



Administrative Approval Action

Case File / Name: ASR-0005-2024
DSLCL - 702 BRAGG ST

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located on the south side of Bragg Street at the intersection of Bragg and Gregg Streets at 702 Bragg Street. This site is in a designated Frequent Transit Area.
- REQUEST:** Two two-unit Townhouse buildings with a gross size of 5,700 square feet and associated infrastructure on a 0.34 acre site zoned R- 10. This development is utilizing the Frequent Transit Development option.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 12, 2024 by SWISH DEVELOPMENT LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 21, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date: August 21, 2028

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

702 BRAGG ST

702 BRAGG ST RALEIGH, NC 27610

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW SUBMITTAL ASR-0005-2024

SUBMITTED ON: 07/12/2024

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

| Building and Development Type (Check all that apply) | Site Transaction History |
|---|---|
| <input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot | <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Frequent Transit Development Option |
| Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____ | |

GENERAL INFORMATION

Development name: 702 BRAGG ST
Inside City limits? Yes No
Property address(es): 702 BRAGG ST RALEIGH, NC 27610
Site P.I.N.(s): 1713037637
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

TWO TWO-UNIT TOWNHOUSE BUILDINGS AND ASSOCIATED INFRASTRUCTURE

Current Property Owner(s): BRAGG DEVELOPMENT LLC
Company: BRAGG DEVELOPMENT LLC Title: PROPERTY OWNER
Address: 5512 HICKORY LEAF DR, RALEIGH NC 27606-9500
Phone #: _____ Email: DAVIS@HOLTTEAMNC.COM
Applicant Name (if different from owner. See "who can apply" in instructions):
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: BRAGG DEVELOPMENT LLC Address: 5512 HICKORY LEAF DR, RALEIGH NC 27606-9500

Page 1 of 3 REVISION 1.23.23
raleighnc.gov

Phone #: _____ Email: DAVIS@HOLTTEAMNC.COM
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: BRAGG DEVELOPMENT LLC
Company: BRAGG DEVELOPMENT LLC Title: PROPERTY OWNER
Address: 702 BRAGG ST
Phone #: 828-735-1862 Email: DAVIS@HOLTTEAMNC.COM
Applicant Name: LUKE PERKINS, PE
Company: SWIFT PARTNERS Address: 424 S DAWSON ST
Phone #: 828-735-1862 Email: LUKE.PERKINS@SWIFT-PARTNERS.COM

| DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments) | |
|--|--|
| SITE DATA | BUILDING DATA |
| Zoning district(s) (please provide the acreage of each): R-10 | Existing gross floor area (not to be demolished): 0 SF |
| Gross site acreage: 14,923 SF / 0.34 AC | Existing gross floor area to be demolished: 0 SF |
| # of parking spaces proposed: 4 | New gross floor area: 5,700 SF |
| Max # parking permitted (7.1.2.C): 3/UNIT | Total of gross (to remain and new): 5,700 SF |
| Overlay District (if applicable): N/A | Proposed # of buildings: 1 |
| Existing use (UDO 6.1.4): SINGLY FAMILY USE | Proposed # of stories for each: 3 |
| Proposed use (UDO 6.1.4): MULTI FAMILY USE | Proposed # of basement levels (UDO 1.5.7.A.6) 0 |

| STORMWATER INFORMATION | |
|---|--|
| Impervious Area on Parcel(s): Existing (sf) 644 Proposed total (sf) 5884 | Impervious Area for Compliance (includes ROW): Existing (sf) 644 Proposed total (sf) 5884 |

| RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS | |
|---|---|
| Total # of dwelling units: # of bedroom units: 1br 2br 3br 4br or more | Total # of hotel bedrooms: Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No A frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No |

Continue to Applicant Signature Block on Page Three.

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Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--------------------------------|
| C0.00 | COVER SHEET |
| C0.20 | GENERAL NOTES |
| C1.00 | EXISTING CONDITIONS PLAN |
| C3.00 | SITE & LANDSCAPING PLAN |
| C5.00 | GRADING AND DRAINAGE PLAN |
| C6.00 | UTILITY PLAN |
| C9.00 | SITE DETAILS |
| C9.30 | UTILITY DETAILS |
| A4.01 | BUILDING 1 EXTERIOR ELEVATIONS |
| A4.02 | BUILDING 1 EXTERIOR ELEVATIONS |
| A4.03 | BUILDING 2 EXTERIOR ELEVATIONS |
| A4.04 | BUILDING 2 EXTERIOR ELEVATIONS |

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCOTD STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
5.1 MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
5.2 PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
5.3 AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
5.4 RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDEM, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOGGING SERVICES INCLUDING INDEPENDENT LOGGING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY DATA GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAY'S (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

SOLID WASTE:

- SOLID WASTE TO BE HANDLED VIA ROLL OUT CURT.
- SOLID WASTE AND RECYCLING WILL BE SERVICES BY CITY OF RALEIGH SOLID WASTE SERVICES AT THE CURB.
 - CONTAINERS WILL BE ROLLED TO THE POINT OF COLLECTION AT THE CURB OR EDGE OF THE STREET THEN REMOVED AFTER COLLECTION.
 - CONTAINERS WILL BE STORED IN GARAGES FOR THIS COMMUNITY. STORAGE ISSUES WILL BE HANDLED BETWEEN RESIDENTS AND THE HOA, OWNER, AND/OR PROPERTY MANAGEMENT COMPANY FOR THE COMMUNITY.



Hello Elizabeth,

The Solid waste management plan is approved for this ASR. Make sure in a Solid Waste Inspections Statement on the front cover of the plans you indicate the following -

- Solid waste and recycling will be services by City of Raleigh Solid Waste Services at the curb.
- Containers will be rolled to the point of collection at the curb or edge of the street then removed after collection.
- Containers will be stored in garages for this community. Storage issues will be handled between residents and the HOA, Owner, and/or property management company for the Community.

When you submit this project for SPR, make sure you use the Same Solid Waste Services Inspections Statement, but also demonstrate that in drawing showing garages has space for 2 sets of containers and a garage.

Remain Well,

Marion

Marion O. Staley
Code Compliance Supervisor

City of Raleigh - Solid Waste Services
Code Compliance Program
630 Beacon Lake Drive
Raleigh, NC 27610
919-996-6940 - Office



VICINITY MAP 1" = 60'

SITE DATA

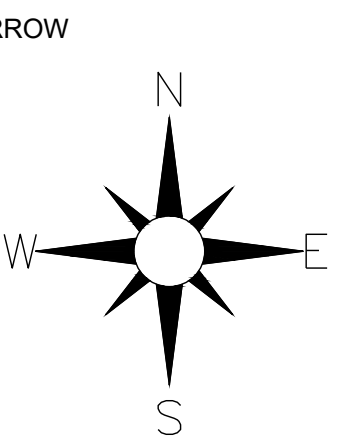
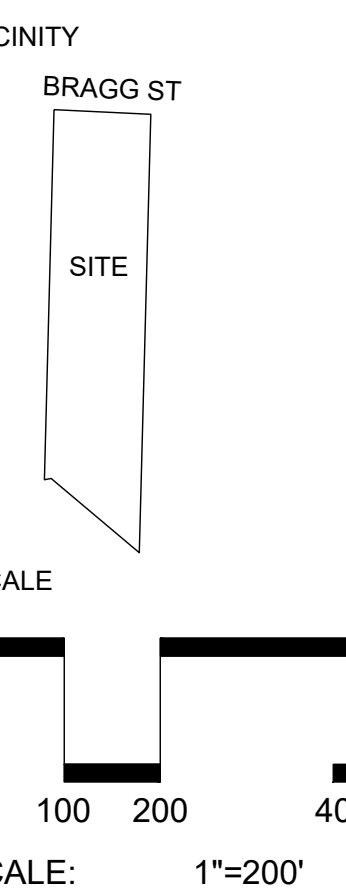
PROJECT NAME: 702 BRAGG ST
SITE ADDRESS: 702 BRAGG ST RALEIGH, NC 27610
COUNTY: WAKE
PARCEL PIN #: 1713037637
PARCEL OWNER: BRAGG DEVELOPMENT LLC
TOTAL SITE GROSS ACREAGE: 14,923 SF / 0.34 AC
CURRENT ZONING: R-10
PROPOSED ZONING: R-10
EXISTING LAND USE: SINGLE FAMILY LIVING
PROPOSED LAND USE: MULTI FAMILY LIVING
FLOOD PLAIN DATA: N/A
RIVER BASIN: NEUSE
DEVELOPMENT TYPE: TOWNHOMES
MAX BUILDING HEIGHT: 40' / 3 STORIES MAX
PROPOSED BUILDING HEIGHT: 39' 9.5"
PROPOSED NUMBER OF LOTS: 1
TREE CONSERVATION AREA: N/A
TOTAL LIMITS OF DISTURBANCE: 10,762 SF / 0.25 AC
EXISTING IMPERVIOUS AREA: 0 AC / 0 SF
PROPOSED IMPERVIOUS AREA: 0.13 AC / 5,684 SF (65% MAX = 9,700 SF)

| PARKING DATA: | REQUIRED PARKING: | MAX 3/UNIT |
|------------------------------|-------------------|------------|
| PROPOSED PARKING: | 4 | |
| TOTAL PARKING: | 4 | |
| AMENITY AREA REQUIRED (10%): | 1,492 SF | |
| AMENITY AREA PROVIDED: | 1,623 SF | |



414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

| No. | Date | Description |
|-----|------|-------------|
|-----|------|-------------|



Luke Perkins | Founder
Swift Partners PLLC
E: luke.perkins@swift-partners.com | W: www.swift-partners.com
M: +1 8287351862 | W: +1 8287351862

DATE: 07/12/2024
DRAWN BY: LUP
PROJECT: 702 BRAGG ST
PROJECT #: C202325
SHEET TITLE
COVER SHEET

SHEET NO.
C0.00



414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

SITE LEGEND:

| SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED BUILDING |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED BRICK SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED CONCRETE PAVERS |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED CROSSWALK |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK |
| [Symbol] | PROPOSED SIGN |
| [Symbol] | PROPOSED ADA PARKING SPACE |
| [Symbol] | PROPOSED KEYSTONE WALL |
| [Symbol] | PROPOSED CIP WALL |
| [Symbol] | PROPOSED WHEEL STOP |
| [Symbol] | PROPOSED GRAVEL TRAIL |
| [Symbol] | PROPOSED ASPHALT TRAIL |
| [Symbol] | PROPOSED TREELINE |
| [Symbol] | PROPOSED VEHICLE GATE (X' WIDE) |
| [Symbol] | PROPOSED LIGHT |
| [Symbol] | PROPOSED BIKE RACK |
| [Symbol] | PROPOSED BENCH |
| [Symbol] | PROPOSED BOLLARD |
| [Symbol] | PROPOSED AMENITY AREA |
| [Symbol] | LIMITS OF DISTURBANCE |

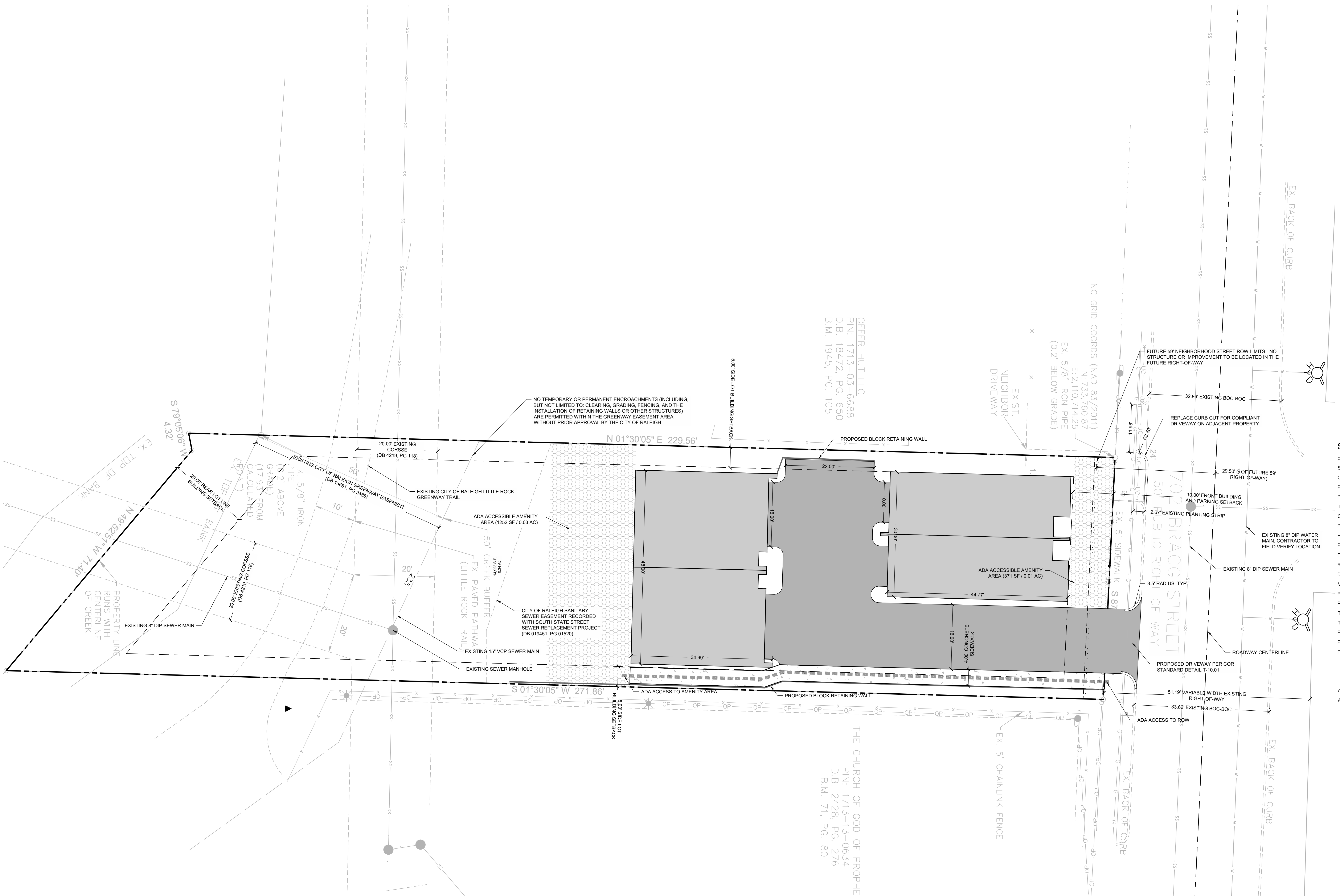
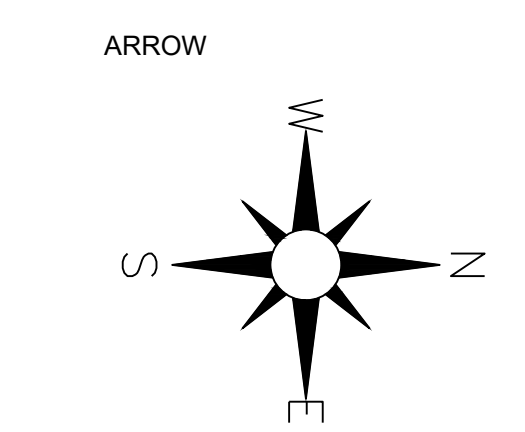
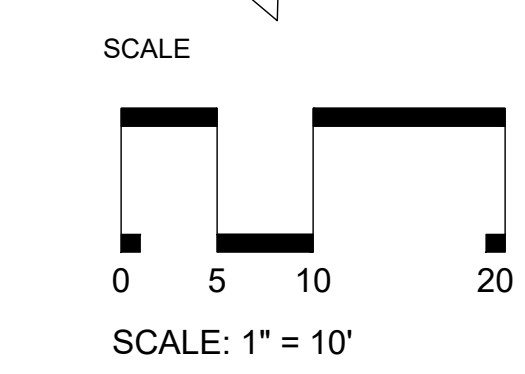
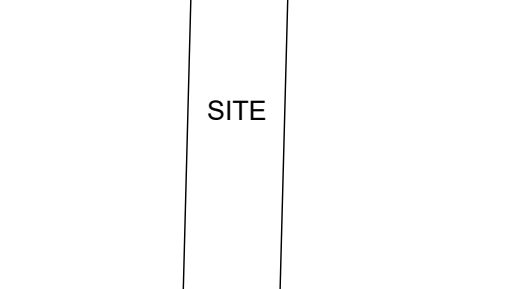
- NOTES:**
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
 - PER UDO 2.7.1.D, SUBSCRIPT 5, WE ARE CHOOSING TO MEET THE ZONING DISTRICT'S MINIMUM PRIMARY STREET SETBACK.

SITE DATA

| | |
|------------------------------|---|
| PROJECT NAME: | 702 BRAGG ST |
| SITE ADDRESS: | 702 BRAGG ST RALEIGH, NC 27610 |
| COUNTY: | WAKE |
| PARCEL PIN #: | 1713037637 |
| PARCEL OWNER: | BRAGG DEVELOPMENT LLC |
| TOTAL SITE GROSS ACREAGE: | 14.023 SF / 0.34 AC |
| CURRENT ZONING: | R-10 |
| PROPOSED ZONING: | R-10 |
| EXISTING LAND USE: | SINGLE FAMILY LIVING |
| PROPOSED LAND USE: | MULTI FAMILY LIVING |
| FLOOD PLAIN DATA: | N/A |
| RIVER BASIN: | NEUSE |
| DEVELOPMENT TYPE: | TOWNHOMES |
| MAX BUILDING HEIGHT: | 40' / 3 STORIES MAX |
| PROPOSED BUILDING HEIGHT: | 39' 9.5" |
| PROPOSED NUMBER OF LOTS: | 1 |
| TREE CONSERVATION AREA: | N/A |
| TOTAL LIMITS OF DISTURBANCE: | 10,782 SF / 0.25 AC |
| EXISTING IMPERVIOUS AREA: | 0 AC / 0 SF |
| PROPOSED IMPERVIOUS AREA: | 0.13 AC / 5,684 SF (65% MAX = 9,700 SF) |
| PARKING DATA: | |
| REQUIRED PARKING: | MAX 3/UNIT |
| PROPOSED PARKING: | 4 |
| TOTAL PARKING: | 4 |
| AMENITY AREA REQUIRED (10%): | 1,492 SF |
| AMENITY AREA PROVIDED: | 1,623 SF |

| No. | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

VICINITY



Article 2.7. Frequent Transit Development Option

The Frequent Transit Development Option allows for additional housing in locations near current and planned frequent transit service. A Frequent Transit Area refers to areas slated for bus or other transit service where the time between vehicles will be 35 minutes or less during peak service periods and must be mapped in the City's Comprehensive plan as such. Where a regulation in this section conflicts with a regulation of a Neighborhood Conservation Overlay District (NCOD), the NCOD regulation shall control.

Sec. 2.7.1. Frequent Transit Development Option

| | R-4 | R-6 | R-10 |
|---|--|--|--|
| A. Building Types | | | |
| A1. Applicable Building Types | Tiny House, Detached House, Attached House, Townhouse, Apartment | Detached House, Attached House, Townhouse, Apartment | Detached House, Attached House, Townhouse, Apartment |
| B. Lot Dimensions | | | |
| B1. Area (min) | 6,500 sf | 4,000 sf | 2,500 sf |
| B2. Lot width (min) | 65' | 50' | 45' |
| B3. Depth (min) | 100' | 80' | 60' |
| B4. Density (max) | n/a | n/a | n/a |
| B5. Outdoor Amenity Area (min) for Townhouse (3+ units) and Apartment | 10% | 10% | 10% |

| | R-4 | R-6 | R-10 |
|--|--------------|--------------|--------------|
| C. Lot Area Required per Unit¹ | | | |
| C1. Single-unit living (min) | 6,500 sf | 4,000 sf | 2,500 sf |
| C2. Two-unit living (min) | 2,500 sf | 1,500 sf | 1,000 sf |
| C3. Multi-unit living (min) | 2,000 sf | 1,200 sf | 800 sf |
| D. Principal Building Setbacks | | | |
| D1. From primary street (min) | 10' | 10' | 10' |
| D2. From side street (min) | 10' | 10' | 10' |
| D3. From side lot line (min) ² | 5' | 5' | 5' |
| D4. From rear lot line (min) ³ | 25' | 15' | 15' |
| D5. From Alley (min) ⁴ | 4' or 20' | 4' or 20' | 4' or 20' |
| D6. Residential infill rules may apply (see Sec. 2.2.7.) | yes | yes | yes |
| E. Height | | | |
| E1. Detached/Attached Principal Building (max) | 40/3 stories | 40/3 stories | 40/3 stories |
| E2. Townhouse/Apartment Principal Building (max) | 45/3 stories | 45/3 stories | 45/3 stories |
| E3. Tiny House (max) | 26/2 stories | 26/2 stories | 26/2 stories |
| E4. Accessory Structure (max) | 26' | 26' | 26' |
| E5. Residential infill rules may apply (see Sec. 2.2.7.) | No | No | No |

C. Neighborhood Street



| | |
|--------------------------------------|--------------|
| Width | |
| A. Right-of-way width | 64' |
| B. Back-of-curb to back-of-curb | 36' |
| Streetscape | |
| C. Utility placement, easement (min) | 5' |
| D. Maintenance strip (min) | 2' |
| E. Sidewalk (min) | 6' |
| F. Planting area (min) | 6' |
| Travelway | |
| G. Parallel parking lane | 8' |
| H. Travel lane | 10' |
| General | |
| Walkway type | Sidewalk |
| Planting type | Tree lawn |
| Tree spacing | 40' o.c. avg |
| Parking type | Parallel |

GRADING LEGEND:

| SYMBOL | DESCRIPTION |
|--------------------------|-------------------------|
| [Line with dashes] | LIMITS OF DISTURBANCE |
| [Line with long dashes] | PROPOSED MAJOR CONTOUR |
| [Line with short dashes] | PROPOSED MINOR CONTOUR |
| [Solid line] | EXISTING MAJOR CONTOUR |
| [Dotted line] | EXISTING MINOR CONTOUR |
| [Line with small dashes] | PROPOSED STORM DRAINAGE |
| [Circle with X] | PROPOSED JUNCTION BOX |
| [Square with X] | PROPOSED CATCH BASIN |
| [Square with grid] | PROPOSED AREA DRAIN |
| [Triangle with X] | RIPRAP DISSIPATOR |
| [Arrow] | FLOW DIRECTION |
| [Line with number] | PROPOSED ELEVATION |
| [Line with number] | TOP/BOTTOM OF CURB |
| [Line with number] | TOP/BOTTOM OF WALL |

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.
- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2. TREE CONSERVATION APPLICABILITY.

ADA NOTES:

- PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
- PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2018 NCSCB SECTION 1010.
- HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2018 NCSCB SECTION 1012.

AVERAGE GRADE CALCULATIONS

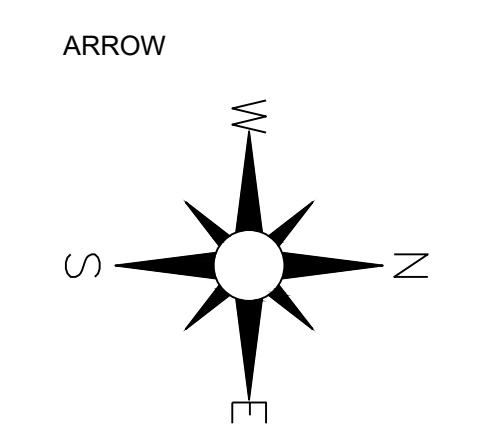
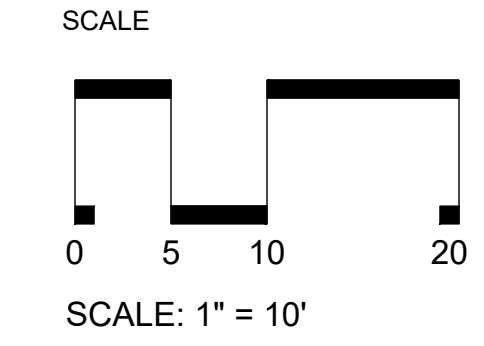
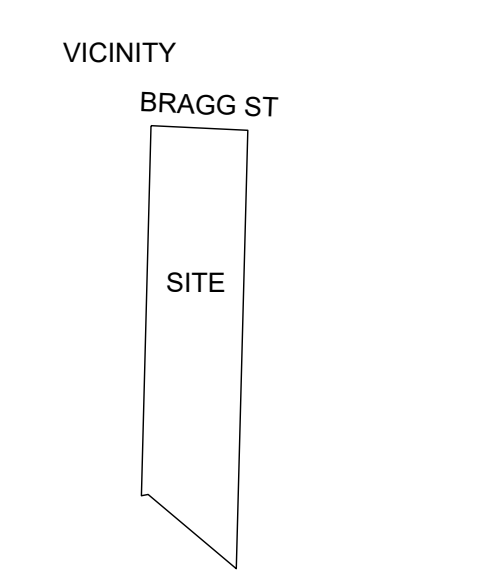
| BUILDING | HIGHEST PROPOSED GRADE | LOWEST PROPOSED GRADE | BUILDING FFE | AVERAGE GRADE |
|----------------|------------------------|-----------------------|--------------|---------------|
| NORTH BUILDING | 244.95 | 244.83 | 244.95 | 244.89 |

| BUILDING | HIGHEST PROPOSED GRADE | LOWEST PROPOSED GRADE | BUILDING FFE | AVERAGE GRADE |
|----------------|------------------------|-----------------------|--------------|---------------|
| SOUTH BUILDING | 243.85 | 243.63 | 243.99 | 243.74 |



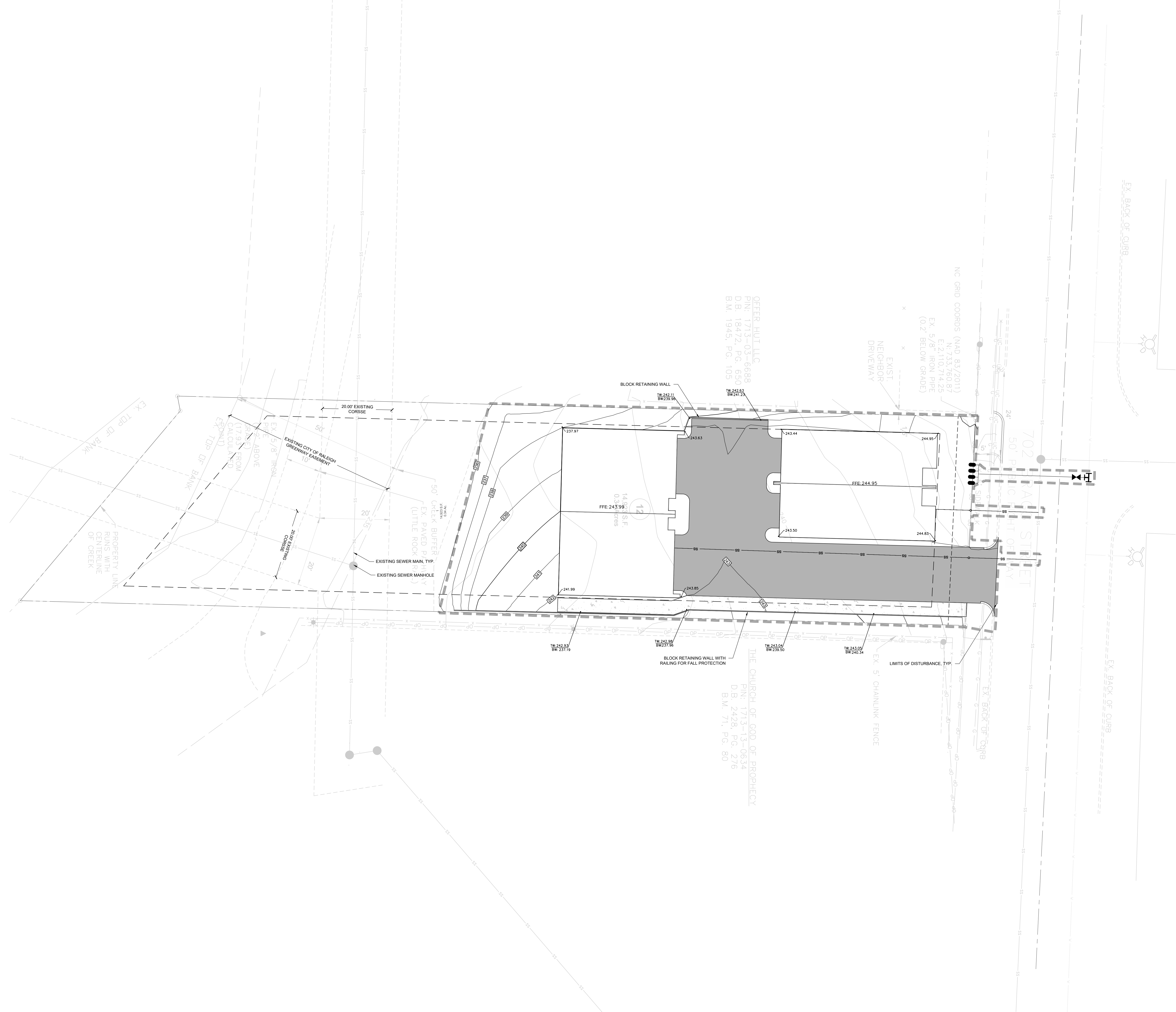
414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

| No. | Date | Description |
|-----|------|-------------|
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DATE: 07/12/2024
DRAWN BY: [blank]
PROJECT: 702 BRAGG ST
PROJECT #: C202325

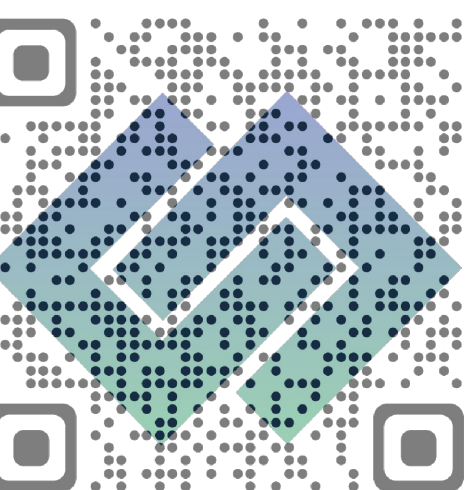
SHEET TITLE
GRADING AND DRAINAGE PLAN
SHEET NO.
C5.00



OFFER HUT LLC
PIN: 1713-03-6688
D.B. 18472, PG. 650
B.M. 1945, PG. 105

NC GRID COORDS (NAD 83/2011)
N: 733,760.87
E: 2,110,714.25
EX. 5/8" IRON PIPE
(0.2' BELOW GRADE)

THE CHURCH OF GOD OF PROPHECY
PIN: 1713-13-0634
D.B. 2428, PG. 276
B.M. 71, PG. 80

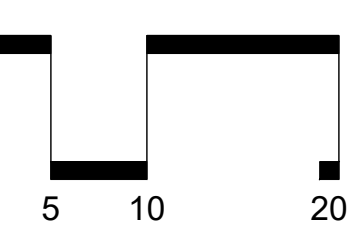


| No. | Date | Description |
|-----|------|-------------|
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VICINITY

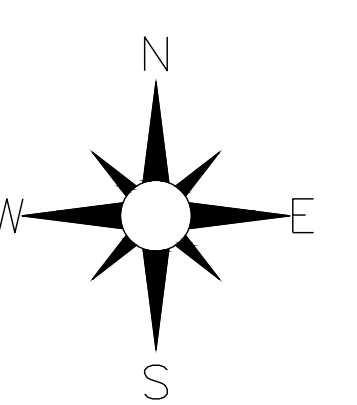


SCALE



SCALE: 1" = 10'

ARROW



UTILITY LEGEND:

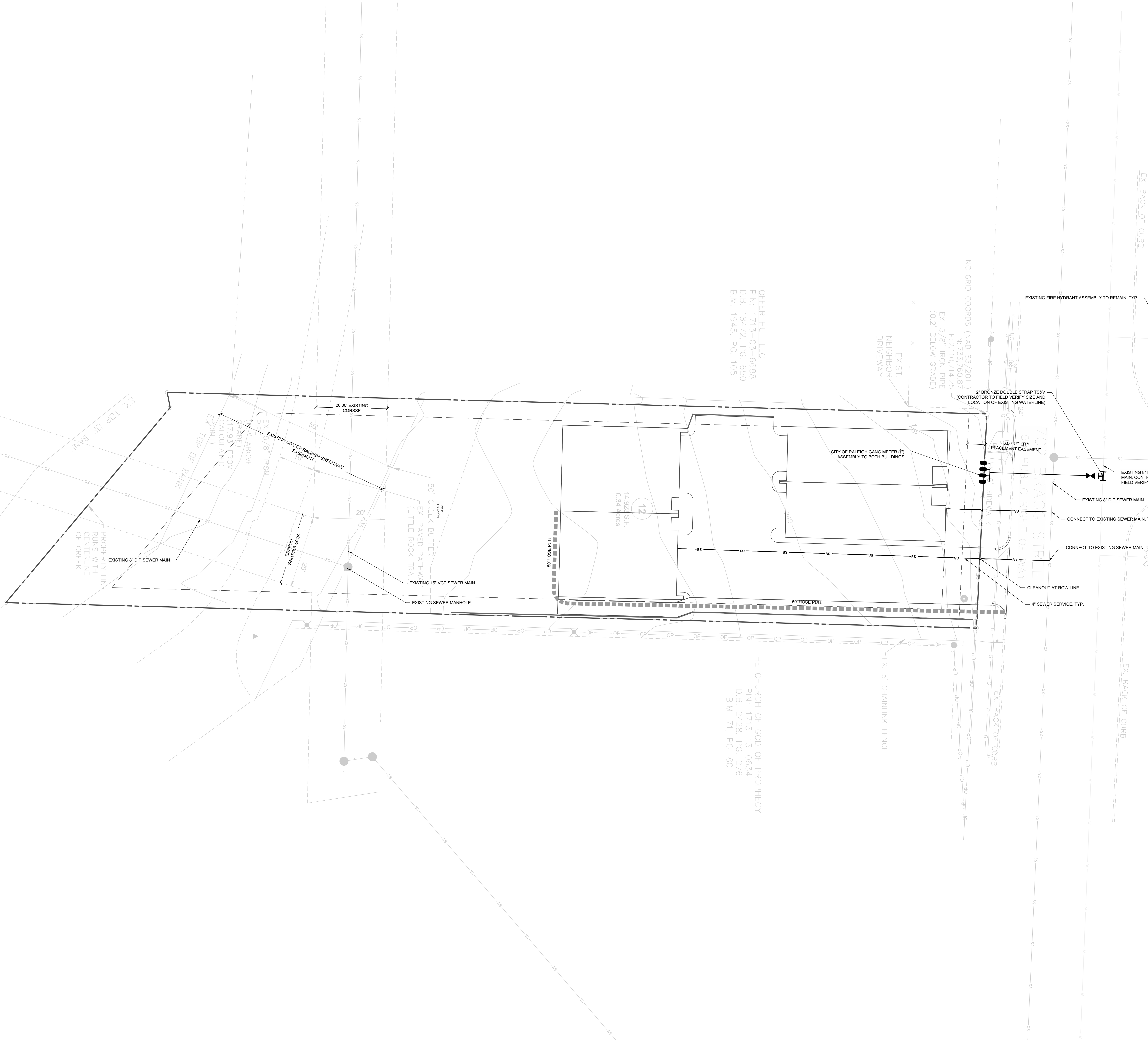
- SYMBOL DESCRIPTION
- W- EXISTING WATER LINE
 - ~W~ PROPOSED WATER LINE
 - SS- EXISTING SANITARY SEWER LINE
 - ~SS~ PROPOSED SANITARY SEWER LINE
 - ⊗ PROPOSED FIRE HYDRANT
 - ⊙ PROPOSED WATER VALVE
 - ⊕ EXISTING SANITARY SEWER MANHOLE
 - ⊙ EXISTING SANITARY SEWER MANHOLE
 - ⊙ PROPOSED CLEANOUT
 - PROPOSED FDC
 - PROPOSED BACKFLOW METER
 - ⬮ PIV PROPOSED POST INDICATOR VALVE (PIV)
 - ▭ GREASE INTERCEPTOR
 - 300' HYDRANT COVERAGE CIRCLE
 - - - LIMITS OF DISTURBANCE

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

CITY OF RALEIGH STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERRED TO IN CADD HANDBOOK, CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS:
 - A) DISTANCE OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER WORK SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER MAIN. APPROVAL BY THE PUBLIC UTILITIES DIRECTOR, ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
7. 3" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
9. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE.
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
13. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 968-6116 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

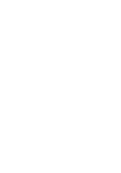


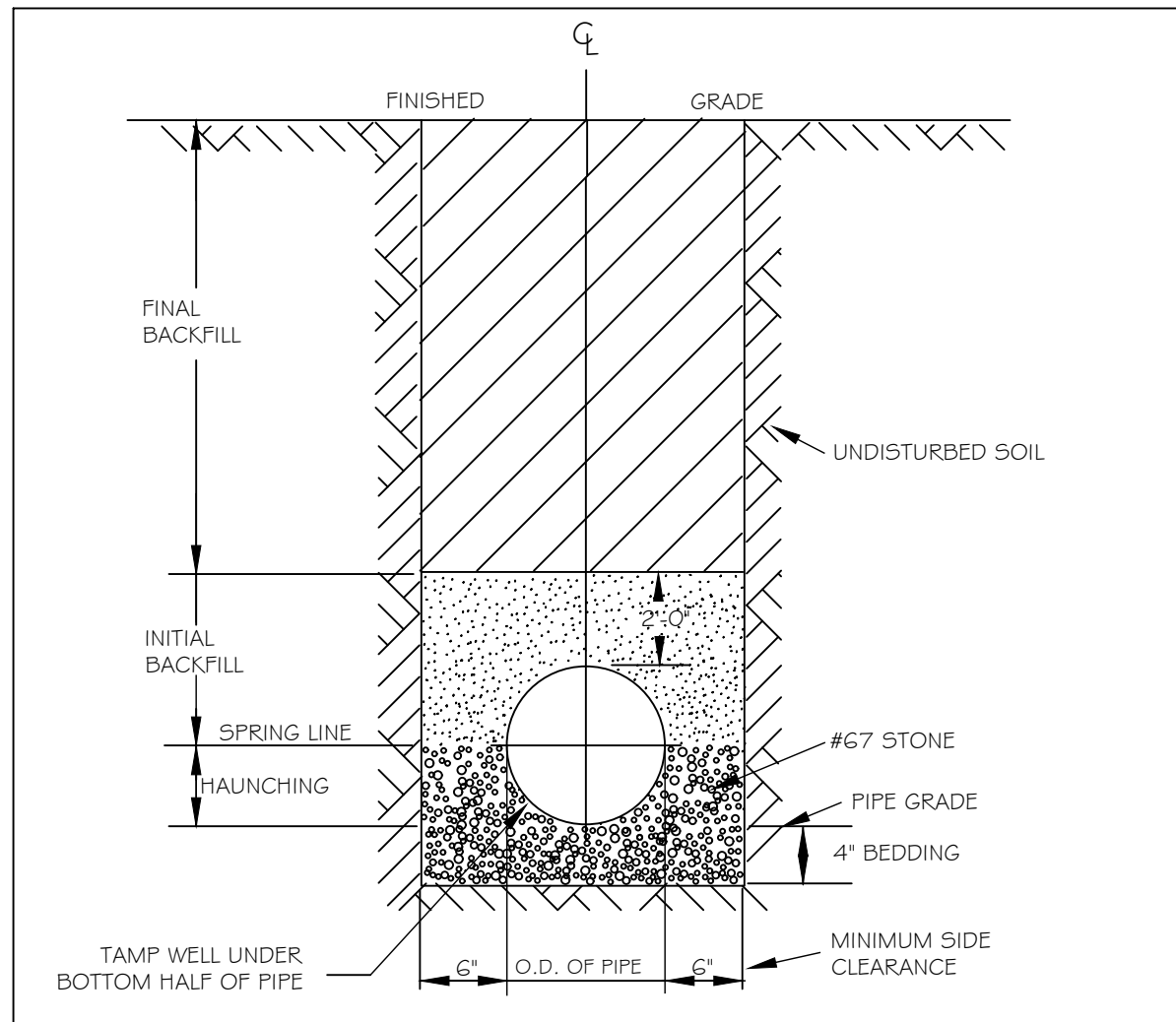
OFFER HUT LLC
PIN: 1713-03-6698
D.B. 18472, PG. 650
B.M. 1945, PG. 105

NC GRID COORDS (NAD 83/2011)
N: 733,760.87
E: 2,110,714.25
EX. 5/8" IRON PIPE
(0.2' BELOW GRADE)

THE CHURCH OF GOD OF PROPHECY
PIN: 1713-13-0634
D.B. 2428, PG. 276
B.M. 71, PG. 80

14,923 S.F.
0.34 Acres

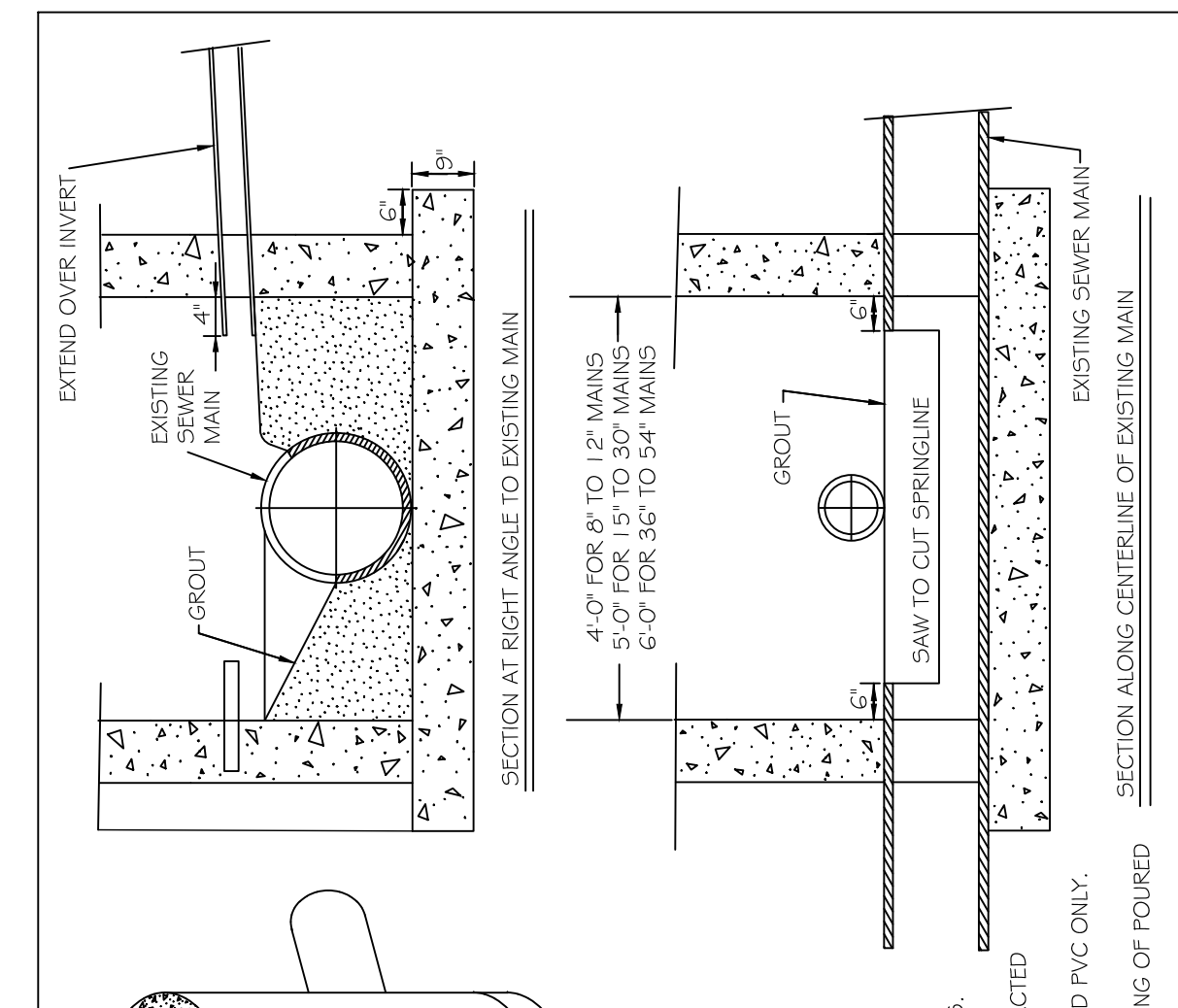




TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

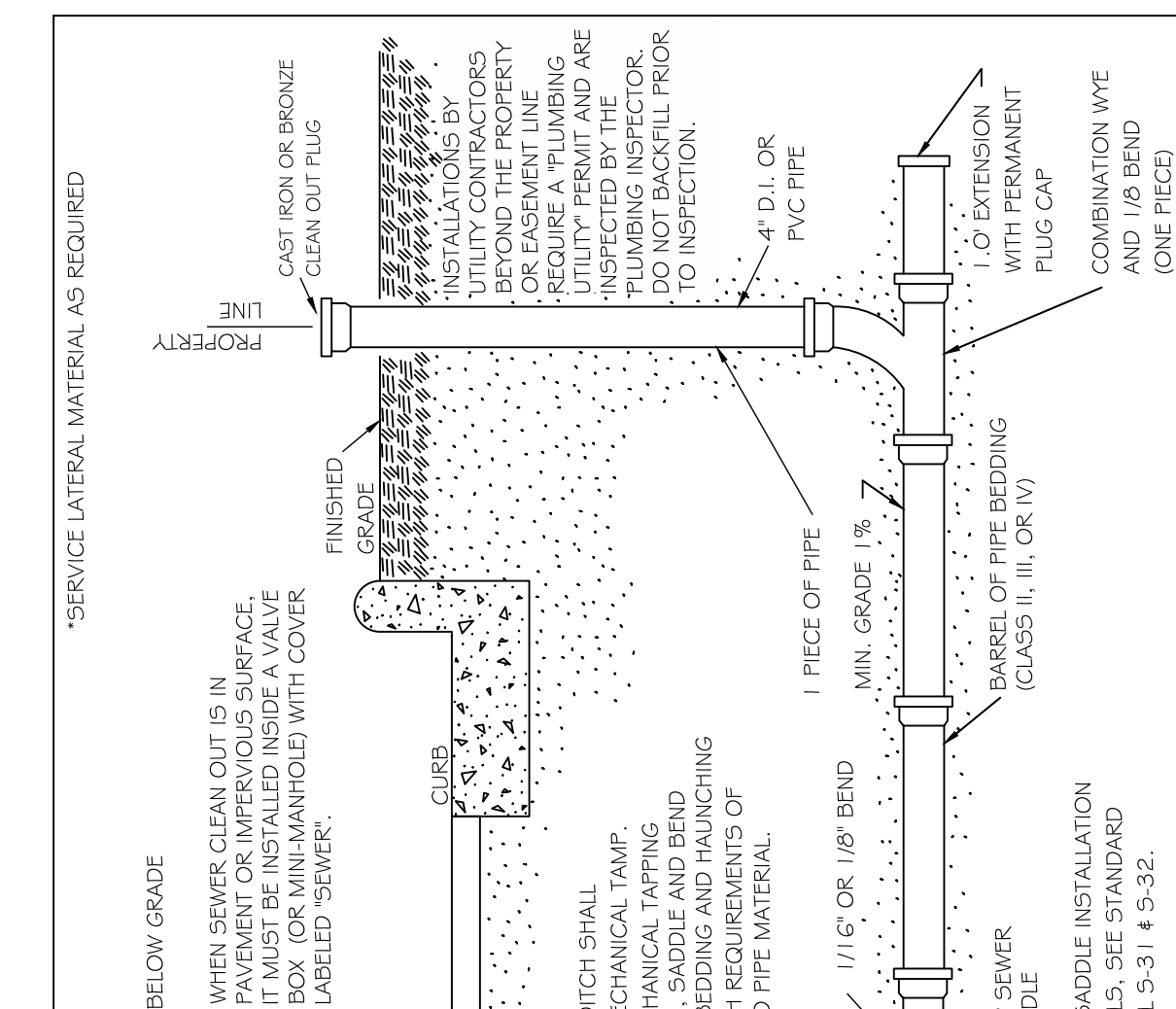
| CITY OF RALEIGH | | | | |
|--|-----------|--------|-----------|---------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-5 | TO NOTES | 3-1-87 | D.W.C. | 8-3-89 |
| | | 7-2-82 | RRH | 8-30-00 |



STANDARD MANHOLE INSTALLATION OVER EXISTING SEWER MAIN

- NOTES:
1. FLOW SHALL BE MAINTAINED DURING CONSTRUCTION.
 2. TRENCH SHALL BE BACKFILLED WITH 6\"/>

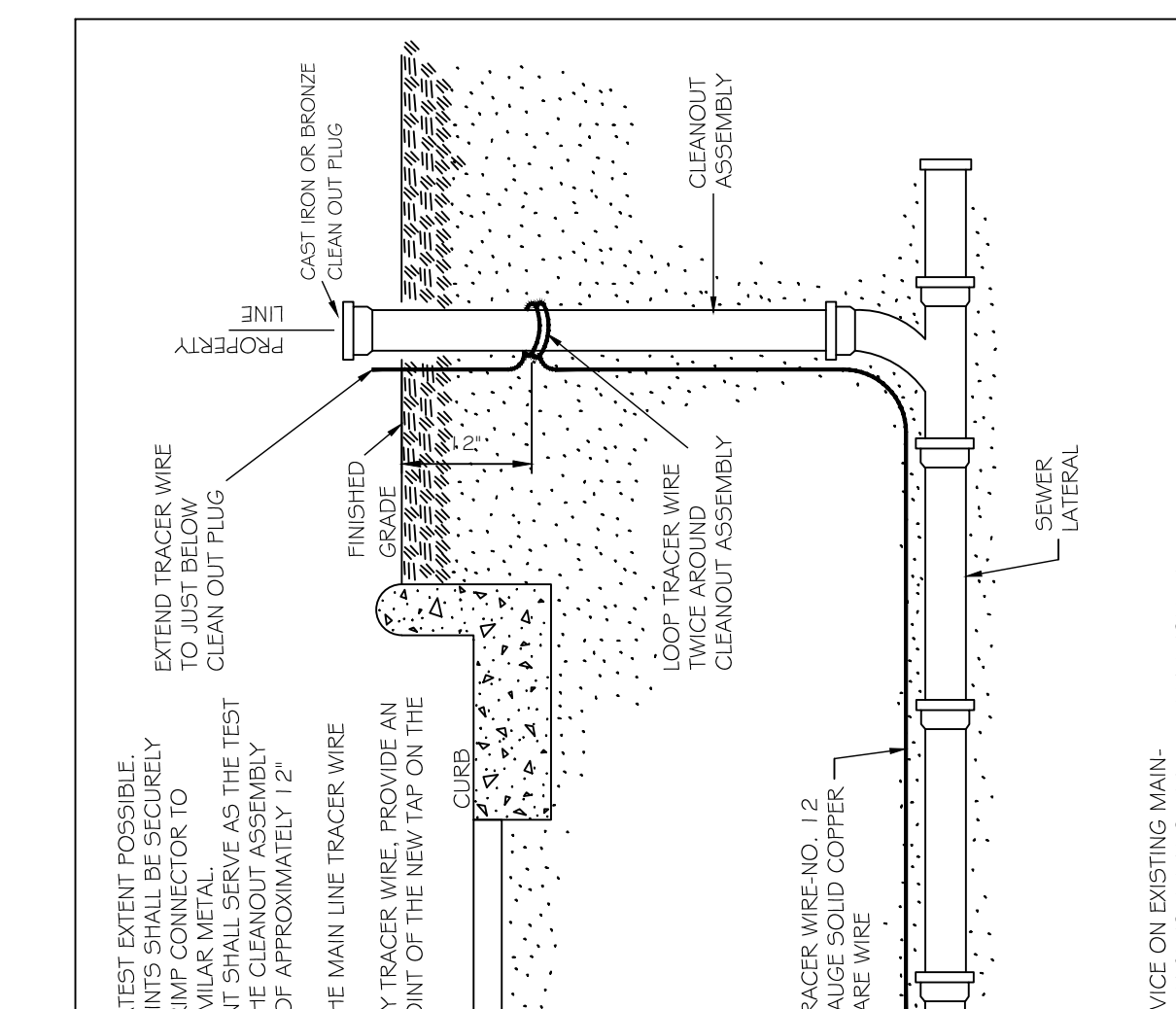
| CITY OF RALEIGH | | | | |
|--|-----------|----------|-----------|---------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| STANDARD MANHOLE INSTALLATION OVER EXISTING SEWER MAIN | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-22 | Y.C.A. | 12-31-81 | A.S.B. | 1-18-85 |
| | RRH | 3-30-00 | D.H.L. | 6-16-08 |



TYPICAL SANITARY SEWER LATERAL CONNECTION

- NOTES:
1. THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6\"/>

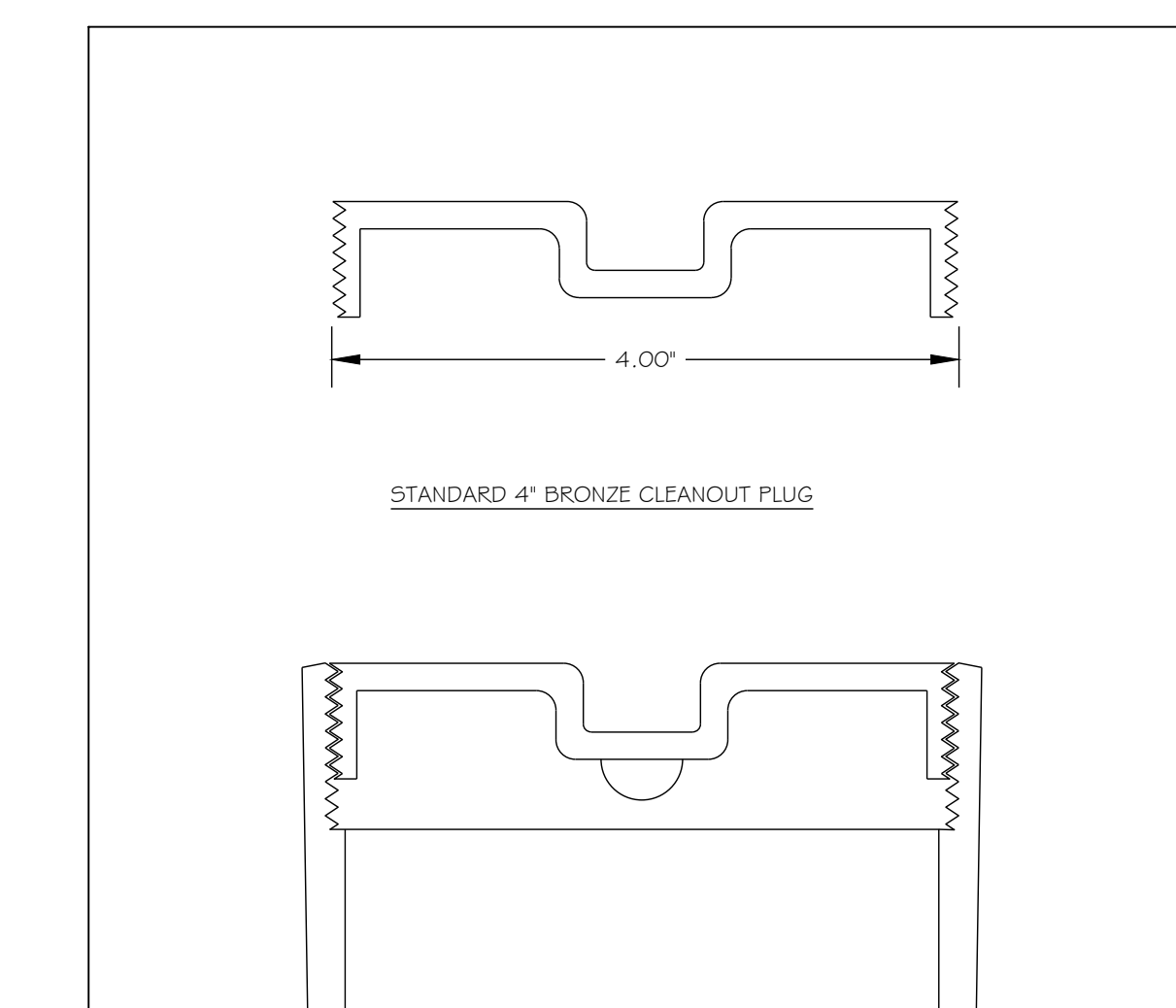
| CITY OF RALEIGH | | | | |
|---|-----------|---------|-----------|---------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| TYPICAL SANITARY SEWER LATERAL CONNECTION | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-30 | Y.C.A. | 8-92 | A.S.B. | 4-8-04 |
| | RRH | 3-30-00 | D.H.L. | 6-16-08 |



TYPICAL SANITARY SEWER LATERAL TRACER WIRE

- NOTES:
1. TRACER WIRE SHALL BE CONTINUOUS TO THE SHARPEST CORNER POSSIBLE WHERE CORNS ARE NECESSARY IN THE WIRE. THE JOINTS SHALL BE SECURELY BROWED TOGETHER WITH AN APPROVED INDUSTRIAL CRIMP CONNECTOR TO THE CLEANOUT AT THE RIGHT OF WAY AND OR PAVEMENT SHALL SERVE AS THE TEST POINT FOR THE TRACER WIRE. THE CLEANOUT SHALL BE 1\"/>

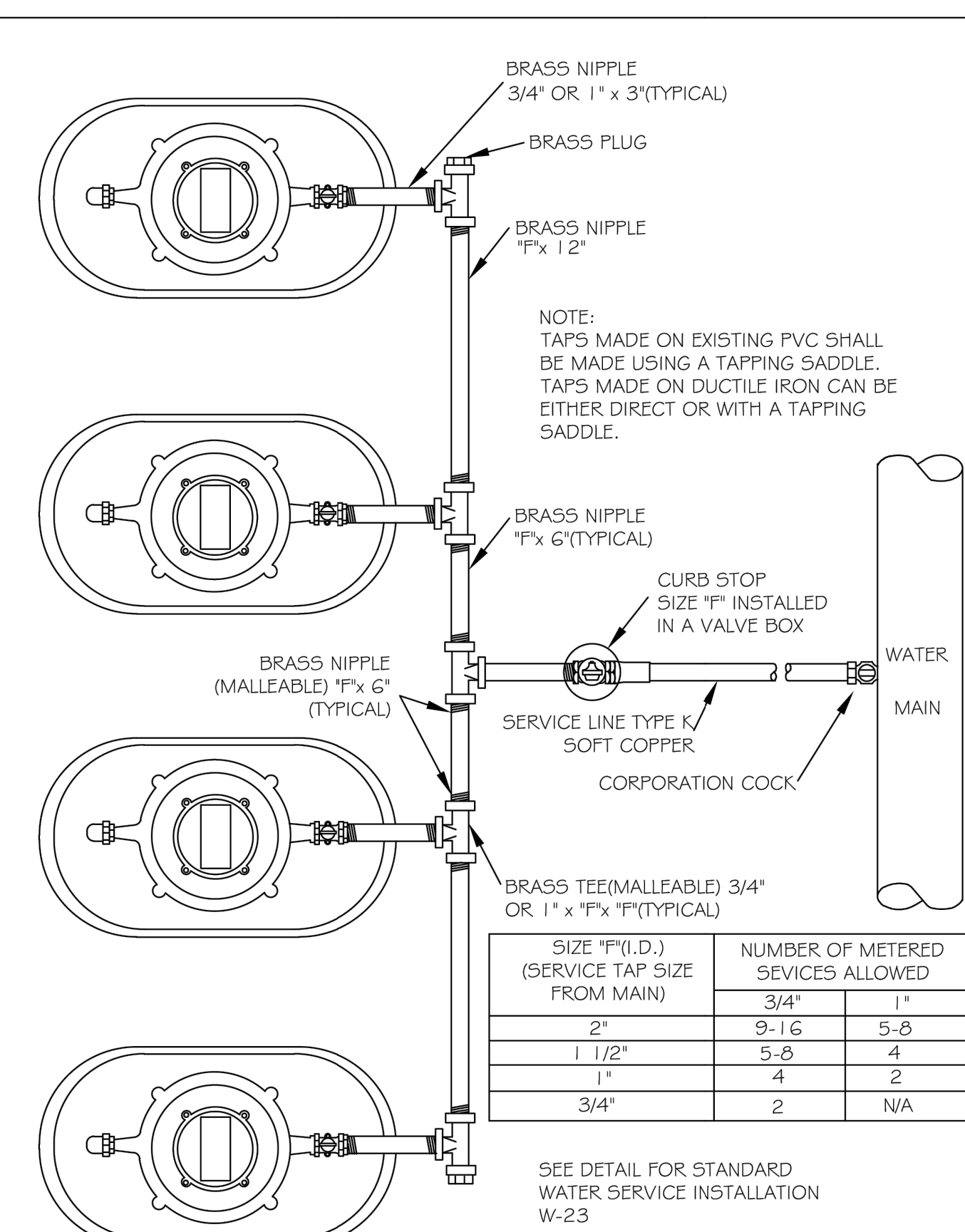
| CITY OF RALEIGH | | | | |
|--|-----------|------|-----------|------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| TYPICAL SANITARY SEWER LATERAL TRACER WIRE | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-30A | Y.C.A. | 8-14 | | |



4\"/>

- STYLES ACCEPTED:
- INVERTED NUT
 - RAISED NUT

| CITY OF RALEIGH | | | | |
|--------------------------------|-----------|---------|-----------|---------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| 4\"/> | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| S-34 | D.W.C. | 3-27-98 | RRH | 8-30-00 |



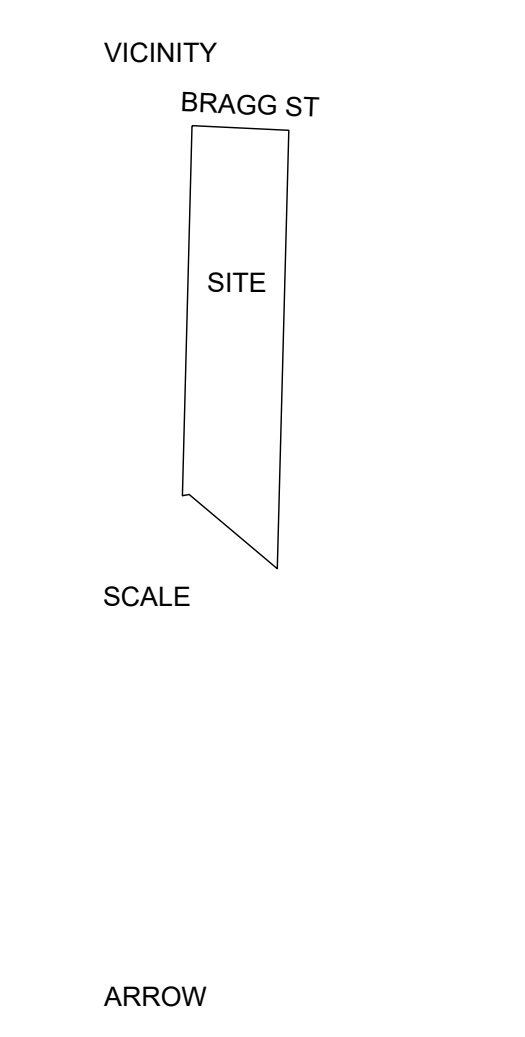
STANDARD GANG METER ASSEMBLY

| CITY OF RALEIGH | | | | |
|--------------------------------|---------------|----------|-----------|----------|
| DEPARTMENT OF PUBLIC UTILITIES | | | | |
| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
| W-26 | METERED SERV. | 4-1-82 | D.W.C. | 11-18-89 |
| | Y.C.A. | 12-31-91 | J.F.F. | 11-4-10 |



414 FAYETTEVILLE ST
 RALEIGH NC 27601
 FIRM LICENSE: P-2187

| No. | Date | Description |
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SCALE

ARROW

| | |
|-------------|-----------|
| PROJECT NO. | 22031 |
| DATE: | 6.18.2024 |
| DRAWN BY: | MAM |
| CHECKED BY: | RHL |

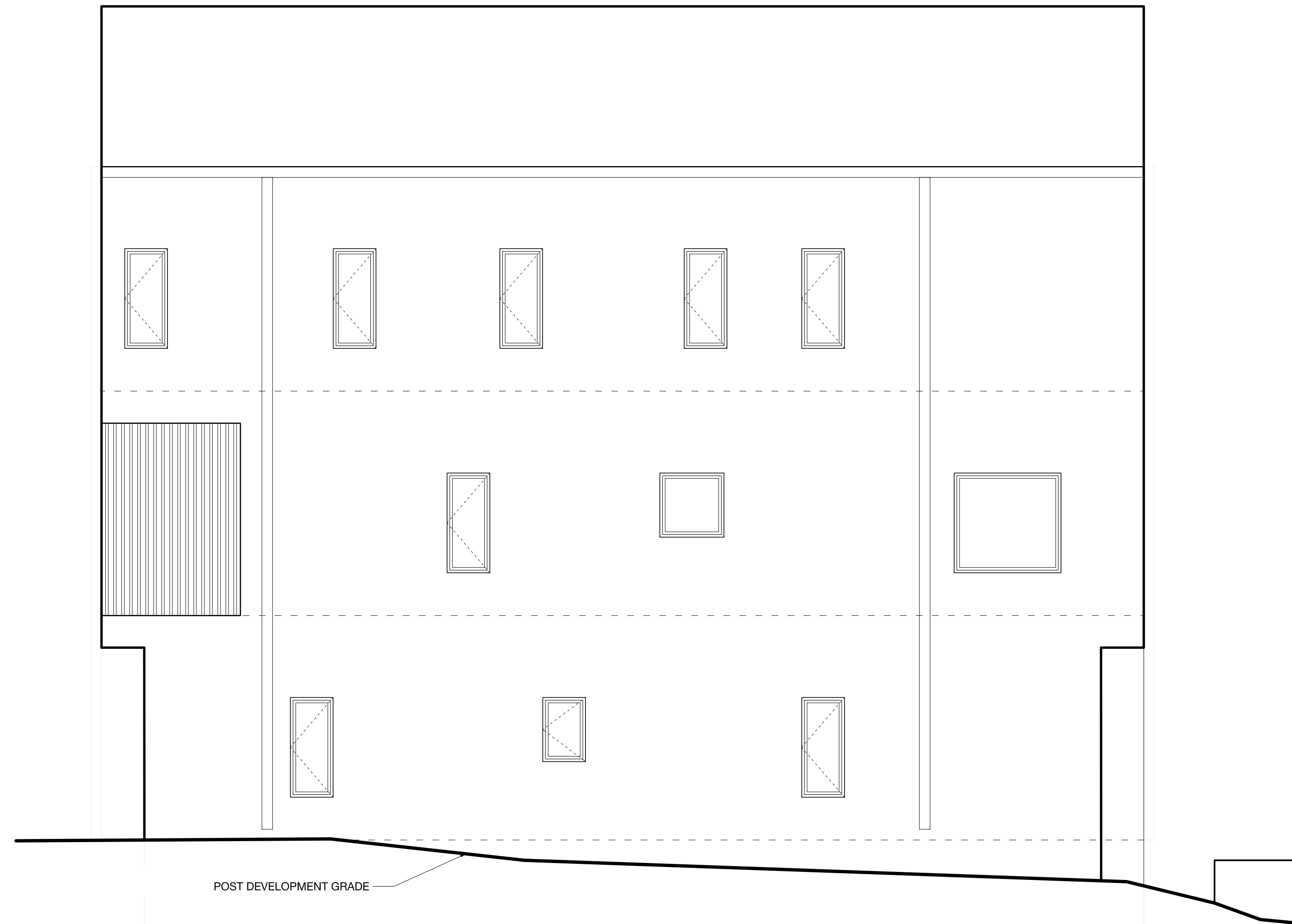
REVISIONS

| NO. | NAME |
|-----|------------|
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| 2 | 06-18-2024 |
| - | - |
| - | - |
| - | - |

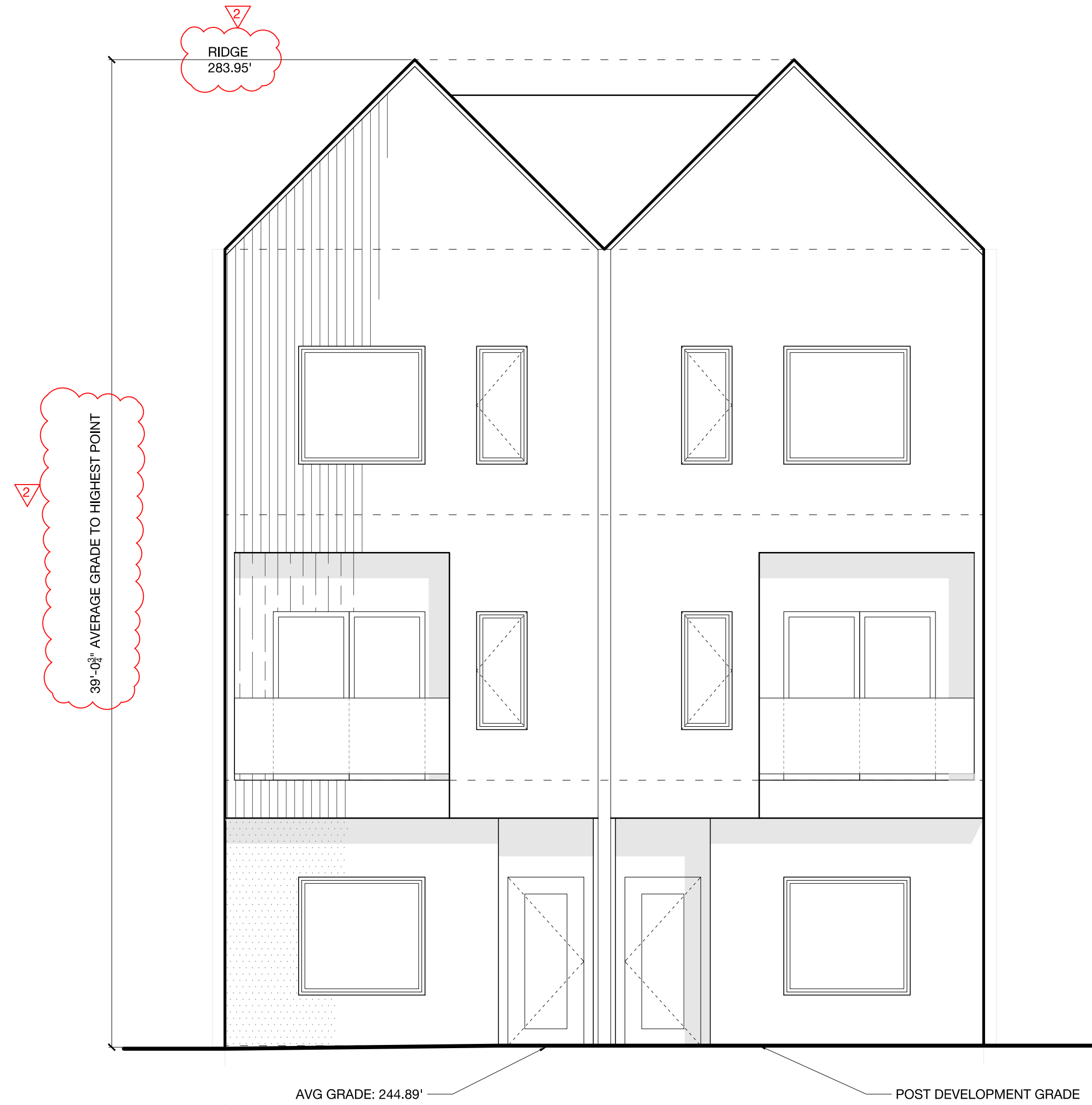
BUILDING 1 EXTERIOR ELEVATIONS

A4.01

MAX ALLOWABLE HEIGHT
289.89' (45')



02 BUILDING 1 WEST ELEVATION
SCALE = 1/4" = 1'-0"

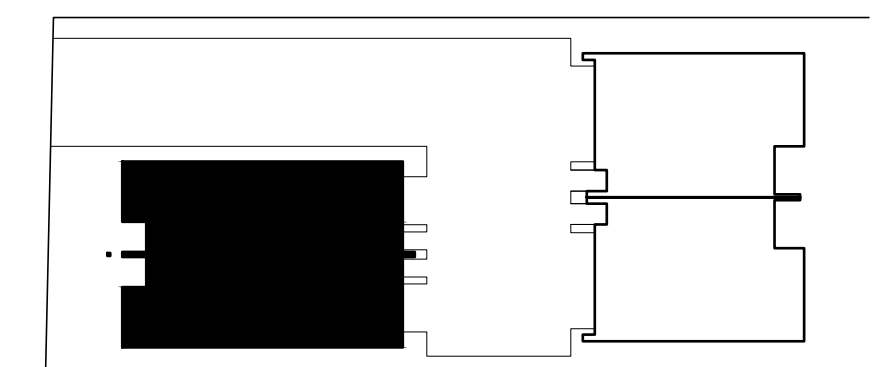


01 BUILDING 1 NORTH ELEVATION
SCALE = 1/4" = 1'-0"

BUILDING 1 AVERAGE GRADE CALCULATIONS

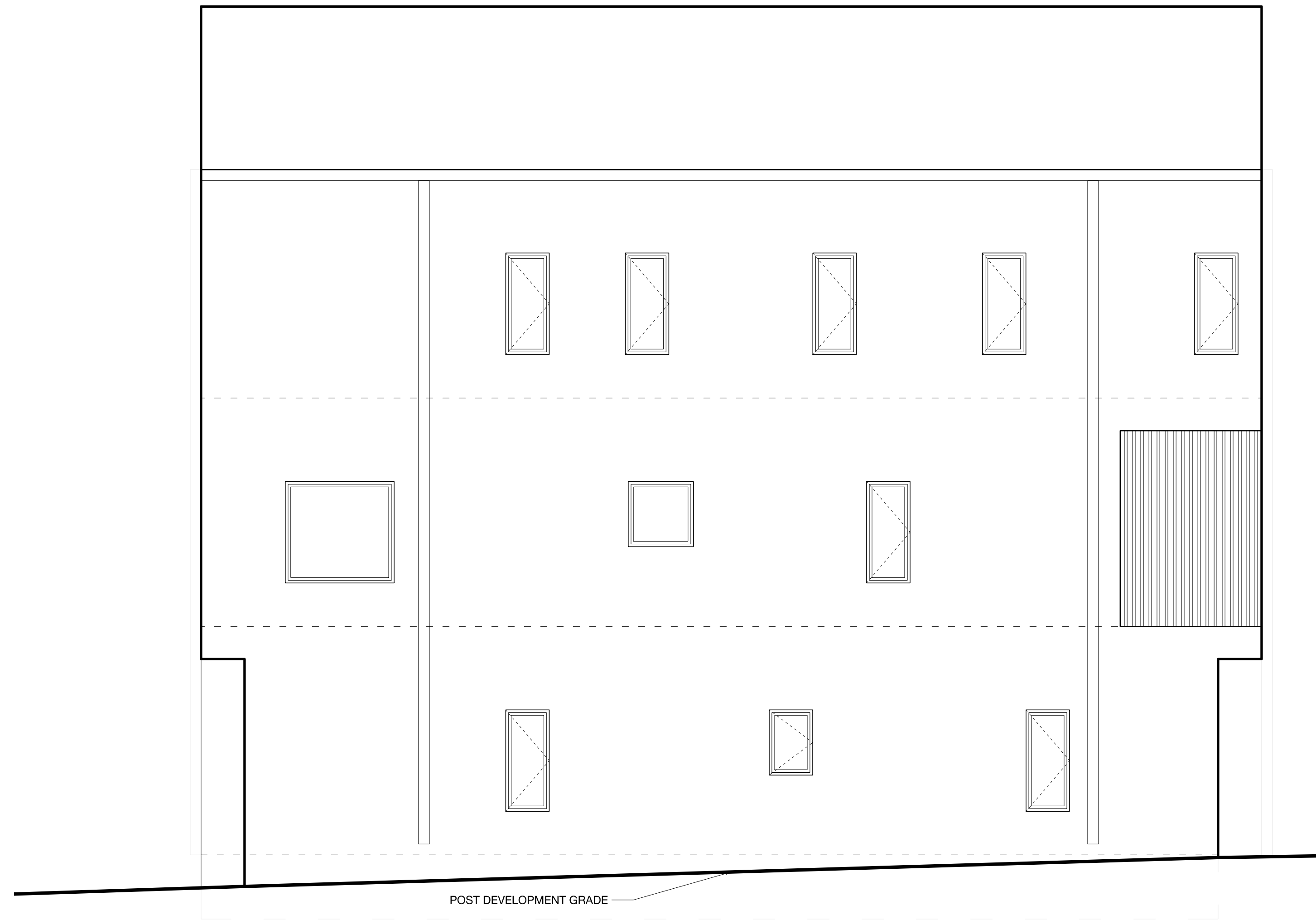
| | |
|------------------------|--------|
| HIGHEST PROPOSED GRADE | 244.95 |
| LOWEST PROPOSED GRADE | 244.83 |
| BUILDING FFE | 244.95 |
| AVERAGE GRADE | 244.89 |

KEY PLAN

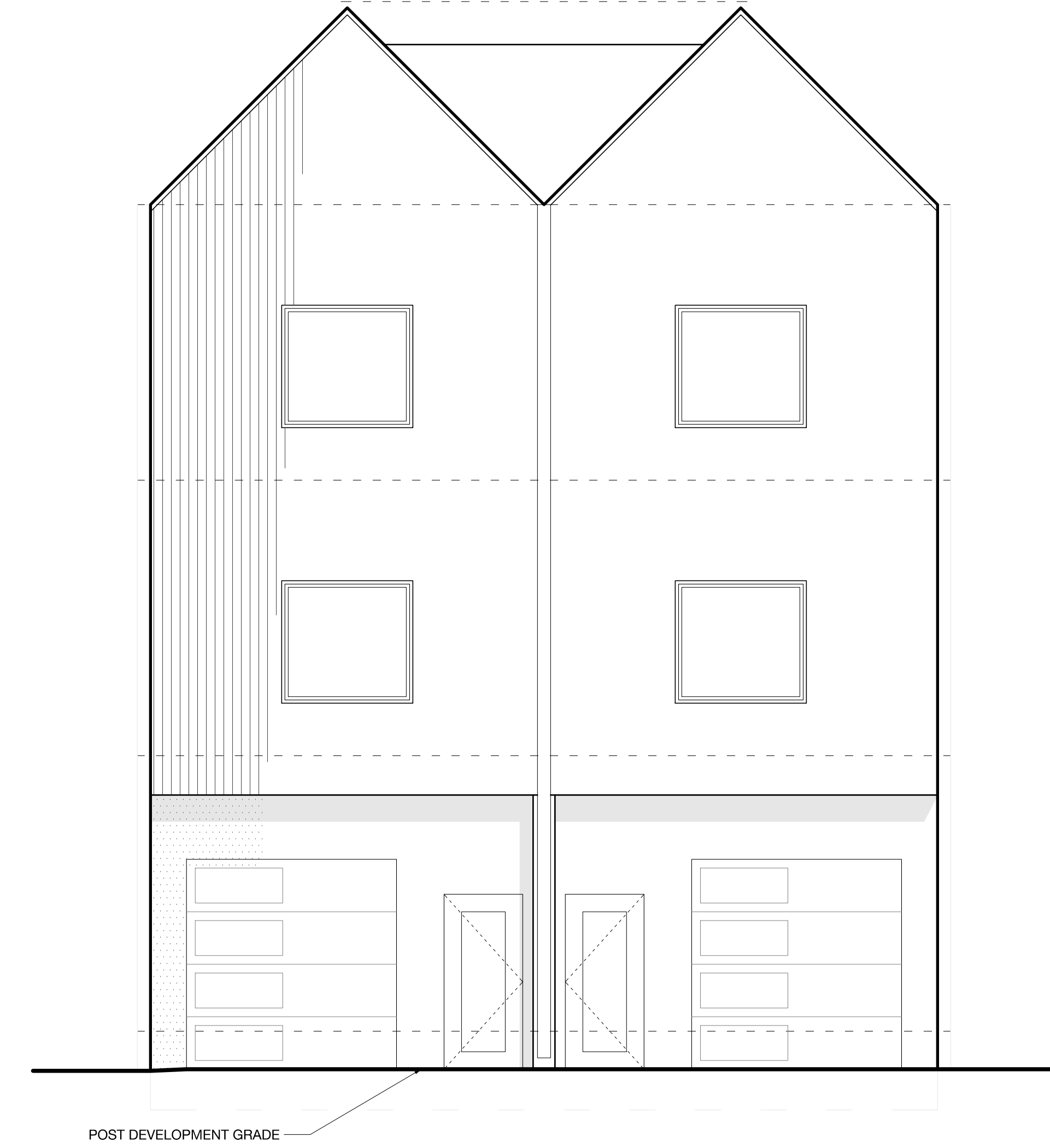




ARCHITECTS
1305 KINGSTON RIDGE RD
CARY, NC 27511
GOODWORK.DESIGN
(919) 357-0895



02 EAST FRONT ELEVATION
SCALE = 1/4" = 1'-0"



01 SOUTH FRONT ELEVATION
SCALE = 1/4" = 1'-0"

NEW CONSTRUCTION FOR

702 BRAGG STREET

RALEIGH, NC 27610

| | |
|-------------|-----------|
| PROJECT NO. | 22031 |
| DATE: | 6.18.2024 |
| DRAWN BY: | MAM |
| CHECKED BY: | RHL |

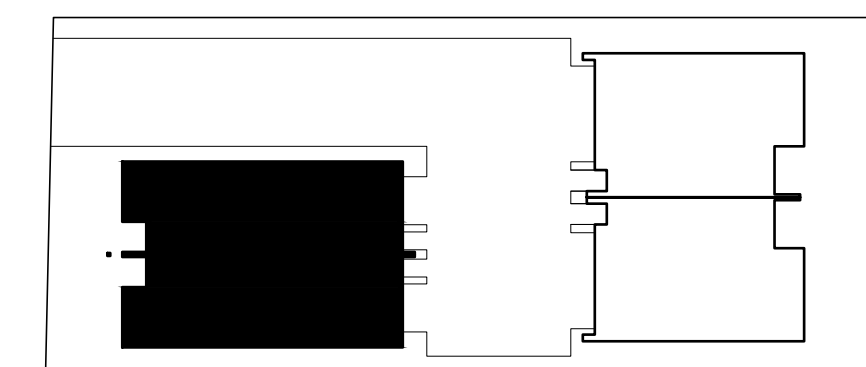
REVISIONS

| NO. | NAME |
|-----|------------|
| 1 | 04-04-2024 |
| 2 | 06-18-2024 |
| . | . |
| . | . |
| . | . |

**BUILDING 1
EXTERIOR
ELEVATIONS**

A4.02

KEY PLAN





1305 KINGSTON RIDGE RD
CARY, NC 27511
GOODWORK.DESIGN
(919) 357-0895

NEW CONSTRUCTION FOR
702 BRAGG STREET
RALEIGH, NC 27610

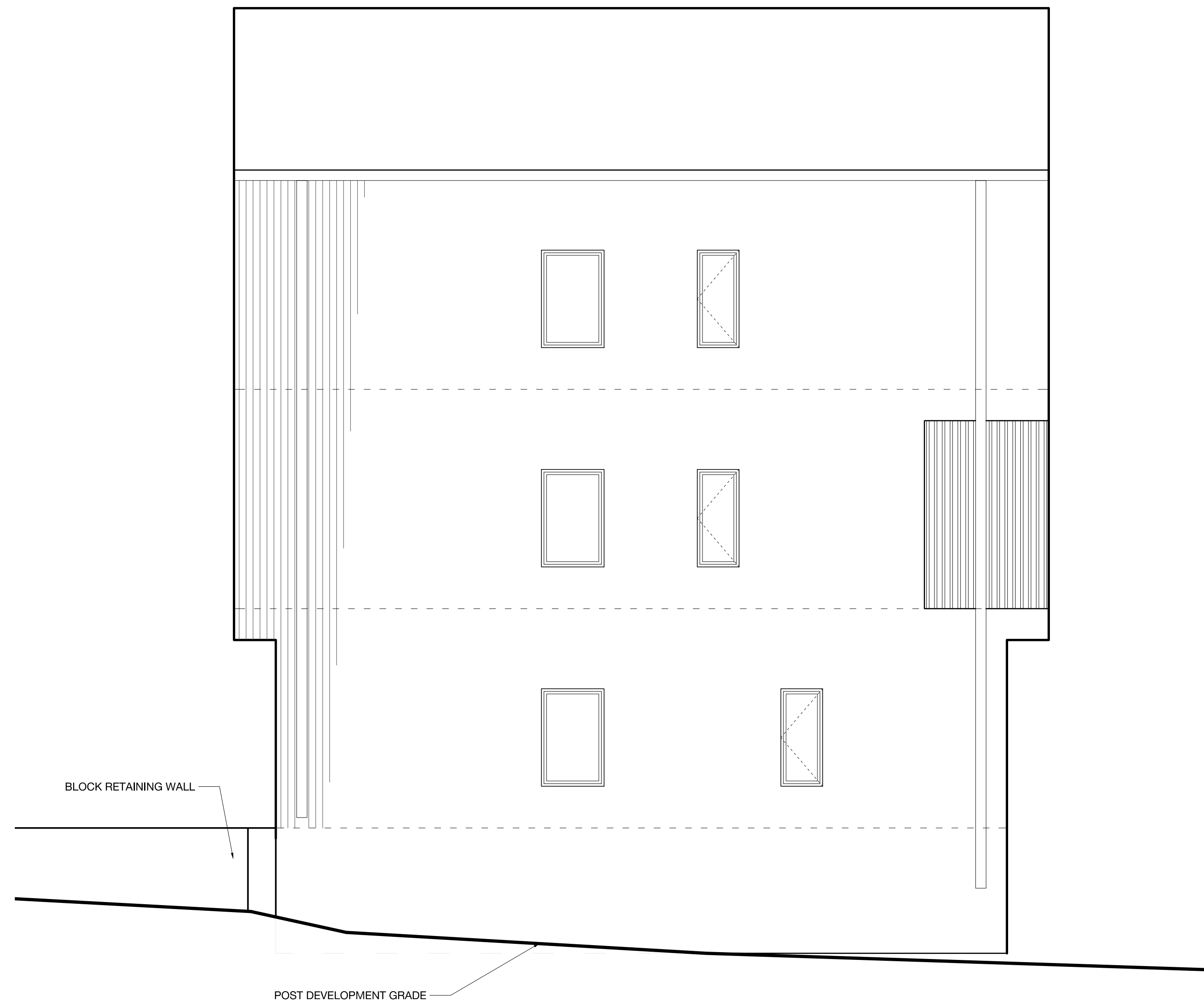
PROJECT NO. 22031
DATE: 6.18.2024
DRAWN BY: MAM
CHECKED BY: RHL

REVISIONS

| NO. | NAME |
|-----|------------|
| 1 | 04-04-2024 |
| 2 | 06-18-2024 |
| - | - |
| - | - |
| - | - |

**BUILDING 2
EXTERIOR
ELEVATIONS**

A4.03



02 WEST REAR ELEVATION
SCALE = 1/4" = 1'-0"

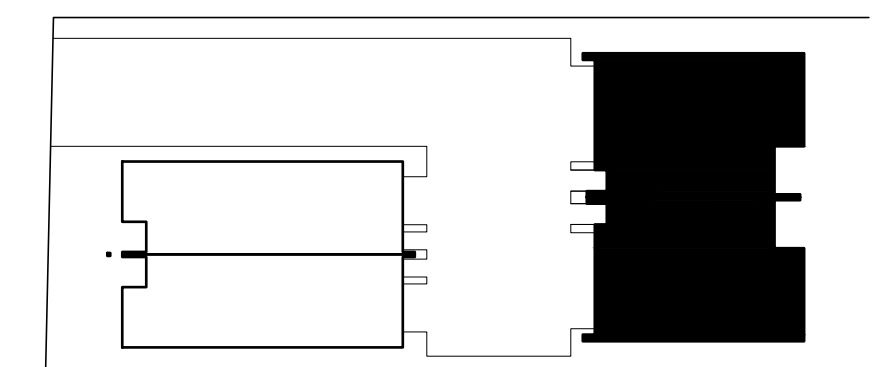


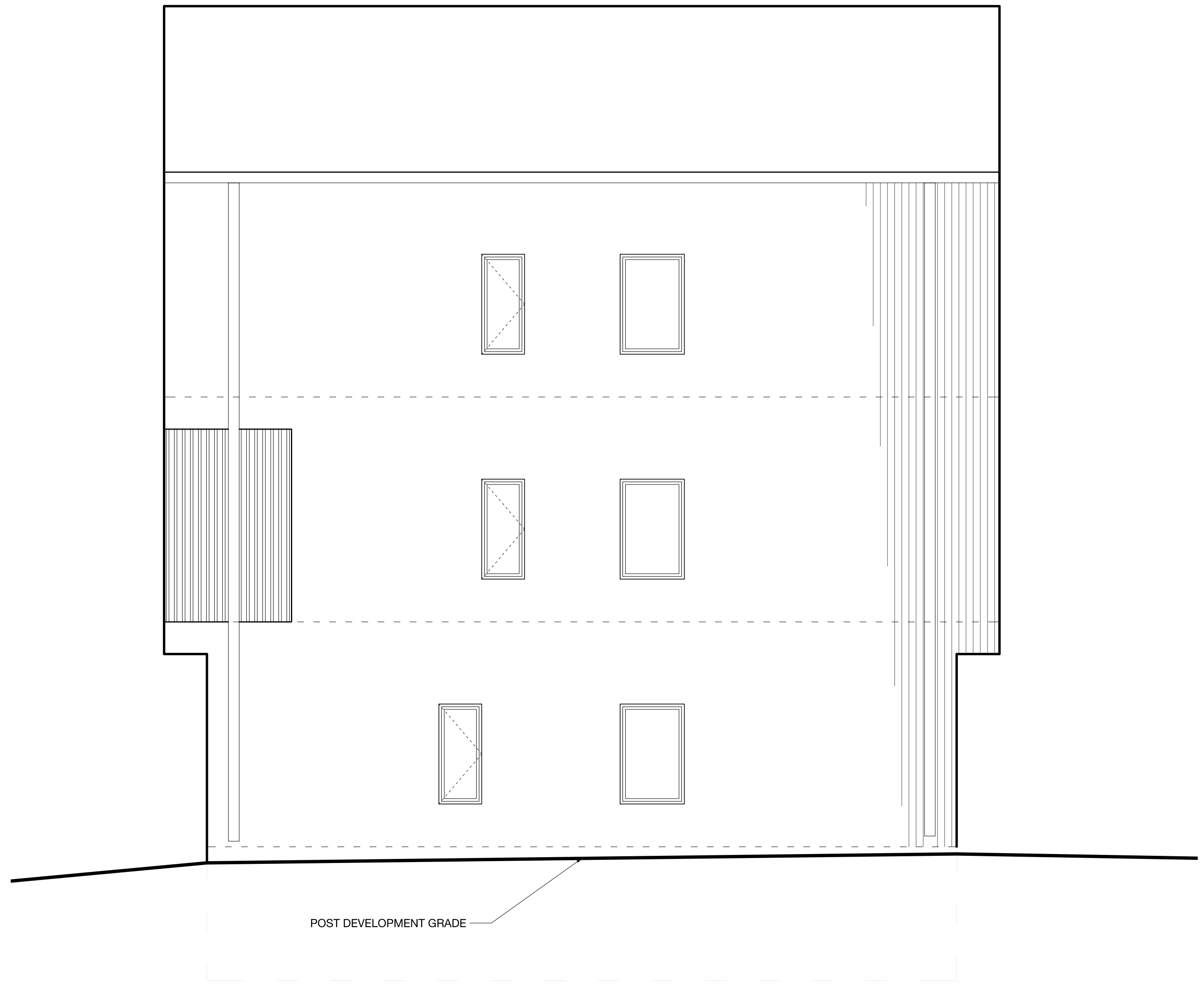
01 NORTH REAR ELEVATION
SCALE = 1/4" = 1'-0"

BUILDING 2 AVERAGE GRADE CALCULATIONS

| | |
|------------------------|---------------|
| HIGHEST PROPOSED GRADE | 243.85 |
| LOWEST PROPOSED GRADE | 243.63 |
| BUILDING FFE | 243.99 |
| AVERAGE GRADE | 243.74 |

KEY PLAN



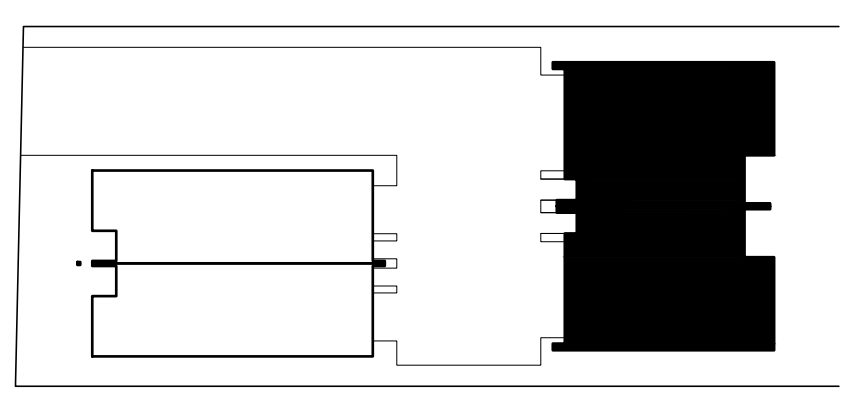


02 EAST REAR ELEVATION
SCALE = 1/4" = 1'-0"



01 SOUTH REAR ELEVATION
SCALE = 1/4" = 1'-0"

KEY PLAN



NEW CONSTRUCTION FOR

702 BRAGG STREET

RALEIGH, NC 27610

| | |
|-------------|-----------|
| PROJECT NO. | 22031 |
| DATE: | 6.18.2024 |
| DRAWN BY: | MAM |
| CHECKED BY: | RHL |

| REVISIONS | |
|-----------|------------|
| NO. | NAME |
| 1 | 04-04-2024 |
| 2 | 06-18-2024 |
| . | . |
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**BUILDING 2
EXTERIOR
ELEVATIONS**

A4.04