ELEVEL 3 - ROOF BEARING		
LEVEL 3- WINDOW HEADER ELEV. = 7-0"		
LEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"		
LEVEL 2 - WINDOW HEADER ELEV. = 7'-0"		
LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'8 1/4"		
LEVEL 1 - WINDOW HEADER ELEV. = 7'-0"		
TOP OF SLAB		

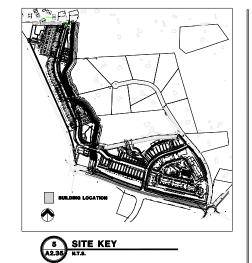
ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	AVERAGE
SOUTH (1/A2.35)	298.85	300.25	295.25	297,75	46'-51

• TOP OF ROOF ELEV. = 45' - 4 3/4"	a ^a
• LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	
LEVEL 3- WINDOW HEADER ELEV = 7'-0"	
ELEVEL 3 - TOP OF SUB FLOOR ELEV = 21'-4 1/2"	
• LEVEL 2 • WINDOW HEADER ELEV. = 7'-0"	
ELEVEL 2 - TOP OF SUB FLOOR	
LEVEL 1 - WINDOW HEADER ELEV. = 7-0"	
Ф <u>тор ог slaв</u> ELEV. = 0'0''	

1 A2.35 ASR - BUILDING 6 SOUTH ELEVATION SCALE 1/8"+T

ASR - BUILDING 6 NORTH ELEVATION







A2.35

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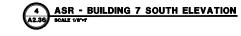
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A2.36 BCALE 1/8***





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TOP OF ROOF ELEV. = 46' - 8 3/4"

LEVEL 3 ROOF BEARING ELEV. = 31'6"

-D LEVEL 3 TRANSOM HEADER ELEV. = 8'-0" CELEVEL 3 WINDOW HEADER

CELEVEL 3 TOP OF SUB FLOOR ELEV. = 21'-4 1/2" ELEVEL 2 WINDOW HEADER

CLEVEL 2 TOP OF SUB FLOOR ELEV. = 10'8 1/4" LEVEL 1 WINDOW HEADER
 ELEV = 7'0"

TOP OF SLAB ELEV. = 0'0"

0

-Φ-

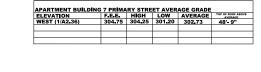
€ 100 00 R00F ELEV. = 46' - 8 3/4"	2 ²
• LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	e ^u ^m
Delevel 3 - TRANSOM HEADER ELEV. = 8'-0"	
LEVEL 3 - WINDOW HEADER ELEV. = 7'-0"	
• ELEV. = 21'-4 1/2"	
ELEV. = 7'-0"	
CELEV. = 10'-8 1/4"	

ELEV. = 10'-8 1/4" WINDOW HEADER ELEV. = 7'-0" TOP OF SLAB ELEV. = 0'0"					
2 ASR	- BUILDING	7 EAST ELEVAT	ION		

	4 ¹²	<u>\</u>	/	u ¹²				<u> </u>		/		
3RD FLOOR ROOF BEARING ELEV. = 31'-6"		***	<u> </u>	*				\sim	> <		\sim	2
LEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2"												
⊕ WINDOW HEADER ELEV = 7'0"							BA					
LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"												
			T 📖	mm	ΠΠ	m	回田				ΠΠ	Í
TOP OF SLAB												

TOP OF SLAB ELEV. = 0'0" ASR - BUILDING 7 WEST ELEVATION A2.36 SCALE 1/8*-1





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Front Street S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 bol@andron.com

FIFTH OAK MULTI-FAMILY RALEIGH, NC APARTMENT BUILDING ELEVATIONS 07/26/23

1/8**=1*

EMC/ias

10/31/23

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SCALE

REVISED: SHEET NUMBER A2.36

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DES GN DRAWN



2 A2.37

SCALE 1/8"+T





TOP OF ROOF

-



♥ ELEV. = 45'-4 3/4"	e ²
LEVEL 3 - ROOF BEARING ELEV. = 31-6" LEVEL 3- WINDOW HEADER ELEV. = 7-0"	
← LEVEL 3 - TOP OF SUB FLOOR ELEV = 21'-4 1/2" ← LEVEL 2 - WINDOW HEADER ELEV = 7-0"	

ELEVATION	F.E.E.	HIGH	LOW	AVERAGE	TOP OF ROOF ABOV
WEST (1/A2,37)	300.17	300.75	298.00	299,38	46'-2 1/4'

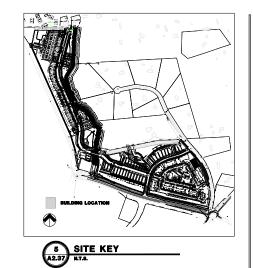
ШП

• TOP OF ROOF ELEV. = 45' • 4 3/4"	a ²	
A LEVEL 3. ROOF BEARING		<u> </u>
↓ LEVEL 3 - ROOF BEARING ELEV. = 311-6" ↓ LEVEL 3 - WINDOW HEADER ELEV. = 7'-0"		
⊕ LEVEL 3 - TOP OF SUB FLOOR ELEV. = 21'-4 1/2" ↓ LEVEL 2 - WINDOW HEADER ELEV. = 7'-0" ELEV. = 7'-0"		
♦ LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"		Ş
LEVEL 1- MINDOW HEADER ELEV. = 7'-0" TOP OF SLAB ELEV. = 00"		

12.37 ASR - BUILDING 8 WEST ELEVATION

ASR - BUILDING 8 EAST ELEVATION

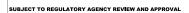




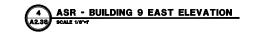


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Hront Street









← TOP OF ROOF ELEV. = 45'-4 3/4"	
LEVEL 3 - ROOF BEARING ELEV. = 31'-6" ELEVEL 3- WINDOW HEADER ELEV. = 7'-0"	
ELEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"	
LEVEL 1 - WINDOW HEADER ELEV. = 7'-0" TOP OF SLAB ELEV. = 0'0"	

		LOW	AVERAGE	AVERAGE
93.50	294.45	292.20	293,33	45'-6 7/
	93.50	93.50 294.45	93.50 294.45 292.20	93.50 294.45 292.20 293.33

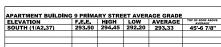
• TOP OF ROOF ELEV. = 45' • 4 3/4"	an and a second s
• LEVEL 3 - ROOF BEARING ELEV. = 31'6"	
LEVEL 3- WINDOW HEADER ELEV = 7'-0"	
• ELEVEL 3 - TOP OF SUB FLOOR ELEV. = 21' 4 1/2"	
ELEVEL 2 - WINDOW HEADER	
• LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"	
TOP OF SLAB ELEV. = 0'0"	



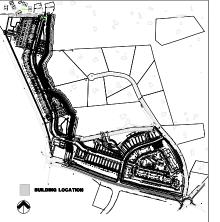
ASR - BUILDING 9 NORTH ELEVATION

2 A2.37

• TOP OF ROOF ELEV. = 45' • 4 3/4"		a ¹²		
	a ¹²			
← LEVEL 3 - ROOF BEARING ELEV. = 31'-6" ← LEVEL 3 - WINDOW HEADER ELEV. = 7'-0"				,
• <u>LEVEL 3 - TOP OF SUB FLOOR</u> ELEV. = 21-4 1/2"				45-6 7/8"
LEVEL 2 - WINDOW HEADER ELEV. = 7'-0"				
← LEVEL 2 - TOP OF SUB FLOOR ELEV. = 10°8 1/4" ← LEVEL 1 - WINDOW HEADER ELEV. = 7'-0"				
Ψ ELEV. = 7'-0" Φ TOP OF SLAB ELEV. = 00"				HIGH POINT ELEV. = 294.45'
Ψ <u>ELEV. = 0'0"</u> =				AVERAGE ELEVATION ELEV. = 293.33 LOW POINT ELEV. = 292.20'









FIFTH OAK MULTI-FAMILY RALEIGH, NC APARTMENT BUILDING Elevations 07/26/23 SCALE 1/8**=1* DES GN DRAWN EMC/ias 10/31/23

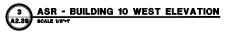
REVISED: SHEET NUMBER:

A2.38

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ASR - BUILDING 10 NORTH ELEVATION



← TOP OF ROOF ELEV. = 46' - 8 3/4"	**
LEVEL 3 - ROOF BEARING ELEV. = 31'-6"	ell ell
LEVEL 3 -TRANSOM HEADER ELEV. = 8'-0"	
LEVEL 3 - WINDOW HEADER ELEV. = 7'-0"	
LEVEL 2 - WINDOW HEADER ELEV. = 7'-0"	
ELEVEL 2 - TOP OF SUB FLOOR ELEV. = 10'-8 1/4"	
Description of the second seco	

• TOP OF ROOF ELEV. = 46' - 8 3/4"	a ¹²	
LEVEL 3 - ROOF BEARING ELEV. = 31-6 LEVEL 3 - TRANSOM HEADER ELEV. = 800 ELEV. = 8000 ELEV. = 8000 ELEV. = 8000	a ²³	
LEVEL 3 - WINDOW HEADER ELEV. = 7-0" ELEV. = 7-0" ELEV. = 21-4 1/2"		
← ELEV. = 10 ⁻ B 1/4" ← LEVEL 1 - WINDOW HEADER ELEV. = 7 ⁻ 0" ← TOP OF SLAB ← ELEV. = 0'0"		

		HIGH	LOW	AVERAGE	AVERAGE
WEST (1/A2.39)	286.75	288.25	285.85	287.05	46'- 5 1/8

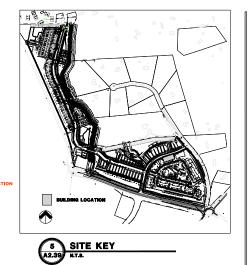
Gelev. = 46° - 8 3/4"	4 ²	842	e ¹²			_	
← ROOF BEARING ← ELEV = 31-6" ← WINDOW HEADER ELEV. = 7-0" LEVEL 3 - TOP OF SUB FLOOR ← ELEV. = 21-4-1/2"							
⊕ WINDOW HEADER ELEV. = 7 0 ^m ⊕TOP OF SLAB ELEV. = 0 ^m ELEV. = 0 ^m							ľ



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TOP OF ROOF







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Front Street

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-Ф-HEARD FLOOR BLES

--PROST LEVEL PLT.

1 A2.40

REAL DEAL PRO -**ф**

107 OF 51.46

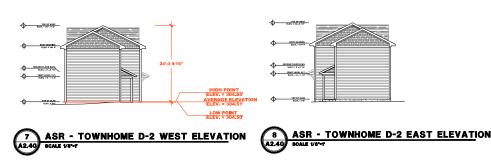
TOP OF BOAT -Ф

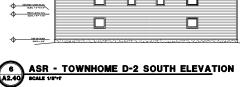
5

A2.40

SCALE 1/8"

SCALE 1/8"+T





 TOWHOME D-2 PRIMARY STREET AVERAGE GRADE

 ELEVATION
 F.E.E.
 HIGH
 LOW
 AVERAGE
 TO'S MOD ADDW

 ELEVATION
 F.E.E.
 HIGH
 LOW
 AVERAGE
 TO'S MOD ADDW

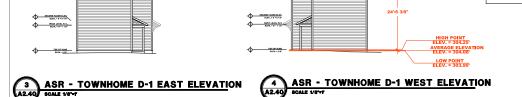
 WEST 7/A2,40
 304,55
 304,55
 304,50
 304,53
 24'-3 9/16''

14



ASR - TOWNHOME D-2 NORTH ELEVATION





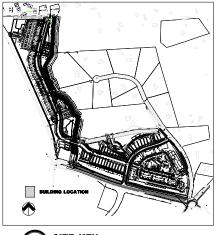


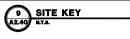
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-**\$**-PROTOPOLIST.

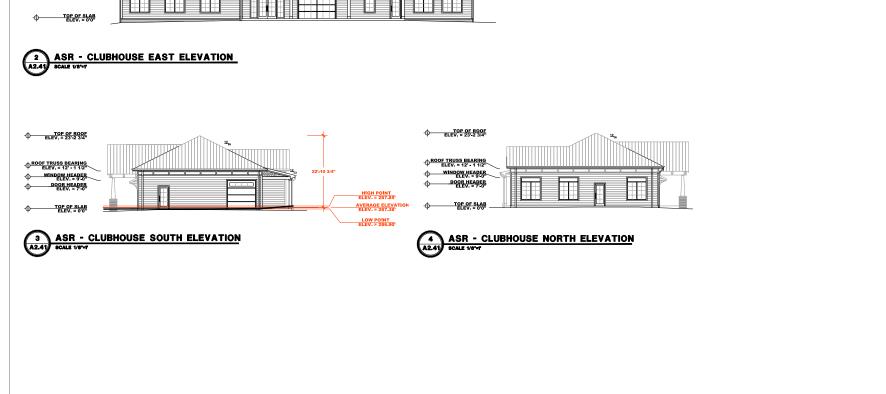
-Ф TOP OF BLAS





82

Front St



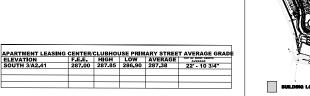


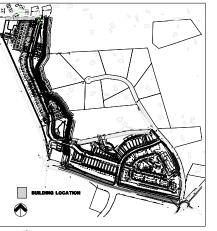


ASR - CLUBHOUSE WEST ELEVATION

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SCALE 1/8"-T







LEASING CENTER / CLUBHOUSE ELEVATIONS FIFTH OAK MULTI-FAMILY RALEIGH, NC

DESIGN DRAWN

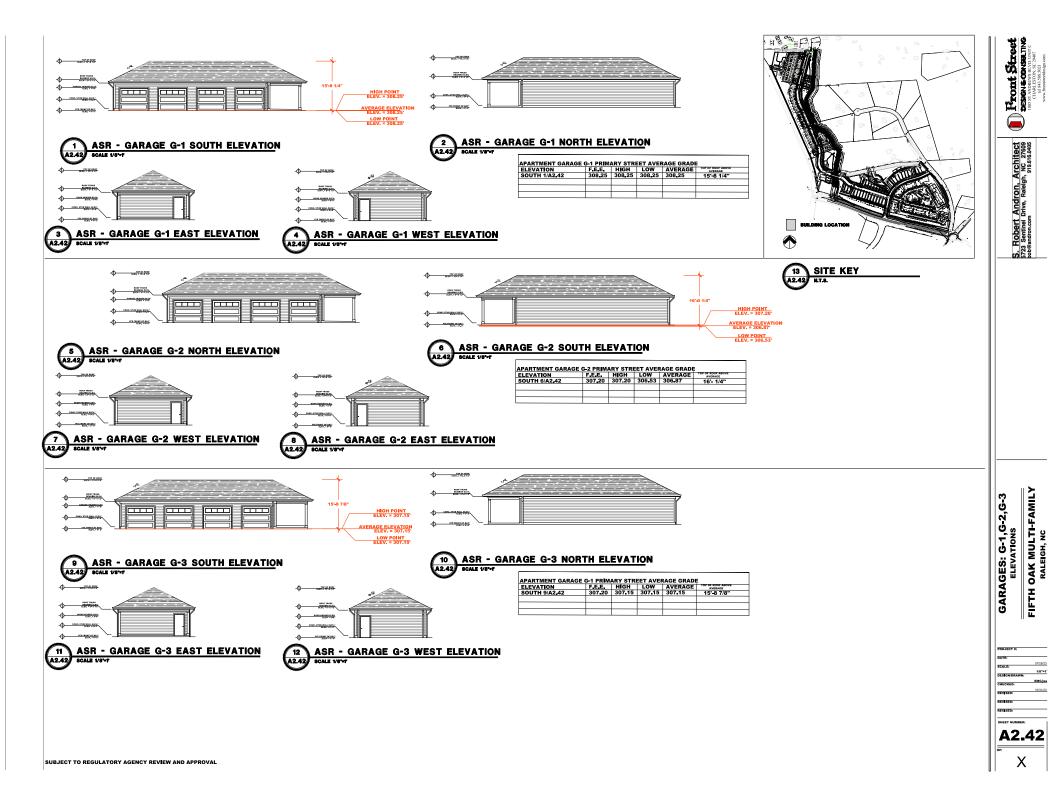
Front Street

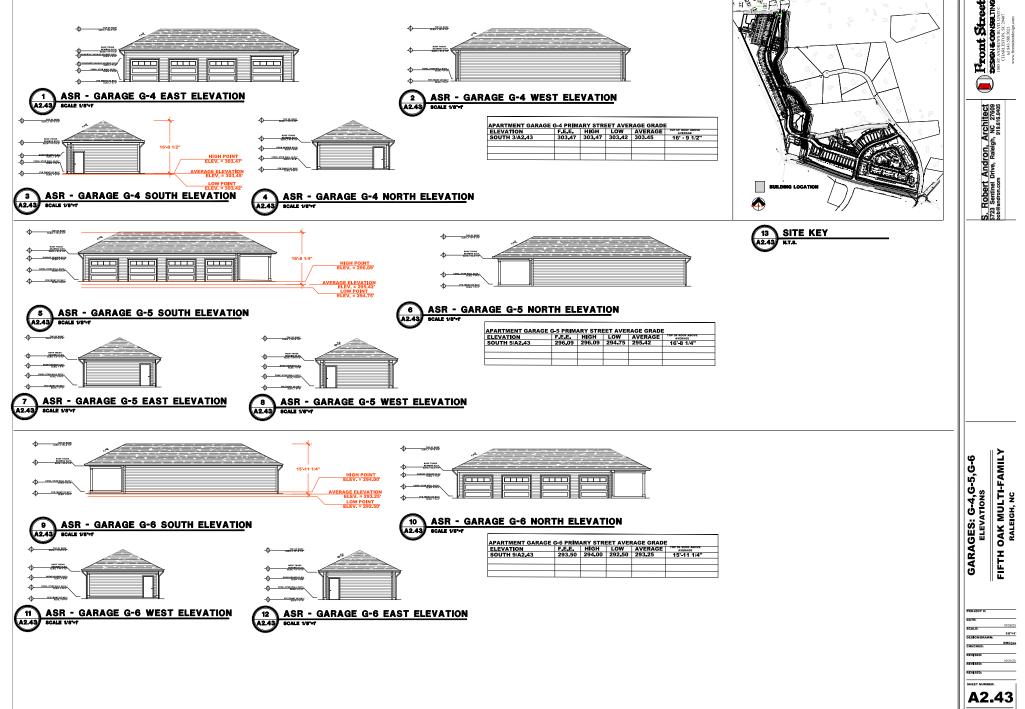
S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 pob@andron.com

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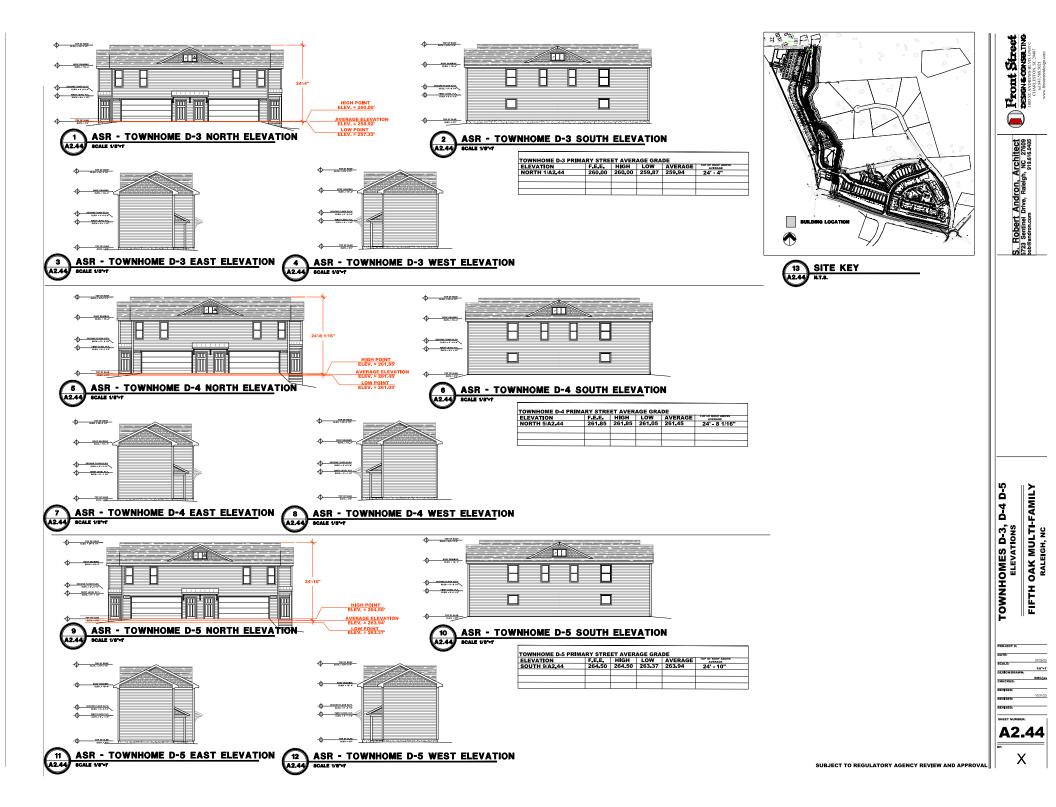
07/26/23

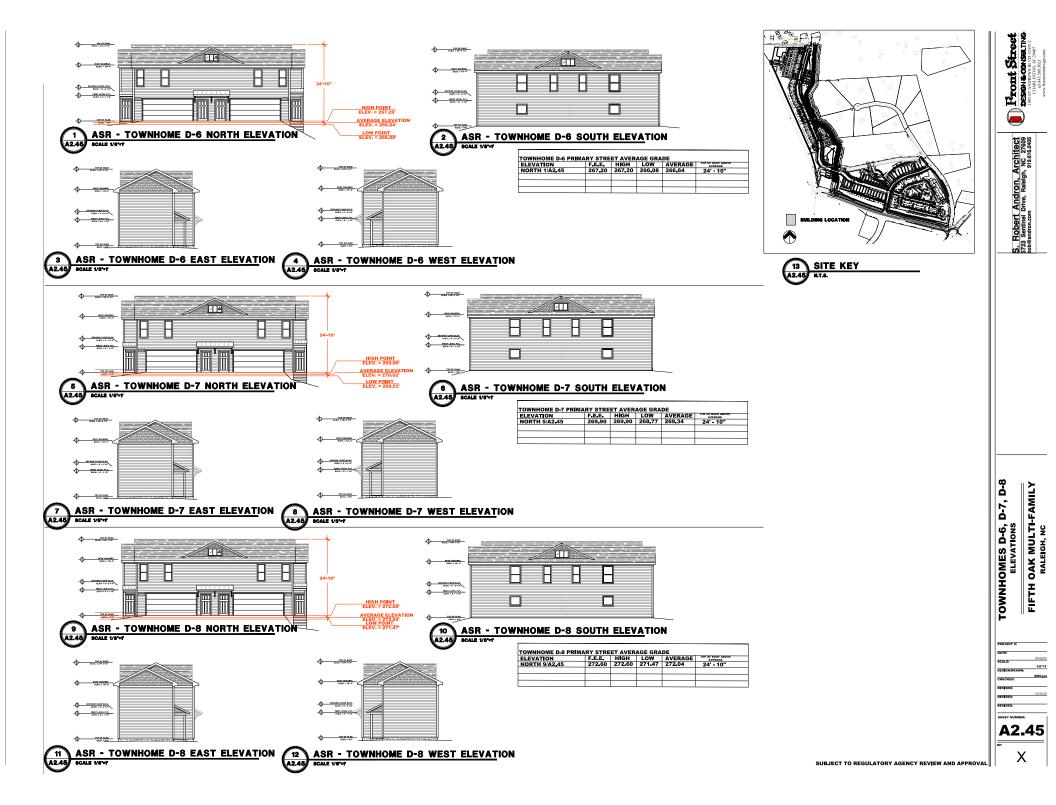
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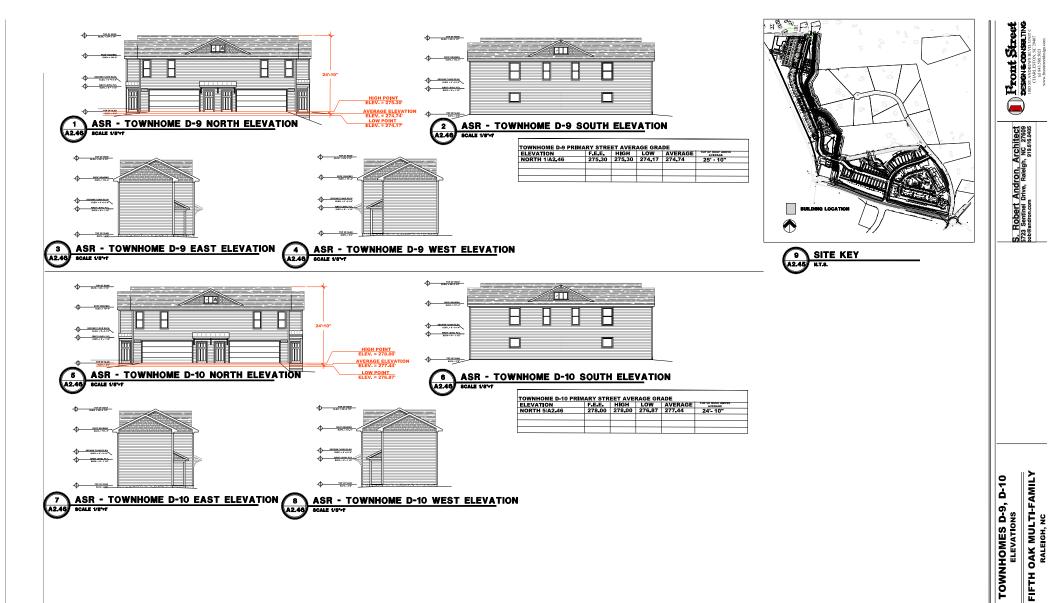




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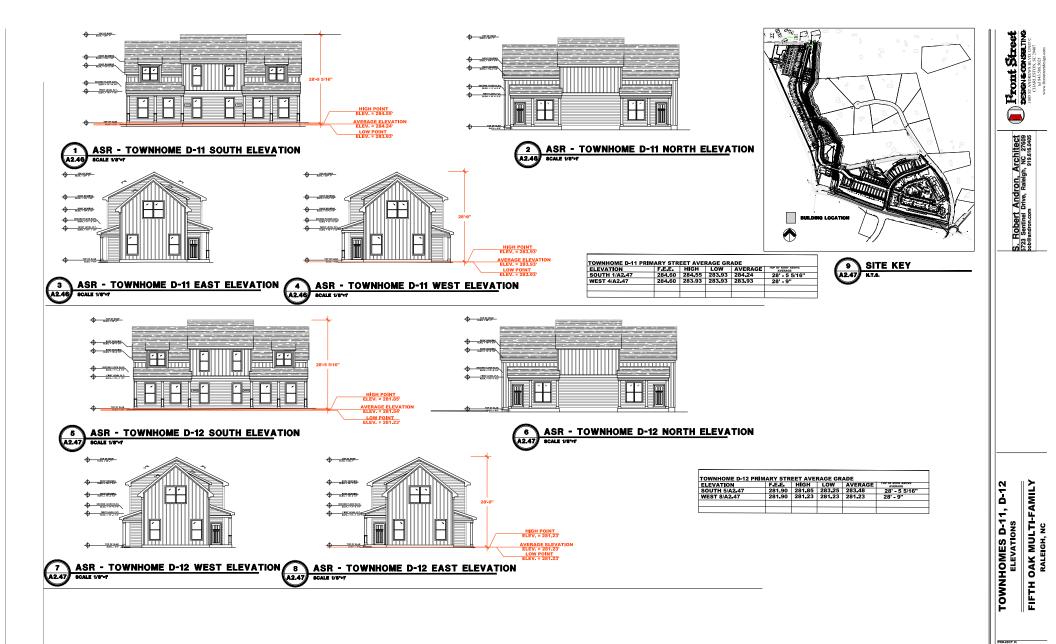
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REVISED

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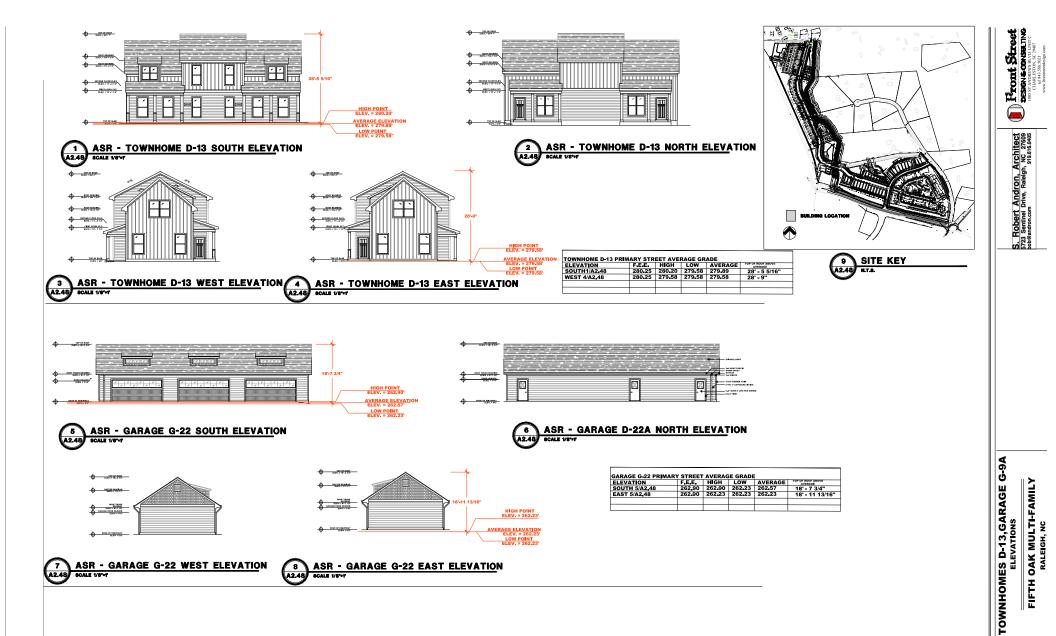


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SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

07/26/23

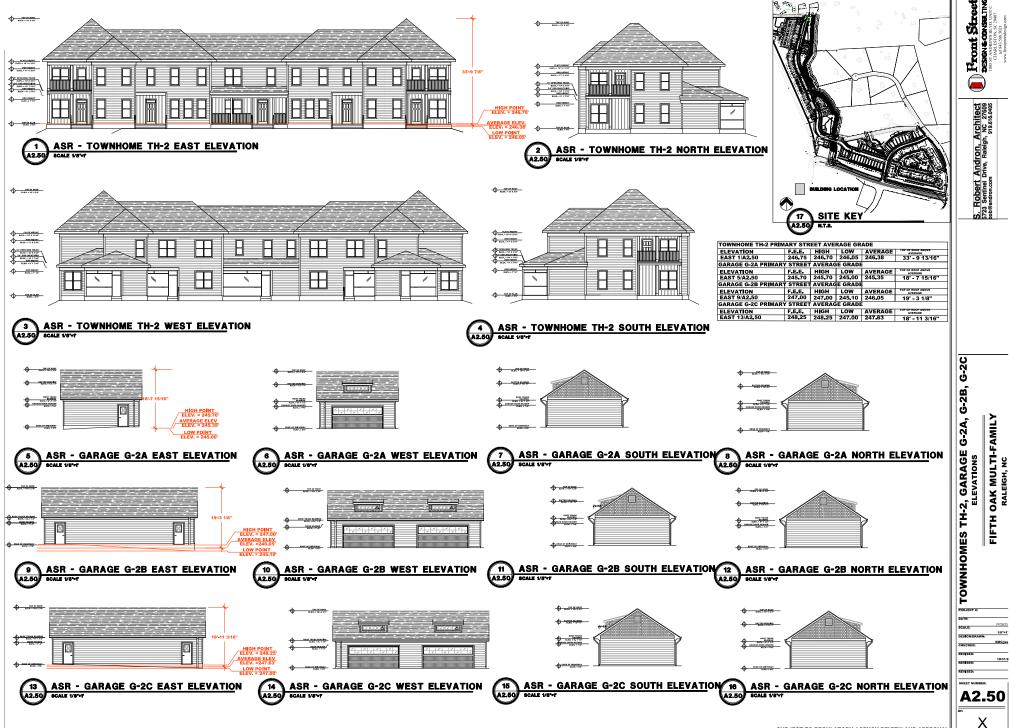
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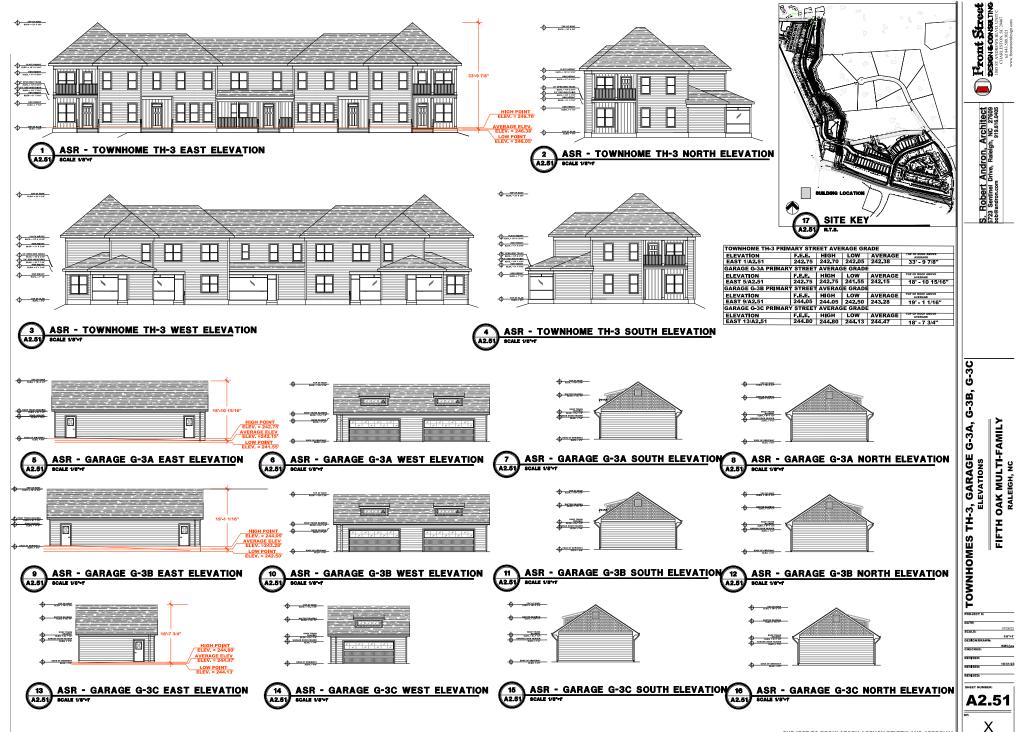
REVISED

A2.48

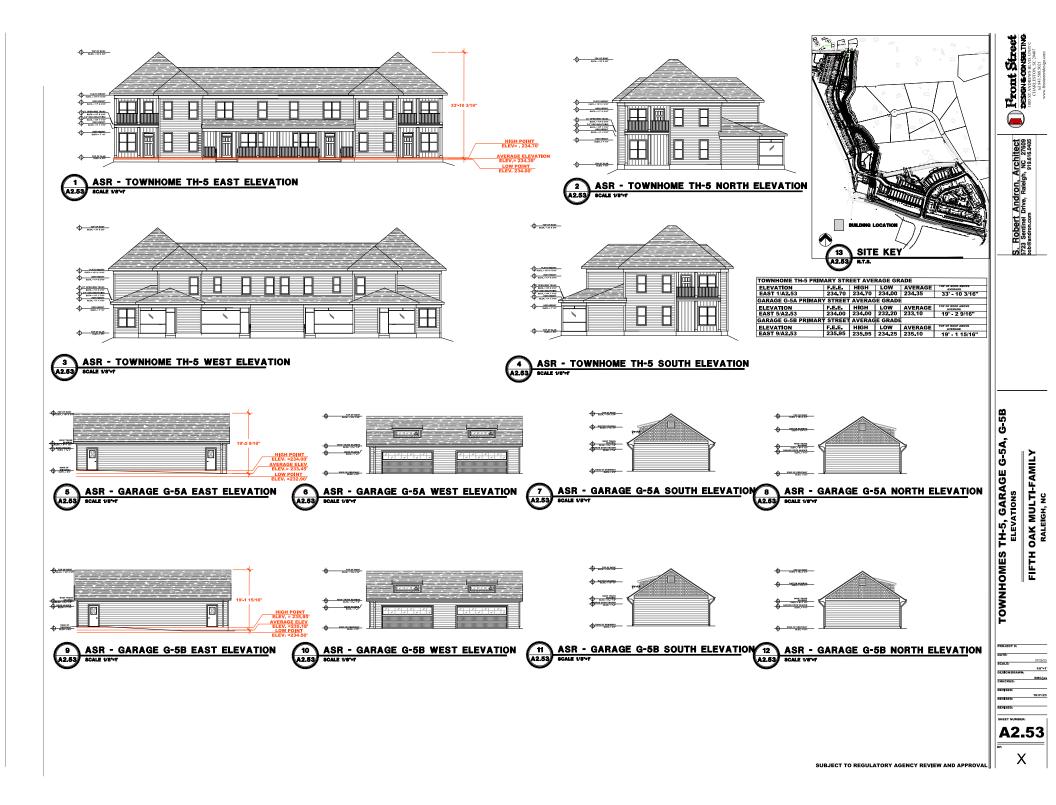




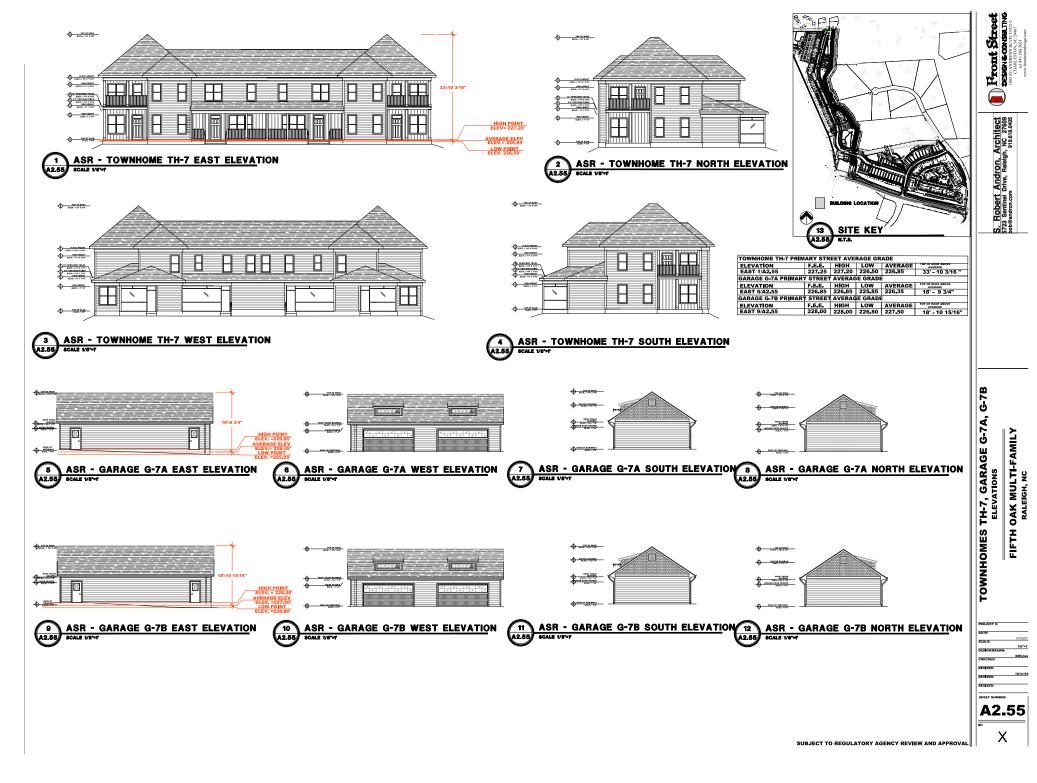
SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



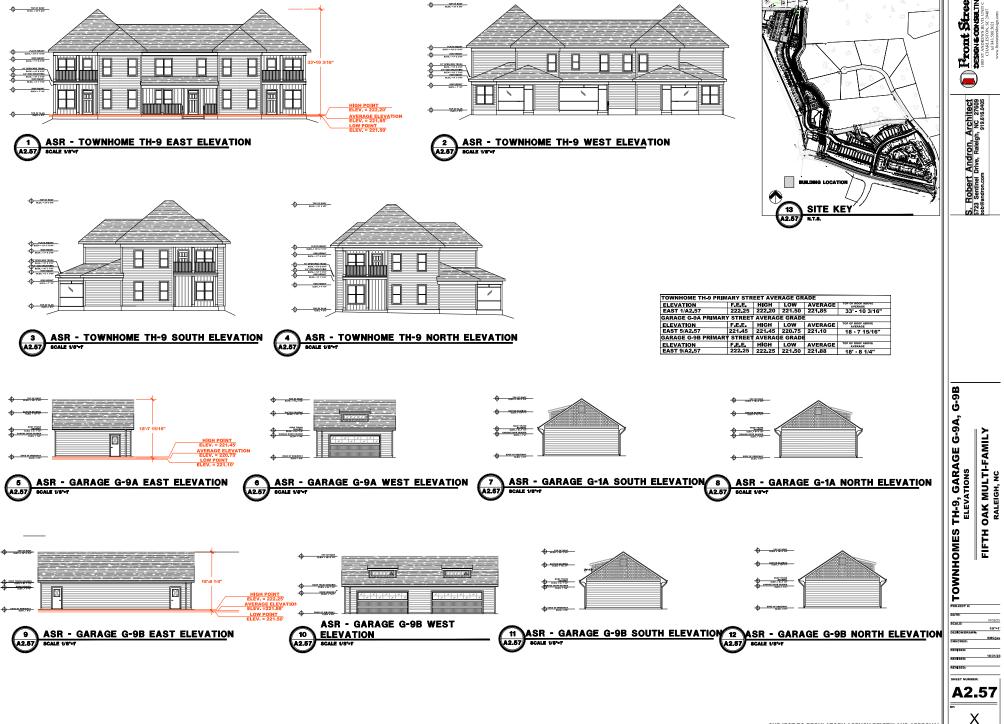


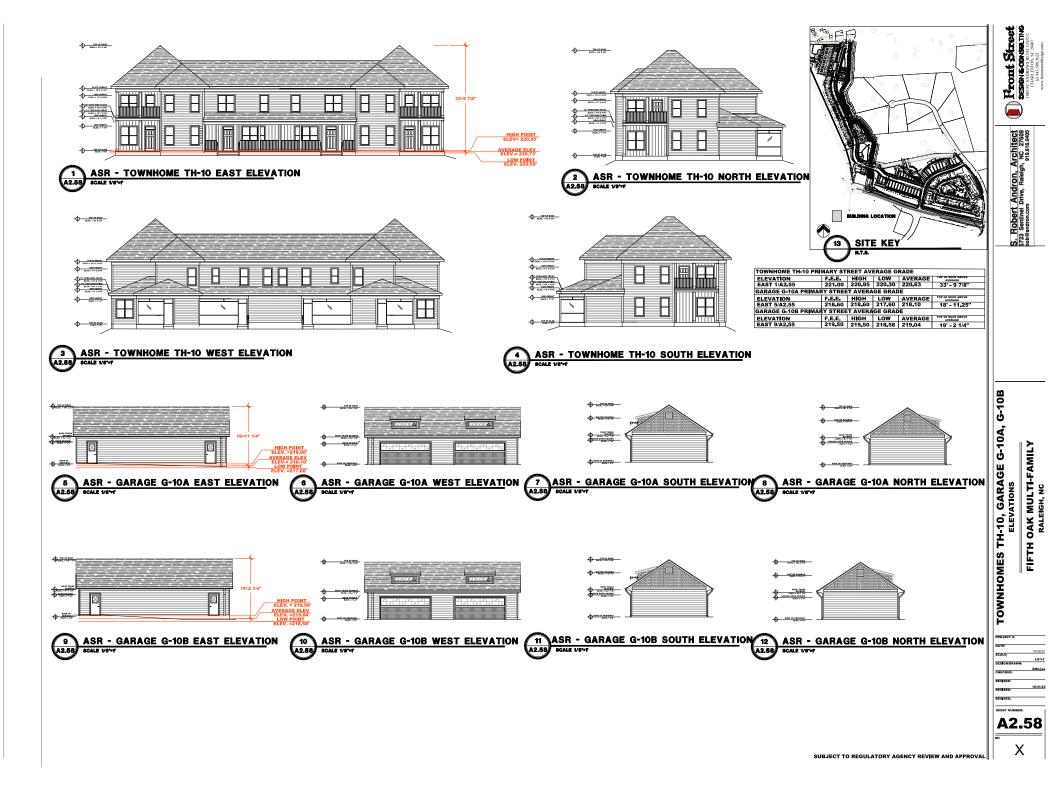


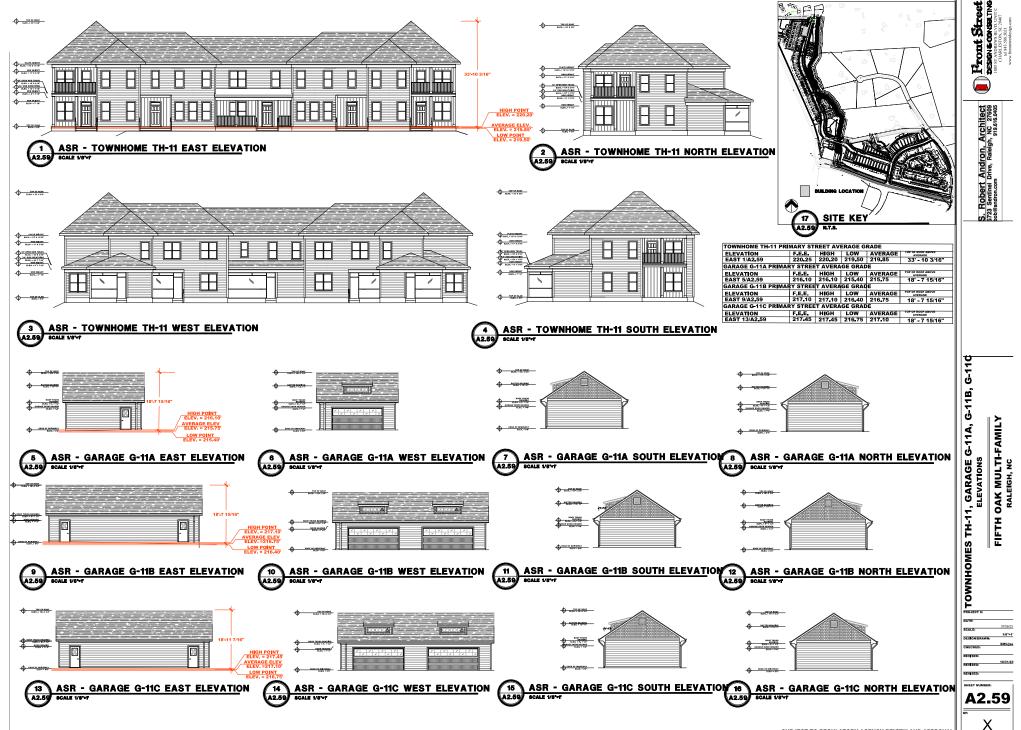


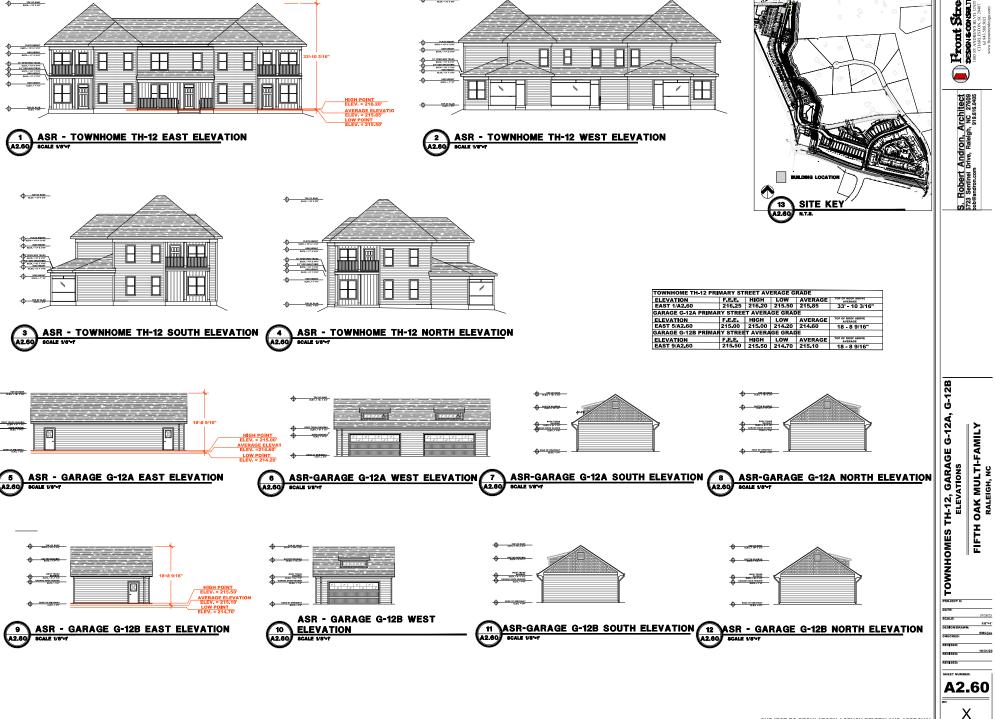






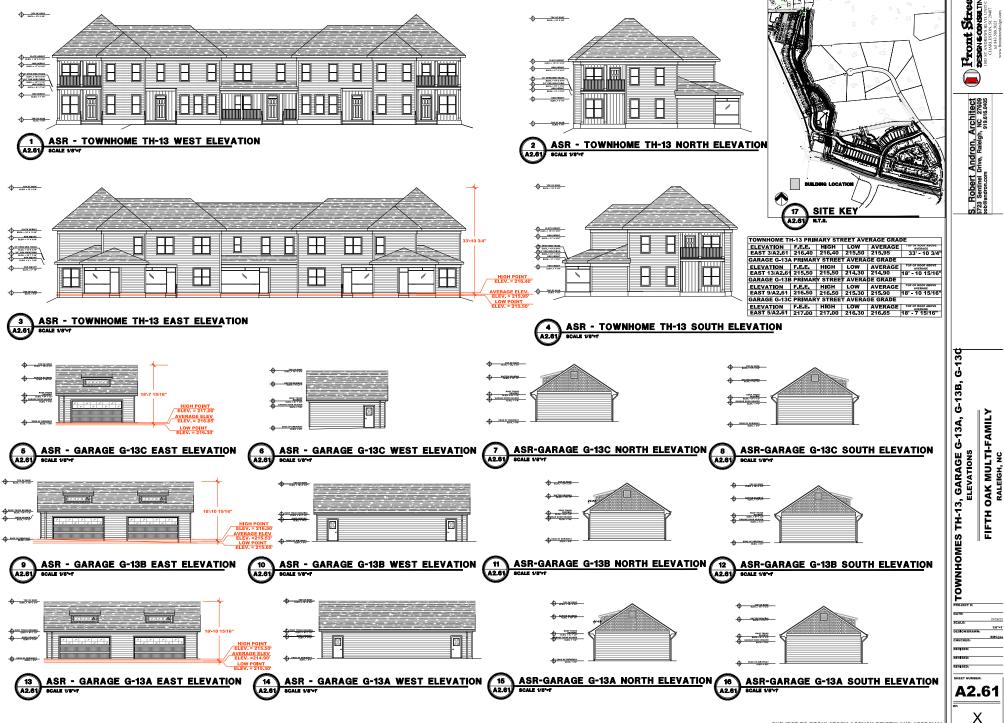


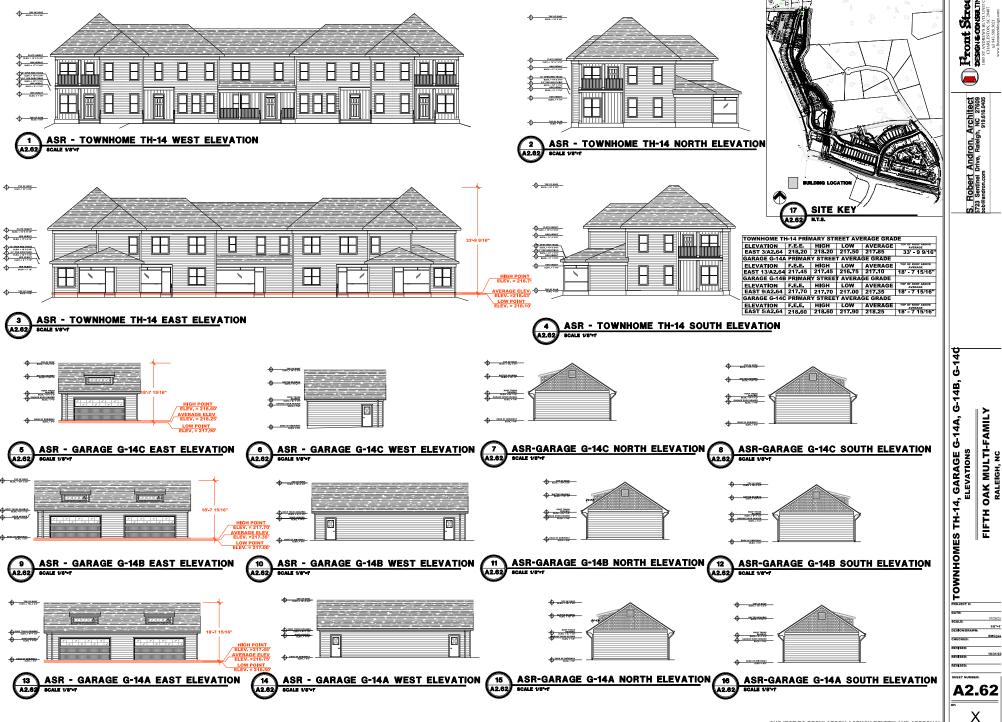


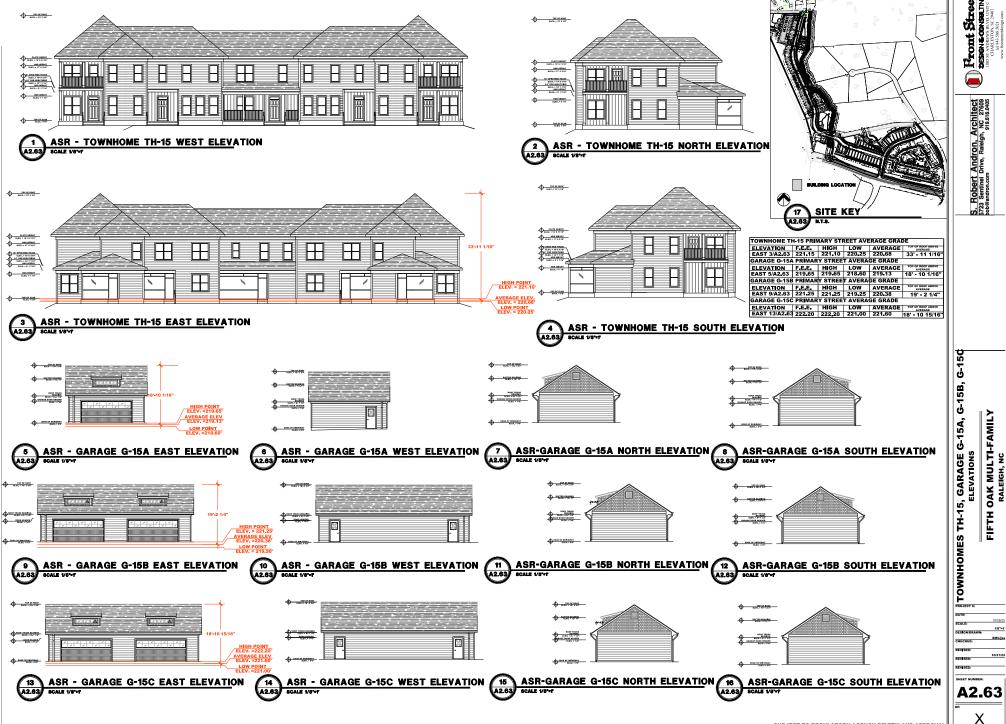


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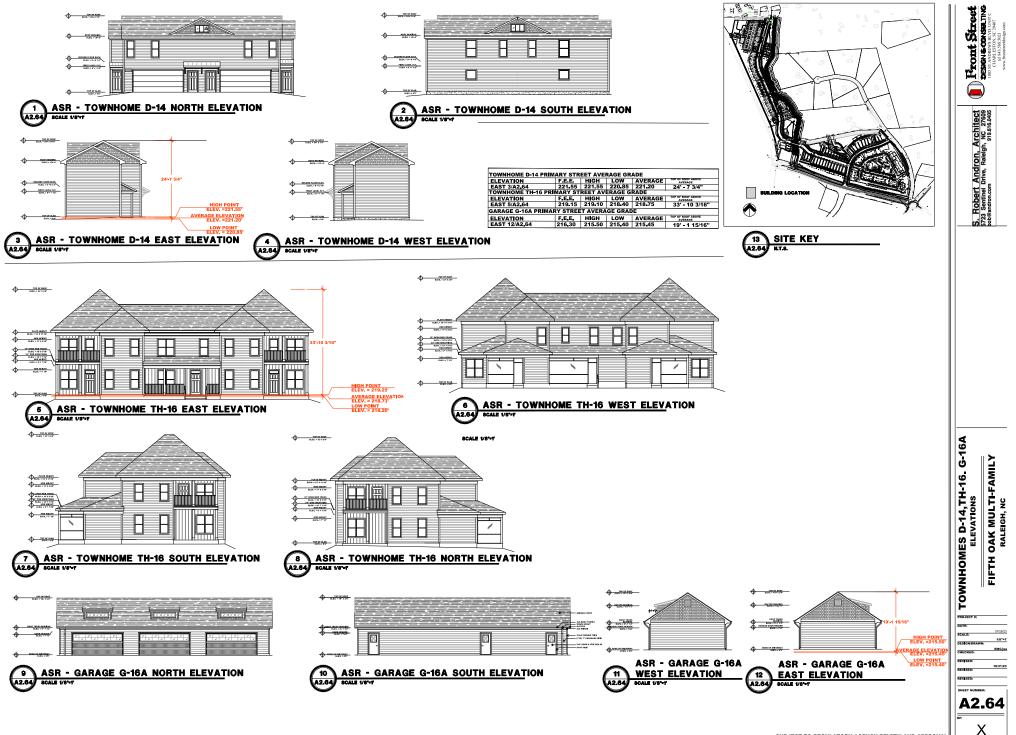
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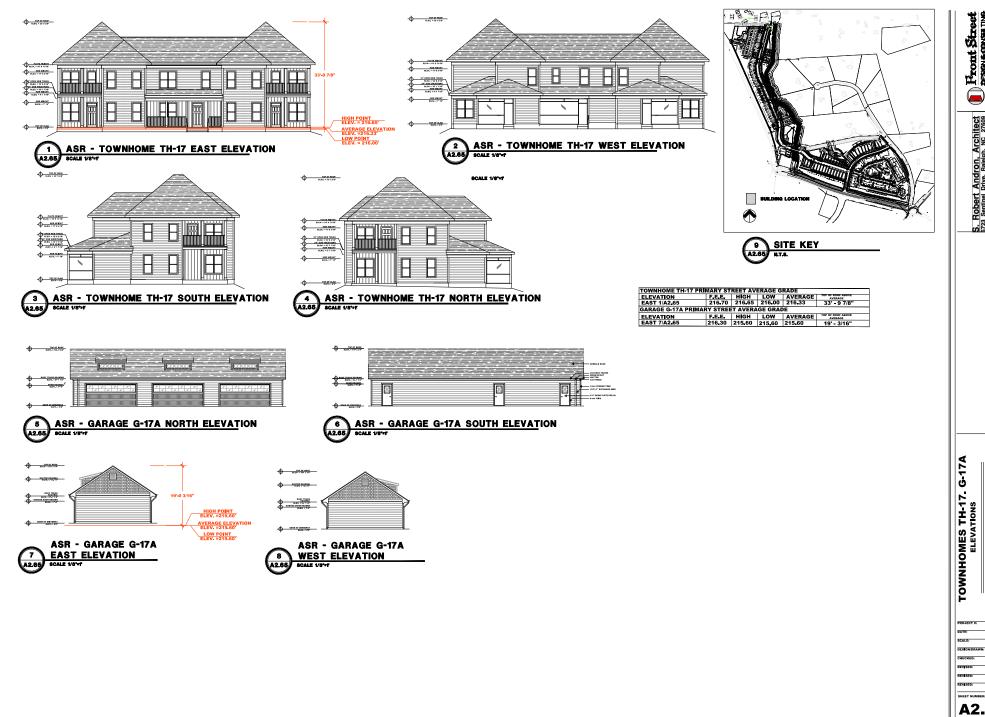






SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL





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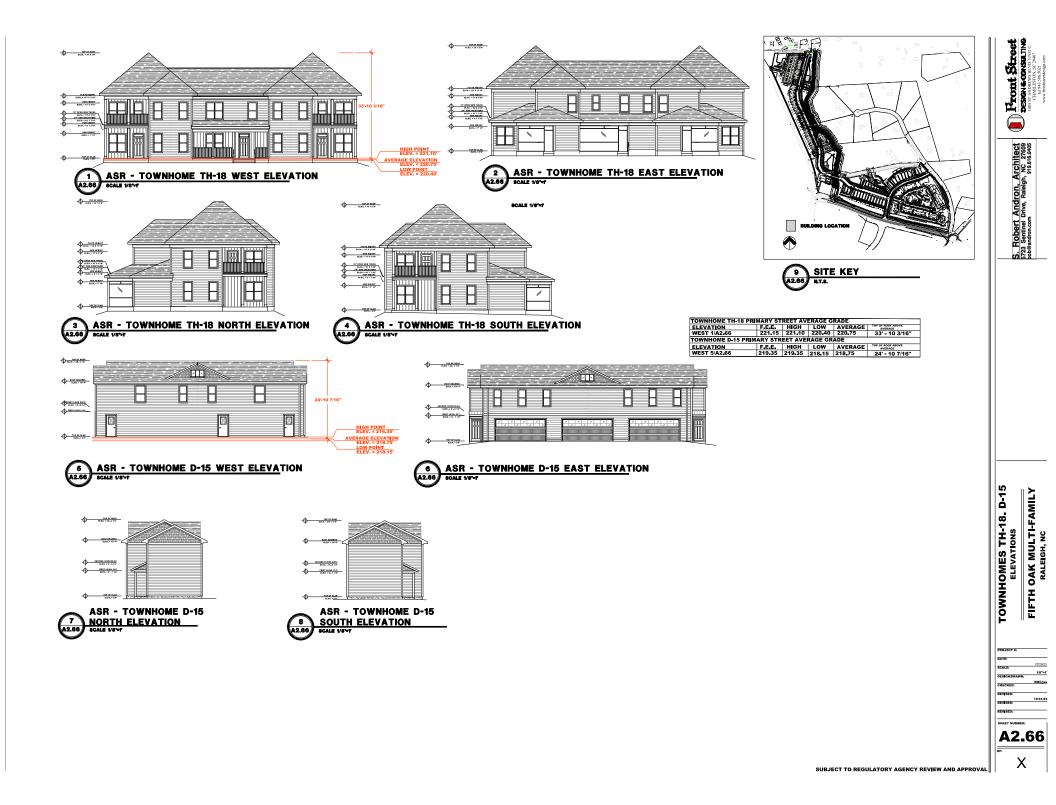
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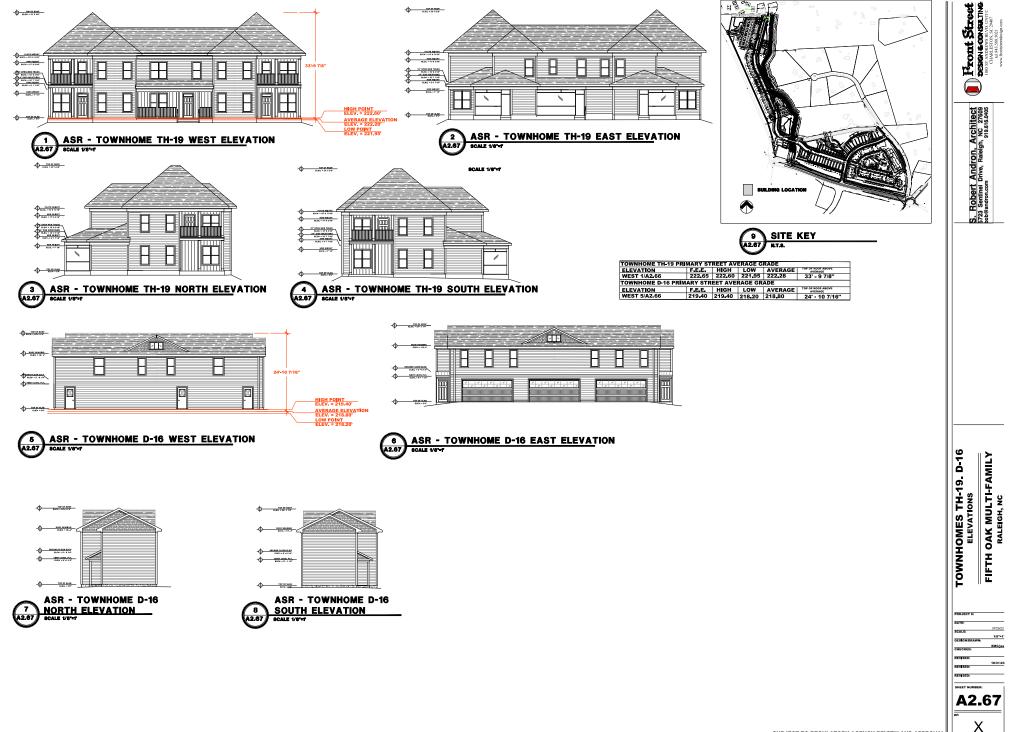
FIFTH OAK MULTI-FAMILY RALEIGH, NC

07/26/23 1/8**=1*

EMC/ias 10/31/23

S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 pob@andron.com







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SCALE 1/8**1

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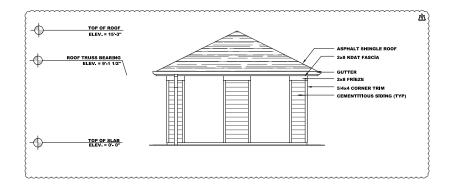
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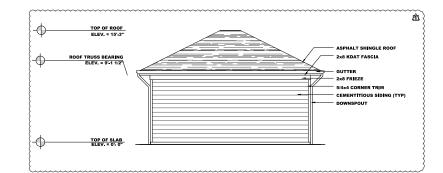
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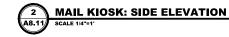
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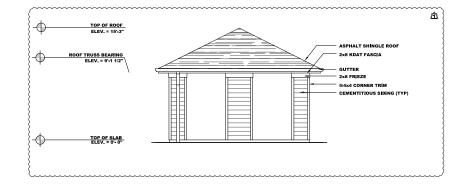














TOP OF ROOF ELEV. = 15'-3" -0 ASPHALT SHINGLE ROOF ROOF TRUSS BEARING ELEV. = 9'-1 1/2'\ 2x8 KDAT FASCIA -0 GUTTER 2x8 FRIEZE 5/4x4 CORNER TRIM CEMENTITIOUS SIDING (TYP) DOWNSPOUT -0 TOP OF SLAB ELEV. = 0'- 0"



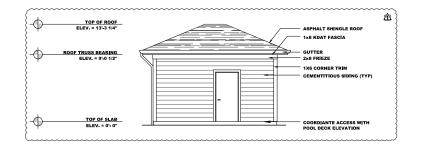


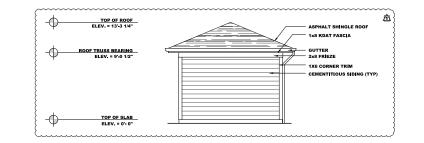
Street SIGN & CONSULTING

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S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 pob@andron.com 919.616.0405

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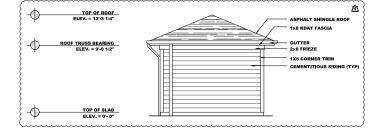






2 A8.21 POOL EQUIPMENT BUILDING: SIDE ELEVATION SCALE 1/4"=1'







POOL EQUIPMENT BUILDING: SIDE ELEVATION 4 A8.21 SCALE 1/4"=1"



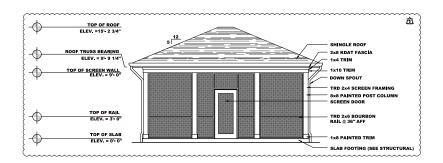


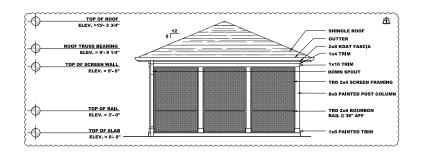
Street & CONSULTING

Front !

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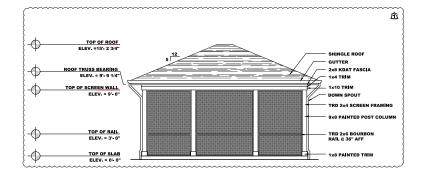














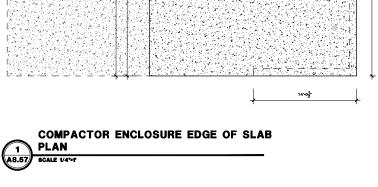


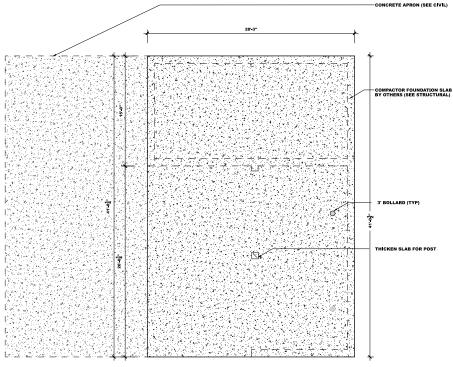
Hront Street DESIGN & CONSULTING 1005 ST ANDREWS BLVD. LINTLE

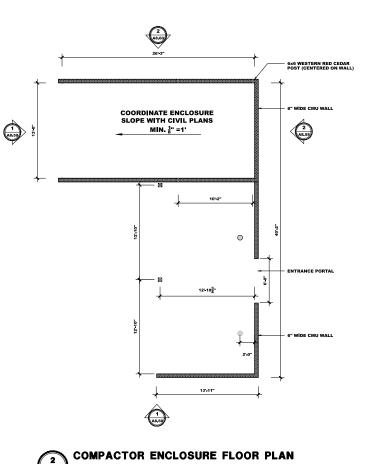
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S. Robert Andron, Architect 5723 Sentinel Drive, Raleigh, NC 27609 bob@andron.com

NOTE: THE CONTRACTOR IS COORDIANTE THE ENCLOSURE WITH THE COMPANY PROVIDING THE COMPACTOR AND THAT COMPANY'S SPECIFICATIONS. THE CONTRACTOR IS ALSO TO COORDIANTE WITH THE CIVIL PLANS TO PROVIDE POSITIVE DRAINAGE FOR THE ENCLOSURES AND AN ACCESSIBLE ROUTE AND USE OF THE ENCLOSURE IN COMPLANIANCE WITH APPLICABLE CODES.







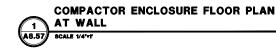
SCALE 1/4"=1

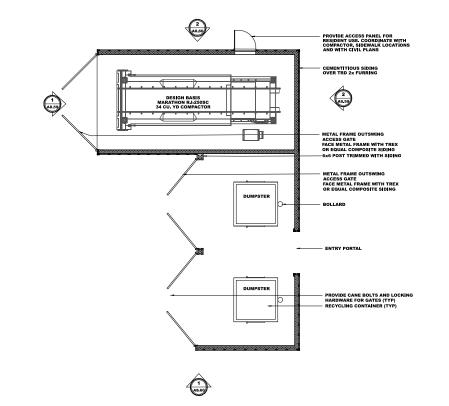
A8.57

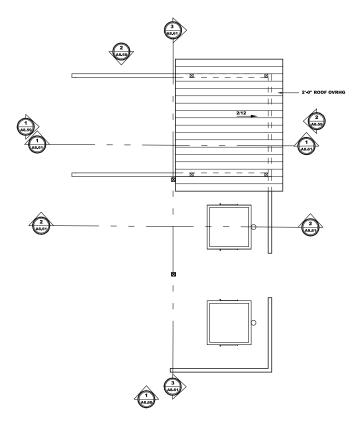


Front Street

NOTE: THE CONTRACTOR IS COORDIANTE THE ENCLOSURE WITH THE COMPANY PROVIDING THE COMPACTOR AND THAT COMPANY'S SPECIFICATIONS. THE CONTRACTOR IS ALSO TO COORDIANTE WITH THE CIVIL PLANS TO PROVIDE POSITIVE DRAINAGE FOR THE ENCLOSURES AND AN ACCESSIBLE ROUTE AND USE OF THE ENCLOSURE IN COMPLANIANCE WITH APPLICABLE CODES.



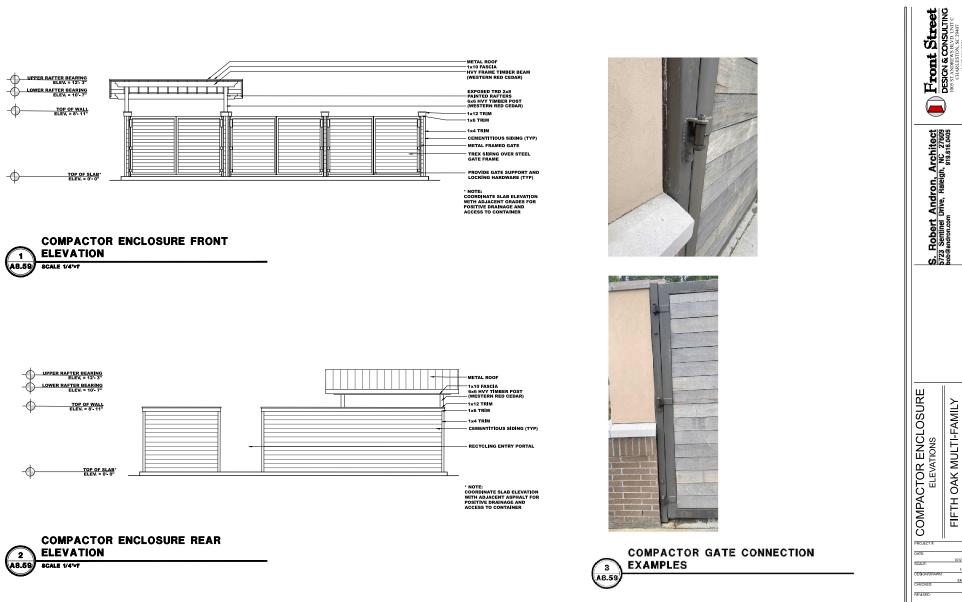








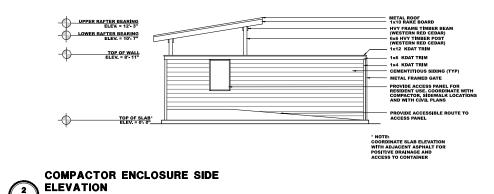


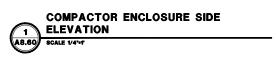


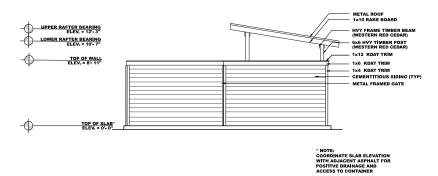
FIFTH OAK MULTI-FAMILY RALEIGH, NC 07/21/2023 1/4*=1' EMC.ljas EVISE REVISED SHEET NUMBER: A8.59 Х

SCALE 1/4"+1"

A8.60







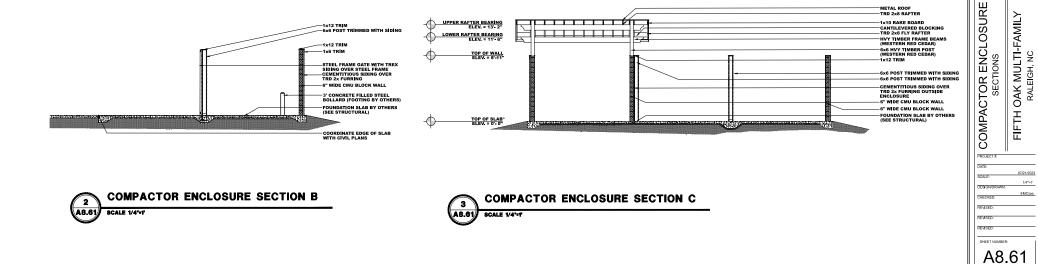


Front Street DESIGN & CONSULTING 005 ST ANDREWS BLVD. UNIT C

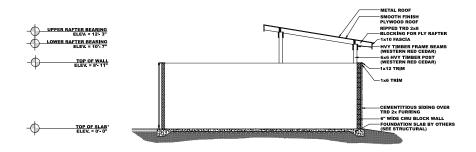
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