

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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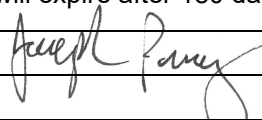
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

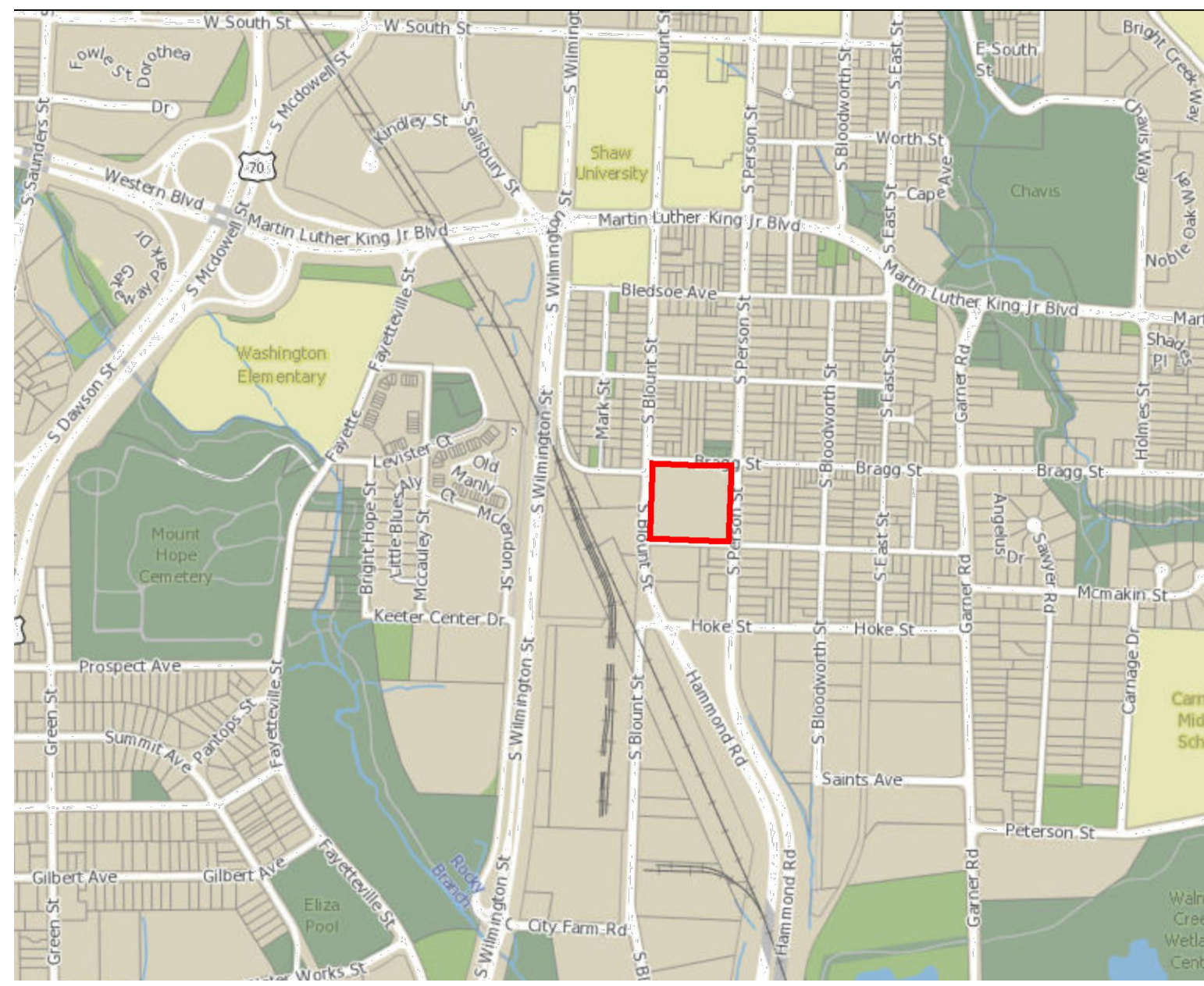
Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:		Title:	
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date:
Printed Name:	



CITY OF RALEIGH TRATIVE SITE PLAN REVIEW R-0008-2022,MP-1-19 / Z-14-19

1st SUBMITTAL: FEBRUARY 7, 2022
 2nd SUBMITTAL: APRIL 8, 2022
 3rd SUBMITTAL: MAY 18, 2022
 4th SUBMITTAL: JUNE 24, 2022

Neighborhood Mixed Use (NX) district. All permitted, limited and special, limited and/or special uses on the property in accordance with the UDO.

Property shall not exceed the intensities for each use as set forth below:
 types

allowable Principal uses for NX-districts as shown in UDO n. as "commercial" for this Master Plan.

Property shall not exceed the intensities for each use as set forth below:
 types

Property shall not exceed the intensities for each use as set forth below:
 types

District (DX) vehicle parking standards in UDO Section 7.1.1.3. It is 7.1.3.A.1.a. shall not apply. All parking to be accessed by private alley Section 7.1.1.7 shall not apply to parking spaces located within a building's ng Person Street and Blount Street.

shall apply for any Apartment building type:

h. Street shall apply for any General building type:

shall apply for any Mixed Use building type:

-five feet (5'). The maximum building height for any building on Tract B

to the following uses: conditioned space will be limited to vertical circulation, ie 1 of Master Plan sheet C3.00.

cess on the public streets. The remaining units will have primary

materials: glass, concrete, clay or brick masonry, stone masonry, stucco, ry and significance of the South Park neighborhood. in the Solid Waste Design Manual.

TABLE 1: BASE DIMENSIONAL STANDARDS			
	APARTMENT	GENERAL BUILDING	MIXED USE BUILDING
A. LOT DIMENSIONS			
A1 Area (min)	N/A	N/A	N/A
A1 Area (max)	N/A	N/A	N/A
A2 Width (min)	N/A	N/A	N/A
A3 Outdoor amenity area (min)	10% (see notes 4.)	10% (see notes 4.)	10% (see notes 4.)
B. Building/Structure Setbacks			
B1 From primary street (min)	5'	5'	5'
B2 From side street (min)	5'	5'	5'
B3 From side lot line (min)	0' or 6'	0' or 6'	0' or 6'
B4 From rear lot line (min)	0' or 6'	0' or 6'	0' or 6'
B4 From alley (min)	4'	4'	4'
C. Parking Setbacks			
C1 From primary street (min)	10'	10'	10'
C2 From side street (min)	10'	10'	10'
C3 From side lot line (min)	0' OR 3'	0' OR 3'	0' OR 3'
C4 From rear lot line (min)	0' OR 3'	0' OR 3'	0' OR 3'
C4 From alley (min)	4'	4'	4'
D. Build-to			
D1 Blount and Person street build-to	5/55'	5/55'	5/55'
D2 Building width in primary build-to (min)	55%	55%	55%
D3 Bragg and Branch street build-to (min/max)	5/55'	5/55'	5/55'
D4 Building width in side build-to (min)	20%	20%	20%
E. Floor Heights			
E1 Ground floor elevation (min)	0'	0'	0'
E2 Ground story height, floor to floor (min)	N/A	11'	11'
E3 Upper story height, floor to floor (min)	N/A	9'	9'
F. Transparency			
F1 Ground story (min)	N/A	33%	33%
G2 Upper story (min)	N/A	20%	20%
G3 Blank wall area (max) (1)	35'	20'	20'
G. Allowed Building Elements			
	porch, stoop	balcony, gallery, awning	balcony, gallery, awning

(1) Blank wall does not apply to Bragg St. and Branch St.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
CO.00	COVER SHEET
CO.01	APPROVALS & ZONING NARRATIVE
CO.10	GENERAL NOTES
C1.00	EXISTING CONDITIONS SURVEY
C1.01	EXISTING CONDITIONS PLAN
C2.00	DEMOLITION PLAN
C3.00	SITE PLAN
C3.01	OPEN SPACE PLAN
C3.02	TRANSPORTATION PLAN
C3.04	SIGHT DISTANCE TRIANGLES PLAN
C3.10	R.O.W. AND EASEMENT PLAN
C3.20	WASTE MANAGEMENT PLAN
C3.30	FIRE ACCESS PLAN
C3.40	SIGNAGE & PAVEMENT MARKING PLAN
CO.00	GRADING & STORM DRAINAGE PLAN
CO.00	UTILITIES PLAN
CO.10	FIRE ACCESS HOSE PULL
CO.40	SEWER BYPASS PHASING PLAN
CO.70	ROADWAY PLAN & PROFILE - ALLEY A
CO.71	ROADWAY PLAN & PROFILE - ALLEY B
CO.90	SITE DETAILS
CO.91	SITE DETAILS
CO.92	SITE DETAILS - STREET SECTIONS
CO.93	DUMPSTER ENCLOSURE
LI.00	TREE CONSERVATION PLAN
LI.00	PLANTING PLAN
LI.00	PLANTING & SOILS DETAILS
LI.00	SITE LIGHTING PLAN
LI.00	COVER SHEET
LI.01	SITE KEY DIAGRAM
LI.02	FLOOR PLANS
LI.03	LIGHT FIXTURES
LI.00	FRONT & REAR ELEVATIONS, BUILDING #1
LI.01	SIDE ELEVATIONS, BUILDING #1
LI.02	FRONT & REAR ELEVATIONS, BUILDING #2
LI.03	SIDE ELEVATIONS, BUILDING #2
LI.04	FRONT & REAR ELEVATIONS, BUILDING #3
LI.05	SIDE ELEVATIONS, BUILDING #3
LI.06	FRONT & REAR ELEVATIONS, BUILDING #4
LI.07	SIDE ELEVATIONS, BUILDING #4
LI.08	FRONT & REAR ELEVATIONS, BUILDING #5
LI.09	SIDE ELEVATIONS, BUILDING #5
LI.10	FRONT & REAR ELEVATIONS, BUILDING #6
LI.11	SIDE ELEVATIONS, BUILDING #6
LI.12	FRONT & REAR ELEVATIONS, BUILDING #7
LI.13	SIDE ELEVATIONS, BUILDING #7
LI.14	FRONT & REAR ELEVATIONS, BUILDING #8
LI.15	SIDE ELEVATIONS, BUILDING #8
LI.16	FRONT & REAR ELEVATIONS, BUILDING #9
LI.17	SIDE ELEVATIONS, BUILDING #9
LI.18	FRONT & REAR ELEVATIONS, BUILDING #10
LI.19	SIDE ELEVATIONS, BUILDING #10

BUILDING DATA		
BUILDING NUMBER	NUMBER OF UNITS	TOTAL SQUARE FOOTAGE
BUILDING 1	10	25,498
BUILDING 2	10	24,871
BUILDING 3	8	20,161
BUILDING 4	10	25,498
BUILDING 5	8	20,161
BUILDING 6	8	20,161
BUILDING 7	10	25,498
BUILDING 8	8	20,161
BUILDING 9	14	33,037
BUILDING 10	14	36,172
TOTAL	100	251216

TABLE 2: VEHICLE PARKING REQUIREMENT		
Residential	a. One parking space is required per dwelling unit.	b. No vehicle parking is required for the first 16 dwelling units, required for the first 16 dwelling units.
NonResidential	a. No vehicle parking is required for commercial use	

VEHICULAR PARKING DATA			
	Units	Required Rate	Required
Residential	100	1 spaces per dwelling unit (None for the first 16 units)	84
		Provided	100

NOTES:
 1. PER TC-SA-18 PRIMARY STREET DETERMINATION: THE PRIMARY STREETS ARE S. BLOUNT ST. AND S. PERSON ST.
 2. PARKING REQUIREMENTS AND CALCULATIONS ARE BASED ON THE UDO AS WRITTEN WHEN THIS IS PROJECT WENT THROUGH REZONING IN 2019/2020.

BIKE PARKING DATA			
	Units	Required Rate	Required
Residential	100	1 spaces per 20 units	5
		Provided	8

SOLID WASTE SERVICES NOTES:
 1. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
 2. SOLID WASTE PLAN, WILL SERVE LETTER, AND DUMPSTER ENCLOSURE DETAILS HAVE WERE REVIEWED AND APPROVED BY CITY OF RALEIGH SOLID WASTE SERVICES ON MAY 19, 2022.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not impacted as a result of this notification failure.

Failure to call for inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic

Subdivision case #: _____
 Scoping/sketch plan case #: _____
 Certificate of Appropriateness #: _____
 Board of Adjustment #: _____
 Zoning Case #: _____
 Administrative Alternate #: _____

GENERAL INFORMATION

Development name: The Grey
 Inside City limits? Yes No
 Property address(es): 1201 S BLOUNT ST

Site P.I.N.(s): 1703738654

Please describe the scope of work. Include any additions, expansions, and change of use. Construct for-sale condo buildings with a 2-story unit stacked above a 2-story unit with an integrated garage on the 1st floor. Parallel parking will be provided on side streets. Site layout will include private alleys with a courtyard area for open space and a future commercial pad.

Current Property Owner/Developer Contact Name: Brian Ketcham
NOTE: please attach purchase agreement when submitting this form.

Company: Stanley Martin Homes Title: Director of Land Development
 Address: 4020 Westchase Blvd., Building One, Suite 190, Raleigh, NC 27607
 Phone #: 919-977-8760 Email: KetchamBK@stanleymartin.com
 Address: 223 S. West Street, Suite 1100, Raleigh, NC 27603
 Phone #: 919-866-4709 Email: jprung@stewartinc.com

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DEVELOPMENT TYPE & SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 3.84 ac	New gross floor area: 251,218 sf
# of parking spaces required: 84	Total sq gross (to remain and new): 251,218 sf
# of parking spaces proposed: 100	Proposed # of buildings: 10
Overlay District (if applicable):	Proposed # of stories for each: Maximum of 4
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Residential	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.84 ac Square Feet: 197,381	Proposed Impervious Surface: Acres: 2.82 ac Square Feet: 193,000
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: FEMA Map Panel #: 372017000J	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 100	Total # of hotel units: _____
# of bedroom units: 1br 2br 50 3br 50 4br or more	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Joseph Pung will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

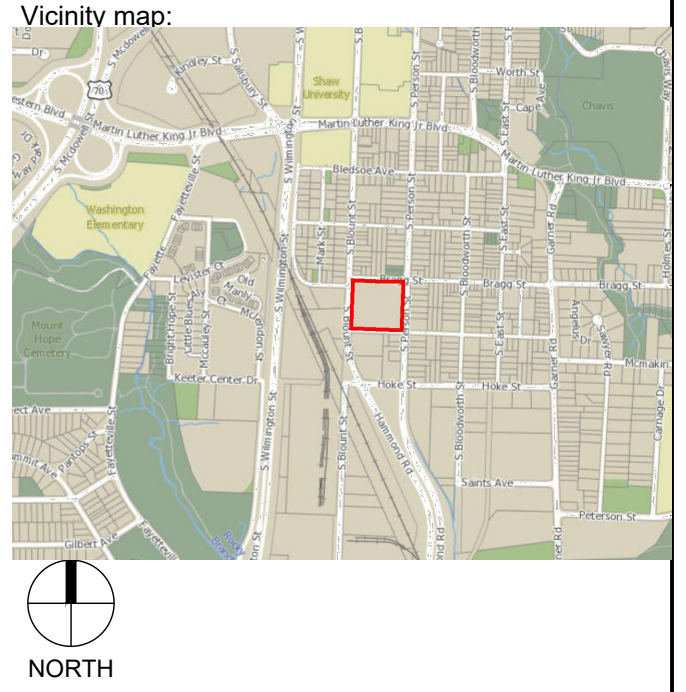
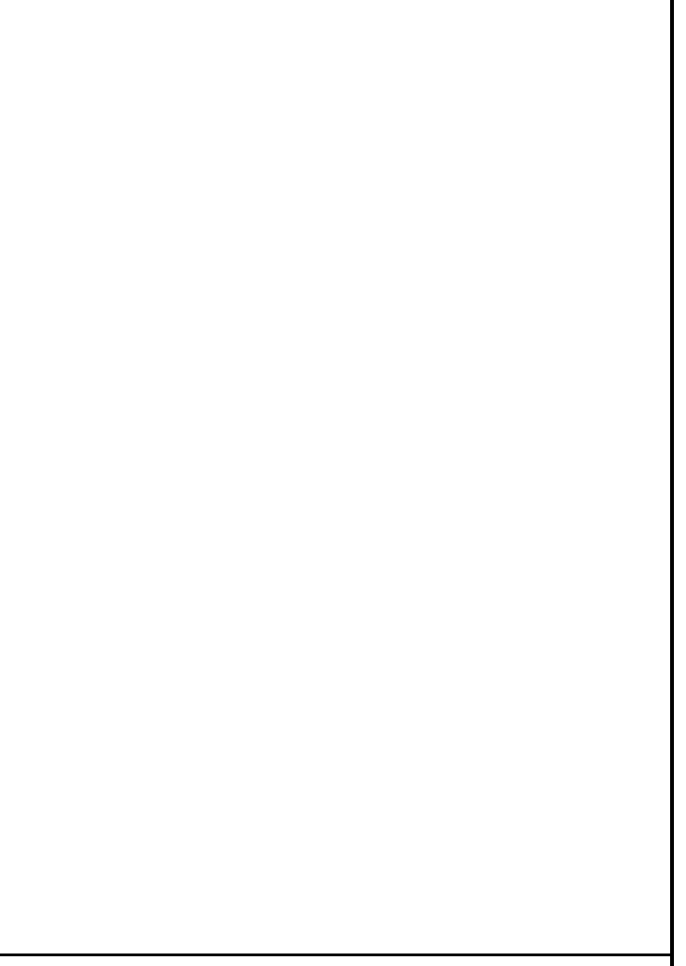
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 4/8/2022
 Printed Name: Joseph Pung

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 raleighnc.gov

223 S. WEST ST., #1100
 RALEIGH, NC 27603
 FIRM LICENSE # C-1051
 www.stewartinc.com
 PROJECT # C18088

Client: STANLEY MARTIN HOMES
 4020 WESTCHASE BLVD.
 RALEIGH, NC 27607
 CONTACT: BRIAN KETCHAM
 919.977.8760 (T)
 KetchamBK@stanleymartin.com



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION

THE GREY CONDOMINIUMS

ADMINISTRATIVE SITE PLAN REVIEW

No.	Date	Description
1	04.08.2022	CITY COMMENTS
2	05.16.2022	CITY COMMENTS
3	06.24.2022	CITY COMMENTS

Title: COVER SHEET
 Project number: C18088 Sheet #: _____
 Issued Date: 2022.02.07
 Drawn by: R5ML C0.00
 Approved by: CRM/CJM

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

STEWART
 223 S. WEST STREET SUITE 1100 RALEIGH, NC 27603 T 919.380.8750

STEWART INC. - CIVIL CONTACT: ROY P. LORENZEN, PE PROJECT MANAGER 919.866.4813 (T) 919.380.8752 (F) RLORENZEN@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE CONTACT: JOE PUNG, PLA, LEED AP LANDSCAPE ARCHITECT 919.866.4709 (T) JPUNG@STEWARTINC.COM

Water and Sewer Permits (if applicable)
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # _____

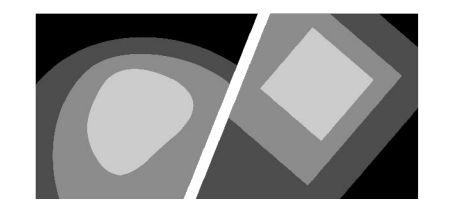
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection to its public sewer system and extension of the public sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This includes review, and authorization for construction is not to be construed as approval for compliance with all legal requirements for development and construction. The property owner, design consultant, and contractor are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization allows a not a permit, nor shall it constitute to grant the violation of City, State or Federal Law. All construction shall be in accordance with all applicable laws and regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Official below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans and file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate the approval.

CITY OF RALEIGH DEVELOPMENT APPROVAL _____
 City of Raleigh Review Official



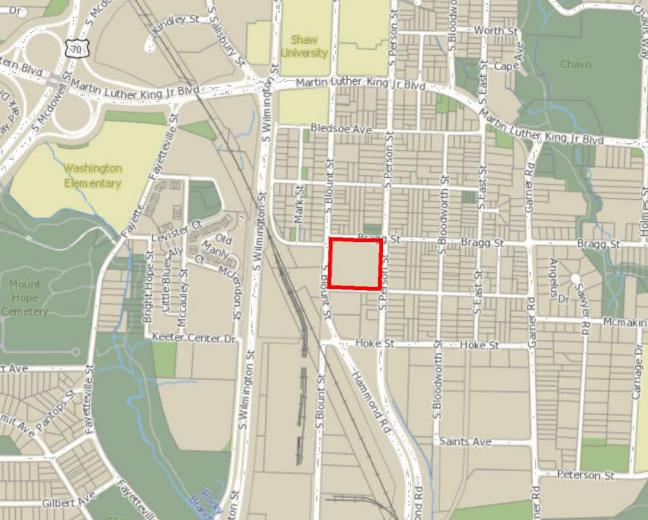
STEWART

223 S. WEST ST., #1100 FIRM LICENSE # C-1051
RALEIGH, NC 27603 www.stewartnc.com PROJECT # C18088
T 919.380.8750

Client:

STANLEY MARTIN HOMES
4020 WESTCHASE BLVD.
RALEIGH, NC 27607
CONTACT: BRIAN KETCHAM
919.977.8760 (T)
ketchamBK@stanleymartin.com

Vicinity map:



Scale: PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SITE LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Grey Box]	PROPOSED BUILDING	SEE ARCH. PLANS
[Dashed Line]	PROPOSED CONCRETE SIDEWALK	#/C9.XX
[Patterned Box]	PROPOSED VEHICULAR CONCRETE	#/C9.XX
[Dark Grey Box]	PROPOSED HEAVY DUTY ASPHALT	#/C9.XX
[Double Line]	PROPOSED CURB & GUTTER	#/C9.XX
[Wider Line]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
[Square]	PROPOSED SIGN	N/A
[Circle]	PROPOSED LIGHT	#/C9.XX
[Square]	PROPOSED BIKE RACK	#/C9.XX
[Dot]	PROPOSED BOLLARD	#/C9.XX
[Dotted Line]	ACCESSIBLE ROUTE	
[Dashed Line]	EXISTING R.O.W.	
[Solid Line]	PROPOSED R.O.W.	

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

SITE DATA

PROJECT NAME:	THE GREY CONDOMINIUMS
SITE ADDRESS:	1201 S BLOUNT ST
COUNTY:	WAKE
PARCEL PIN #:	1703738654
PARCEL OWNER:	STANLEY MARTIN RALEIGH, LLC
PARCEL AREA:	3.52 AC / 153,381.75 SF
TOTAL SITE GROSS ACREAGE:	3.84 AC / 167,381.43 SF
ROW DEDICATION:	0.32 AC / 13,999.68 SF
NET ACREAGE:	3.52 AC / 153,381.75 SF
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RESIDENTIAL (CONDOMINIUMS)
EXISTING ZONING:	PD (LX BASE LAND-USE ZONING DISTRICT-DX DISTRICT PARKING)
FLOOD PLAN DATA:	3720170300J
RIVER BASIN:	NEUSE RIVER
CONSTRUCTION TYPE:	SITE BUILT
MAX BUILDING HEIGHT:	5 STORIES, 55' MAX
PROPOSED BUILDING HEIGHT:	4 STORIES, 45'-1 3/4"
NUMBER OF BUILDINGS:	10
NUMBER OF UNITS:	100 (50, 2-BEDROOM UNITS; 50, 4-BEDROOM UNITS)
PROPOSED BUILDING SF:	251,219 SF
TREE CONSERVATION AREA:	0 SF
AMENITY AREA:	0 SF (NOT REQUIRED PER M-1-19/2-14-19 ITEM 9.F)
OPEN SPACE:	0.35 AC / 15,338 SF
TOTAL LIMITS OF DISTURBANCE:	5.11 AC / 222,392 SF
EXISTING IMPERVIOUS AREA:	3.84 AC / 167,381 SF
PROPOSED IMPERVIOUS AREA:	2.82 AC / 123,000 SF

PARKING DATA:

REQUIRED PARKING:	84 SPACES
PROPOSED PARKING:	100 SPACES

VEHICULAR PARKING DATA

Units	Required Rate	Required	Provided	
Residential	100	1 spaces per dwelling unit (None for the first 16 units)	84	100

NOTES:

- PER TC-SA-19 PRIMARY STREET DETERMINATION: THE PRIMARY STREETS ARE S. BLOUNT ST. AND S. PERSON ST.
- PARKING REQUIREMENTS AND CALCULATIONS ARE BASED ON THE UDO AS WRITTEN WHEN THIS IS PROJECT WENT THROUGH REZONING IN 2019/2020.

BIKE PARKING DATA

Units	Required Rate	Required	Provided	
Residential	100	1 spaces per 20 units	5	8

BUILDING ORIENTATION

40% OF UNITS TO HAVE PRIMARY PEDESTRIAN ACCESS ON PUBLIC STREETS

REQUIRE	100 TOTAL UNITS x 40% = 40 UNITS
PROVIDE	48 UNITS

BUILD-TO TABLE

STREET NAMES & LOT WIDTHS	REQUIRED	PROVIDED
BLOUNT STREET, 374 FT (PRIMARY STREET)	374 x 0.55 = 206 FT	344.6 FT
PERSON STREET, 375 FT (PRIMARY STREET)	375 x 0.55 = 206 FT	248.66 FT
BRAGG STREET, 408 FT (SIDE STREET)	408 x 0.2 = 82 FT	216 FT
BRANCH STREET, 411 FT (SIDE STREET)	411 x 0.2 = 82 FT	162 FT

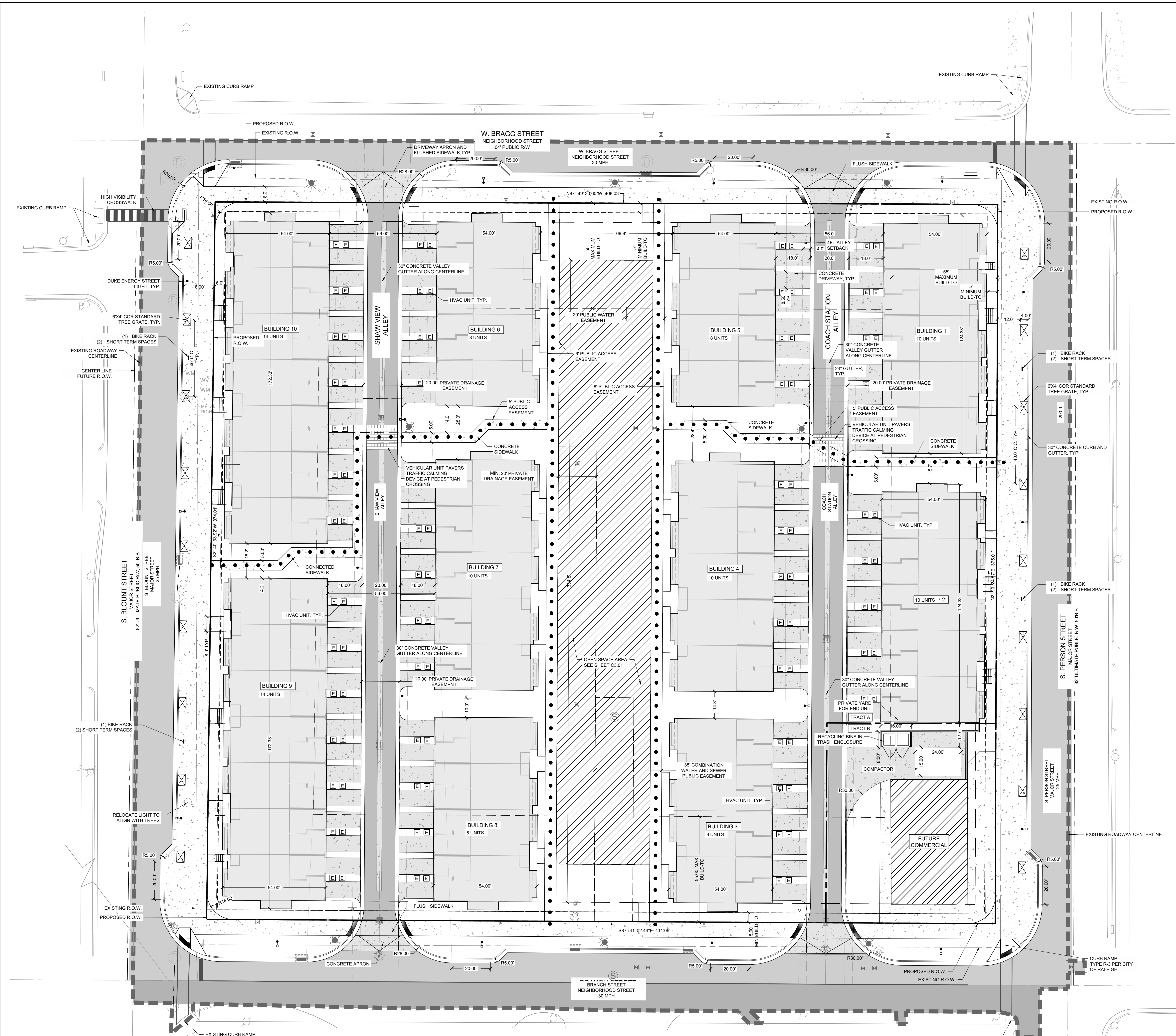
THE GREY CONDOMINIUMS

ADMINISTRATIVE SITE PLAN REVIEW

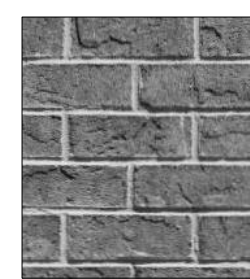
No.	Date	Description
1	04.08.2022	CITY COMMENTS
2	05.18.2022	CITY COMMENTS
3	06.24.2022	CITY COMMENTS

SITE PLAN

Project number: C18088 Sheet #: **C3.00**
 Issued Date: 2022.02.07
 Drawn by: ML
 Approved by: CRM/CJM



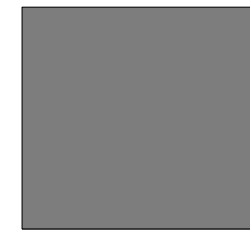
L:\Projects\2018\C18088 - Carolina Coach Apartments\DWGS\1-Design\15-Sheets\1-ASRC\18088-C3.00 Site Planning Jun 23, 2022 - 8:06pm



Brick: Bassemer Gray



Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:

- Front Door: White
- Windows: Black
- Gutters & Downspouts: Black
- Rails: Black Aluminum
- Roof: Moire Black
- Metal Roof: Matte Black



A EAST ELEVATION - BUILDING #1
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	5835 SF
SECOND FLOOR:	5905 SF
THIRD FLOOR:	5905 SF
FOURTH FLOOR:	5905 SF
TERRACE LEVEL:	1881 SF
TOTAL:	25498 SF



B WEST ELEVATION - BUILDING #1
SCALE 1/8" = 1'-0"

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Drawing Title: BUILDING #1 - FRONT & REAR ELEV.
 Client: STANLEY MARTIN - REGION #3
 Project: 1761 - TESSA & 1762 - JULIANNE

DRAWN BY:	SBJ / DEW
DATE:	06/21/2022
REV No.	DATE

SHEET No. 41.00

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B SOUTH ELEVATION - BUILDING #1
A101 SCALE 1/8" = 1'-0"



A NORTH ELEVATION - BUILDING #1
A101 SCALE 1/8" = 1'-0"

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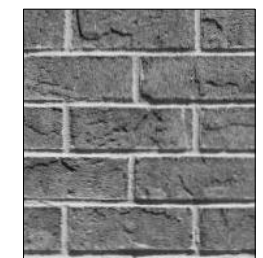
Drawing Title:
BUILDING #1 - SIDE ELEVATIONS
 Client:
STANLEY MARTIN - REGION #3
 Project:
1761 - TESSA & 1762 - JULIANNE

DRAWN BY:
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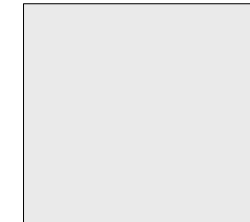
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A101

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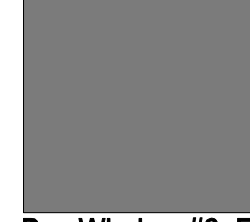
Brick: Bassemmer Gray



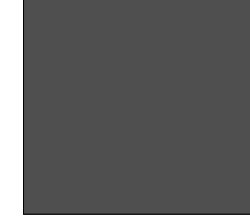
Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:

- Front Door: White
- Windows: Black
- Gutters & Downspouts: Black
- Rails: Black Aluminum
- Roof: Moire Black
- Metal Roof: Matte Black



A EAST ELEVATION - BUILDING #2
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA

UTILITY SHED	67 SF
FIRST FLOOR:	5835 SF
SECOND FLOOR:	5905 SF
THIRD FLOOR:	5905 SF
FOURTH FLOOR:	5905 SF
TERRACE LEVEL:	1254 SF
TOTAL:	24871 SF



B WEST ELEVATION - BUILDING #2
SCALE 1/8" = 1'-0"

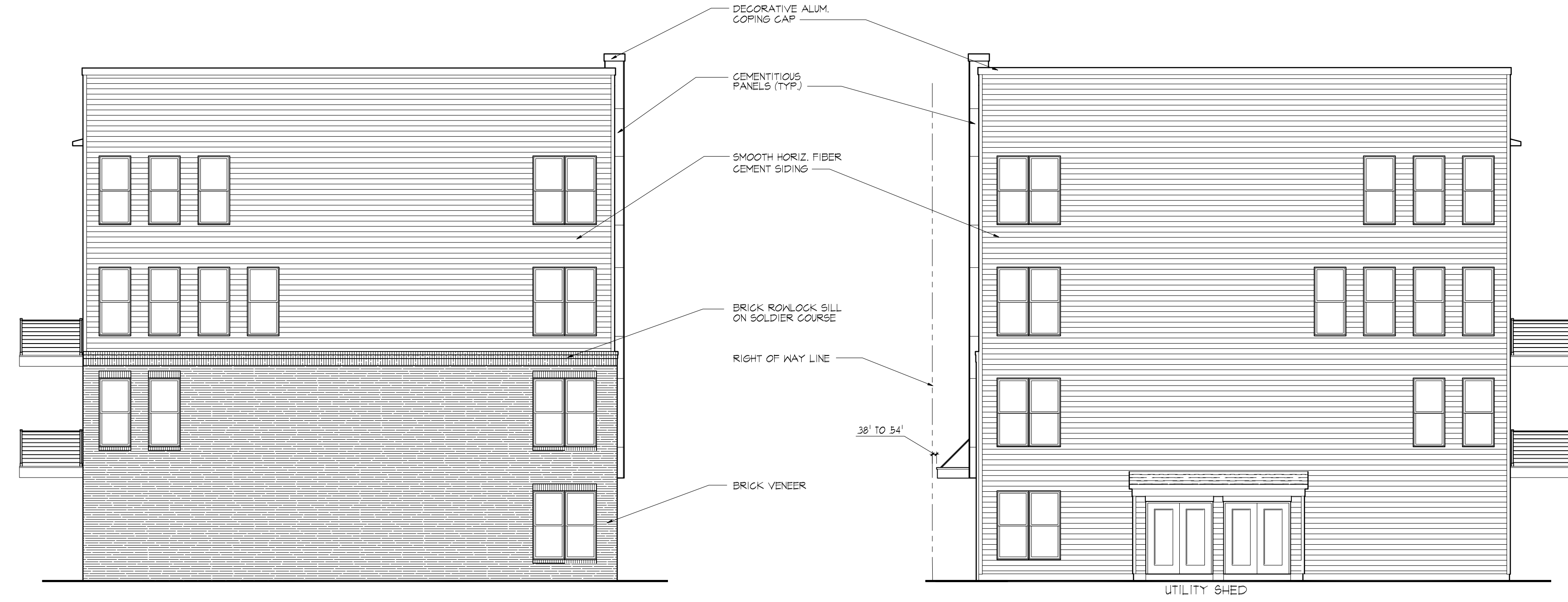
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Drawing Title:
BUILDING #2 - FRONT & REAR ELEV.
 Client:
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 Project:
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B SOUTH ELEVATION - BUILDING #2
A2.01 SCALE 1/8" = 1'-0"

A NORTH ELEVATION - BUILDING #2
A2.01 SCALE 1/8" = 1'-0"

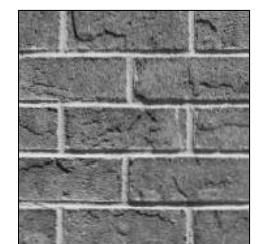
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Building #2 - Side Elevations
 Client: **STANLEY MARTIN - REGION #3**
 Project: **1761 - TESSA & 1762 - JULIANNE**

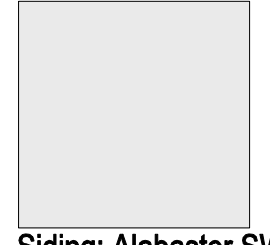
DRAWN BY: SBJ / DEW	
06/21/2022	
REV No.	DATE

SHEET No.
 A2.01

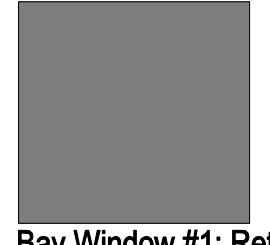
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Brick: Bassemer Gray



Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:

Front Door: White
 Windows: Black
 Gutters & Downspouts: Black
 Rails: Black Aluminum
 Roof: Moire Black
 Metal Roof: Matte Black



A WEST ELEVATION - BUILDING #3
 SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	4668 SF
SECOND FLOOR:	4724 SF
THIRD FLOOR:	4724 SF
FOURTH FLOOR:	4724 SF
TERRACE LEVEL:	1254 SF
TOTAL:	20161 SF



B EAST ELEVATION - BUILDING #3
 SCALE 1/8" = 1'-0"

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Drawing Title:
 BUILDING #3 - FRONT & REAR ELEV.

Client:
 STANLEY MARTIN - REGION #3
 Project:
 1761 - TESSA & 1762 - JULIANNE

DRAWN BY:
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REV No. DATE

SHEET No.

A3.00



C NORTH ELEVATION - BUILDING #3
A3.0 SCALE 1/8" = 1'-0"



B SOUTH ELEVATION - BUILDING #3
A3.0 SCALE 1/8" = 1'-0"

DECORATIVE ALUM.
COPING CAP

CEMENTITIOUS
PANELS (TYP.)

SMOOTH HORIZ. FIBER
CEMENT SIDING

BRICK ROVALOCK SILL
ON SOLDIER COURSE

NO RIGHT OF WAY
LINE FOR THIS BLOCK

BRICK VENEER

UTILITY SHED

Drawing Title:

BUILDING #3 - SIDE ELEVATIONS

Client:

STANLEY MARTIN - REGION #3

Project:

1761 - TESSA & 1762 - JULIANNE

DRAWN BY:

SBJ / DEW

06/21/2022

REV No. DATE

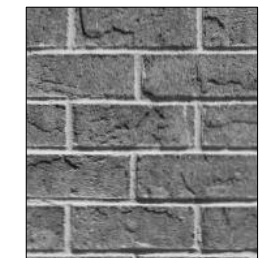
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A3.01

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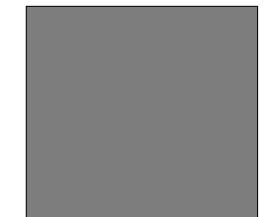
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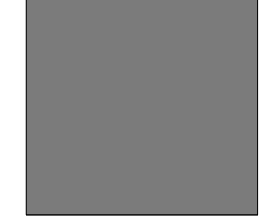
Brick: Bassemer Gray



Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
 Front Door: White
 Windows: Black
 Gutters & Downspouts: Black
 Rails: Black Aluminum
 Roof: Moire Black
 Metal Roof: Matte Black



A WEST ELEVATION - BUILDING #4
 SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	5835 SF
SECOND FLOOR:	5905 SF
THIRD FLOOR:	5905 SF
FOURTH FLOOR:	5905 SF
TERRACE LEVEL:	1081 SF
TOTAL:	25498 SF



B EAST ELEVATION - BUILDING #4
 SCALE 1/8" = 1'-0"

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Drawing Title:
 BUILDING #4 - FRONT & REAR ELEV.
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & JULIANNE

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SHEET No.
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DECORATIVE ALUM.
CORING GAP

CEMENTITIOUS
PANELS (TYP.)

SMOOTH HORIZ. FIBER
CEMENT SIDING

NO RIGHT OF WAY
LINE FOR THIS BLOCK.

B NORTH ELEVATION - BUILDING #4
A4.01 SCALE 1/8" = 1'-0"



UTILITY SHED

A SOUTH ELEVATION - BUILDING #4
A4.01 SCALE 1/8" = 1'-0"

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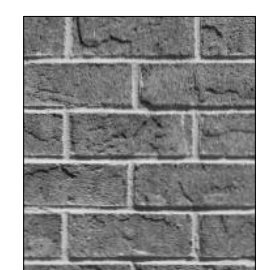
Drawing Title:
BUILDING #4 - SIDE ELEVATIONS
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

DRAWN BY:
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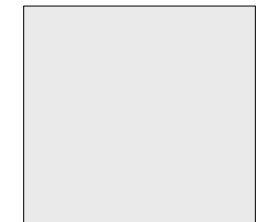
REV No.	DATE

SHEET No.
A4.01

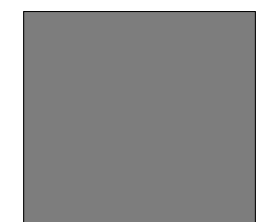
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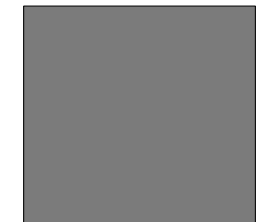
Brick: Bassemer Gray



Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
Front Door: White
Windows: Black
Gutters & Downspouts: Black
Rails: Black Aluminum
Roof: Moire Black
Metal Roof: Matte Black



A WEST ELEVATION - BUILDING #5
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	4668 SF
SECOND FLOOR:	4724 SF
THIRD FLOOR:	4724 SF
FOURTH FLOOR:	4724 SF
TERRACE LEVEL:	1254 SF
TOTAL:	20161 SF



B EAST ELEVATION - BUILDING #5
SCALE 1/8" = 1'-0"

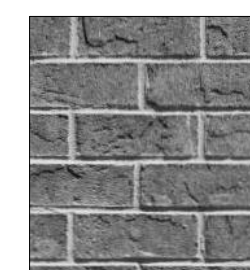
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Drawing Title:
BUILDING #5 - FRONT & REAR ELEV.
Client:
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Project:
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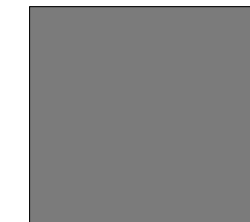
Brick: Bassemmer Gray



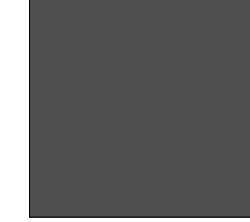
Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
Front Door: White
Windows: Black
Gutters & Downspouts: Black
Rails: Black Aluminum
Roof: Moire Black
Metal Roof: Matte Black



A EAST ELEVATION - BUILDING #6
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	4668 SF
SECOND FLOOR:	4724 SF
THIRD FLOOR:	4724 SF
FOURTH FLOOR:	4724 SF
TERRACE LEVEL:	1254 SF
TOTAL:	20161 SF



B WEST ELEVATION - BUILDING #6
SCALE 1/8" = 1'-0"

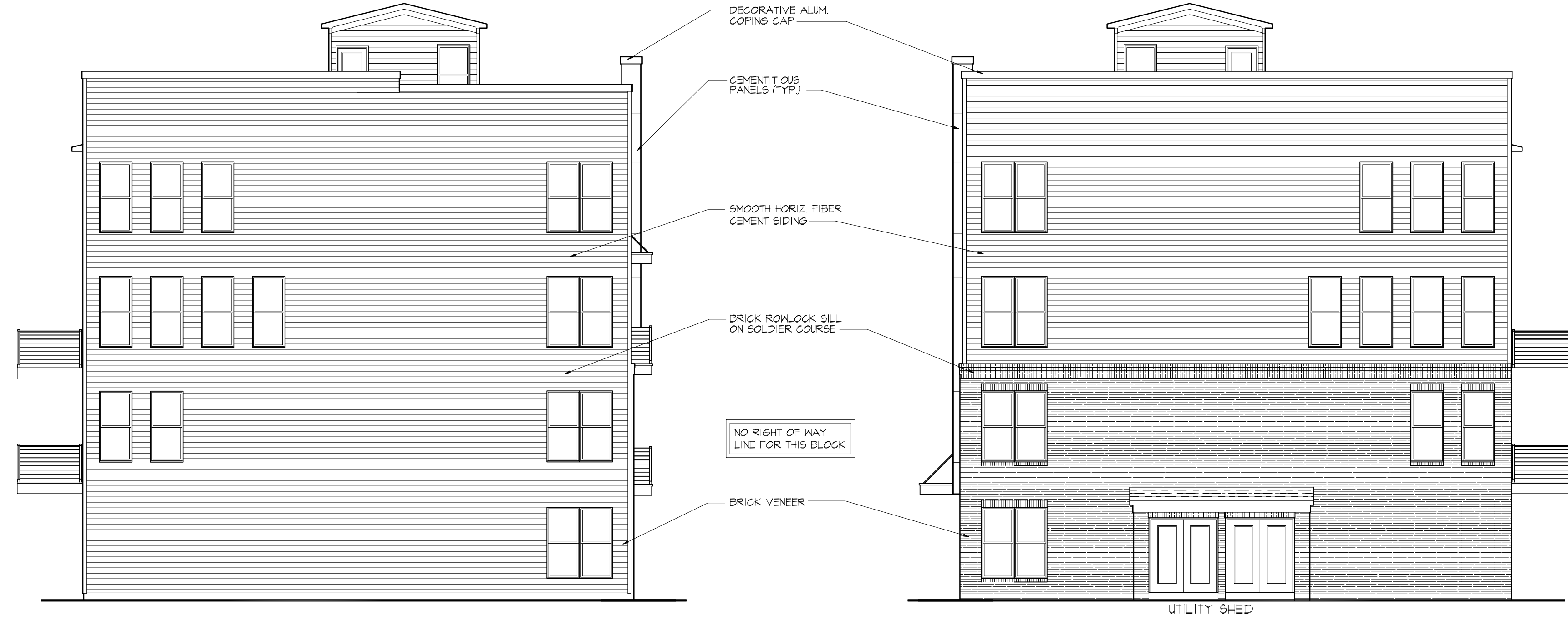
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Drawing Title:
BUILDING #6 - FRONT & REAR ELEV.
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

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SHEET No.
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B SOUTH ELEVATION - BUILDING #6
A6.01 SCALE 1/8" = 1'-0"

A NORTH ELEVATION - BUILDING #6
A6.01 SCALE 1/8" = 1'-0"

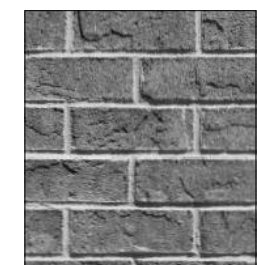
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Drawing Title:
BUILDING #6 - SIDE ELEVATIONS
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

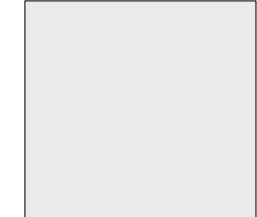
DRAWN BY: SBJ / DEW	
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REV No.	DATE

SHEET No.
A6.01

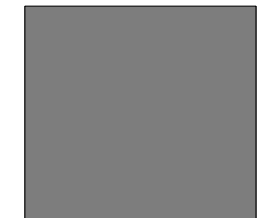
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Brick: Bassemmer Gray



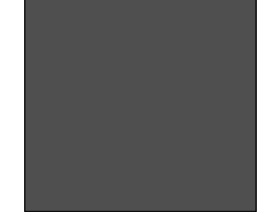
Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
Front Door: White
Windows: Black
Gutters & Downspouts: Black
Rails: Black Aluminum
Roof: Moire Black
Metal Roof: Matte Black



A EAST ELEVATION - BUILDING #7
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	5035 SF
SECOND FLOOR:	5905 SF
THIRD FLOOR:	5905 SF
FOURTH FLOOR:	5905 SF
TERRACE LEVEL:	1081 SF
TOTAL:	25498 SF



B WEST ELEVATION - BUILDING #7
SCALE 1/8" = 1'-0"

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Drawing Title:
BUILDING #7 - FRONT & REAR ELEV.
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

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B NORTH ELEVATION - BUILDING #7
ATD / SCALE 1/8" = 1'-0"

NO RIGHT OF WAY
 LINE FOR THIS BLOCK



A SOUTH ELEVATION - BUILDING #7
ATD / SCALE 1/8" = 1'-0"

Drawing Title:

BUILDING #7 - SIDE ELEVATIONS

Client:

STANLEY MARTIN - REGION #3

Project:

1761 - TESSA & 1762 - JULIANNE

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SBJ / DEW

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REV No. DATE

REV No.	DATE

SHEET No.

47.01

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Brick: Bassemer Gray



Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
Front Door: White
Windows: Black
Gutters & Downspouts: Black
Rails: Black Aluminum
Roof: Moire Black
Metal Roof: Matte Black



A EAST ELEVATION - BUILDING #8
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	4668 SF
SECOND FLOOR:	4724 SF
THIRD FLOOR:	4724 SF
FOURTH FLOOR:	4724 SF
TERRACE LEVEL:	1254 SF
TOTAL:	20161 SF



B WEST ELEVATION - BUILDING #8
SCALE 1/8" = 1'-0"

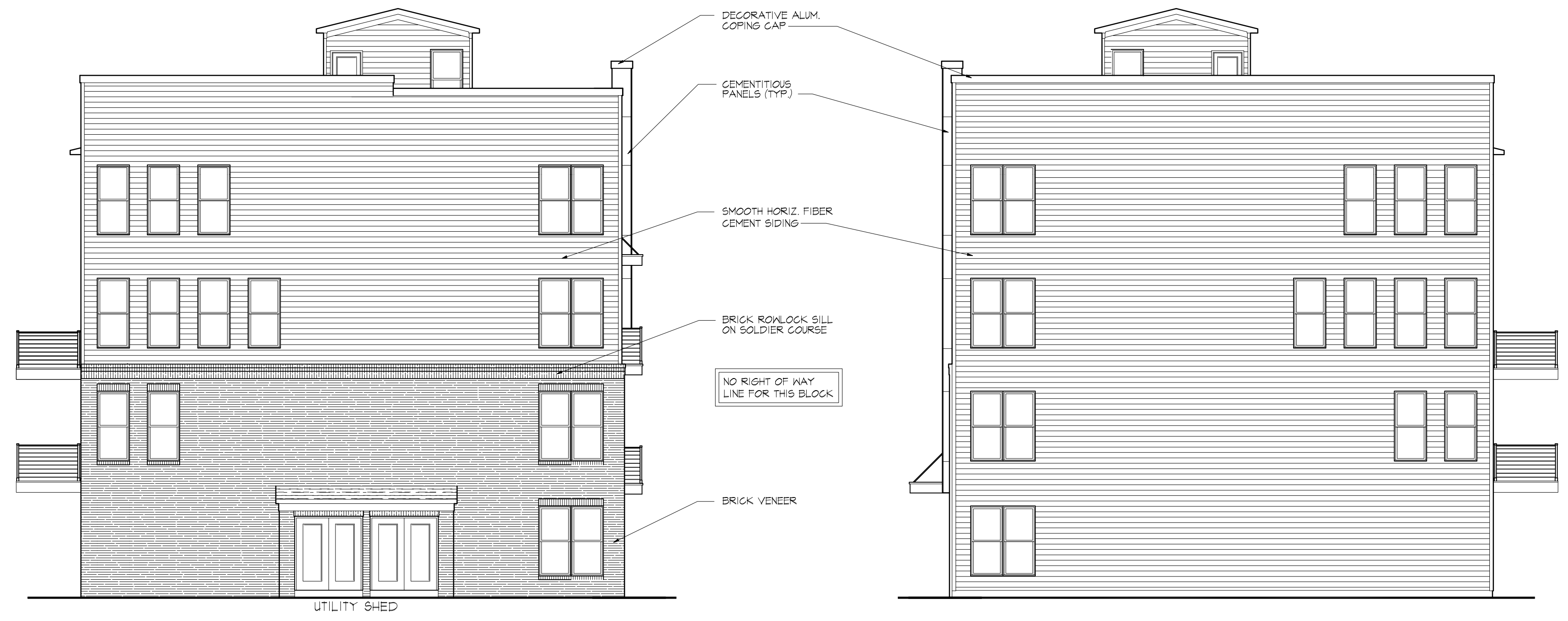
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Drawing Title:
BUILDING #8 - FRONT & REAR ELEV.
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & JULIANNE

DRAWN BY:	
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B
48.01
SOUTH ELEVATION - BUILDING #8
SCALE 1/8" = 1'-0"

A
48.01
NORTH ELEVATION - BUILDING #8
SCALE 1/8" = 1'-0"

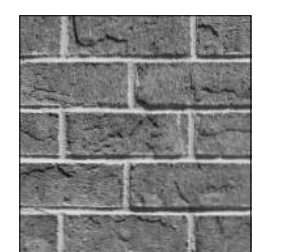
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Drawing Title:
BUILDING #8 - SIDE ELEVATIONS
Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

DRAWN BY: SBJ / DEW	
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Brick: Bassemmer Gray



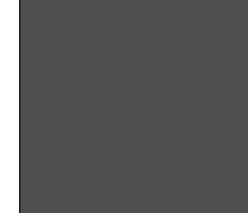
Siding: Alabaster SW 7008



Bay Window #1: Retreat SW 6207



Bay Window #2: Foggy Day SW 6235



Bay Window #3: Gale Force SW 7605

OTHER:
Front Door: White
Windows: Black
Gutters & Downspouts: Black
Rails: Black Aluminum
Roof: Moire Black
Metal Roof: Matte Black



A WEST ELEVATION - BUILDING #9
SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	8169 SF
SECOND FLOOR:	8267 SF
THIRD FLOOR:	8267 SF
FOURTH FLOOR:	8267 SF
TERRACE LEVEL:	0 SF
TOTAL:	33037 SF



B EAST ELEVATION - BUILDING #9
SCALE 1/8" = 1'-0"

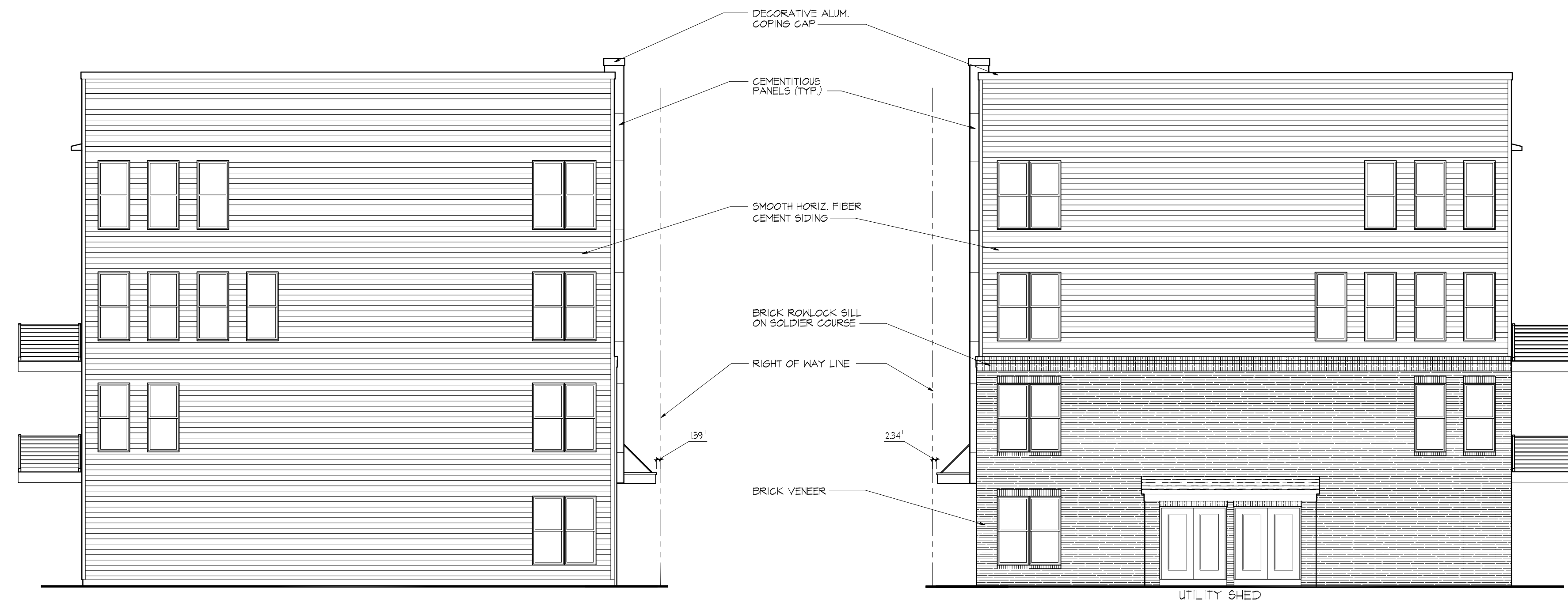
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BUILDING #9 - FRONT & REAR ELEV.
Client: **STANLEY MARTIN - REGION #3**
Project: **1761 - TESSA & 1762 - JULIANNE**

DRAWN BY:	
SBJ / DEW	06/21/2022
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B NORTH ELEVATION - BUILDING #9
49.01 SCALE 1/8" = 1'-0"

A SOUTH ELEVATION - BUILDING #9
49.01 SCALE 1/8" = 1'-0"

Drawing Title:

BUILDING #9 - SIDE ELEVATIONS

Client:

STANLEY MARTIN - REGION #3

Project:

1761 - TESSA & 1762 - JULIANNE

DRAWN BY:

SBJ / DEW

06/21/2022

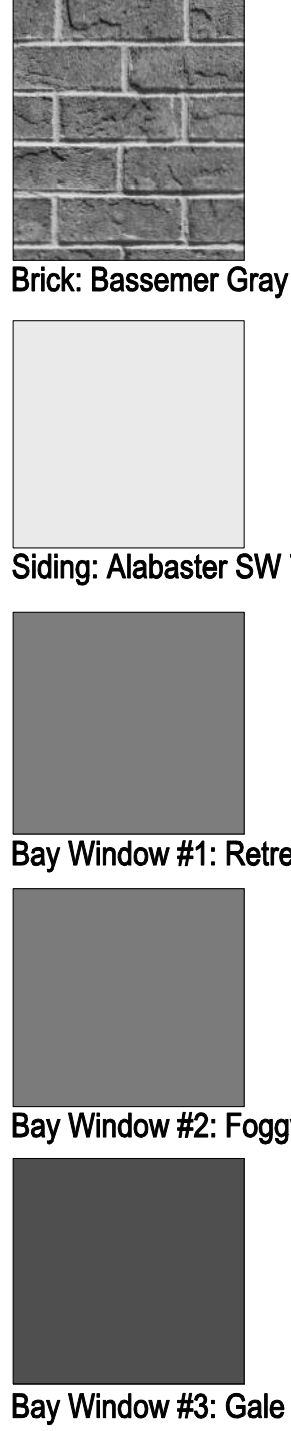
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- OTHER:
- Front Door: White
 - Windows: Black
 - Gutters & Downspouts: Black
 - Rails: Black Aluminum
 - Roof: Moire Black
 - Metal Roof: Matte Black



A WEST ELEVATION - BUILDING #10
 1/1000 SCALE 1/8" = 1'-0"

GROSS BUILDING AREA	
UTILITY SHED	67 SF
FIRST FLOOR:	8169 SF
SECOND FLOOR:	8261 SF
THIRD FLOOR:	8261 SF
FOURTH FLOOR:	8261 SF
TERRACE LEVEL:	3135 SF
TOTAL:	36172 SF



B EAST ELEVATION - BUILDING #10
 1/1000 SCALE 1/8" = 1'-0"

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Drawing Title:
BUILDING #10 - FRONT & REAR ELEV.

Client:
STANLEY MARTIN - REGION #3

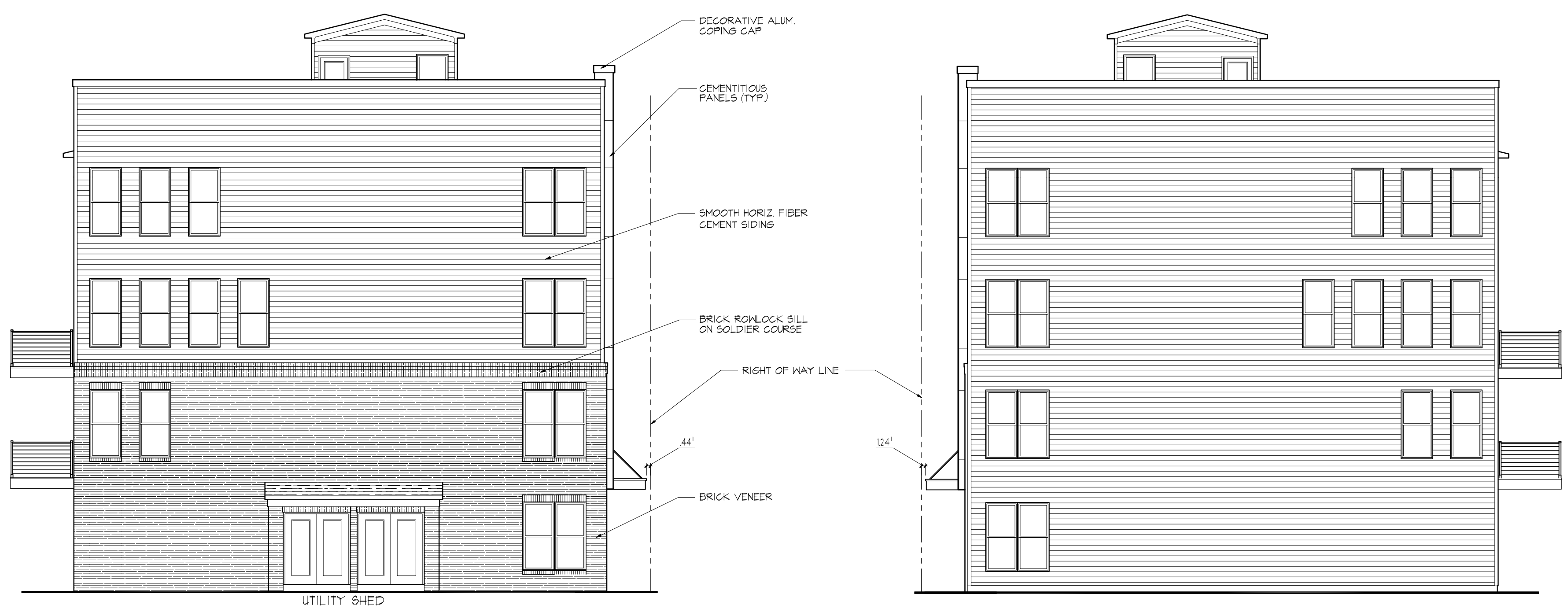
Project:
1761 - TESSA & JULIANE

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1/1000

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B NORTH ELEVATION - BUILDING #10
1/8" = 1'-0"

A SOUTH ELEVATION - BUILDING #8
1/8" = 1'-0"

Drawing Title:
 BUILDING #10 - SIDE ELEVATIONS

Client:
STANLEY MARTIN - REGION #3
Project:
1761 - TESSA & 1762 - JULIANNE

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