



Administrative Approval Action

Case File / Name: ASR-0008-2021
321 Leagan Drive

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 1.9 acre site zoned IX-3 is located at the end of Leagan Drive along the cul de sac at 321 Leagan Drive.
- REQUEST:** This is a 7500 square foot general use shell building designed for multiple light industrial use/contractor office(s) (6.5.2 A 4) along with outdoor storage as per (7.5.3 A) of the Unified Development Ordinance.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 22, 2021 by Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering



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1. An offer of cross access agreement among the lots identified as PIN 1702407137 and PIN 1702409254 AND PIN 1702407137 and PIN 1701497669 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant



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construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 16, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 10/20/2021
Development Services Dir/Designee

Staff Coordinator: Michael Walters

321 LEAGAN DRIVE ADMINISTRATIVE SITE REVIEW

ASR-0008-2021
TIER 3 SITE PLAN
321 LEAGAN ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA, 27603
PIN(S): 1702-40-7137

Administrative Site Review Application

Planning and Development Customer Service Center | One Exchange Plaza, Suite 600 | Raleigh, NC 27601 | 919-996-2000



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.B. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.B, as amended by text change case [C-16-19] to determine the site plan fee. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [UDO and Development Portal](#). (NOTE: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> Subdivision case # _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Scoping/sketch plan case # _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Certificate of Appropriateness # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Board of Adjustment # _____
	<input type="checkbox"/> Zoning Case # _____
	<input type="checkbox"/> Administrative Alternate # _____

GENERAL INFORMATION

Development name: 321 Leagan Drive

Inside City limits? Yes No

Property address(es): 321 Leagan Drive Raleigh, NC 27603

Site P.I.N.(s): 1702407137

Please describe the scope of work, include any additions, expansions, and change of use.

7500 of Building with 2 gravel lay down yard and associated utilities and storm drainage.

Current Property Owner/Developer Contact Name: Metcal Center Leasing LP (Owner) | Warren Baker (Developer)

NOTE: please attach purchase agreement when submitting this form.

Company: Tupelo Hensley Land Development, LLC | Title: Managing Member

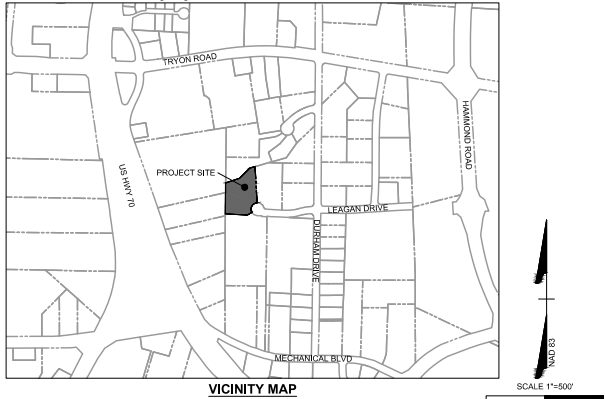
Address: 65 Glen Road, Suite 122 Garner, NC 27529

Phone #: (919) 422-2753 | Email: waynebaker91@gmail.com

Applicant Name: Patrick Barbeau, PE

Company: Timmons Group | Address: 5410 Trinity Road, Suite 102 Raleigh, NC 27607

Phone #: (919) 866-4512 | Email: Patrick.Barbeau@timmons.com



Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	FIRE APPARATUS ACCESS EXHIBIT
C2.2	SOLID WASTE SERVICES EXHIBIT
C2.3	PAVING PLAN
C3.0	GRADING AND STORM DRAINAGE PLAN
C3.1	SCM DETAILS
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.00	NOTES AND DETAILS
C7.01	NOTES AND DETAILS
C7.02	NOTES AND DETAILS
C7.03	NOTES AND DETAILS
C7.04	NOTES AND DETAILS
A-1	EAST ELEVATIONS
A-2	ELEVATIONS
A-3	FLOOR PLAN

NUMBER OF LOTS:	1
LOT NUMBER(S) BY PHASE	1
NUMBER OF UNITS	5
LIVABLE BUILDINGS	0
OPEN SPACE?	YES
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	0 LF
PUBLIC STREET (LF) - FULL	0 LF
PUBLIC STREET (LF) - PARTIAL	0 LF
PUBLIC SIDEWALK (LF)	0 LF
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

UDO REFERENCE	EXEMPTION
UDO SEC.3.2.5	PER GENERAL BUILDING CLASSIFICATION, BUILDING IS NOT REQUIRED.
UDO SEC.3.2.2.B (TC-4-19)	MINIMUM SITE AREA APPLICABLE FOR IX-ZONING IS 9 ACRES. SITE IS 1.90 ACRES.
UDO SEC.3.5.5 (TC-4-19)	SEE CROSS ACCESS REQUIREMENTS TABLE ON THIS SHEET.
UDO SEC. 9.1.2	SITE IS LESS THAN 2 ACRES AND TCA REQUIREMENTS DO NOT APPLY.

PIN	PROVIDED / EXEMPT
1702404028	EXEMPT PER UDO SEC. 8.3.3.D.5.B.III (TC-4-19), STEEP SLOPES
1702408409	EXEMPT PER UDO SEC. 8.3.3.D.5.B.III (TC-4-19), STEEP SLOPES
1702403319	EXEMPT PER UDO SEC. 8.3.3.D.5.B.III (TC-4-19), STEEP SLOPES
1702409254	PROVIDED
1701497669	PROVIDED

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): UD-C	Existing gross floor area (GFA) to be demolished: 0 SF
	Existing gross floor area to be demolished: 0 SF
Gross site acreage: 1.90	New gross floor area: 7,200 SF
# of parking spaces required: 19	Total of gross floor area (new and exist): 7,200 SF
# of parking spaces proposed: 11	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 9.1.4): vacant	
Proposed use (UDO 9.1.4): vacant	
EXISTING IMPERVIOUS SURFACES	
Existing Impervious Surface: Acres: 1.00	Proposed Impervious Surface: Acres: 1.00
Is this a roof hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Address: _____	
Flood study: FEMA Map Panel #: 1904001A	
House River Buffer: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 5	Total # of hotel units: 0
# of bedroom units: 5A 2br 2br 2br	# of units: 40 or more
# of lots: 5	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
GENERAL NOTES	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, successors, administrators, executors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Patrick Barbeau, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
Use have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submitter policy which states applications will expire after 180 days of receipt.	
Signature: <i>Wayne Baker</i>	Date: 1/23/2021
Printed Name: Wayne Baker	



APPLICANT/DEVELOPER:
TUPELO HENSLEY LAND DEVELOPMENT, LLC
65 GLEN ROAD, STE. 122
GARNER, NC 27529
WAYNE BAKER
(919) 422-2753
WAYNEBAKER91@GMAIL.COM

SURVEYOR:
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5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
TERRY L. WESTENDORF, PLS
(984) 255-2353
TERRY.WESTENDORF@TIMMONS.COM

CIVIL ENGINEER:
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5410 TRINITY ROAD, STE. 102
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PATRICK.BARBEAU@TIMMONS.COM

ARCHITECT:
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104 N LOMBARD STREET
CLAYTON, NC 27520
TONY JOHNSON
(919) 550-7717
TONY@TONYJOHNSONARCHITECT.COM

- RIGHT-OF-WAY OBSTRUCTION NOTES:**
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES@RALEIGHNC.GOV. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
 - A PERMIT REQUEST WITH A TRAFFIC CONTROL AND PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
 - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL TRAFFIC CONTROL AND PEDESTRIAN PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSSDM).
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

- GENERAL NOTES:**
- SOLID WASTE MANAGEMENT WILL BE MANAGED THROUGH A PRIVATE CONTRACTOR WITH A DUMPSTER PAD AND ENCLOSURE.

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Raleigh, NC 27607
TEL: 919.866.4512 FAX: 919.833.4124 www.timmons.com

DATE	REVISION DESCRIPTION
02/01/2021	REVISION PER COR. COMMENTS
02/01/2021	REVISION PER COR. COMMENTS
02/22/21	REVISION PER COR. COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 02/01/2021
DRAWN BY: J. SHEARER
DESIGNED BY: P. BARBEAU
CHECKED BY: P. BARBEAU
SCALE: AS SHOWN

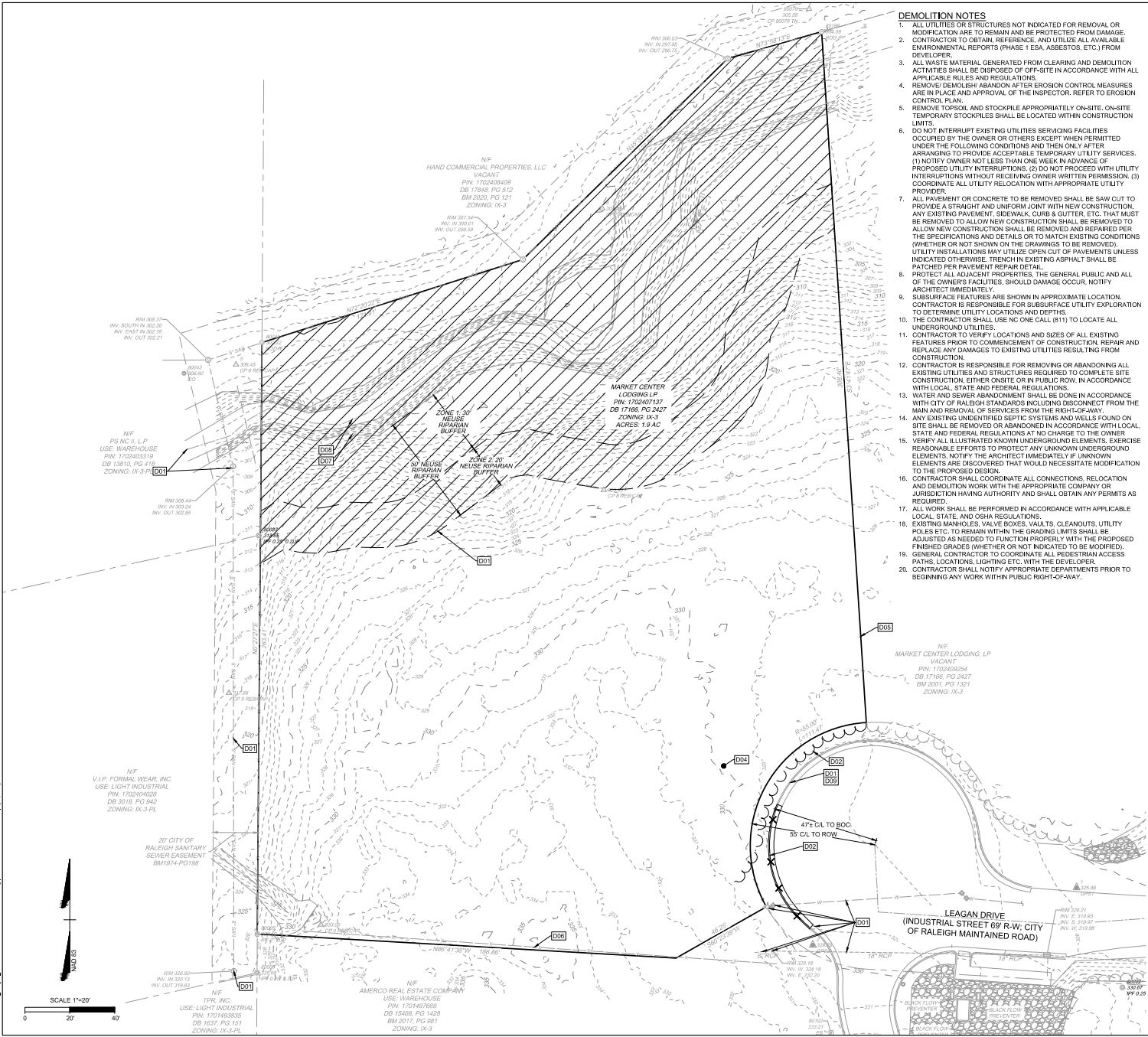
TIMMONS GROUP

321 LEAGAN DRIVE
RALEIGH - WAKE COUNTY - NORTH CAROLINA
NORTH CAROLINA LICENSE NO. C-1652
COVER SHEET

JOB NO. 47172
SHEET NO. C0.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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DEMOLITION NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE I ESA, ASBESTOS, ETC.) FROM DEVELOPER.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE/DEMOLISH/ABANDON EROSION CONTROL MEASURES ARE IN PLACE AND APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES, SHOULD DAMAGE OCCUR. NOTIFY ARCHITECT IMMEDIATELY.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ON-SITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
- CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.

SURVEY NOTES

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED DECEMBER 02, 2020. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- BASES OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NRSR 2000).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- NOT LOCATED IN FLOOD HAZARDOUS AREA PER FEMA MAP #37201/0200J EFFECTIVE 05/05/2020.
- RECORDED PROPERTY DATA:
T.1. DB 17166, PG 2427
T.2. BM 2001 PG 2317
- EXISTING IMPERVIOUS AREA = 0.00 ACRES
- THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 1-800-432-4849.
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY MAPS AND WAKE COUNTY GIS.

LEGEND

IRF - IRON PIPE FOUND	● BALLARD	▽ SIGN
IRN - IRON ROD FOUND	● MW DRAINAGE	▽ FID FIBER OPTIC MARKER
IRP - IRON PIPE SET	● MW SANITARY	▽ SPRINKLER HEAD
FF - CALCULATED POINT	● MW ELECTRIC	▽ SPRINKLER VALVE
CM - CONCRETE MONUMENT	● MW TELEPHONE	● GAS METER
◆ FINE HYDRANT	● MW WASHER	● GAS VALVE
□ ELECTRIC BOX	● SPRINKLER BOX	● GAS VALVE
□ TELEPHONE PEDESTAL	● ELECTRIC METER	▲ GROUND LAMP
□ CABLE TV PEDESTAL	● CLEAN OUT	● BOREHOLE
◆ POWER POLE < GUY	● WATER METER	□ AC UNIT
● LIGHT POLE	● WATER VALVE	□ TELEPHONE VAULT
● YARD LIGHT	● ROOF DRAIN	● MAILBOX
● WELL	● DEFIED LINE	
R/W - RIGHT-OF-WAY	---	---
P/L - PROPERTY LINE	---	---
C/L - CENTERLINE	---	---
K/S - NOT TO SCALE	---	---
OB - GAS VALVE	---	---
OB - CATCH BASIN	---	---
OB - GRATE INLET	---	---
YI - YARD INLET	---	---
CI - CURB INLET	---	---
EP - EDGE OF PAVING	---	---
TBC - TOP BACK OF CURB	---	---
DB - DEED BOOK	---	---
IR - IRON ROD	---	---
PG - PAGE	---	---
□ - SQUARE FEET	---	---
□ - FLAG POLE	---	---

EXISTING CONDITIONS AND DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D04	REMOVE AND GRUB AS NEEDED WITHIN PROPERTY BOUNDARY AND OUTSIDE OF NEUSE RIPARIAN BUFFER.
D05	PROPERTY BOUNDARY (TYP.)
D06	EXISTING FENCE. COORDINATE DEMO WITH OWNER
D07	EXISTING TOP OF BANK
D08	EXISTING STREAM CENTERLINE
D09	EXISTING 30" CURB AND GUTTER (TYP.)

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5401 TAYLOR ROAD, SUITE 200
RALEIGH, NC 27607
TEL: 919.896.9621 FAX: 919.833.8124
WWW.TIMMONSGROUP.COM

REVISION DESCRIPTION	DATE
REVISION PER COR. COMMENTS	02/01/2021
REVISION PER COR. COMMENTS	02/01/2021
REVISION PER COR. COMMENTS	02/22/21

YOUR VISION ACHIEVED THROUGH OURS.
DATE: 02/01/2021
DRAWN BY: J. SHEARER
DESIGNED BY: P. BARBEAU
CHECKED BY: P. BARBEAU
SCALE: AS SHOWN

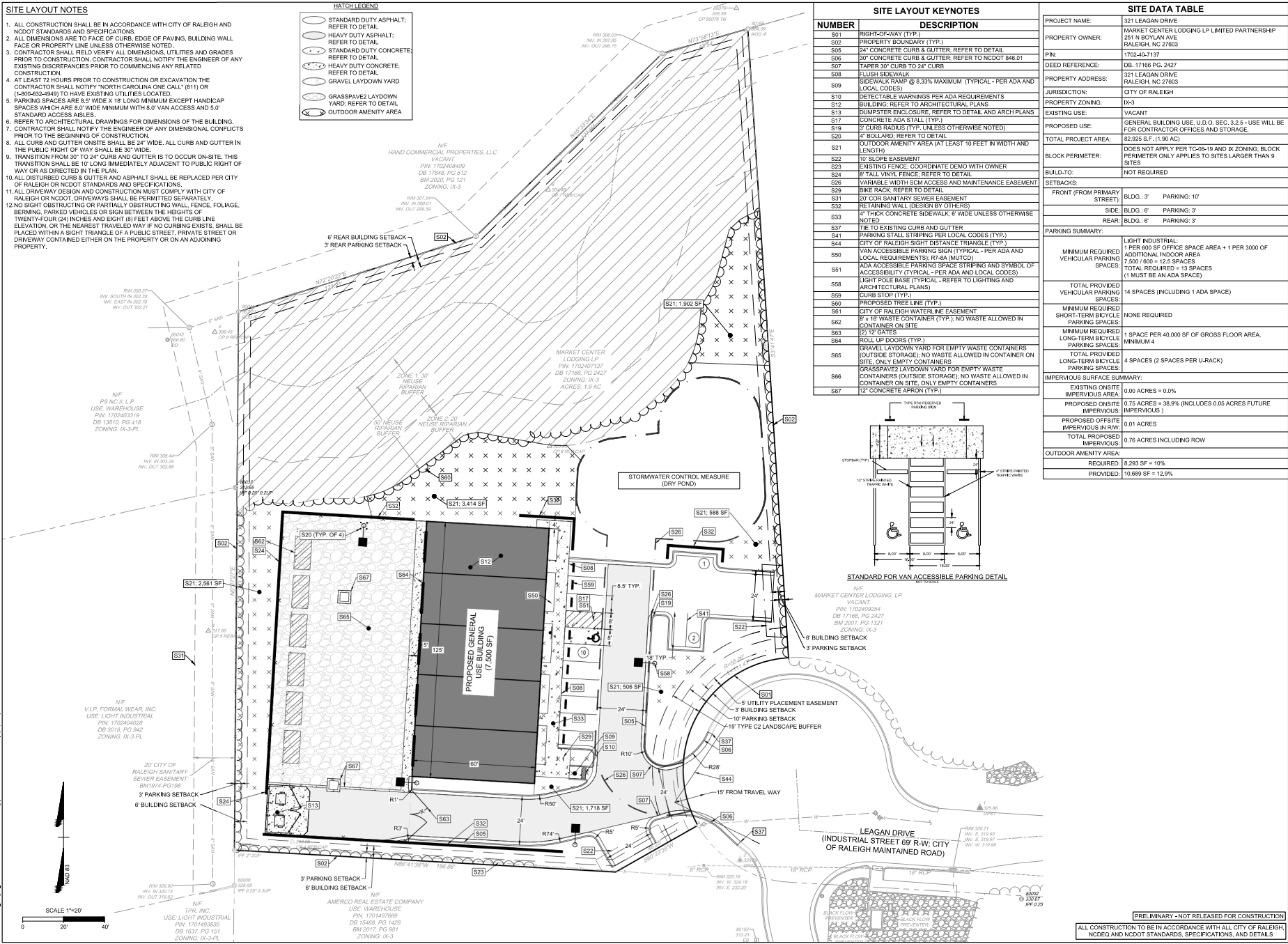
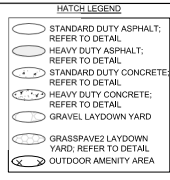
TIMMONS GROUP
321 LEAGAN DRIVE
RALEIGH - WAKE COUNTY - NORTH CAROLINA
EXISTING CONDITIONS AND DEMOLITION PLAN
NORTH CAROLINA LICENSE NO. C-1652

JOB NO. 47172
SHEET NO. C1.0

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SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-453-4449) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 5.5' WIDE X 15' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESSIBLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH OR NCDOT. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

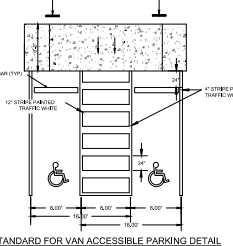


SITE LAYOUT KEYNOTES

NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S05	24" CONCRETE CURB & GUTTER: REFER TO DETAIL
S06	30" CONCRETE CURB & GUTTER: REFER TO DETAIL
S07	TAPER 30" CURB TO 24" CURB
S08	FLUSH SIDEWALK
S09	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S10	DETECTABLE WARNINGS PER ADA REQUIREMENTS
S12	BUILDING: REFER TO ARCHITECTURAL PLANS
S13	DUMPSTER ENCLOSURE: REFER TO DETAIL AND ARCH PLANS
S17	CONCRETE ADA STALL (TYP.)
S19	3" CURB RADIUS (TYP. UNLESS OTHERWISE NOTED)
S20	4" BOLLARD: REFER TO DETAIL
S21	OUTDOOR AMENITY AREA (AT LEAST 10 FEET IN WIDTH AND LENGTH)
S22	10' SLOPE EASEMENT
S23	EXISTING FENCE: COORDINATE DEMO WITH OWNER
S24	8" TALL VINYL FENCE: REFER TO DETAIL
S26	VARIABLE WIDTH SOIL ACCESS AND MAINTENANCE EASEMENT
S29	BIKE RACK: REFER TO DETAIL
S31	20' CDR SANITARY SEWER EASEMENT
S32	RETAINING WALL (DESIGN BY OTHERS)
S33	4" THICK CONCRETE SIDEWALK: 6" WIDE UNLESS OTHERWISE NOTED
S35	10' EXISTING CURB AND GUTTER
S41	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
S44	CITY OF RALEIGH SIGHT DISTANCE TRIANGLE (TYP.)
S50	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS): 10'-0" (MULTI)
S51	ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
S58	8" LIGHT POLE BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S59	CURB SLOPE (TYP.)
S60	PROPOSED TREE LINE (TYP.)
S61	CITY OF RALEIGH WATERLINE EASEMENT
S62	8" x 18" WASTE CONTAINER (TYP.); NO WASTE ALLOWED IN CONTAINER ON SITE
S63	(2) 12' GATES
S64	ROLL UP DOORS (TYP.)
S65	GRAVEL LAYDOWN YARD FOR EMPTY WASTE CONTAINERS (OUTSIDE STORAGE); NO WASTE ALLOWED IN CONTAINER ON SITE. ONLY EMPTY CONTAINERS
S66	GRASSPAVEZ LAYDOWN YARD FOR EMPTY WASTE CONTAINERS (OUTSIDE STORAGE); NO WASTE ALLOWED IN CONTAINER ON SITE. ONLY EMPTY CONTAINERS
S67	12" CONCRETE APRON (TYP.)

SITE DATA TABLE

PROJECT NAME:	321 LEAGAN DRIVE
PROPERTY OWNER:	MARKET CENTER LODGING LP LIMITED PARTNERSHIP 251 N BOYLAN AVE RALEIGH, NC 27603
FIN:	1702-40-7137
DEED REFERENCE:	DB 17166 PG. 2427
PROPERTY ADDRESS:	321 LEAGAN DRIVE RALEIGH, NC 27603
JURISDICTION:	CITY OF RALEIGH
PROPERTY ZONING:	IK-3
EXISTING USE:	VACANT
PROPOSED USE:	GENERAL BUILDING USE, U.D.O. SEC. 3.2.5 - USE WILL BE FOR CONTRACTOR OFFICES AND STORAGE.
TOTAL PROJECT AREA:	42,325 SF (1.90 AC)
BLOCK PERIMETER:	DOES NOT APPLY PER TO-06-19 AND IK ZONING; BLOCK PERIMETER ONLY APPLIES TO SITES LARGER THAN 9 SITES
BUILD-TO:	NOT REQUIRED
SETBACKS:	FRONT (FROM PRIMARY STREET): BLDG. 3' PARKING: 10' SIDE BLDG. 6' PARKING: 3' REAR BLDG. 6' PARKING: 3'
PARKING SUMMARY:	MINIMUM REQUIRED VEHICULAR PARKING SPACES: LIGHT INDUSTRIAL: 1 PER 500 SF OFFICE SPACE AREA + 1 PER 3000 OF ADDITIONAL INDOOR AREA 7,500 / 500 = 15 SPACES TOTAL REQUIRED = 15 SPACES (1 MUST BE AN ADA SPACE) TOTAL PROVIDED VEHICULAR PARKING SPACES: 14 SPACES (INCLUDING 1 ADA SPACE) MINIMUM REQUIRED SHORT-TERM BICYCLE PARKING SPACES: NONE REQUIRED MINIMUM REQUIRED LONG-TERM BICYCLE PARKING SPACES: 1 SPACE PER 40,000 SF OF GROSS FLOOR AREA, MINIMUM 4 TOTAL PROVIDED LONG-TERM BICYCLE PARKING SPACES: 4 SPACES (2 SPACES PER U-RACK)
IMPERVIOUS SURFACE SUMMARY:	EXISTING ON-SITE IMPERVIOUS AREA: 0.00 ACRES = 0.0%
PROPOSED ON-SITE IMPERVIOUS AREA:	0.75 ACRES = 38.9% (INCLUDES 0.65 ACRES FUTURE IMPERVIOUS)
PROPOSED OFF-SITE IMPERVIOUS IN ROW:	0.01 ACRES
TOTAL PROPOSED IMPERVIOUS:	0.76 ACRES INCLUDING ROW
OUTDOOR AMENITY AREA:	REQUIRED: 8,293 SF = 19% PROVIDED: 10,689 SF = 12.9%



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THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5400 FIVE FORKS ROAD, SUITE 200
RALEIGH, NC 27607
TEL: 919.866.9621 FAX: 919.833.4124 WWW.TIMMONSGROUP.COM

REVISION DESCRIPTION	DATE
REVISION PER COR. COMMENTS	02/21/2021
REVISION PER COR. COMMENTS	02/21/2021
REVISION PER COR. COMMENTS	02/21/2021

YOUR VISION ACHIEVED THROUGH OURS.
DATE: 02/01/2021
DRAWN BY: T. DAEKE
DESIGNED BY: P. BARBEAU
CHECKED BY: P. BARBEAU
SCALE: AS SHOWN

TIMMONS GROUP
321 LEAGAN DRIVE
RALEIGH - WAKE COUNTY - NORTH CAROLINA
SITE PLAN

JOB NO. 47172
SHEET NO. C2.0

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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ATTENTION CONTRACTORS

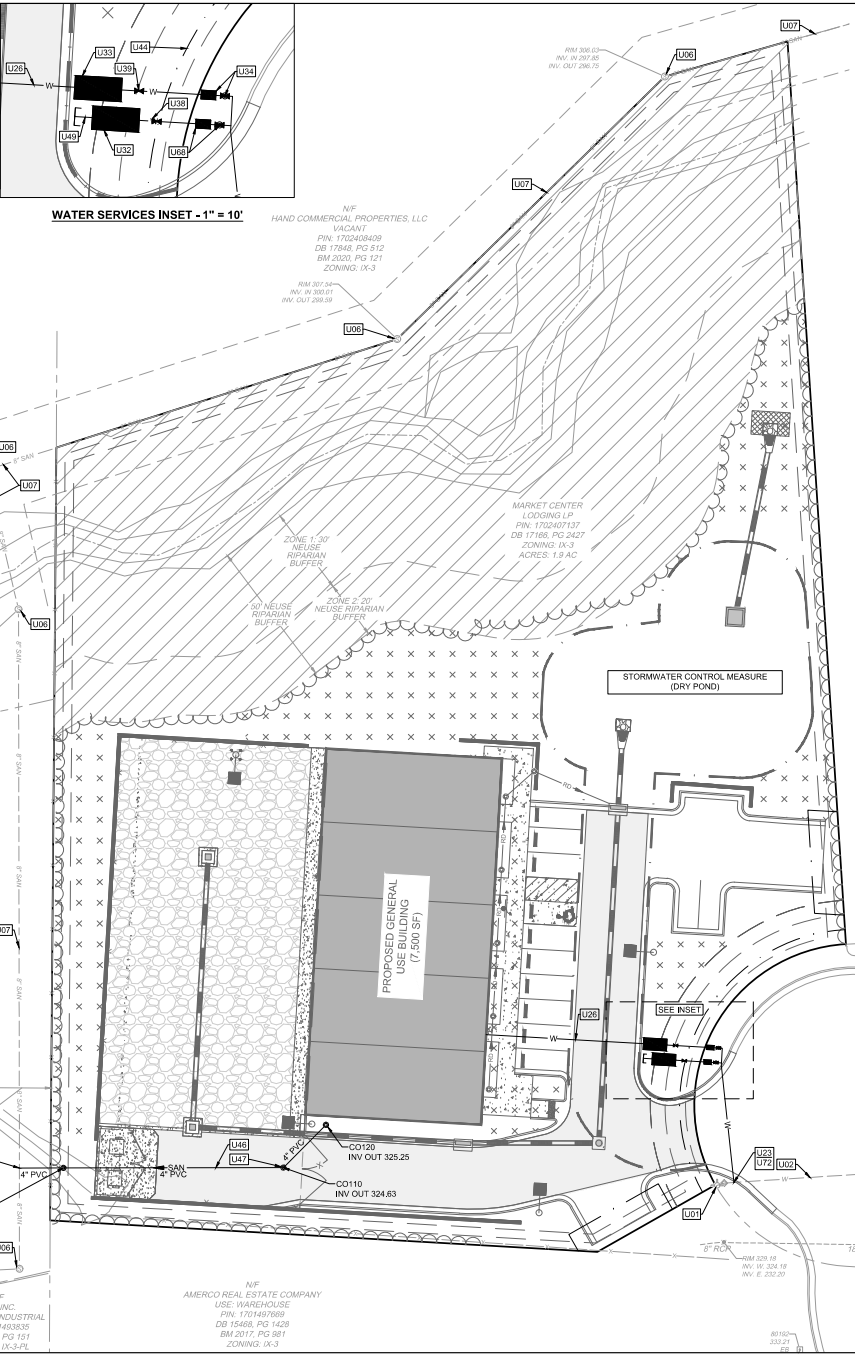
THE **CONSTRUCTION CONTRACTOR** RESPONSIBLE FOR THE EXTENSION OF WATER SEWER (INDICATED HEREIN) IS RESPONSIBLE FOR **CONTACTING THE PUBLIC WORKS DEPARTMENT AT 919-996-6600** AND THE **CITY UTILITIES DEPARTMENT AT 919-996-6600** AT LEAST **THIRTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONITARY FINES AND REQUIRE REINSTATEMENT OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION INSTALL A DOWNSTREAM FLOOD HAZARD PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE INCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

DRAWING LEGEND

—S—	EXISTING SANITARY SEWER LINE
—S—	SANITARY SEWER LINE
—C—	CLEANOUT ASSEMBLY
—S—	EXISTING SAN. SEWER MANHOLE
—W—	EXISTING WATER LINE
—W—	WATER LINE
—V—	GATE VALVE
—S—	CURB STOP
—H—	FIRE HYDRANT
—F—	FIRE DEPT. CONNECTION
—M—	WATER METER VAULT
—B—	BACKFLOW PREVENTER
—SD—	EXISTING STORM DRAINAGE PIPE
—SD—	STORM DRAINAGE PIPE
—J—	JUNCTION BOX
—I—	DROP INLET / CATCH BASIN
—C—	STORM CLEANOUT ASSEMBLY



UTILITY KEYNOTES

NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U02	EXISTING WATER LINE, CONFIRM PRIOR TO CONSTRUCTION
U06	EXISTING SANITARY SEWER MANHOLE (TYP.)
U07	EXISTING 6\"/>
U23	6\"/>
U26	2\"/>
U32	1\"/>
U33	2\"/>
U34	2\"/>
U38	1\"/>
U39	2\"/>
U44	CITY OF RALEIGH PUBLIC UTILITY PLACEMENT EASEMENT
U46	4\"/>
U47	CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT OR GRAVEL, REFER TO DETAIL.
U49	1\"/>
U63	1\"/>
U68	1\"/>
U72	COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.

CITY OF RALEIGH UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCED CORPUD HANDBOOK, CURRENT EDITION).
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPING SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 6" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN BOOK PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/8" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL SEWER SERVICES @ MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM, (4" AT 14 INCH FT MIN. @ 18 INCH FT MIN.)
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MCDOW, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND AND/OR FLOODPLAIN IMPACTS, RESPECTIVELY PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-9923 OR JOANNE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- GRADED SLOPES INSIDE CITY OF RALEIGH EASEMENTS SHALL NOT EXCEED 3:1.

PRELIMINARY NOT FOR CONSTRUCTION

DATE	02/01/2021
DRAWN BY	T. DAEKE
DESIGNED BY	P. BARBEAU
CHECKED BY	P. BARBEAU
SCALE	AS SHOWN

TIMMONS GROUP
 321 LEAGAN DRIVE
 RALEIGH - WAKE COUNTY - NORTH CAROLINA
 UTILITY PLAN

JOB NO. 47172
 SHEET NO. C5.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCEOD AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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PLANT SCHEDULE							CITY OF RALEIGH LANDSCAPE REQUIREMENTS				HATCH LEGEND		
SYMBOL	TREE	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLATION SIZE	COMMENTS	REQUIREMENT	CALCULATION	REQUIRED	SIZE (AT TIME OF PLANTING)			
☉	QN	5	QUERCUS NUTALLI	NUTTAL OAK	3" CAL. MIN.	STREET PROTECTIVE YARD	VEHICULAR SURFACE AREA: SOD 3" T.F.F. SHADE TREE PER 2,000 S.F. OF V.S.A.	TOTAL V.S.A. = 10,916 SF 10,916 / 2,000 = 5.5 TREES	6 TREES	3" CALIPER TREES	[Hatched Box]	VEHICULAR SURFACE AREA	
☉	CE	6	ULMUS PARVIFOLIA	CHINESE LACEBARK ELM	3" CAL. MIN.	V.S.A.	STREET PROTECTIVE YARD: U.D.O. SEC. 7.4.2.8 TYPE C2 4 TREES PER 100 FT	110 LF FRONTAGE (110 / 100) * 4 = 4.4 TREES (110 / 100) * 15 = 16.5 SHRUBS	5 TREES 17 SHRUBS	DECIDUOUS TREES: 14 FT. MIN HEIGHT OR 3" CALIPER SHRUBS: 5' MIN HEIGHT	[Dotted Box]	SOD (BERMUDA GRASS)	
		TOTAL											
	SHRUBS												
⊙	LC	17	LOROPETALUM CHINESE RUBY	RUBY LOROPETALUM	5' HT. MIN.	STREET PROTECTIVE YARD	LIMITED OUTDOOR STORAGE MUST BE FULLY SCREENED FROM VIEW OF ADJUTING PROPERTIES BY AN EVERGREEN LIVING FENCE THAT COVERS AT LEAST TWO-THIRDS OF THE SURFACE AREA OF THE FENCE	N/A	AS NEEDED	5' MIN HEIGHT			
⊙	SH	89	ILEX CRENATA 'STEEDS'	'STEEDS' JAPANESE HOLLY	5' HT. MIN.	EVERGREEN FENCE							
		TOTAL											

LANDSCAPE NOTES:

PRE-CONSTRUCTION

- FRUIT TREE CONSTRUCTION LOCATE ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. PROTECT ALL UTILITIES. REPAIR ALL DAMAGE TO UTILITIES, STRUCTURES, ETC. WHICH OCCURS AS A RESULT OF CONSTRUCTION.
- CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON PLANS PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND MUST BE VERIFIED.
- PLANT MATERIAL SUBSTITUTIONS CAN ONLY OCCUR WITH PRIOR WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE-CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS TO REMAIN.
- ALL PLANT MATERIALS ARE SUBJECT TO LANDSCAPE ARCHITECT APPROVAL BEFORE, DURING, AND AFTER INSTALLATION.
 - ANY PLANT MATERIALS WHICH ARE DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE.
 - ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601.1 "AMERICAN STANDARD FOR NURSERY STOCK."
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.

CONSTRUCTION/INSTALLATION

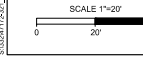
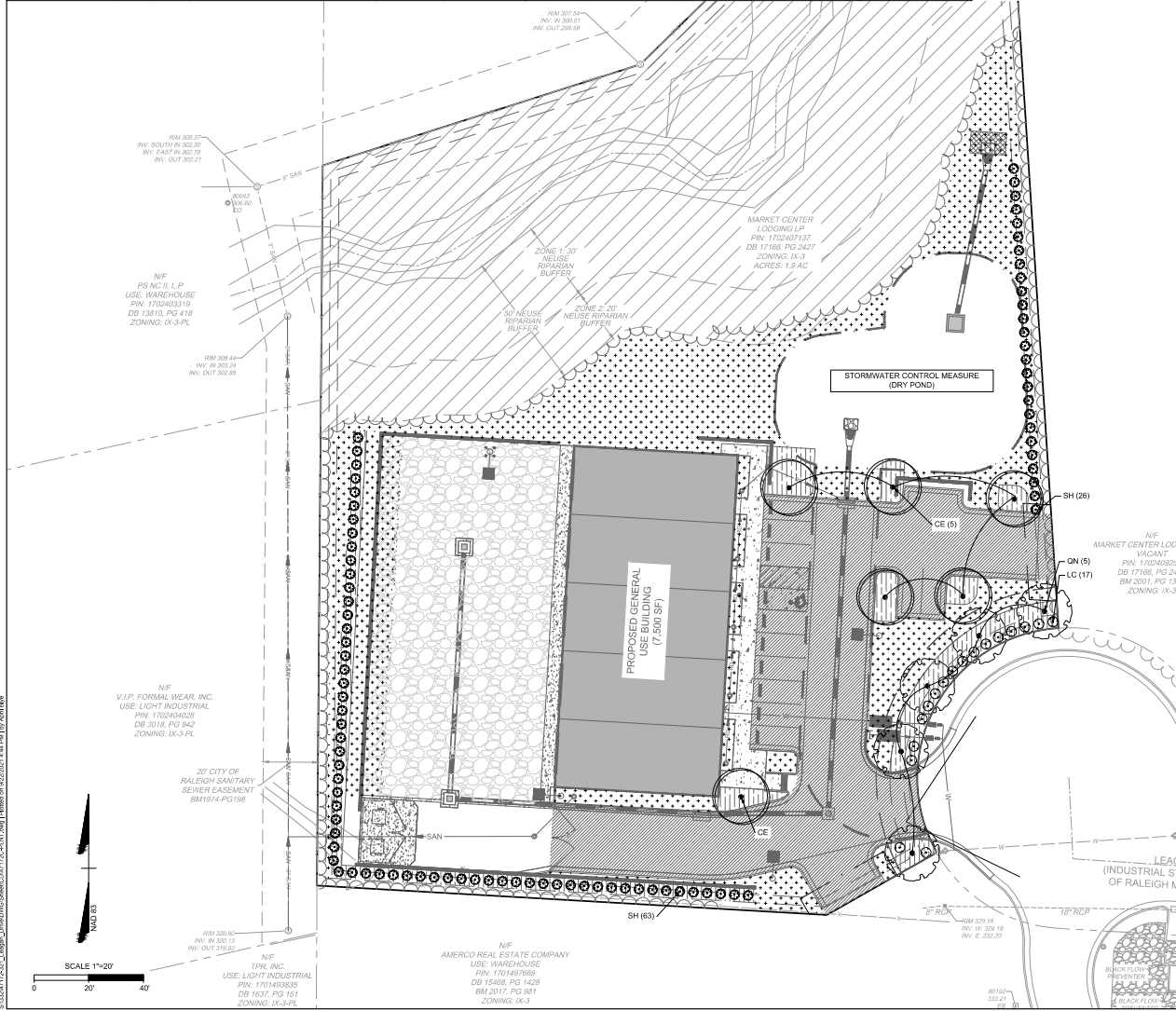
- CONTRACTOR SHALL BE ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- CONTRACTOR SHALL TAKE 3 REPRESENTATIVE SOIL SAMPLES OF EACH PROPOSED PLANT BED AND SUBMIT COPIES OF THE RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- STUMPS LABELED FOR REMOVAL SHALL BE EXCAVATED, NOT GROUND, REMOVE ALL DEBRIS FROM THE HOLE, FILL WITH TOP SOIL, COMPACT, AND RAKE SMOOTH PRIOR TO INSTALLING NEW PLANT MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO MATERIAL WILL NOT INTERFERE WITH RIGHT OF TRAVEL.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.0 BUMPER OVERHANG FROM THE BACK OF CURB.
- ALL TREES MUST BE GUYED OR STAKED AS DETAILLED.
- AREAS DAMAGED FROM PLANT RELOCATION OR OTHER ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEEDED AND ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE. IT MAY BE NECESSARY TO TRUCK IN NON-CITY WATER TO MEET PLANT NEEDS.
- USE HERBICIDES, PESTICIDES, AND FERTILIZER IN A MANNER CONSISTENT WITH THE FEDERAL INSECTICIDE, FUNGICIDE AND RODENTICIDE ACT AND IN ACCORDANCE WITH LABEL RESTRICTIONS.
- ALL LAWN AREAS TO BE SEEDDED SHALL USE A LOCALLY GROWN COMMERCIAL MIX MEETING LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
- SEEDING AND STRAW NOTES FOR LAWN AREAS
 - HIP THE ENTIRE AREA TO DEPTH OF NOT LESS THAN 6".
 - REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE SMOOTH AND UNIFORM. DISPOSE OF WASTE MATERIAL OFF-SITE.
 - CHISEL COMPACTED AREAS AND SPREAD TOPSOIL TO SPECIFIED DEPTH.
 - APPLY AGRICULTURAL LIME FERTILIZER, AND SUPER PHOSPHATE UNIFORM AND MIX WITH SOIL. APPLY SOIL AMENDMENTS PER REQUIRED SOIL ANALYSIS RECOMMENDATIONS.
 - CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED.
 - SEED ON A FRESHLY PREPARED SEEDBEDS AND SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDER AREAS AND IF POSSIBLE, MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF GRANDSTAND SHOULD BE OVER 50% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LINE, FERTILIZER, AND SEEDING RATES.
 - ANCHOR TACK WITH LIQUID ASPHALT AT 400 GAL/ACRE OR EMULSIFIED ASPHALT AT 300 GAL/ACRE.
- BIDDERGRADABLE WEED MATTING (ALL-PRO WEED MAT OR APPROVED EQUAL) SHALL BE REQUIRED IN SHRUB BEDS ADJACENT TO BUILDING FACADE.
- PLANTING BEDS TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF MATERIAL FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER. REFER TO LANDSCAPE SCHEME FOR MATERIAL SPECIFICATIONS.
- MULCH ALL PLANT BEDS AND TREE RINGS WITH FRESH, CLEAN MATERIAL, PER SPECIFICATIONS. ALL MULCH EDGES SHALL BE NEATLY TUCKED. ALL STRIPS AND/OR BAILING WIRE SHALL BE REMOVED. DUST SHRUBS AND GROUND COVER AFTER MULCHING TO REMOVE LOOSE MATERIAL FROM PLAYS. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP A MINIMUM OF 4" AWAY FROM TREE TRUNK OR BASE OF PLANT.
- MULCH AND NO-MOW MIXES SHALL BE REPLISHED AS NEEDED, ESPECIALLY AFTER HEAVY RAIN EVENTS. IF NO-MOW MIX GERMINATES AT A RATE OF LESS THAN 90%, THEN REMOVE OTHER SPECIES AND RESEED.

TEMPORARY IRRIGATION

- CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY IRRIGATION FOR SOD WITHIN THE STORMWATER CONTROL MEASURE UNTIL SOD BECOMES ESTABLISHED.

INSPECTIONS/GUARANTEE

- LANDSCAPE CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR UPON COMPLETION OF LANDSCAPE INSTALLATION. CONTRACTOR WILL VERIFY COMPLETENESS INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY LANDSCAPE ARCHITECT.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENCY PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIOD SHALL BEGIN UPON CERTIFICATE OF OCCUPANCY OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER COMES FIRST.



PRELIMINARY NOT FOR CONSTRUCTION

THE DRAWING PREPARED AT THE RALEIGH OFFICE
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REVISION DESCRIPTION	DATE
REVISION PER COR. COMMENTS	02/01/2021
REVISION PER COR. COMMENTS	02/01/2021
REVISION PER COR. COMMENTS	02/22/21

YOUR VISION ACHIEVED THROUGH OURS.

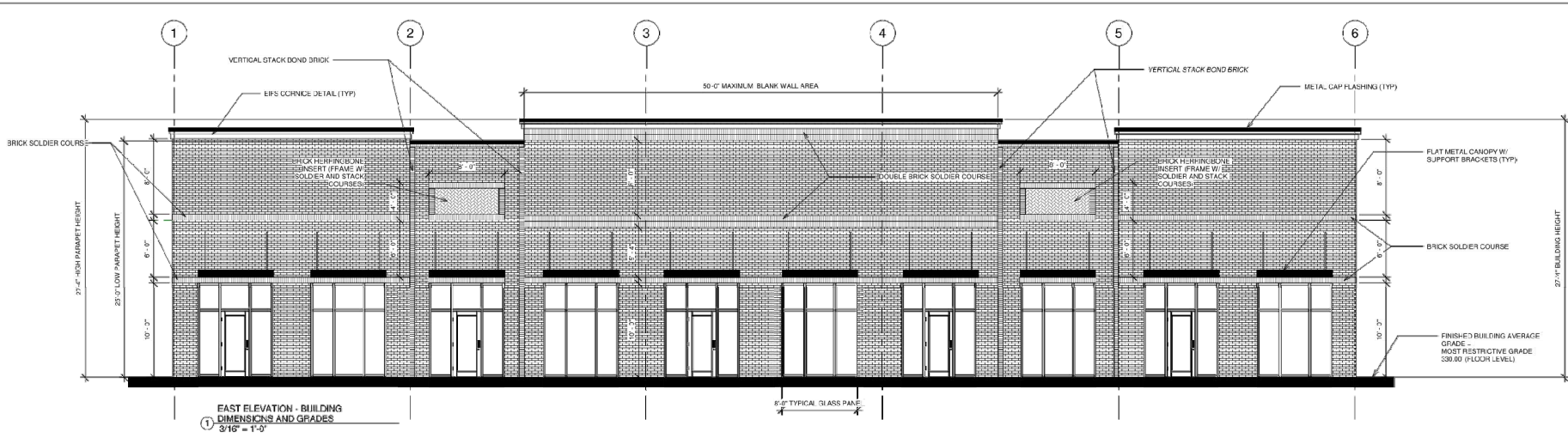
DATE: 02/01/2021
DRAWN BY: T. DAEK
DESIGNED BY: P. BARBEAU
CHECKED BY: P. BARBEAU
SCALE: AS SHOWN

TIMMONS GROUP
321 LEAGAN DRIVE
RALEIGH - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE PLAN

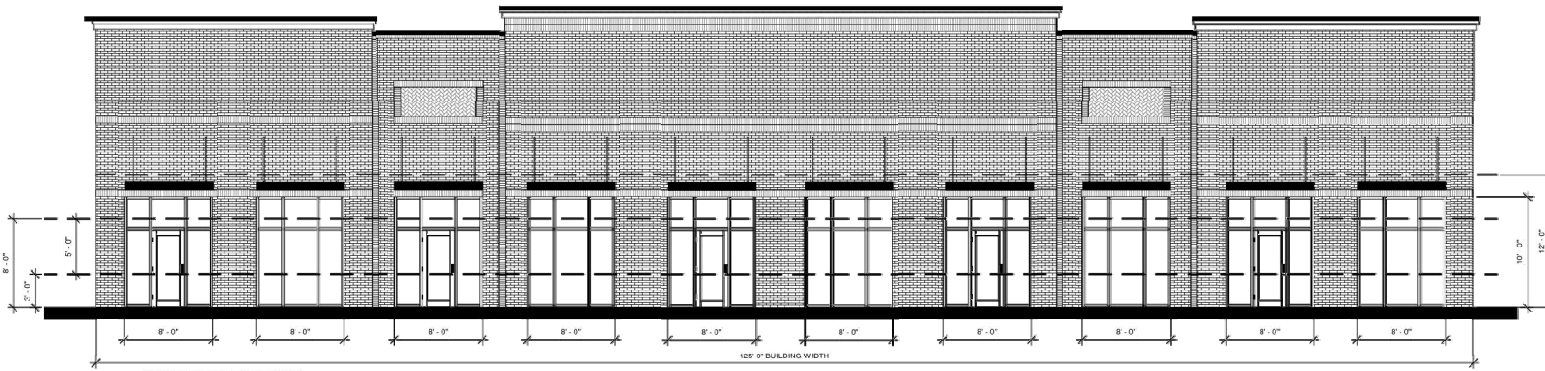
JOB NO. 47172
SHEET NO. C6.0

[Preliminary - Not Released for Construction]
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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① EAST ELEVATION - BUILDING DIMENSIONS AND GRADES
3/16" = 1'-0"



126'-4" BUILDING WIDTH x 12'-0" = 1500 SF
 1500 SF x 20% = 300 SF TRANSPARENCY REQUIRED
 10 WINDOW SECTIONS x 8'-0" WIDE x 10'-0" HIGH = 600 SF TRANSPARENCY PROVIDED
 REQUIRED TRANSPARENCY BETWEEN 2' AND 6' = 50% OF TOTAL REQUIRED TRANSPARENCY
 300 SF x 50% = 150 SF TRANSPARENCY REQUIRED BETWEEN 3' AND 6'
 10 WINDOW SECTIONS x 8'-3" WIDE x 6'-0" HIGH = 500 SF TRANSPARENCY PROVIDED BETWEEN 3' AND 6'

② EAST ELEVATION - TRANSPARENCY CALCULATIONS
3/16" = 1'-0"

REVISIONS	
NUMBER	DATE

321 LEAGAN DRIVE
 RALEIGH, NORTH CAROLINA

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 Cary, NC 27520
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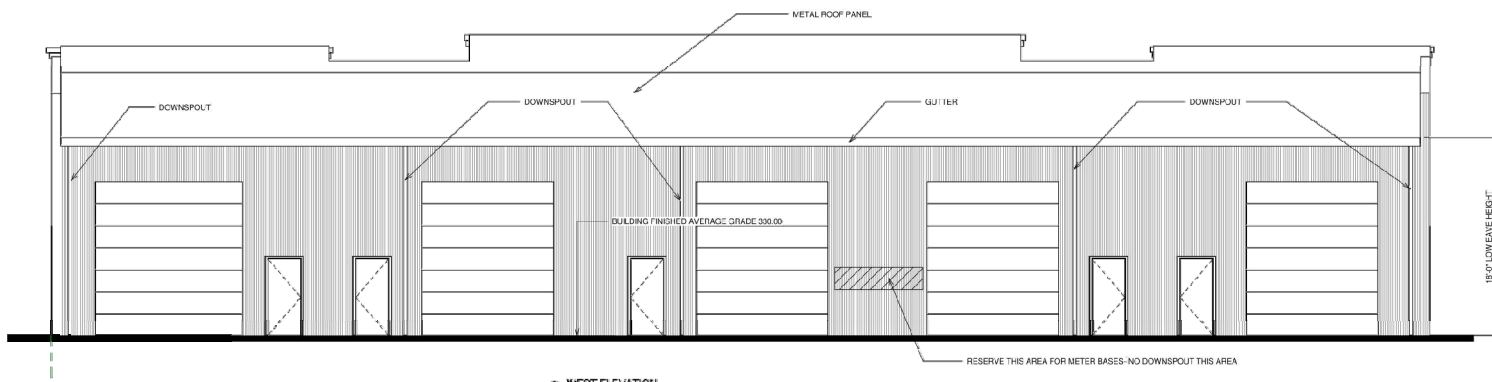
DATE: 07-30-2021

PROJECT: 2020-138

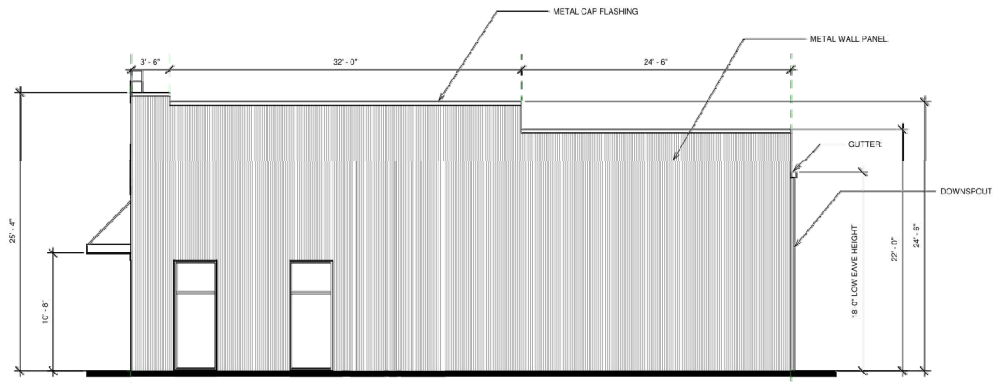
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SHEET:

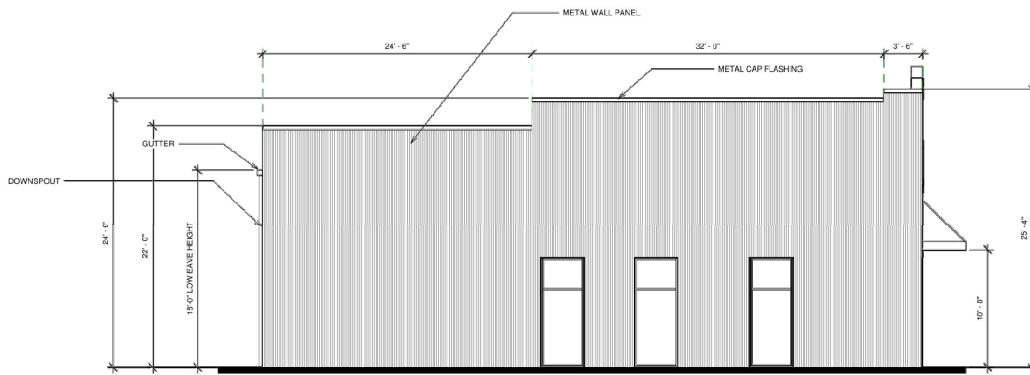
A-1



③ WEST ELEVATION
3/16" = 1'-0"



① NORTH ELEVATION
3/16" = 1'-0"



② SOUTH ELEVATION
3/16" = 1'-0"

REVISIONS	
NUMBER	DATE

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DATE	07-30-2021
PROJECT	2020-138
ELEVATIONS	
SHEET	A-2