

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Subdivision case #: <u>SUB-S-216-1986</u> Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: <u>Z-27B-2014</u> Design Alternate #: _____	

GENERAL INFORMATION

Development name: Lot 5 Rowland Business Park

Inside City limits? Yes No

Property address(es): 7209 Becky Circle

Site P.I.N.(s): 1727055295

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Construction on new 8,000 SF Light Industrial Building on vacant site. Previous cases for this property

Current Property Owner(s): Ahmad M. Qomaq

Company: QOMAQ Properties, LLC	Title: Manager
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Address: 8012 Criswell Crescent

Phone #: 919-961-7044	Email: dqomaq@aol.com
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Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: QOMAQ Properties, LLC	Address: 8012 Criswell Crescent
--------------------------------	---------------------------------

Phone #:	Email: dqomaq@aol.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Trenton Stewart	
Company: Arcadia Consulting Engineers, PLLC	Title: Enigneer
Address: P.O. Box 2077, Apex, NC 27502	
Phone #: 919-363-1422	Email: trent@arcadiaengineers.com
Applicant Name: Ahmad M. Qomaq	
Company: QOMAAQ Properties, LLC	Address: 8012 Criswell Crescent
Phone #: 919-363-1422	Email: dqomaq@aol.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): IX-3 (0.99 acres)	Existing gross floor area (not to be demolished): -0-
Gross site acreage: 0.99 acres	Existing gross floor area to be demolished: -0-
# of parking spaces proposed: 15	New gross floor area: 8,000 SF
Max # parking permitted (7.1.2.C): No maximum	Total sf gross (to remain and new): 8,000 SF
Overlay District (if applicable): SHOD-2	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Light Industrial	Proposed # of basement levels (UDO 1.5.7.A.6) -0-

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>459.5 SF</u> Proposed total (sf) <u>20,085.9 S</u>	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

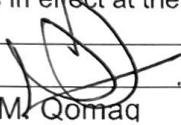
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date: 1/8/2024

Printed Name: Ahmad M. Qomaq

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 600 | Raleigh, NC 27601 | 919-686-2500



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Subdivision case #: SUB-S-216-1986
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 Company: Arcadia Consulting Engineers, PLLC Title: Engineer
 Address: P.O. Box 2077, Apex, NC 27502
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Signature: _____ Date: 1/8/2024
 Printed Name: Ahmad M. Qomaq

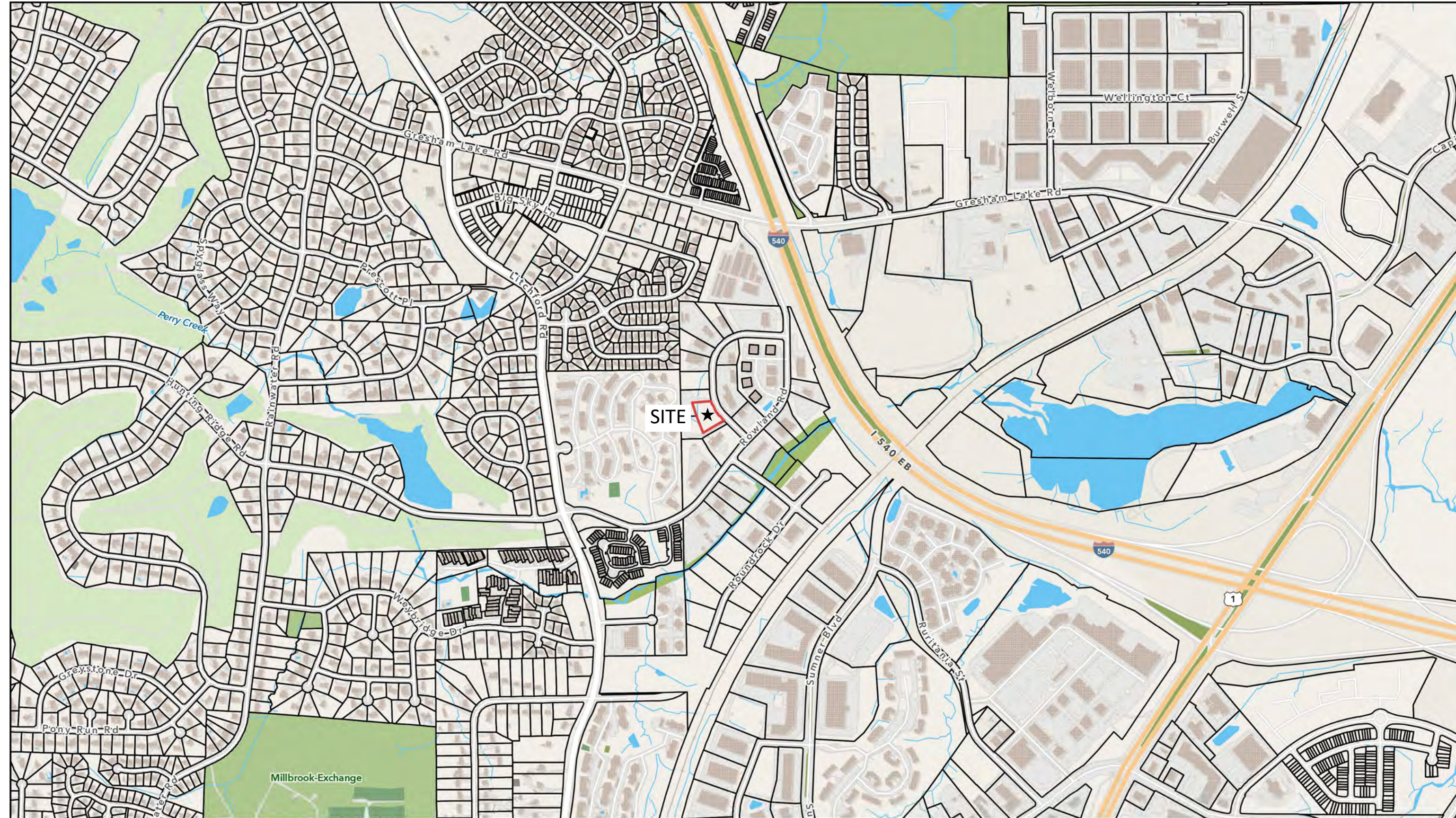
LOT 5 ROWLAND BUSINESS PARK

7209 BECKY CIRCLE

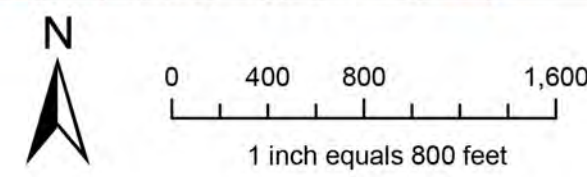
RALEIGH WAKE COUNTY NORTH CAROLINA

TIER 3 SITE PLAN

CASE NUMBER: ASR- -2024



Lot 5 Rowland Bus Pk / 7209 Becky Circle



Disclaimer: Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

- Traffic Control and Pedestrian Plan (TCPED) Notes:**
- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleighnc.gov.
 - The street, lane, sidewalk, closure permit is required for any closure on city streets and all NCDOT streets within Raleigh's Jurisdiction.
 - A permit request with a TCPED Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
 - Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
 - All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
 - o Manual on Uniform Traffic Control (MUTCD);
 - o Public Rights-of-Way Accessibility Guidelines (PROWAG);
 - o American Disability Act (ADA) requirements;
 - o Raleigh Street Design Manual (RSDM).
 - All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
 - All permits must be available and visible on site during the operation.

OWNER: QOMAQ PROPERTIES, LLC
 8012 CRISWELL CRESCENT
 RALEIGH, NC 27615

SITE PLAN CONTACT: TRENTON D. STEWART
 ARCADIA CONSULTING ENGINEERS, PLLC
 trent@arcadiaengineers.com
 (919) 363-1422

LANDSCAPE ARCHITECT: WILLIAM H. MITCHELL
 MITCHELL DESIGN GROUP, PLLC
 harry@mitchelldesgroup.com
 (919) 280-0354

ARCHITECTURAL CONTACT: STEVEN URENA, RA
 URENA ARCHITECTURE, PA
 212 POWELL DRIVE, SUITE 100
 RALEIGH, NC 27606
 urena.arch@gmail.com
 (919) 852-2329

SITE SUMMARY DATA

PIN: 1727055295
 ZONING: IX-3: INDUSTRIAL MIXED USE
 OVERLAY: SHOD-2
 SITE AREA: 0.999 ACRES
 EXISTING USE: VACANT
 PROPOSED USE: LIGHT INDUSTRIAL
 MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES
 PROPOSED BUILDING HEIGHT: 17'-0"

MINIMUM BUILDING SETBACKS:

FRONT (PRIMARY STREET)	5'
SIDE	0' OR 6'
REAR	0' OR 6'

MINIMUM PARKING SETBACKS:

FRONT (PRIMARY STREET)	10'
SIDE	0' OR 3'
REAR	0' OR 3'

PARKING REQUIRED: NO MAX
PARKING PROVIDED: 15 SPACES
ACCESSIBLE PARKING REQUIRED: 1 SPACE
ACCESSIBLE PARKING PROVIDED: 2 SPACES
BICYCLE PARKING REQUIRED: 0
BICYCLE PARKING PROVIDED: 0

PROPOSED IMPERVIOUS AREA: 0.46 ACRES / 20,085.9 SF
DISTURBED AREA: 0.93 ACRES / 40,510.8 SF

SOLID WASTE WILL BE PROVIDED BY A PRIVATE COLLECTION COMPANY FOR THE SITE. ROLL CARTS WILL BE USED BY EACH UNIT.

SHEETS

COVER	C1
EXISTING CONDITIONS AND DEMOLITION PLAN	C2
SITE LAYOUT PLAN	C3
UTILITY PLAN	C4
GRADING AND DRAINAGE PLAN	C5
STORMWATER DETENTION PLAN	C6
LANDSCAPE PLAN	L1
ELEVATIONS	A1

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE



PO BOX 2077
 APEX, NC 27502
 TELEPHONE: 919 363-1422
 FACSIMILE: 919 363-1477

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION FOR REVIEW ONLY

LOT 5 ROWLAND BUSINESS PARK
 7209 BECKY CIRCLE
 OWNER/DEVELOPER: QOMAQ PROPERTIES, LLC
 CITY OF RALEIGH WAKE COUNTY NORTH CAROLINA

DRAWN BY	CHECKED BY
KAH	TDS
DATE	
	1/11/2024

REVISIONS

NO.	DESCRIPTION

SHEET TITLE

COVER

SHEET NUMBER

C1
 1 OF 8

REVISIONS	

SHEET TITLE

SITE LAYOUT PLAN

SHEET NUMBER

C3
3 OF 8

SITE SUMMARY DATA

PIN: 1727055295
ZONING: IX-3: INDUSTRIAL MIXED USE
OVERLAY: SHOD-2
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EXISTING USE: VACANT
PROPOSED USE: LIGHT INDUSTRIAL
MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES
PROPOSED BUILDING HEIGHT: 17'-0"

MINIMUM BUILDING SETBACKS:
FRONT (PRIMARY STREET) 5'
SIDE 0' OR 6'
REAR 0' OR 6'

MINIMUM PARKING SETBACKS:
FRONT (PRIMARY STREET): 10'
SIDE 0' OR 3'
REAR 0' OR 3'

PARKING REQUIRED: NO MAX
PARKING PROVIDED: 15 SPACES
ACCESSIBLE PARKING REQUIRED: 1 SPACE
ACCESSIBLE PARKING PROVIDED: 2 SPACES
BICYCLE PARKING REQUIRED: 0
BICYCLE PARKING PROVIDED: 0

PROPOSED IMPERVIOUS AREA: 0.46 ACRES / 20,085.9 SF
DISTURBED AREA: 0.93 ACRES / 40,510.8 SF

AMENITY AREA REQUIRED: 4,350 SF
AMENITY AREA PROVIDED: 4,779 SF

GENERAL NOTES:

ALL PRIVATE UTILITIES SHALL BE UNDERGROUND AND ORIGINATE FROM PAD MOUNTED OR SUBTERRANEAN DISTRIBUTION POINTS LOCATED OFF THE PUBLIC RIGHT OF WAY.

THERE ARE NO FLOOD HAZARD ZONES ON SITE AS SHOWN ON FIRM MAP NO. 3720172700K EFFECTIVE DATE OF 7/19/2022.

CM FLOOD HAZARD SOILS TAKEN FROM WAKE COUNTY GIS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

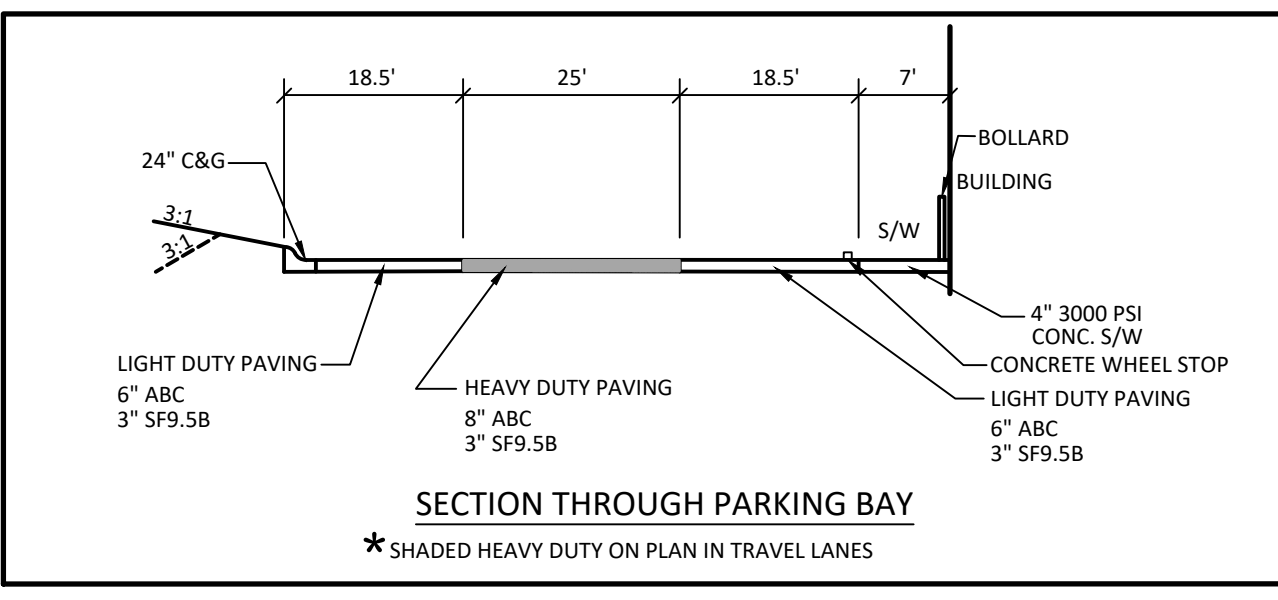
ALL SIGN POLES AND TRAFFIC BOLLARDS TO BE BLACK.

SOLID WASTE WILL BE PROVIDED BY A PRIVATE COLLECTION COMPANY FOR THE SITE. ROLL CARTS WILL BE USED BY EACH UNIT.

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	330.00'	87.19'	15°08'20"	86.94'	S 08°43'13"E
C-2	330.00'	19.66'	3°24'48"	19.66'	S 17°59'48"E
C-3	330.00'	130.00'	22°34'18"	129.16'	S 30°59'21"E
C-4	330.00'	13.19'	2°17'25"	13.19'	S 43°25'12"E

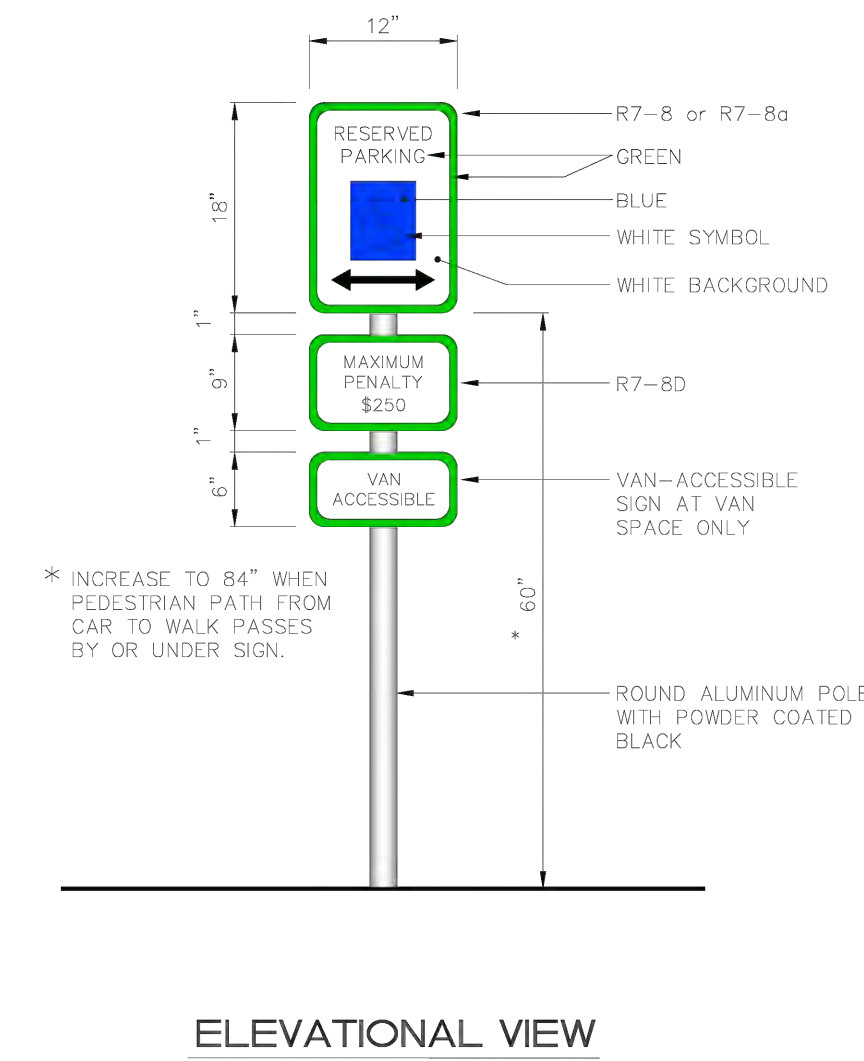
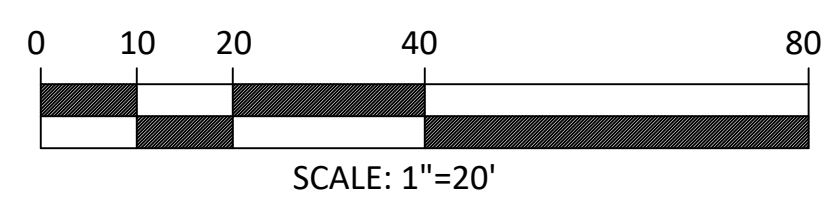
PIN #1727058308
MASCO CONTRACTOR SERVICES, INC. RYAN, LLC
P.O. BOX 4900
SCOTTSDALE, AZ 85261-4900
DB 9291 PG 634
BM 1993 PG 1446
ZONED IX-3
USE: WAREHOUSE

4
PIN #1727057045
DEACON INVESTMENTS LLC
PO BOX 400
ROLESVILLE NC 27571-0400
DB 17321 PG 797
BM 1983 PG 729
ZONED IX-3
USE: OFFICE



PAVEMENT LEGEND

[Pattern]	LIGHT DUTY PAVEMENT
[Pattern]	MEDIUM DUTY PAVEMENT
[Pattern]	3000 PSI CONCRETE



7
PIN #1727054368
CLK STORAGE LLC
14460 FALLS OF THE NEUSE RD
STE 149-225
RALEIGH NC 27614
DB 16543 PG 311
BM 2006 PG 2510
ZONED IX-3
USE: OUTDOOR STORAGE

6
PIN #1727054194
U2 PROPERTIES LLC
5009 LAKEMONT DR
RALEIGH NC 27609-5221
DB 17896 PG 1072
BM 2006 PG 2510
ZONED IX-3
USE: OUTDOOR STORAGE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS AND NCDOT IF APPLICABLE



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APEX, NC 27502
TELEPHONE: 919 363-1422
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PRELIMINARY

NOT RELEASED FOR
CONSTRUCTION
FOR REVIEW ONLY

LOT 5 ROWLAND BUSINESS PARK
7209 BECKY CIRCLE
OWNER/DEVELOPER: QOMAQ PROPERTIES, LLC
CITY OF RALEIGH WAKE COUNTY NORTH CAROLINA

DRAWN BY	CHECKED BY
KAH	TDS
DATE	1/11/2024

REVISIONS	

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C4
4 OF 8

UTILITY NOTES

SANITARY SEWER:

BACKWATER VALVES SHALL BE PROVIDED FOR ALL BUILDINGS WITH FINAL FLOOR ELEVATIONS LESS THAN 1'-0" ABOVE MANHOLE.

MINIMUM GROUND COVER OF 3'-0" TO BE PROVIDED FOR ALL SANITARY SEWER COLLECTION LINES 4" AND LARGER IN NONTRAFFIC AREAS. IF MINIMUM COVER IS NOT PROVIDED, SPECIFY APPROVED FERROUS PIPE.

MINIMUM COVER OF 5'-0" IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTION LINES 4" AND LARGER. IF LESS THAN 5'-0", DUCTILE IRON PIPE SHALL BE REQUIRED IN CLASS 1 BEDDING (MINIMUM COVER SHALL BE NO LESS THAN 3'-0").

MINIMUM SLOPE FOR 4" SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

MINIMUM SLOPE FOR 6" SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 0.6% WITH CLEANOUTS EVERY 75 LINEAL FEET.

MAINTAIN 24" VERTICAL SEPARATION FROM STORM SEWER OR SPECIFY FERROUS PIPE FOR SANITARY SEWER. ALSO MAINTAIN 10 FEET HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION FROM WATER MAINS OR SPECIFY APPROVED FERROUS PIPE FOR SANITARY SEWER AND WATER.

WATER:

WATER MAIN TO BE INSTALLED AT A DEPTH WITH A MINIMUM COVER OF 36", WITH 18" VERTICAL CLEARANCE MINIMUM FROM OTHER UNDERGROUND UTILITIES AND 10 FEET HORIZONTAL CLEARANCE FROM ALL OTHER UTILITIES.

PRESSURE REDUCING VALVES SHALL BE PROVIDED IF PRESSURE IS IN EXCESS OF 80 PSI.

GENERAL:

ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE PUBLIC AUTHORITY.

ALL CONSTRUCTION TO BE OF THE LOCAL AUTHORITY STANDARDS.

ALL UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION.

STORM SEWER (RCP) SHALL BE CONSTRUCTED TO THE FOLLOWING CLASSES:
COVER LESS THAN 10 FEET - CLASS C OR D BEDDING, CLASS III WALLS
COVER 10 FEET TO 15 FEET - CLASS B BEDDING, CLASS III WALLS
COVER GREATER THAN 15 FEET - CLASS B BEDDING, CLASS IV WALLS

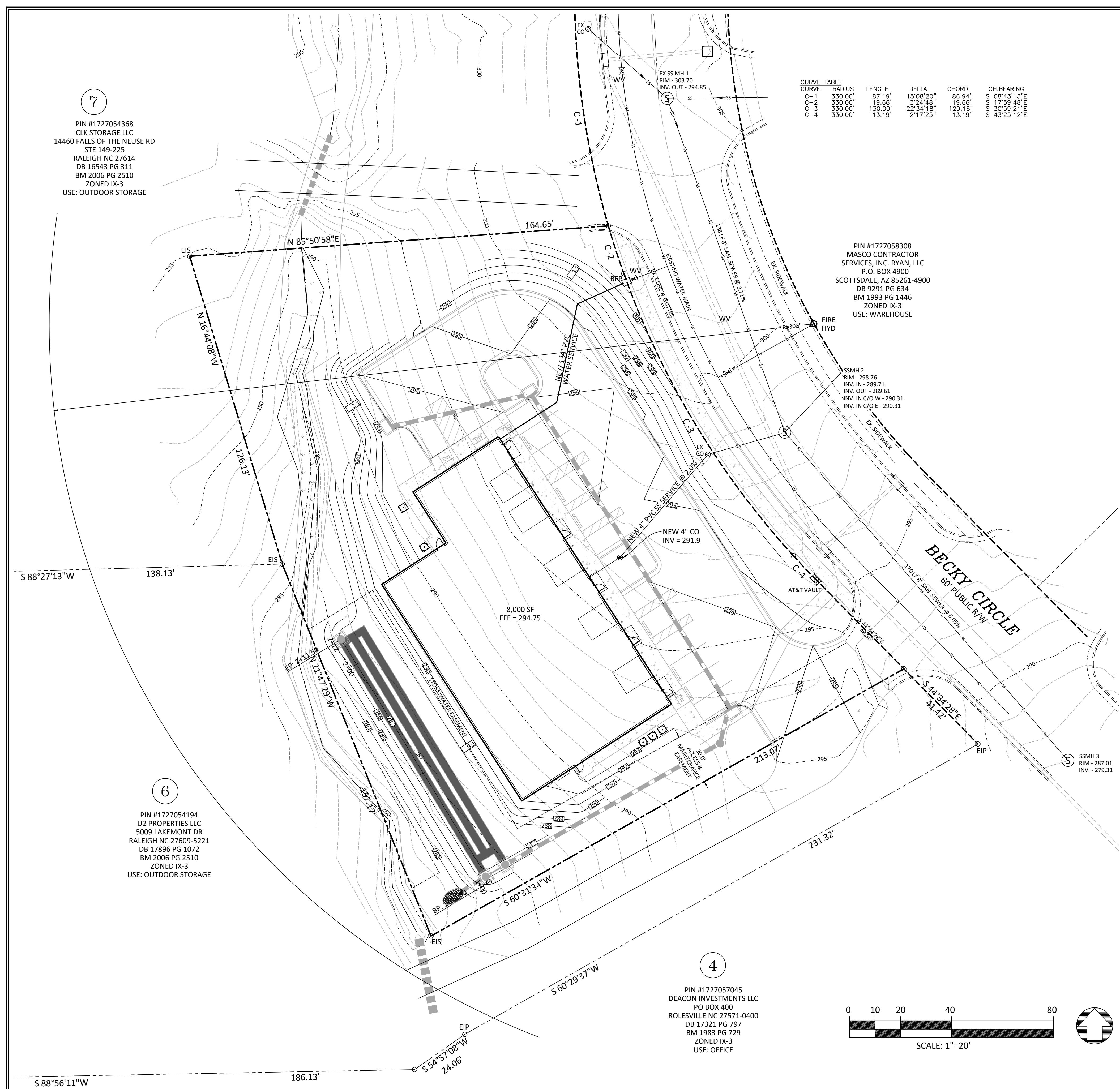
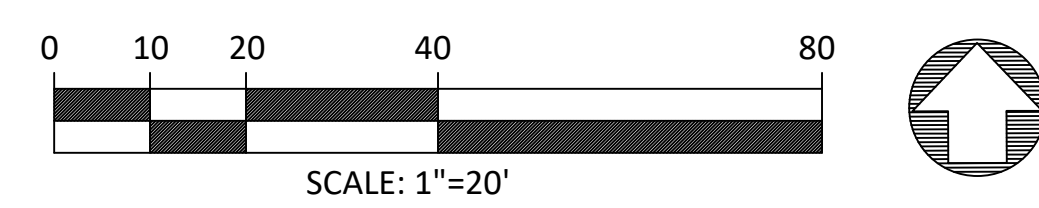
BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY CITY OR NCDOT STREET OR HIGHWAY RIGHT-OF-WAY, THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: CITY RIGHT-OF-WAY - CONTACT LOCAL AUTHORITIES TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. NCDOT RIGHT-OF-WAY - CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (CROSS-CHECK PLANS WITH SPECIAL PROVISIONS, KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT NCDOT DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER 919-733-3213).

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BM 1993 PG 1446
ZONED IX-3
USE: WAREHOUSE

SSMH 2
RIM - 298.76
INV. IN - 289.71
INV. OUT - 289.61
INV. IN C/O W - 290.31
INV. IN C/O E - 290.31

SSMH 3
RIM - 287.01
INV. - 279.31



7
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USE: OFFICE

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Storm Sewer Tabulation

Station	Line	To Line	Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc (min)	Rain (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe Size (in)	Slope (%)	Invert Elev (ft)		HGL Elev (ft)		Grnd / Rim Elev (ft)		Line ID	
				Incr (ac)	Total (ac)		Incr	Total								Dn	Up	Dn	Up	Dn	Up		
4	3		56.936	0.09	0.09	0.88	0.08	0.08	5.0	5.0	7.2	0.57	7.18	2.87	15	1.05	288.90	289.50	289.16	289.79	294.50	294.50	CI#1-CI#2
3	2		146.490	0.15	0.24	0.73	0.11	0.19	5.0	5.3	7.1	1.34	7.08	3.69	15	1.02	287.20	288.70	287.59	289.16	294.25	294.50	CI#2-CI#3
2	1		13.928	0.16	0.40	0.81	0.13	0.32	5.0	6.0	6.9	2.19	8.38	4.09	15	1.44	286.80	287.00	287.34	287.59	295.00	294.25	CI#3-JB#4
1	End		97.000	0.18	0.58	0.95	0.17	0.49	5.0	6.0	6.9	3.36	12.51	4.83	15	3.20	283.50	286.60	284.15	287.34	286.50	295.00	JB#4-JB#5

Project File: Storm Network 10-year.stm Number of lines: 4 Run Date: 11/25/2023

NOTES: Intensity = 71.47 / (Inlet time + 12.40) ^ 0.80; Return period = Yrs. 10 ; c = cir e = ellip b = box

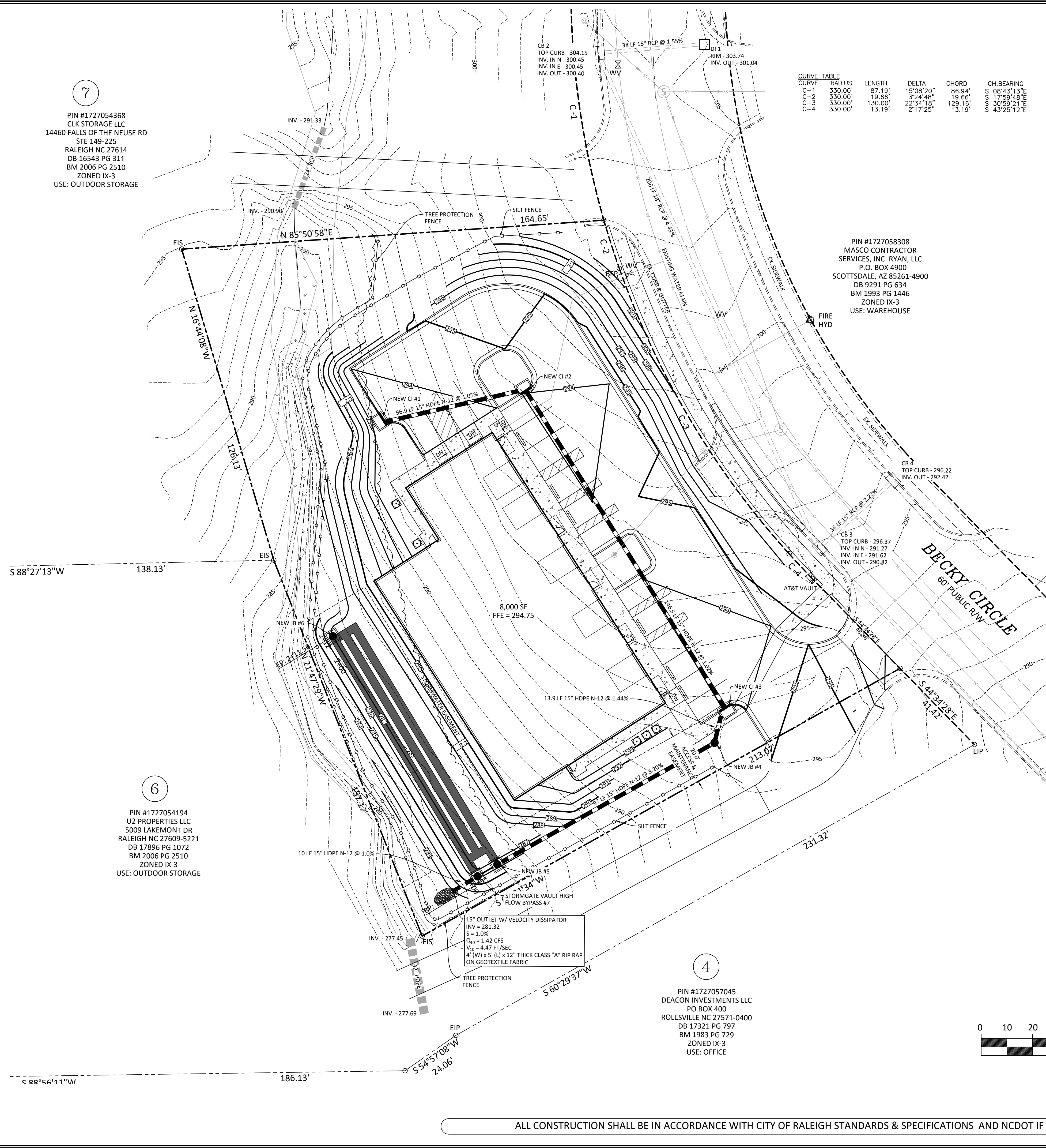
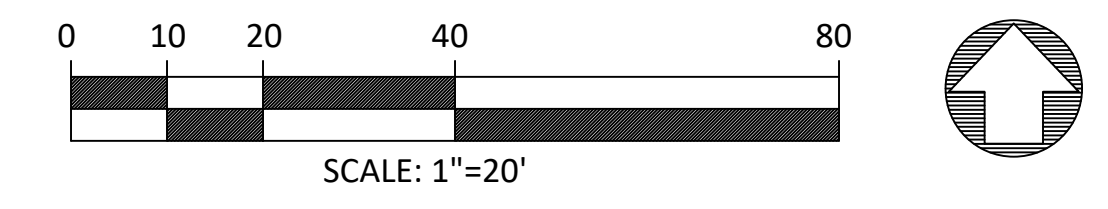
GENERAL NOTES:

- The contractor shall protect all existing power poles, signs, manholes, telephone pedestals, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the Manual of Uniform Traffic Control Devices, and as further directed by City, County, and State Inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of Construction. Contractor shall comply with all applicable federal and state sediment control ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities, the installation of all site improvements, and the establishment of vegetative cover on all earth surfaces.
- The Contractor shall clear and grub the site and place backfill and fill soil materials in layers not more than 8 inches in loose depth for material compacted by heavy compaction equipment and not more than 4 inches in loose depth for material compacted by hand-operated tampers. All fill material placed on the site shall be compacted to a minimum of 95% of the standard Proctor maximum dry density except in the final foot beneath pavements and floor slabs where this requirement should be increased to 98% of the standard Proctor maximum dry density. All fill material shall be moisture conditioned to within 2% of optimum moisture content in order to facilitate and maintain stability of the fill section.
- Any fill material from off-site locations shall be approved by a Geotechnical Engineer prior to placement.
- The contractor shall, prior to any operations involving filling or backfilling submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project and the certifications conducted by a certified material's testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours gradients are approximate. Proposed spot elevations are to be used in case of discrepancy.
- The contractor shall review, verify and coordinate all dimensions shown on plans including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer prior to starting project. Site Dimensions shown are referenced to back of curb, face of building, edge of pavement or walk, etc.

NOTE:
 PROPOSED IMPERVIOUS AREA: 0.46 ACRES / 20,085.9 SF
 DISTURBED AREA: 0.93 ACRES / 40,510.8 SF

LEGEND

	SILT FENCE
	TREE PROTECTION FENCE



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH BEARING
C-1	330.00'	87.19'	15°08'20"	86.94'	08°43'13"E
C-2	330.00'	19.66'	3°24'48"	19.66'	17°59'48"E
C-3	330.00'	130.00'	22°34'18"	129.16'	30°59'21"E
C-4	330.00'	13.19'	2°17'25"	13.19'	43°25'12"E

PIN #1727058308
 MASCO CONTRACTOR
 SERVICES, INC. RYAN, LLC
 P.O. BOX 4900
 SCOTTSDALE, AZ 85261-4900
 DB 9291 PG 634
 BM 1993 PG 1446
 ZONED IX-3
 USE: WAREHOUSE

PIN #1727057045
 DEACON INVESTMENTS LLC
 PO BOX 400
 ROLESVILLE NC 27571-0400
 DB 17321 PG 797
 BM 1983 PG 729
 ZONED IX-3
 USE: OFFICE

PIN #1727054368
 CLK STORAGE LLC
 14460 FALLS OF THE NEUSE RD
 STE 149-225
 RALEIGH NC 27614
 DB 16543 PG 311
 BM 2006 PG 2510
 ZONED IX-3
 USE: OUTDOOR STORAGE

PIN #1727054194
 U2 PROPERTIES LLC
 5009 LAKEMONT DR
 RALEIGH NC 27609-5221
 DB 17896 PG 1072
 BM 2006 PG 2510
 ZONED IX-3
 USE: OUTDOOR STORAGE

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 APEX, NC 27502
 TELEPHONE: 919 363-1422
 FACSIMILE: 919 363-1477

PRELIMINARY
 NOT RELEASED FOR
 CONSTRUCTION
 FOR REVIEW ONLY

LOT 5 ROWLAND BUSINESS PARK
 7209 BECKY CIRCLE
 OWNER/DEVELOPER: QOMAQ PROPERTIES, LLC
 CITY OF RALEIGH WAKE COUNTY NORTH CAROLINA

DRAWN BY	CHECKED BY
KAH	TDS
DATE	1/11/2024

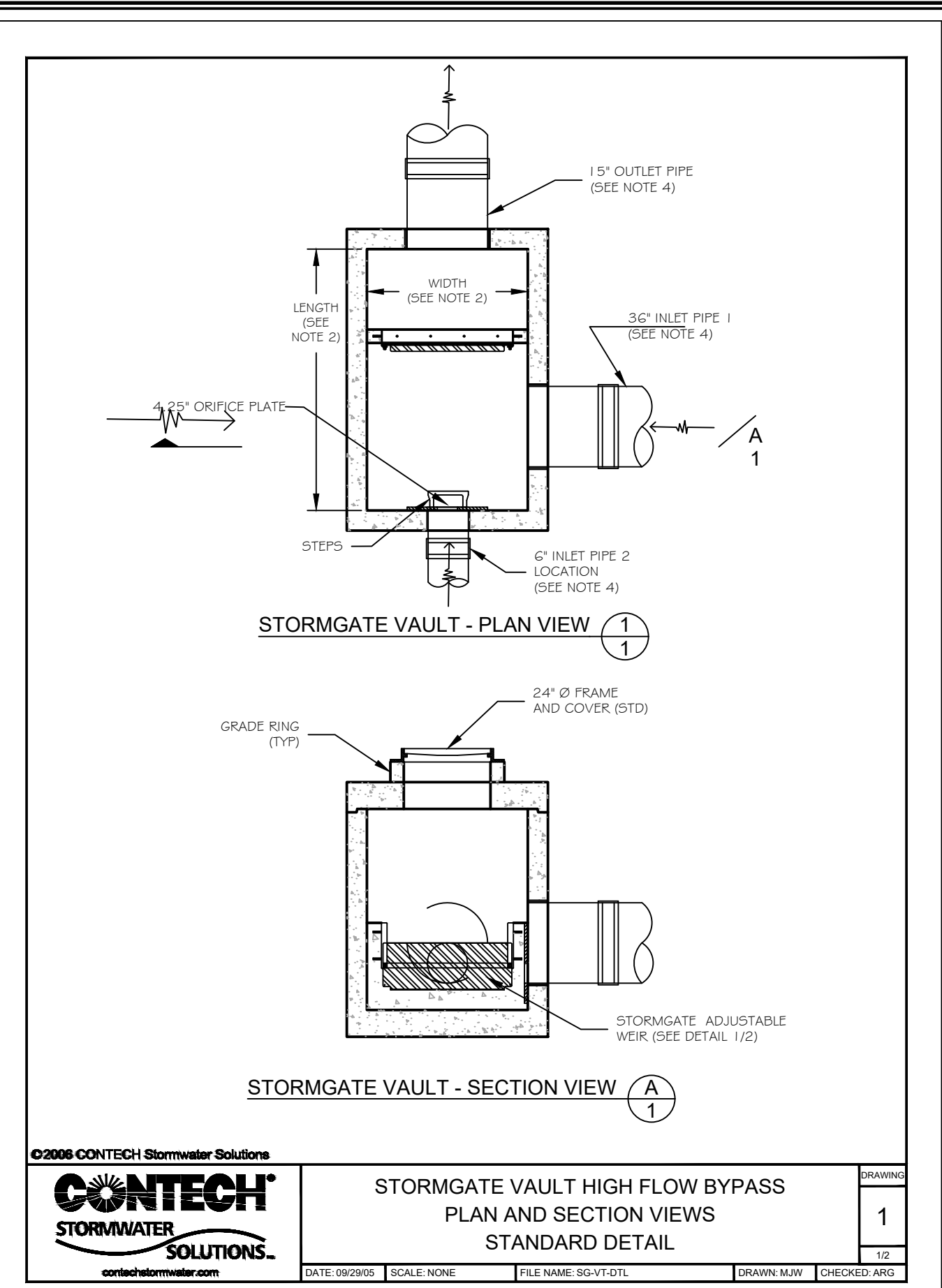
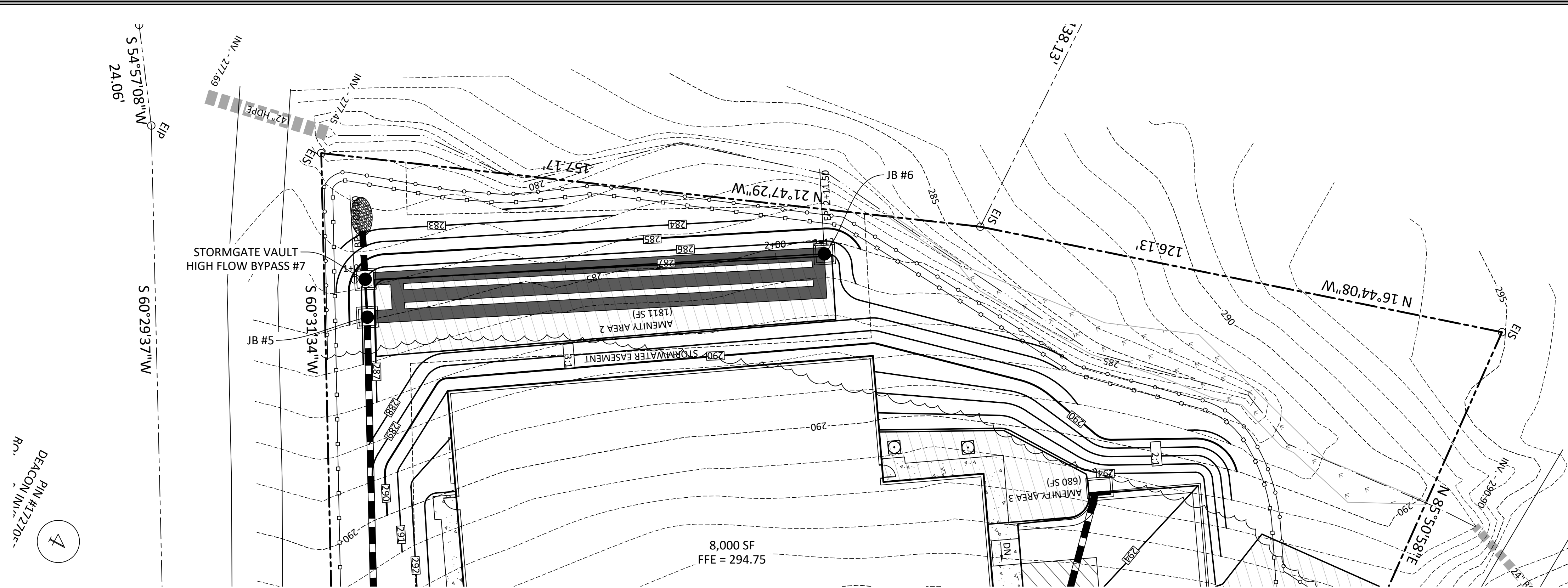
REVISIONS

SHEET TITLE

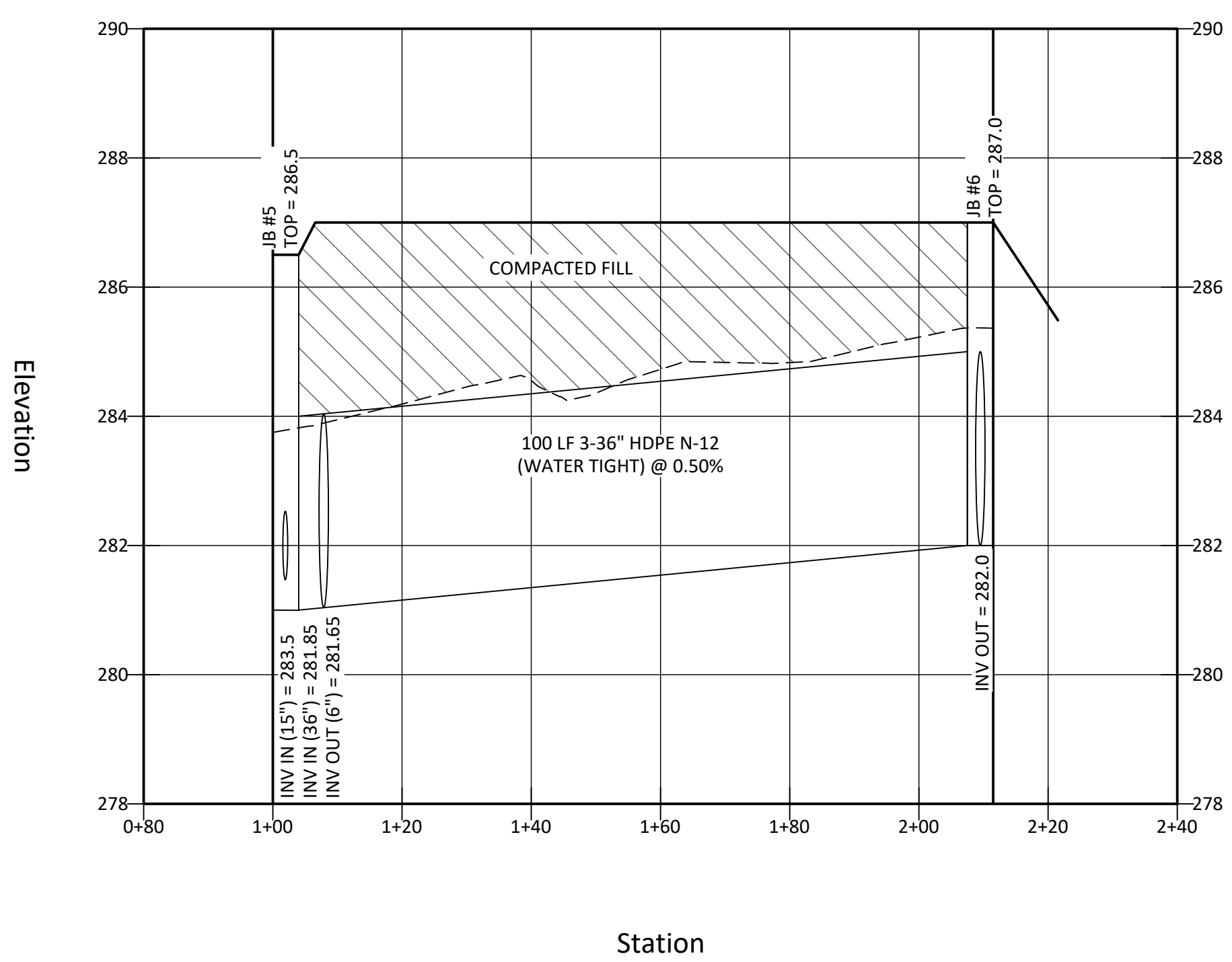
GRADING AND DRAINAGE PLAN

SHEET NUMBER

C5
 5 OF 8



UG Detention PROFILE



A design summary for the project stormwater management is as follows.

TOTAL PROJECT AREA: 0.99 ACRES
 EXISTING (PRE-DEVELOPMENT) IMPERVIOUS AREA: -0- SF (-0- ACRES)
 TOTAL (POST-DEVELOPMENT) IMPERVIOUS AREA: 20,085.9 SF (0.46 ACRES)
 TOTAL PROJECT IMPERVIOUS (%): 46.46%

AREA OF INTEREST (AOI) AT SOUTHWEST PROPERTY CORNER:
 DRAINAGE AREA 25.51 ACRES

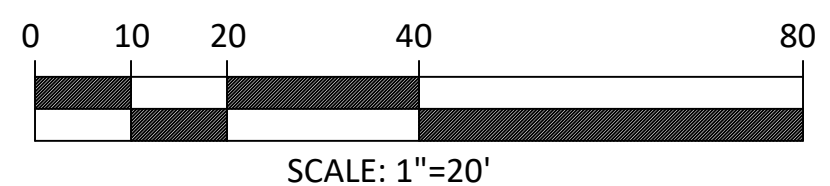
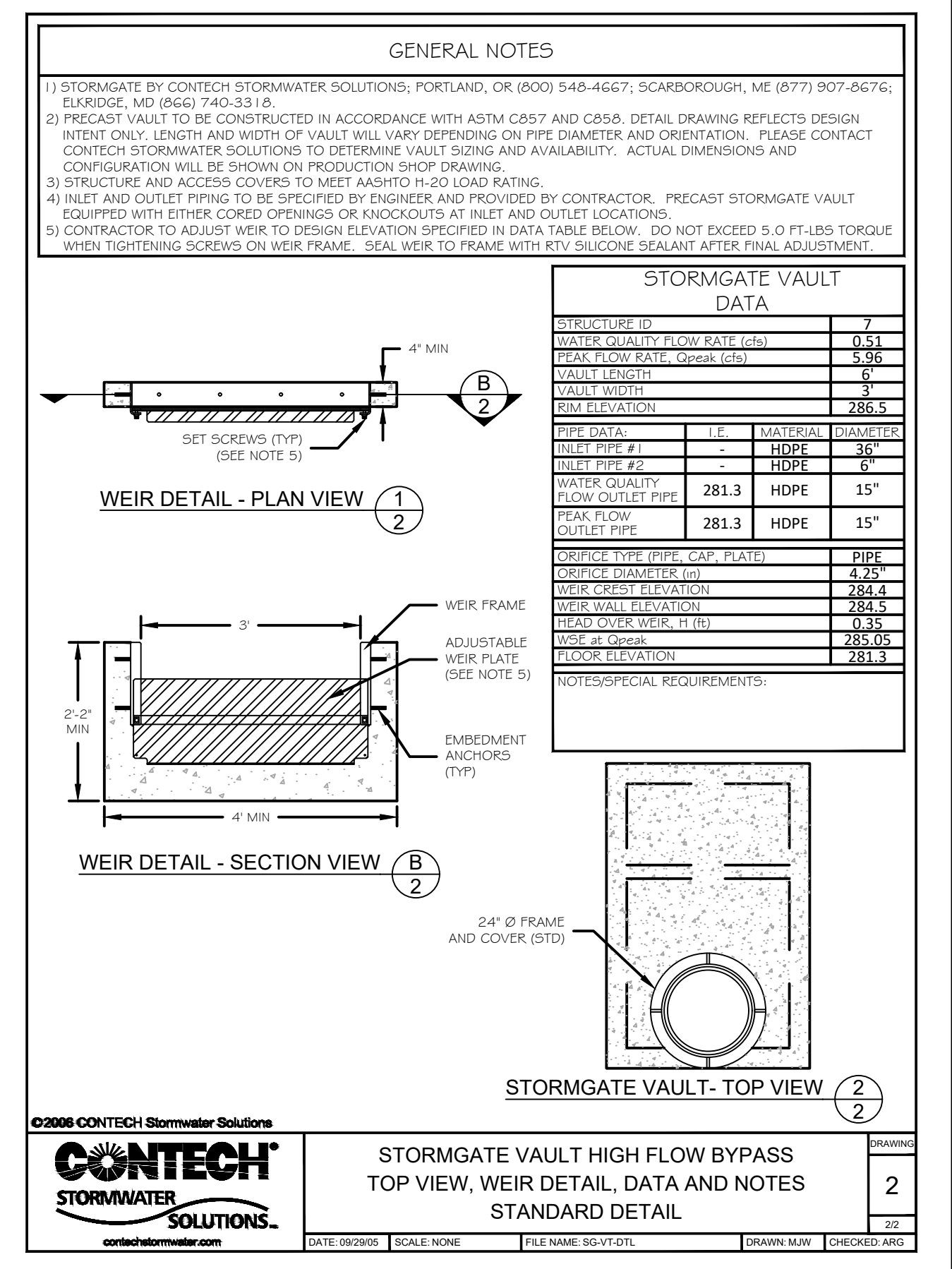
PEAK FLOWS TO AOI

	1-YR.	10-YR	25-YR	100-YR
PRE-DEV Q	11.94 cfs	46.62 cfs	65.86 cfs	99.99 cfs
POST-DEV Q	13.26 cfs	48.84 cfs	68.52 cfs	103.08 cfs
PRE/POST DIFFERENCE	1.32 cfs	2.22 cfs	N/A	N/A

STORMWATER PEAK ATTENUATION SUMMARY

	1-YR.	10-YR	25-YR	100-YR
POST-DEV Q	1.85 cfs	3.71 cfs	4.57 cfs	5.98 cfs
POST-DEV Q THRU DETENTION - HYDRAFLOW ROUTING	0.51 cfs	1.42 cfs	3.79 cfs	5.96 cfs
PRE/POST DIFFERENCE	1.34 cfs	2.29 cfs	0.78 cfs	0.02 cfs
STAGE (FEET)	283.13	284.57	284.85	285.05
STORAGE VOL. (CUBIC FEET)	883	2,129	2,254	2,278

POST-DEVELOPMENT PEAK FLOWS ARE LESS THAN PRE-DEVELOPMENT PEAK FLOWS FOR THE ONE, AND, TEN YEAR STORMS THROUGH THE UNDERGROUND DETENTION PIPE SYSTEM



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REVISIONS

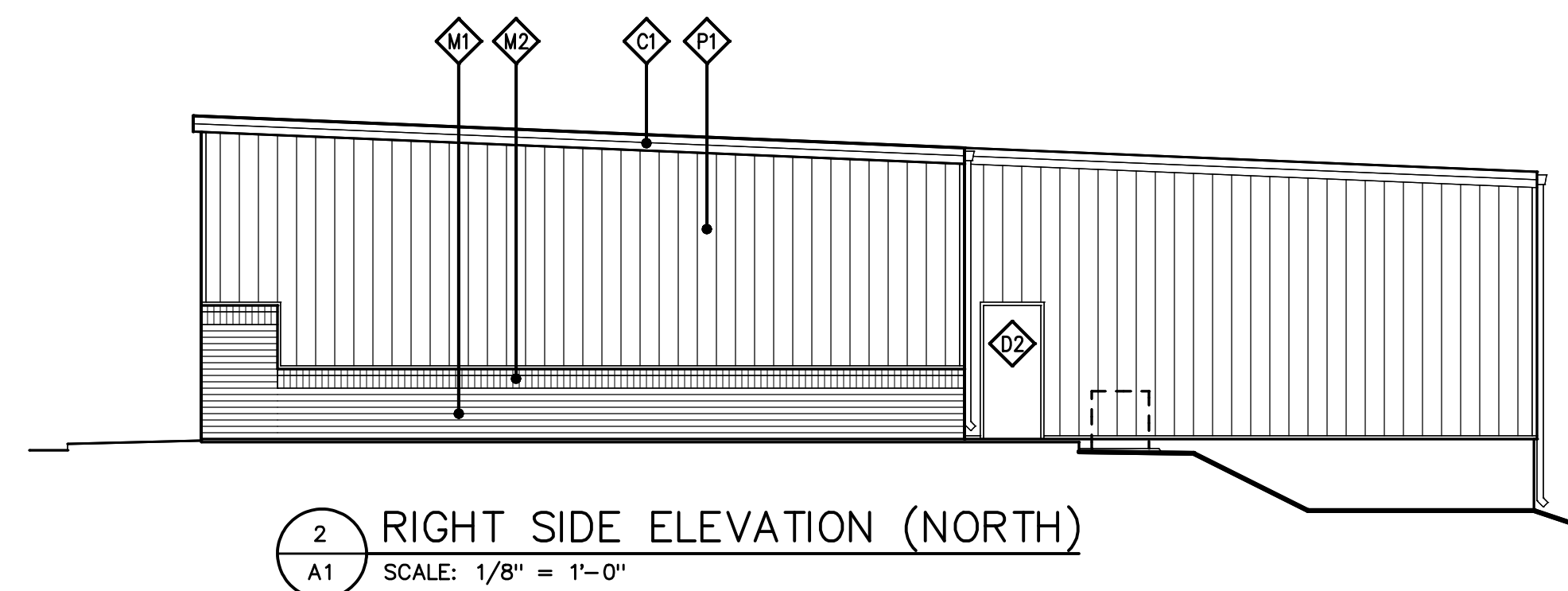
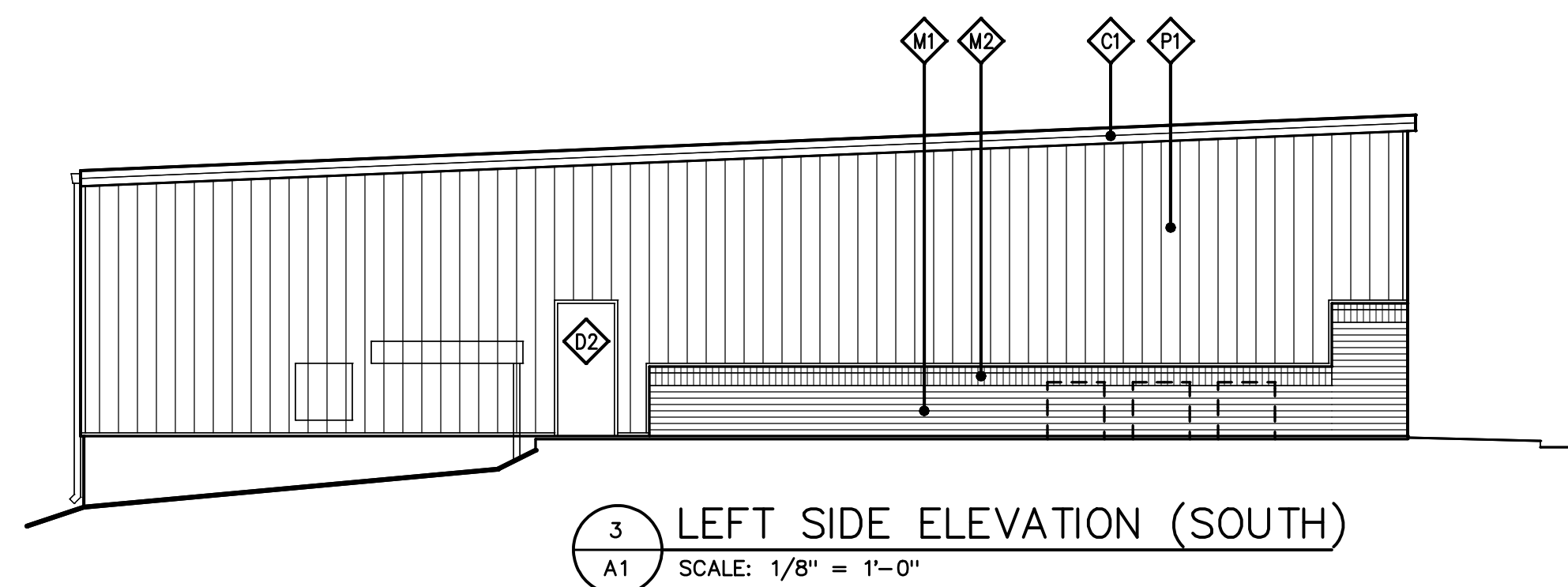
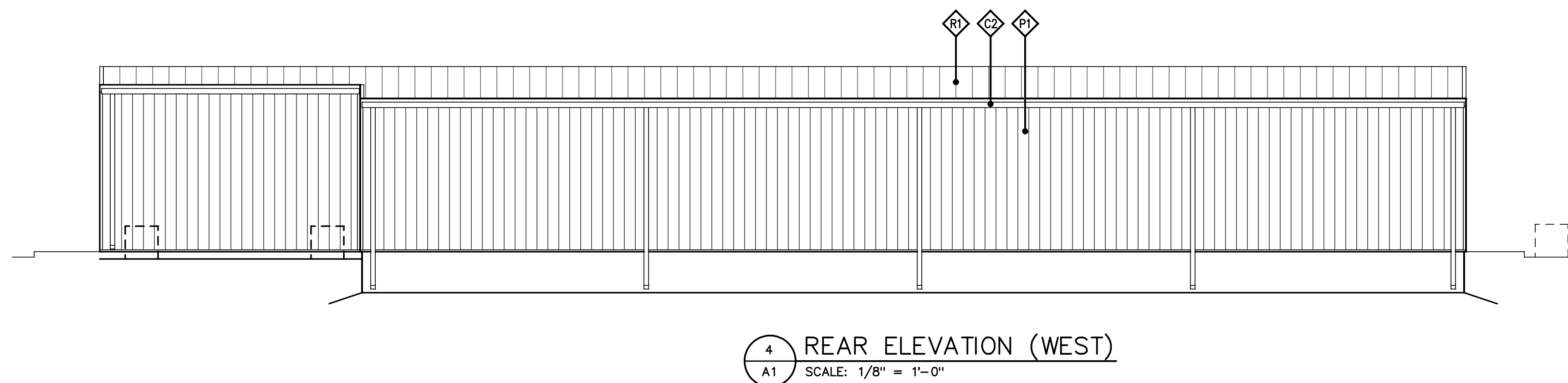
SHEET TITLE

STORMWATER
 DETENTION PLAN

SHEET NUMBER

C6
 6 OF 8

MATERIAL & COLOR SCHEDULE	
◊A1	METAL AWNING - (SILVER METALLIC)
◊M1	FIELD BRICK - (RED WIRECUT)
◊M2	ACCENT BRICK - (GRAY WIRECUT)
◊P1	METAL WALL PANELS - (ASH GRAY)
◊C1	METAL COPING - (ASH GRAY)
◊G2	METAL GUTTER & DOWNSPOUTS - (ASH GRAY)
◊R1	STANDING SEAM METAL ROOF - (GALVALUME - UNIFORM & NON-REFLECTIVE)
◊D1	OVERHEAD DOORS - (WHITE)
◊D2	3070 DOORS - (PAINT TO MATCH WALL PANELS)
◊S1	CLEAR ANODIZED ALUM. STOREFRONT FRAMES (SILVER)



AVERAGE GRADE CALCULATIONS			
	POST-LOW	POST-HIGH	POST AVE.
EAST	294.75	294.75	294.75

(POST DEVELOPMENT AVERAGE GRADE IS MOST RESTRICTIVE)

TRANSPARENCY CALCULATIONS (SOUTH)	
TOTAL WALL AREA = 1,500 S.F.	
TOTAL GLAZING REQUIRED = 300 S.F. (20%)	
TOTAL GLAZING PROVIDED = 310 S.F. (20.6%)	
1.5.9.B.1 GENERAL REQUIREMENTS (SOUTH)	
TOTAL GLAZING REQUIRED = 300 S.F.	
GLAZING REQUIRED BETWEEN 3' TO 8' = 150 S.F. (50%)	
ACTUAL GLAZING PROVIDED BETWEEN 3' TO 8' = 166 S.F. (55%)	

