



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0007-2021</u>	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: 865 Morgan			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <b>865, 861, 857 &amp; 0 W Morgan St. and 905 Tryon Hill Dr.</b>			
Site P.I.N.(s): 17031993636, 1703199251, 1703290093, 1703199201, 1703197269			
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of 4 to 7 story mixed use and apartment building consisting of parking garage wrapped with 401 residential units, (2) amenity courtyards and approximately 9,000 SF of retail space.			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: Garry Hoover		Title: Owner	
Address: 3300 Kirks Grove Lane, Raleigh, NC 27603			
Phone #: 919-810-1510		Email: <a href="mailto:hooverg@bellsouth.net">hooverg@bellsouth.net</a>	
Applicant Name: Ken Thompson			
Company: JDavis Architects		Address: 510 S. Wilmington Street, Raleigh, NC 27601	
Phone #: 919-835-1500		Email: <a href="mailto:kent@jdavisarchitects.com">kent@jdavisarchitects.com</a>	

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-7-UL-CU (0.47 AC), CX-7-UG (2.36 AC) NX-4-UL (0.47 AC)	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 3.09 AC	Existing gross floor area to be demolished: 27,860 SF
# of parking spaces required: 385	New gross floor area: 438,856 SF
# of parking spaces proposed: 513	Total sf gross (to remain and new): 438,856 SF
Overlay District (if applicable): SRPOD	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Bar, warehouse and light Mfg.	Proposed # of stories for each: 4 to 7 stories
Proposed use (UDO 6.1.4): multi-unit living, retail	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: <u>3.31 AC</u> Square Feet: <u>144,102 SF</u>	Proposed Impervious Surface: Acres: <u>3.96 AC</u> Square Feet: <u>172,333 SF</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**RESIDENTIAL DEVELOPMENTS**

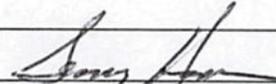
Total # of dwelling units: 401	Total # of hotel units: N/A
# of bedroom units: 1br 297      2br 104      3br 0      4br or more 0	
# of lots: 2	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

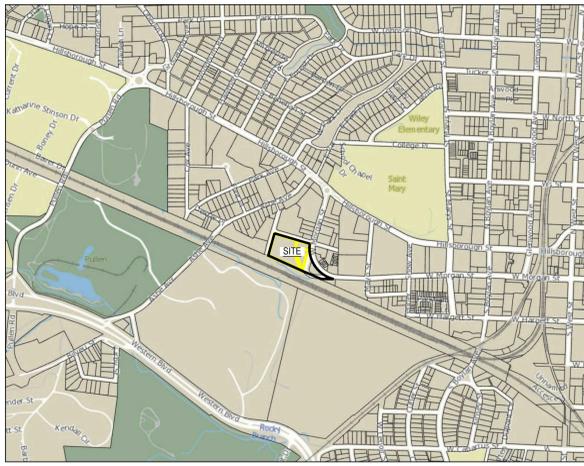
**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

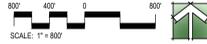
I hereby designate Ken Thompson to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 1/21/21
Printed Name: Garry Hoover	



Vicinity Map



REFERENCE: SCOPE-0007-2021

ASR-0007-2021

Administrative Site Review

1st Submittal: January 29, 2021

2nd Submittal: May 20, 2021

3rd Submittal: July 16, 2021

Revision to Approved ASR: December 22, 2021

2nd Submittal: February 9, 2022

865 Morgan Street

865 W. Morgan Street Raleigh, NC

LEGEND table listing various site plan symbols and their corresponding descriptions, such as 'PROP. 2-RIKE GRACK', 'PROJECT BOUNDARY', and 'PROP. CONCRETE AREA'.

BLOCK PERIMETER REQUIREMENT - UDO SEC. 8.3 / TC-6-19: THE ALLOWED BLOCK PERIMETER FOR NX-4 IS 3,000 LF AND THE EXISTING BLOCK EXCEEDS THAT ALLOWED LENGTH...

Sheet Index

Table listing sheet numbers and titles, including COVER, ZONING CONDITIONS, ADMINISTRATIVE ALTERNATE FINDINGS, BOARD OF ADJUSTMENT FINDINGS, etc.

Table listing sheet numbers and titles, including PAVEMENT MARKING AND SIGNING PLAN, LANDSCAPE PLAN, TRANSPORTATION PLAN, etc.

Table listing sheet numbers and titles, including UTILITY DETAILS, LANDSCAPE PLAN (CODE COMPLIANT), BUILDING LEVEL 01 PLAN, etc.

Notes

- GENERAL NOTES: 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS. 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER... 14. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION...

- FIRE DEPARTMENT NOTES: 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING... 4. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NFCC. SECTION 507.3.

- SOLID WASTE INSPECTION STATEMENTS: 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR. 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL... 14. PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

Site data revision summary for a Minor Revision. Includes tables for Proposed units, Proposed commercial, Proposed density overall, Gross building square footage, Proposed FAR, Building lot coverage, Outdoor amenity area, and Required build-to (UDO section 3.2.3.E).

Application

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Site Plan Tier selection form with checkboxes for Tier Two Site Plan and Tier Three Site Plan, and Building Type selection (Detached, Attached, Apartment, Townhouse).

GENERAL INFORMATION

Development name: 865 Morgan
Inside City limits? Yes [X] No [ ]
Property address(es): 865, 861, 857 & 0W. Morgan St. and 905 Tryon Hill Drive, Raleigh

Site P.I.N.(s): 17031993636, 1703199251, 17032900593, 1703199201, 1703197269

Please describe the scope of work. Include any additions, expansions, and change of use. Construction of (2) separate building that are connected by firewall, (1) 4-7 story mixed use building and (1) 6-7 story apartment building.

Current Property Owner/Developer Contact Name: Randy Bates
NOTE: please attach purchase agreement when submitting this form.
Company: 865 West Morgan, LLC Title:
Address: 301 S College Street, Suite 2800, Charlotte, NC 28202-6033
Phone #: 704-342-9000 Email: Randy.Bates@childressklein.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments). Includes SITE DATA and BUILDING DATA sections.

STORMWATER INFORMATION table showing existing and proposed impervious surface areas.

RESIDENTIAL DEVELOPMENTS section with fields for total # of dwelling units, # of bedroom units, and # of lots.

SIGNATURE BLOCK section for Ken Thompson, dated December 22, 2021.

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with all plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

Project Team

OWNER: 865 West Morgan, LLC
301 S. College Street, Suite 2800
Charlotte, North Carolina 28202
704.342.9000
randy.bates@childressklein.com

DEVELOPER: ChildressKlein
301 S. College Street, Suite 2800
Charlotte, North Carolina 28202
704.342.9000
randy.bates@childressklein.com

LANDSCAPE ARCHITECT: JDavis Architects, PLLC
510 S. Wilmington Street
Raleigh, North Carolina 27601
919.835.1500
919.835.1510 (fax)
kent@jDavisarchitects.com

ARCHITECT: JDavis Architects, PLLC
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ENGINEER: Stewart
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ncarmen@stewartinc.com

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510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

HM Properties
865 Morgan Street
865 Morgan Street
Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW

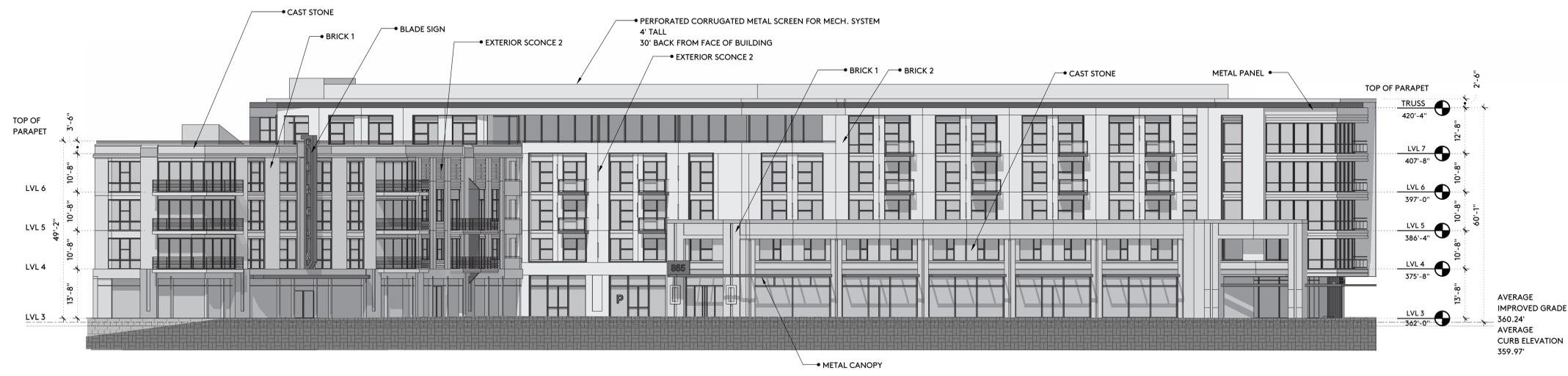
Table with columns for PROJECT, ISSUE, REVISIONS, and dates.

DRAWN BY: CHK
CHECKED BY: KT
CONTENT: COVER

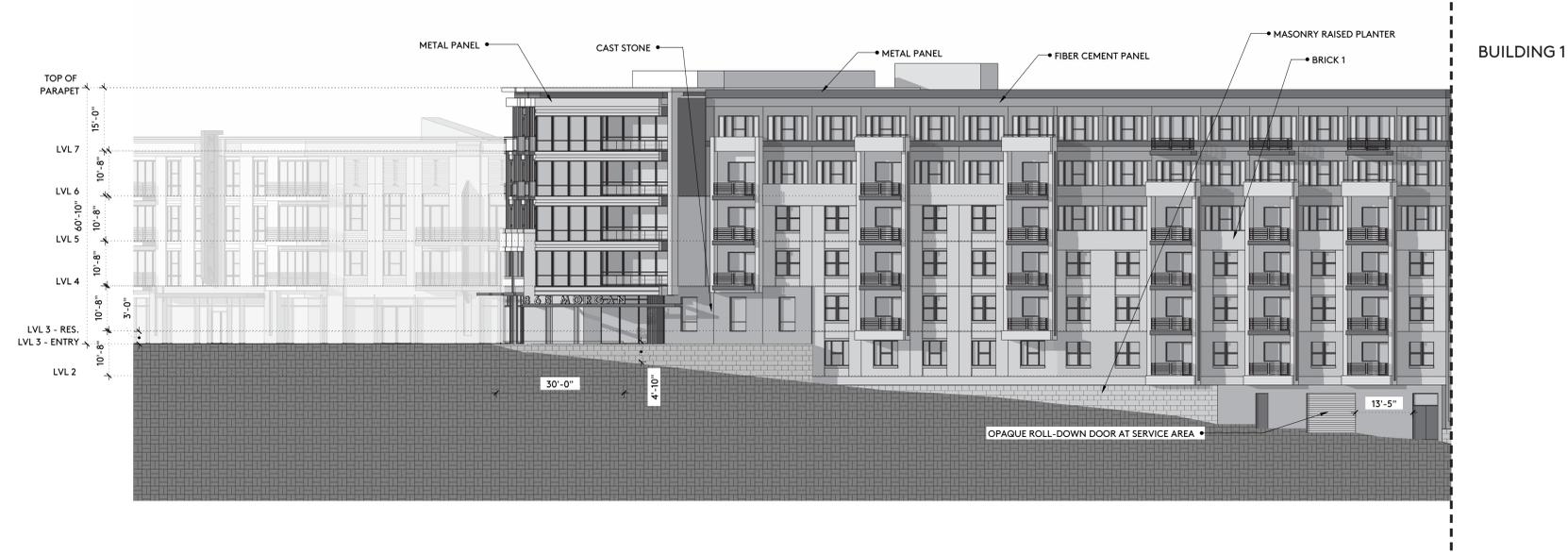
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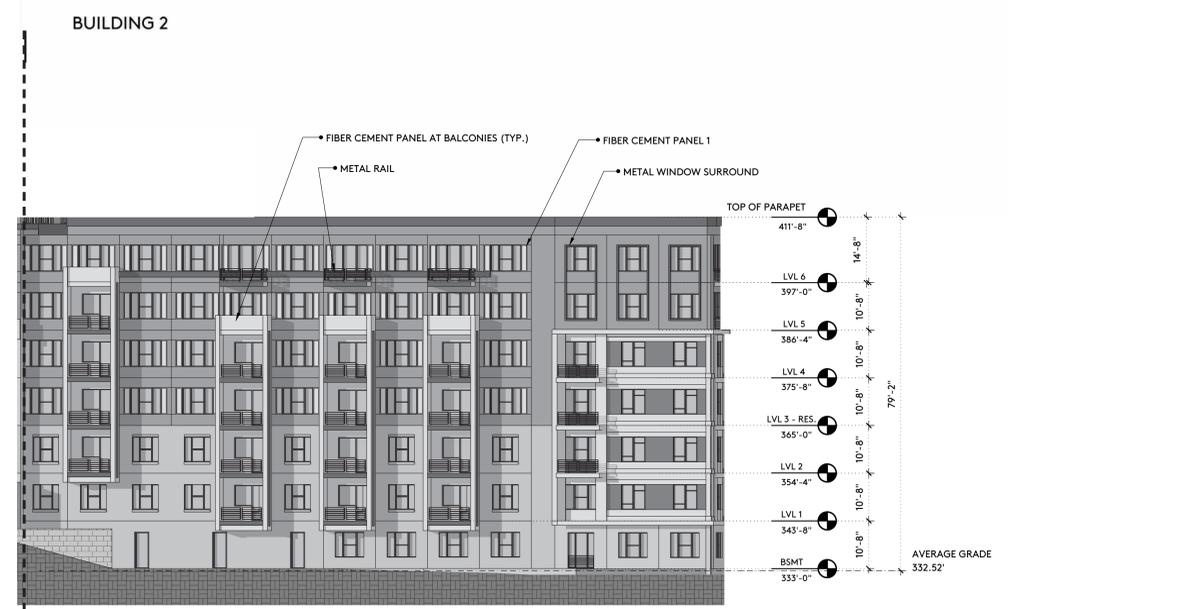




EAST ELEVATION (MORGAN STREET) 1  
N.T.S.



NORTH ELEVATION BUILDING 1 (TRYON HILL DRIVE) 2  
N.T.S.



NORTH ELEVATION BUILDING 2 (TRYON HILL DRIVE) 3  
N.T.S.

BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 1	West Morgan Street	358.50	361.97	360.24
BUILDING 2*	West Morgan Street	336.22	337.13	336.68

\*Tryon Hill is address Street

BUILDING	CURBLINE ELVATION			MIN. GROUND FLOOR PER UDO	PROPOSED FINISH FLOOR
	LOW	HIGH	AVG.		
1	358.05	361.88	359.97	359.97	362.00
2	327.10	336.12	331.61	333.61	333.00

Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently. Where property slope increases to the rear, building height is measured from the average post development grade of the front and rear wall plane.

7.1.3.C.4 No vehicle parking is required for the first 10,000 square feet of ground story gross floor area that meets the ground story height and ground story transparency requirements for a mixed use building (see Sec. 3.2.6.).

7.1.3.C.4 E. Floor Heights  
E2 Ground story height, floor to floor (min) 13'.  
Provided: 13'-8".

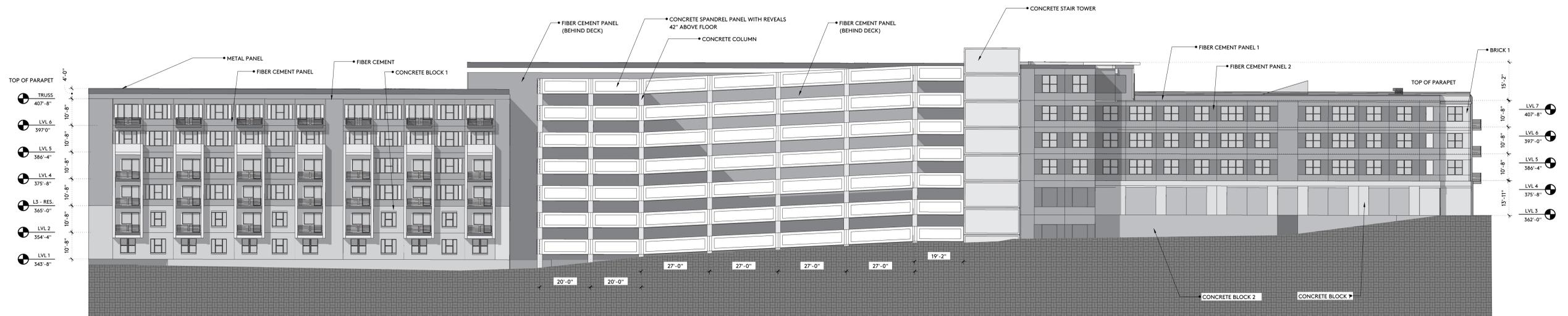
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PROJECT:	DATE:
ISSUE:	02.08.22
REVISIONS:	
CONTENT:	

BLDG HEIGHT TABLE 3  
N.T.S.



WEST ELEVATION BUILDING 2 (WAKEFIELD AVE.) 2  
N.T.S.

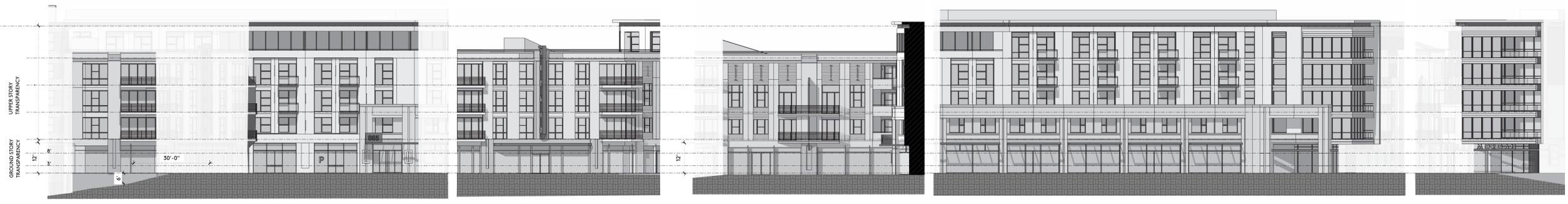


SOUTH ELEVATION (FACING RAILROAD) 3  
N.T.S.

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PROJECT:	DATE
ISSUE:	02.08.22
REVISIONS:	
CONTENT:	EXTERIOR ELEVATIONS



MIXED-USE TRANSPARENCY - A

MIXED-USE TRANSPARENCY - B

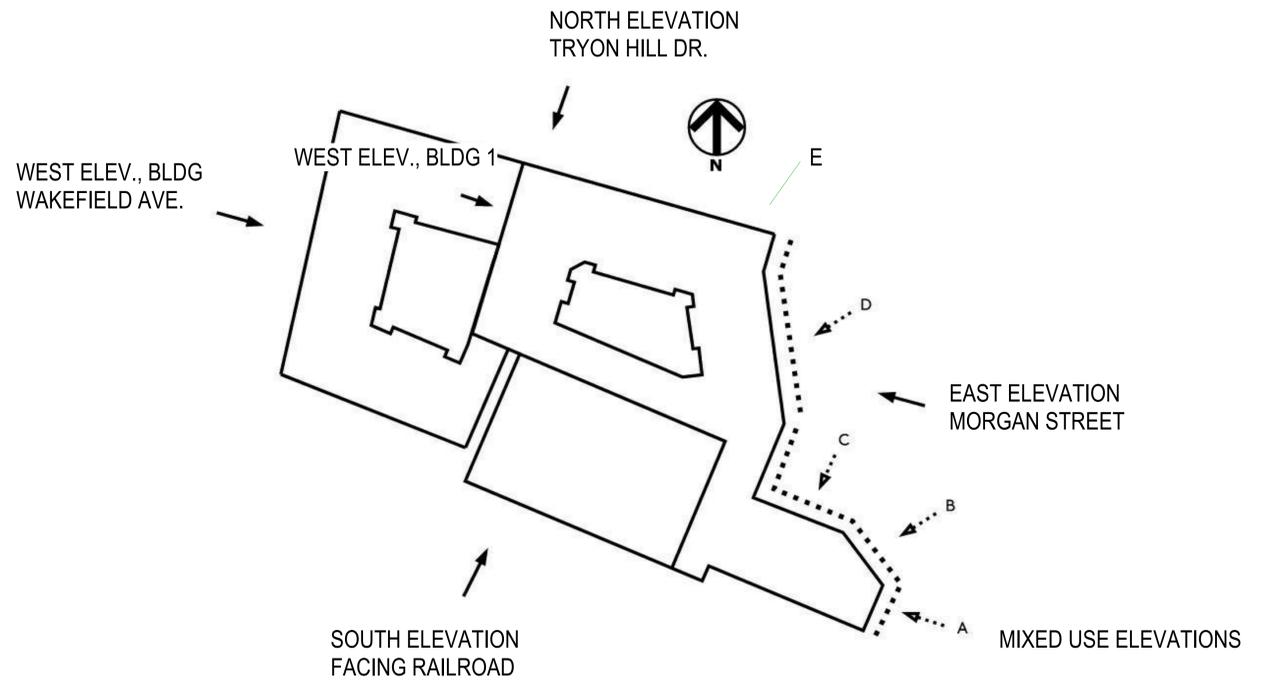
MIXED-USE TRANSPARENCY - C

MIXED-USE TRANSPARENCY - D

MIXED-USE TRANSPARENCY - E  
TRYON HILLS DRIVE

MIXED-USE TRANSPARENCY ELEVATIONS 1  
N.T.S.

Transparency (UDO Section 1.5.9, Section 3.2.6.F)			
W. Morgan St. - Mixed-Use Ground Floor			
Ground story façade (measured btwn 0'-12')			5360.0 SF
Min. Transparency Req.	5360.0 x 50% =		2680.0 SF
Transparency Provided	5360.0 x 75% =		4002.0 SF
Transparency Provided btwn 3'-8' (min 50% of Req.)	2680.0 x 70% =		1870.0 SF
W. Morgan St. - Mixed-Use Upper Story			
Upper story façade			17159.0 SF
Min. Transparency Req.	17159.0 x 20% =		3431.8 SF
Transparency Provided	17159.0 x 44% =		7628.0 SF



TRANSPARENCY CALCULATIONS 2  
N.T.S.

ELEVATION KEY 3  
N.T.S.

**865 Morgan Street**  
 865 West Morgan Street  
 Raleigh, North Carolina 27603

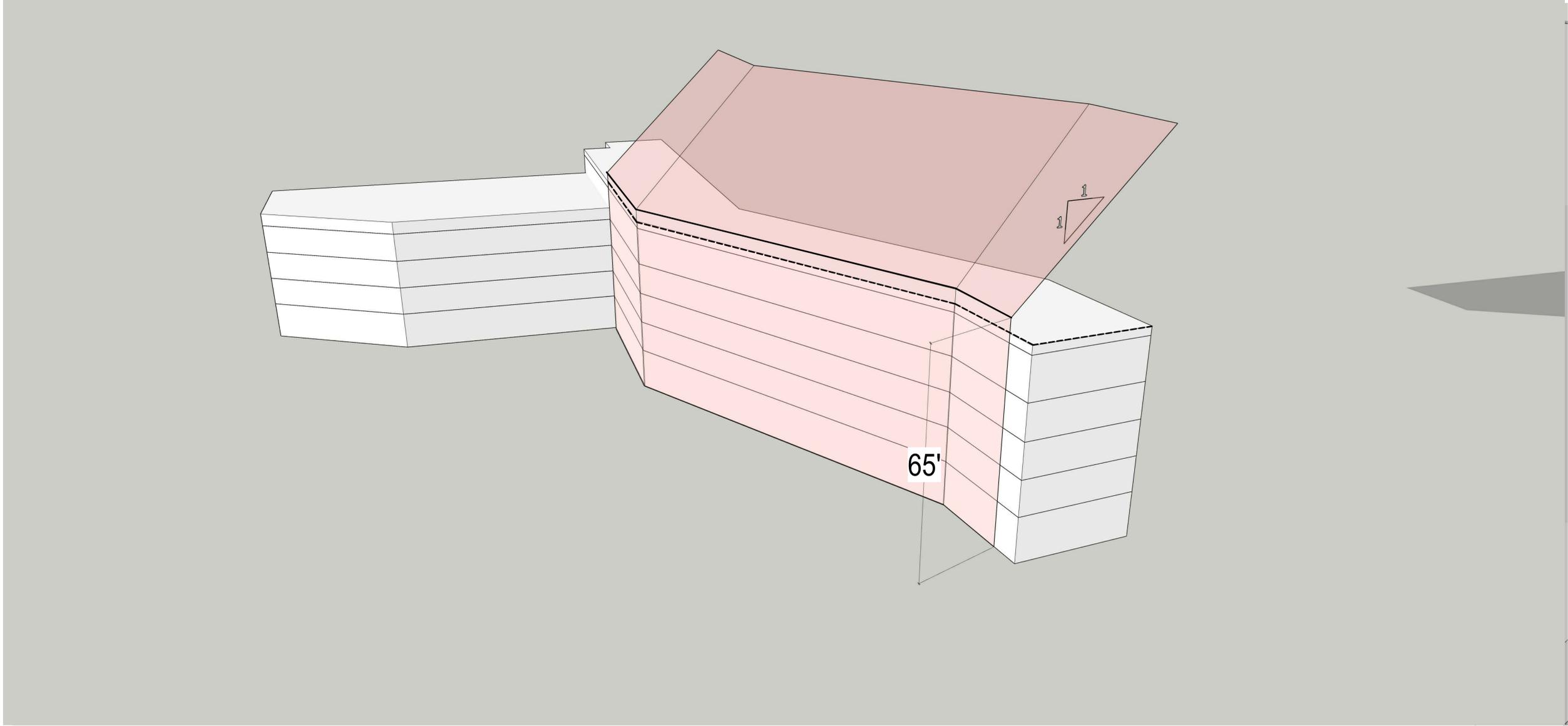
PROJECT:	02.08.22
ISSUE:	
REVISIONS:	

DRAWN BY:	Author
CHECKED BY:	Checker
CONTENT:	EXTERIOR ELEVATIONS

CA-3.03

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BLDG HEIGHT DIAGRAM

N.T.S.

1

PROJECT:	02.08.22
ISSUE:	
REVISIONS:	
DRAWN BY:	Author
CHECKED BY:	Checker
CONTENT:	BUILDING HEIGHT

CA-3.04

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865 Morgan Street  
865 West Morgan Street  
Raleigh, North Carolina 27603