

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0007-2021</u>	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: 865 Morgan			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): 865, 861, 857 & 0 W Morgan St. and 905 Tryon Hill Dr.			
Site P.I.N.(s): 17031993636, 1703199251, 1703290093, 1703199201, 1703197269			
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of 4 to 7 story mixed use and apartment building consisting of parking garage wrapped with 401 residential units, (2) amenity courtyards and approximately 9,000 SF of retail space.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Garry Hoover		Title: Owner	
Address: 3300 Kirks Grove Lane, Raleigh, NC 27603			
Phone #: 919-810-1510		Email: hooverg@bellsouth.net	
Applicant Name: Ken Thompson			
Company: JDavis Architects		Address: 510 S. Wilmington Street, Raleigh, NC 27601	
Phone #: 919-835-1500		Email: kent@jdavisarchitects.com	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-7-UL-CU (0.47 AC), CX-7-UG (2.36 AC) NX-4-UL (0.47 AC)	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 3.09 AC	Existing gross floor area to be demolished: 27,860 SF
# of parking spaces required: 385	New gross floor area: 438,856 SF
# of parking spaces proposed: 513	Total sf gross (to remain and new): 438,856 SF
Overlay District (if applicable): SRPOD	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Bar, warehouse and light Mfg.	Proposed # of stories for each: 4 to 7 stories
Proposed use (UDO 6.1.4): multi-unit living, retail	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>3.31 AC</u> Square Feet: <u>144,102 SF</u>		Proposed Impervious Surface: Acres: <u>3.96 AC</u> Square Feet: <u>172,333 SF</u>	
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please provide: _____			
Alluvial soils: _____			
Flood study: _____			
FEMA Map Panel #: _____			
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 401	Total # of hotel units: N/A
# of bedroom units: 1br 297 2br 104 3br 0 4br or more 0	
# of lots: 2	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

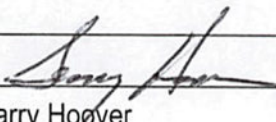
SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Ken Thompson to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:



Date: 1/21/21

Printed Name: Garry Hoover



ASR-0007-2021

2nd Submittal: February 9, 2022

865 Morgan Street

865 W. Morgan Street
Raleigh, NC

New	Proposed beds	1 BR	2 BR	Total	1 BR	2 BR	Total	
	Building #1 (Lot #1)	142 bed	120 bed	262 beds	147 bed	104 bed	251 beds	-4.20%
	Building #2 (Lot #2)	155 bed	88 bed	243 beds	164 bed	74 bed	238 beds	-2.06%
	Total	297 bed	208 bed	505 beds	311 bed	178 bed	489 beds	-3.17%

ANS. THESE PLANS ARE NOT TO BE REPRODUCED

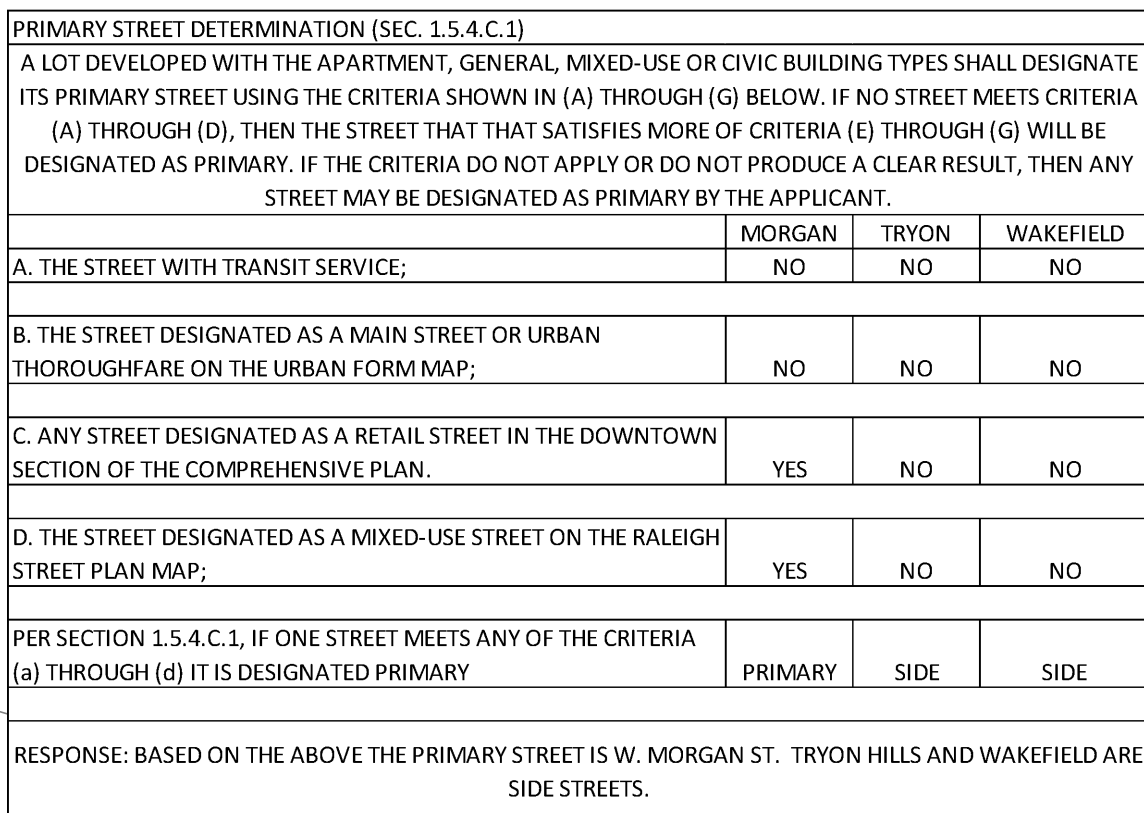
REVIS _____

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Know what's **below**.
Call before you dig.

Raleigh, North Carolina

L0.0



Overall Site Data					
Project: 685 Morgan					
Updated: 02/07/2022					
± Zoning and parcel data	± Zoning	± Survey	± Survey	± Maps	± Data
PN170200003	M4-LA	11,288.42 SF	1,299.48	0.28 AC	
PN170200004	M4-LA	29,295.14 SF	3,486.84	0.77 AC	
PN170200005	C67-LG	4,783.13 SF	0.10 AC	0.12 AC	
PN170200006	C67-LG	11,759.16 SF	0.27 AC	0.27 AC	
PN170200007	C67-LG	83,327.57 SF	1.93 AC	1.92 AC	
PN170200008	C67-LG	131,452.90 SF	3.01 AC	3.09 AC	
± Total					
		131,452.90 SF	3.01 AC	3.09 AC	
± Gross ACS		± Survey	± Survey		
± Parcels		131,452.90 SF	3.01 AC		
± Plus W. Morgan St. right of way to be closed		18,929.64 SF	0.43 AC		
± Plus 10' COR Walking right of way to be closed		11,048.13 SF	0.25 AC		
± Total		150,430.58 SF	3.59 AC		
± Net ACS		150,430.58 SF	3.55 AC		
± Gross ACS		150,430.58 SF	3.55 AC		
± Less Walkway/Road dedication*		3,008.85 SF	-0.069 AC		
± Less Typen Villa Road dedication		2,905.00 SF	-0.065 AC		
± Less Morgan St. Road dedication		1,126.50 SF	-0.003 AC		
± Less Typen Villa Road dedication		398.18 SF	-0.009 AC		
± Net ACS		140,085.65 SF	3.39 AC		
± New lots					
± Lot # (Building #)		87,997.13 SF	2.248 AC		
± Lot # (Building #)		50,108.32 SF	1.150 AC		
± Total		140,085.45 SF	3.39 AC		
± Proposed use					
± Building # (Lot #)			Multi unit residential / low rental suites		
± Building # (Lot #)			Multi unit / low rental suites		
± Proposed units		1 BR	2 BR		
± Building # (Lot #)		147 DU	52 DU	199 DU	
± Building # (Lot #)		164 DU	37 DU	201 DU	
± Total		311 DU	89 DU	400 DU	
± Proposed commercial				8,864 SF	
± Building # (Lot #)			Gross ACS		
± Building # (Lot #)		199	2.35 =	66.81 AC	
± Building # (Lot #)		201	2.26 =	60.13 AC	
± Total		400	3.55 =	112.83 AC	
± Gross building footage					
± Building # (Lot #)			248,395 SF	248,395 SF	
± Total			248,395 SF	433,659 SF	
± Proposed FAR					
± Building # (Lot #)		248,395	2.25 =	253.6%	
± Building # (Lot #)		162,214	1.15 =	58.9%	
± Total		433,609	2.34 =	292.8%	
± Building lot coverage (does not include decks)			± Net ACS		
± Building # (Lot #)		433,609	2.25 =	44.4%	
± Building # (Lot #)		202,621	1.15 =	58.9%	
± Total		73,525	1.34 =	49.7%	

[illegible]

EXISTING SITE DATA




















SITE ADDRESS:	865 W. MORGAN ST. 861 W. MORGAN ST. 857 W. MORGAN ST., 0 W. MORGAN ST, 905 TRYON HILL DR.
PIN NUMBER:	1703199363, 1703199251, 1703290093, 1703199201, 1703197269
DEED BOOK:	DB 016348, PG01265, DB 002589, PG 00538, DB 013993, PG20430
RECORDED MAP:	BM 2000, PG 1393.
ZONING(S):	CX-7-UJ, CX-7-UJ-CU, NX-4-UJ
OVERLAY DISTRICT:	SPROD
ACREAGE:	3.09 AC
EXISTING USE:	LT MANUFACTURING, WAREHOUSE, BAR/CLUB, VACANT
ALLUVIAL SOIL:	NA
FEMA MAP PANEL #:	NA

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
5. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTY. A LETTER TO THE PROPERTY OWNER MUST BE PROVIDED TO THE CITY OF RALEIGH.
6. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE CITY OF RALEIGH STREET DESIGN MANAGER AT 919-996-2900.
7. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
8. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTORS AS NEEEDED DURING CONSTRUCTION.
9. ALL SURVEY INFORMATION PROVIDED TO JAVAS ARCHITECTS BY WESTERN CITY AND SURVEY IN 2017, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER 2020, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM THE CITY OF RALEIGH SURVEY DEPARTMENT IN 2021.
10. WITHIN THE 50' RIGHT TRAFFIC LANE ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB OR BELOW THE CURB SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDED BUT ARE NOT LIMITED TO ANY BARRIER, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
11. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28 MINIMUM.
12. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
13. ALL MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SECT 7-2. EQUIPMENT IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
14. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL UTILITIES PRIOR TO 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
15. HANDICAP PARKING SPACES (2%) AND ACCESSIBLE (5%) SHALL BE NO GROUPING MORE THAN TEN PERCENT (2%) IN ANY DIRECTION AS PER ADA STANDARDS.
16. PROVIDE SIGNAGE AND SIGNPOSTS OF HANDICAP SPACES AS PER ADA STANDARDS.
17. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SLOPE INTERESTING RAIL FENCE.
18. THE MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CLEARANCE.
19. W/ ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS. PROVIDA STANDARDS ABOUT ACCESS RAMP.
20. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI, ICCBC, AND LOCAL STANDARDS AND SPECIFICATIONS.
21. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRIC, TRANSFORMERS, AND EQUIPMENT ENCLOSURES) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
22. UTILITY PLACEMENT, EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITY

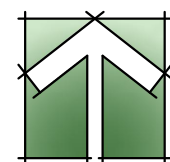
SEE LS3.1 FOR SITE DETAILS.



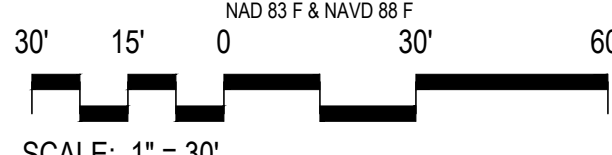
LEGEND:		
		PROP: 2 BIKE RACK
		PROP: 4X8 TREE GRATE
		PROJECT BOUNDARY
		EX. ADJACENT PROPERTY LINE
		EX. RIGHT OF WAY LINE
		EX. EASEMENT
		BUILD TO LINE
		CENTER LINE
		PHASE LINE
		ZONING LINE
		PROP. RIGHT OF WAY
		PROP. ACCESS EASEMENT
		PROP. PEDESTRIAN EASEMENT
		PROP. SEWER LINE EASEMENT
		PROP. STORM EASEMENT
		PROP. SEWER EASEMENT
		PROP. OUTSIDE AMENITY AREA
		PROP. CONCRETE AREA
		PROP. HEAVY DUTY CONCRETE

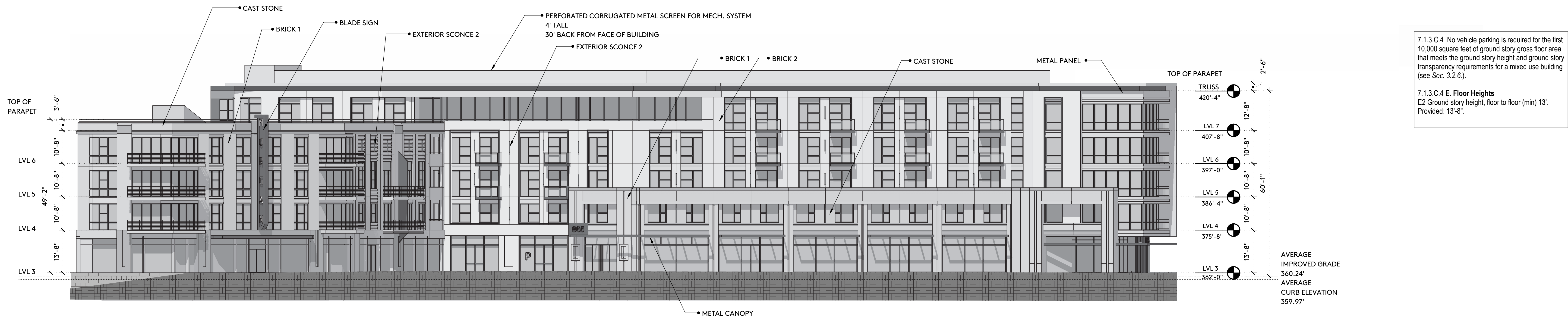
ASR-0007-2021

SITE PLAN

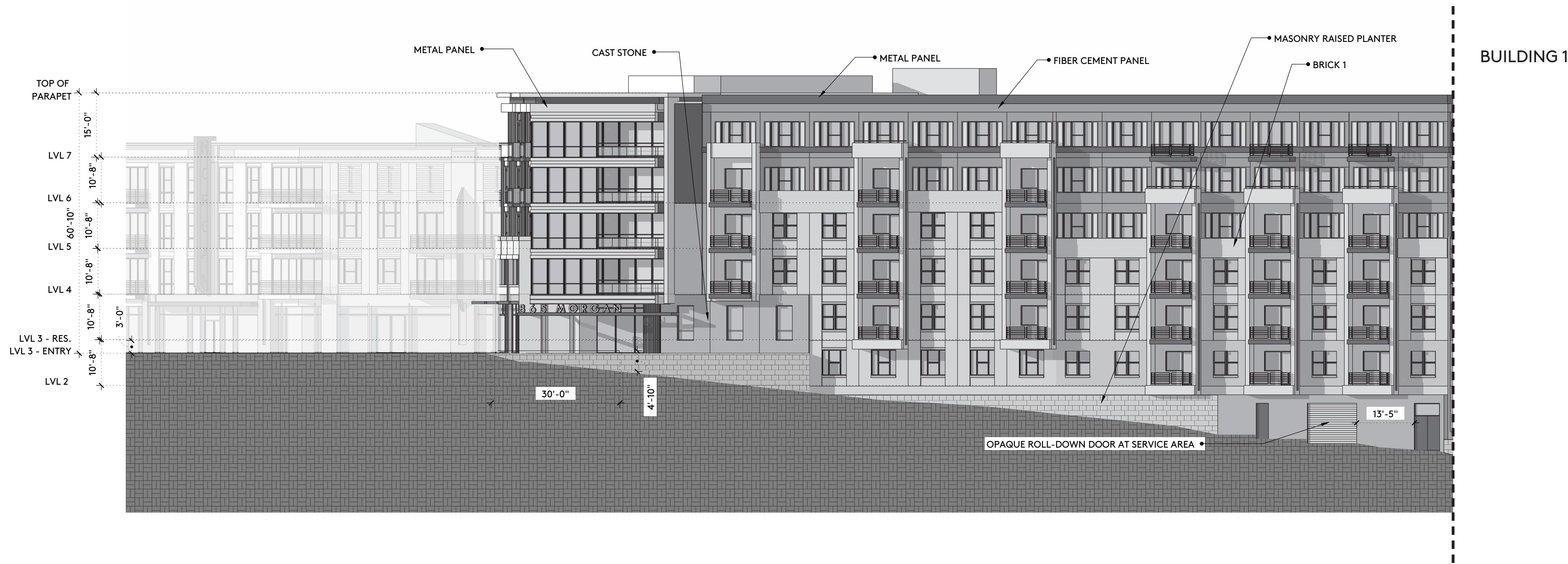


Know what's **below**.
Call before you

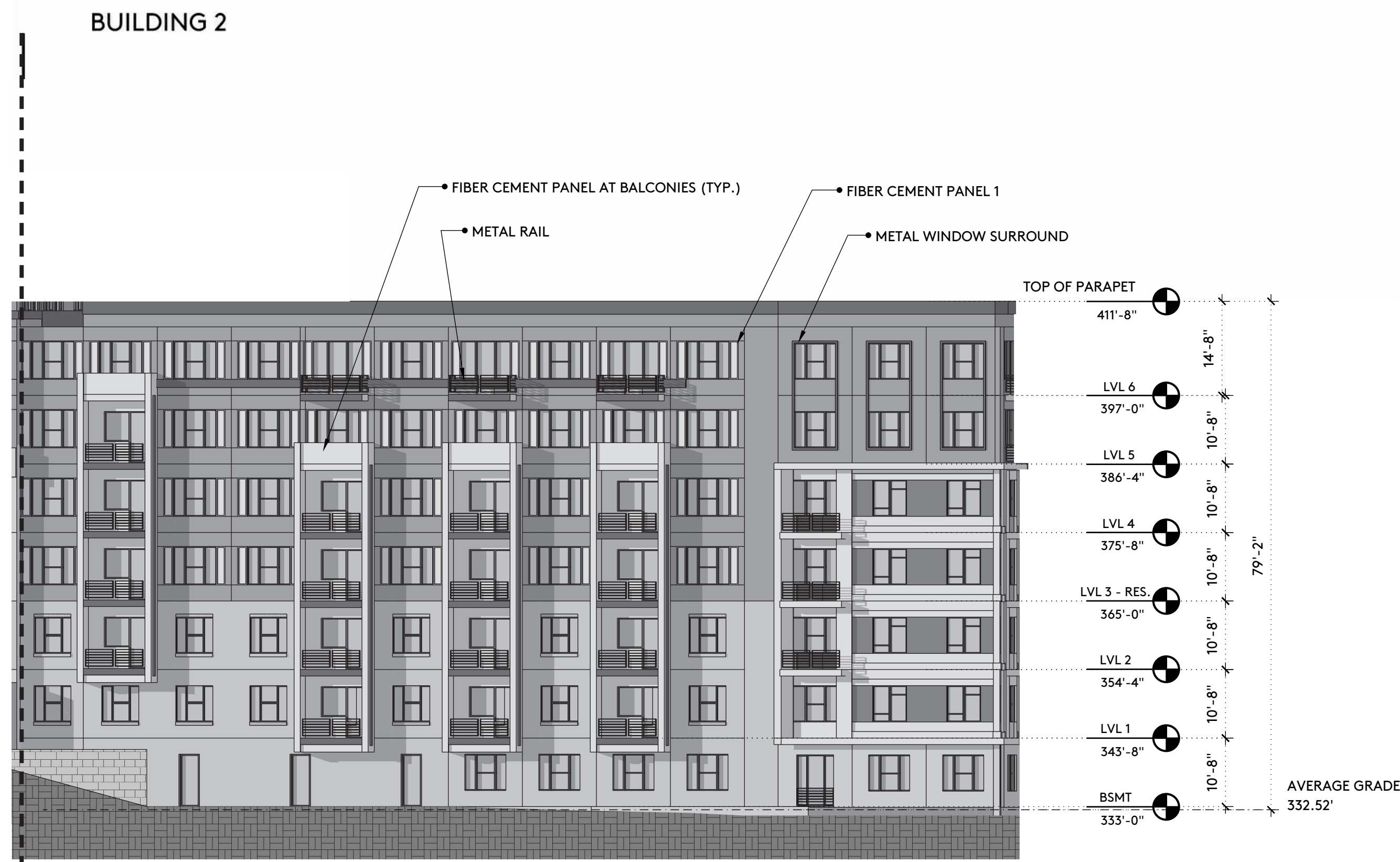




EAST ELEVATION (MORGAN STREET) 1
N.T.S.



NORTH ELEVATION BUILDING 1 (TRYON HILL DRIVE) 2
N.T.S.



NORTH ELEVATION BUILDING 2 (TRYON HILL DRIVE) 3
N.T.S.

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 1	West Morgan Street	358.50	361.97	360.24
BUILDING 2*	West Morgan Street	336.22	337.13	336.68

*Tryon Hill is address Street

Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently. Where property slope increases to the rear, building height is measured from the average post development grade of the front and rear wall plane.

CURBLINE ELEVATIONS					
BUILDING	CURBLINE ELVATION			MIN. GROUND FLOOR PER UDO	PROPOSED FINISH FLOOR
	LOW	HIGH	AVG.		
1	358.05	361.88	359.97	359.97	362.00
2	327.10	336.12	331.61	333.61	333.00

PROJECT:		DATE
ISSUE:		02.08.22
REVISIONS:		
CONTENT:		
EXTERIOR ELEVATIONS		

BLDG HEIGHT TABLE 3
N.T.S.

CA-3.01

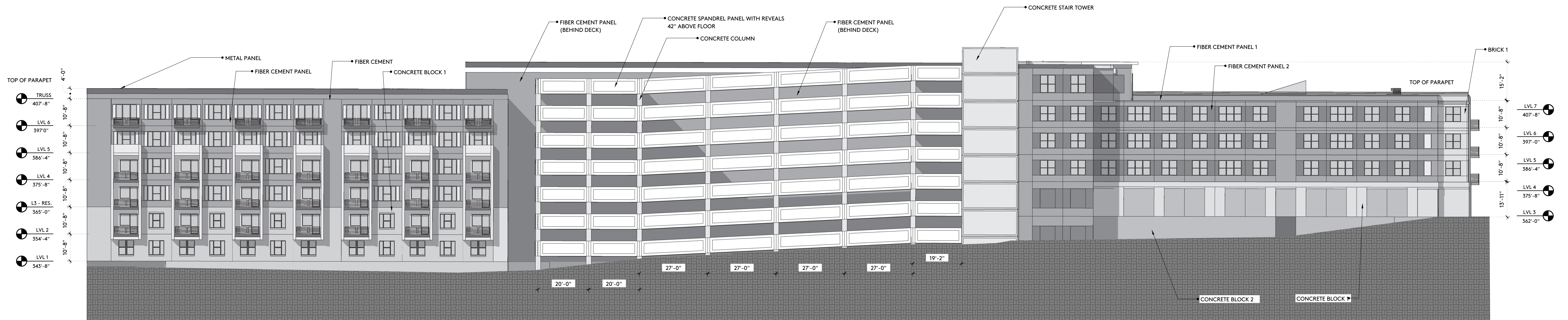
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WEST ELEVATION BUILDING 2 (WAKEFIELD AVE.)

N.T.S.

2



SOUTH ELEVATION (FACING RAILROAD)

N.T.S.

3

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SCHEMATIC
DESIGN

PROJECT:	DATE
ISSUE:	02.08.22
REVISIONS:	
CONTENT:	EXTERIOR ELEVATIONS

Gregg Sandreuter
865 Morgan Street
865 West Morgan Street
Raleigh, North Carolina 27603

JDAVIS
510 S Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

CA-3.02

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MIXED-USE TRANSPARENCY - A

MIXED-USE TRANSPARENCY - B

MIXED-USE TRANSPARENCY - C

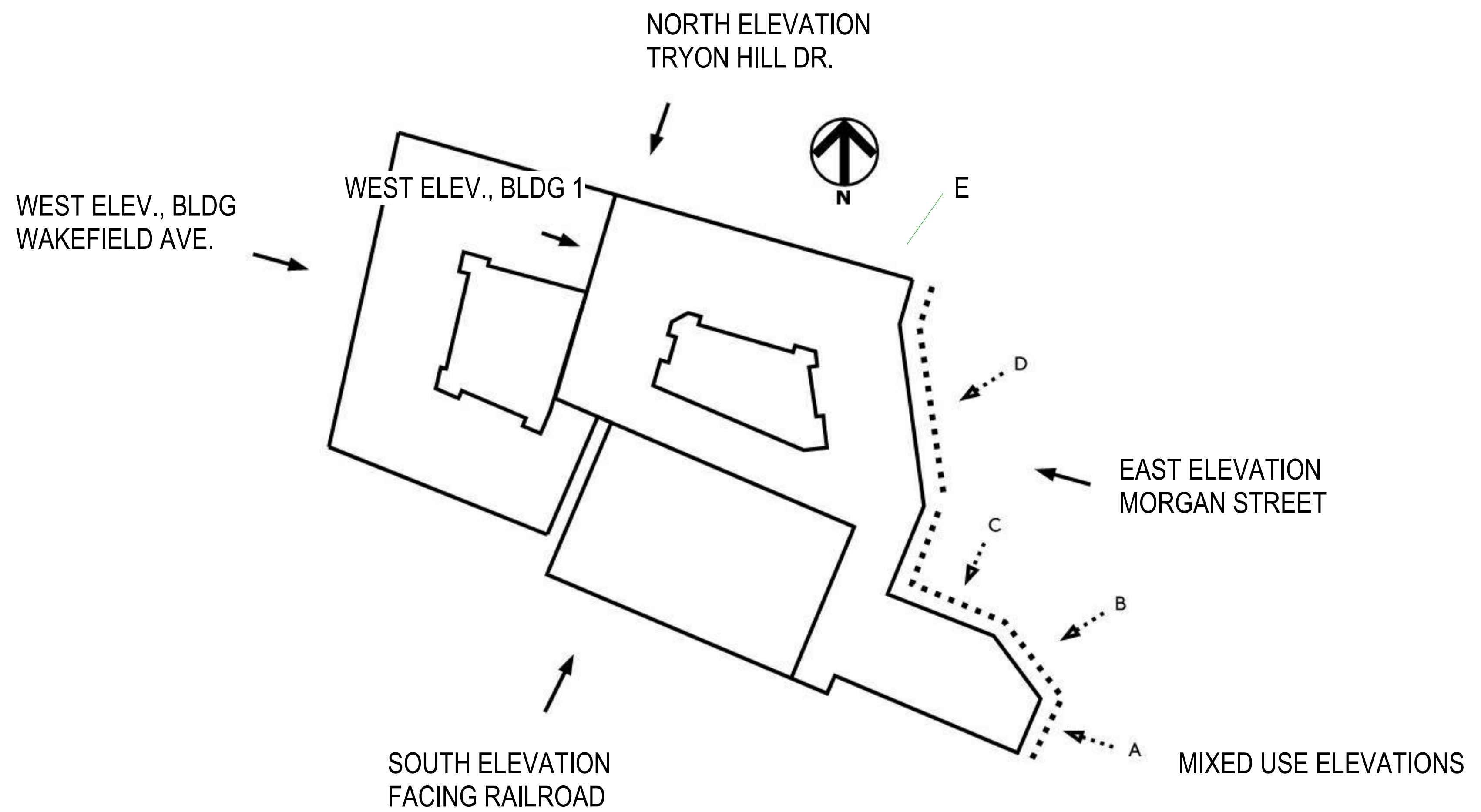
MIXED-USE TRANSPARENCY - D

MIXED-USE TRANSPARENCY - E
TRYON HILLS DRIVE

Transparency (UDO Section 1.5.9, Section 3.2.6.F)				
W. Morgan St. - Mixed-Use Ground Floor				
Ground story façade (measured btwn 0'-12')				5360.0 SF
Min.Transparency Req.	5360.0	x	50%	= 2680.0 SF
Transparency Provided	5360.0	x	75%	= 4002.0 SF
Transparency Provided btwn 3'-8' (min 50% of Req.)	2680.0	x	70%	= 1870.0 SF
W. Morgan St. - Mixed-Use Upper Story				
Upper story façade				17159.0 SF
Min.Transparency Req.	17159.0	x	20%	= 3431.8 SF
Transparency Provided	17159.0	x	44%	= 7628.0 SF

TRANSPARENCY CALCULATIONS
N.T.S.

2



ELEVATION KEY
N.T.S.

3

MIXED-USE TRANSPARENCY ELEVATIONS
N.T.S.

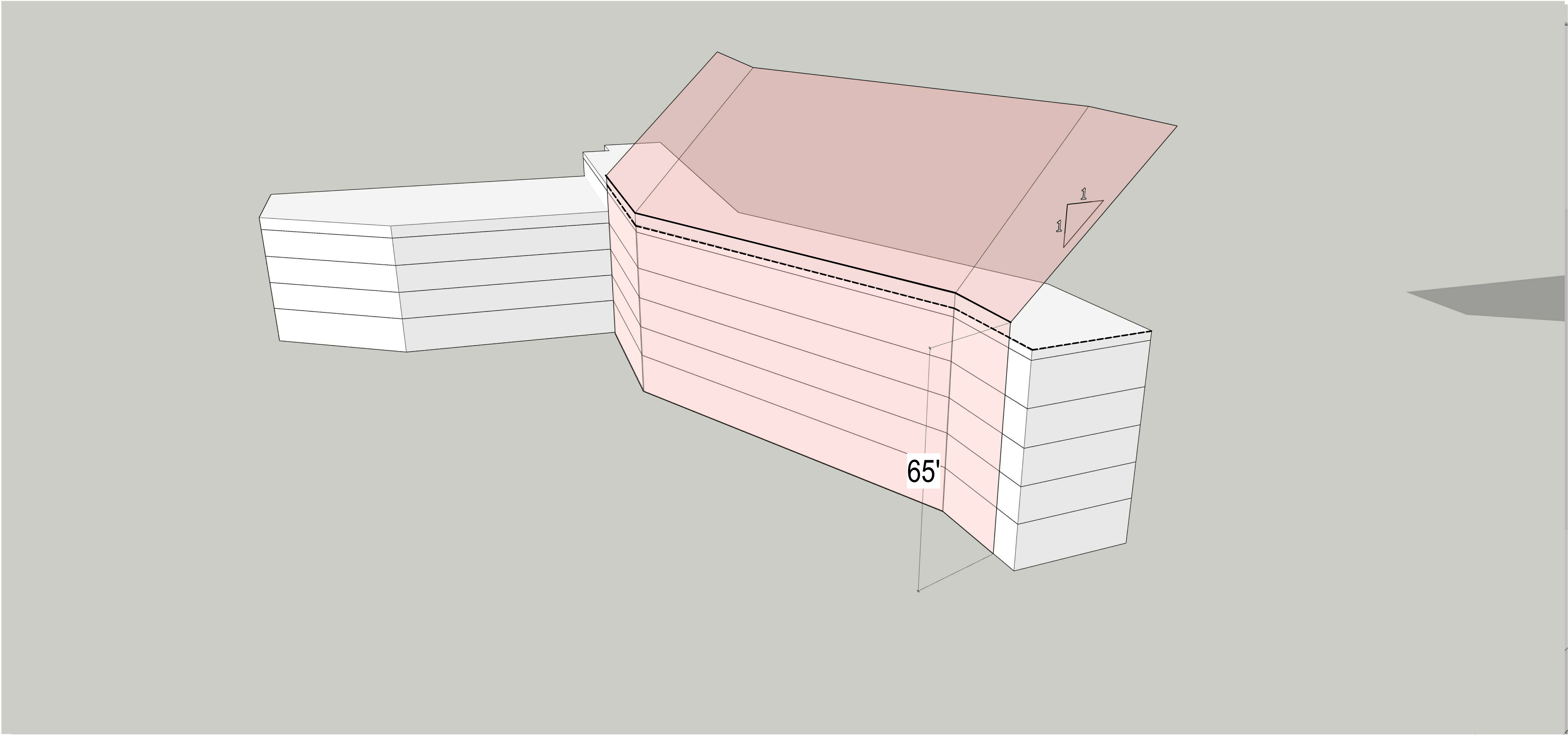
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ISSUE:	
REVISIONS:	
DRAWN BY:	Author
CHECKED BY:	Checker
CONTENT:	EXTERIOR ELEVATIONS

865 Morgan Street
865 West Morgan Street
Raleigh, North Carolina 27603

CA-3.03



BLDG HEIGHT DIAGRAM
N.T.S

1

PROJECT:	02.08.22
ISSUE:	
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CONTENT:	BUILDING HEIGHT