

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☒ Tier Three Site Plan ☐	
Building Type	Site Transaction History
☐ Detached	☒ General
☐ Attached	☐ Mixed use
☐ Apartment	☐ Open lot
☐ Townhouse	☐ Civic
Subdivision case #: _____	
Scoping/sketch plan case #: 044-2021	
Certificate of Appropriateness #: _____	
Board of Adjustment #: _____	
Zoning Case #: _____	
Administrative Alternate #: _____	
GENERAL INFORMATION	
Development name: ARC-3 Building Addition	
Inside City limits? Yes ☒ No ☐	
Property address(es): 3401 S. Wilmington Street	
Site P.I.N.(s): 1733349172	
Please describe the scope of work. Include any additions, expansions, and change of use. Remove existing driveway and adjust parking to 10' off Sherwee Drive ROW to accommodate a 4,180 sf building addition to the existing building.	
Current Property Owner/Developer Contact Name: Gary Cleveland NOTE: please attach purchase agreement when submitting this form.	
Company: Machine & Welding Supply Co., dba ARC3 gas Title: Branch Manager	
Address: 3401 S. Wilmington Street, Raleigh, NC 28334	
Phone #: 919-772-9500	Email: _____
Applicant Name: Trenton Stewart, PE	
Company: Arcadia Consulting Engineers, PLLC Address: P.O. Box 2077, Apex, NC 27502	
Phone #: 919-363-1422	Email: trent@arcadiaengineers.com

DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PL	Existing gross floor area (not to be demolished): 5,058 sf
	Existing gross floor area to be demolished: -0-
Gross site acreage: 1.20 ACRES	New gross floor area: 4,180 sf
# of parking spaces required: 14	Total sf gross (to remain and new): 9,238 sf
# of parking spaces proposed: 35	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Light Industrial/Warehouse	
Proposed use (UDO 6.1.4): Light Industrial/Warehouse	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.85 Square Feet: 37,122	Proposed Impervious Surface: Acres: 0.85 Square Feet: 37,014
Is this a flood hazard area? Yes ☐ No ☒	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes ☐ No ☒	Wetlands Yes ☐ No ☒

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes ☐ No ☐

SIGNATURE BLOCK

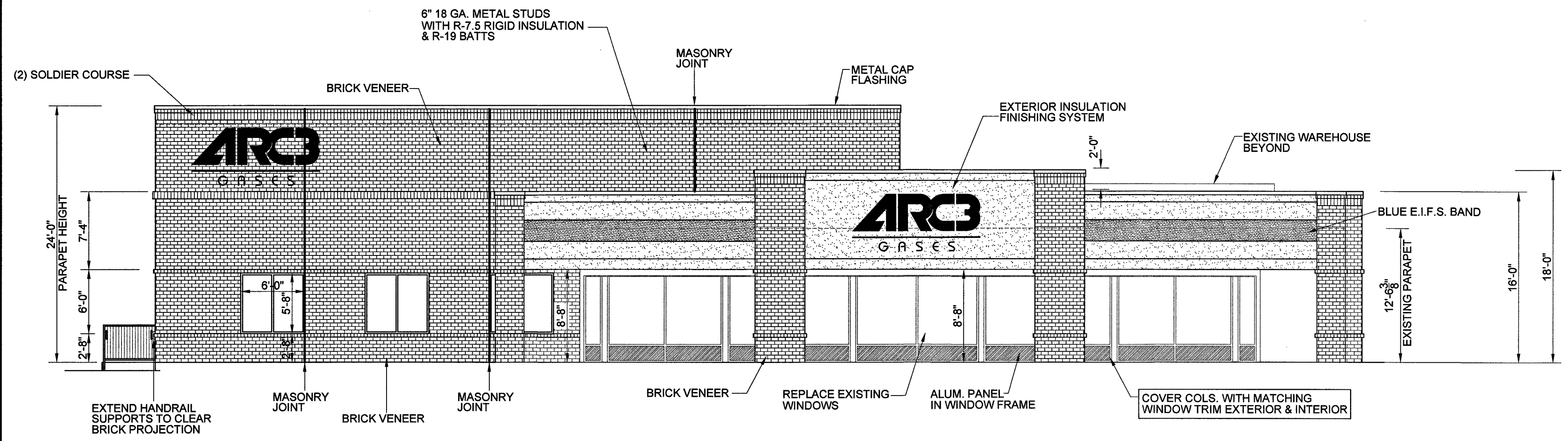
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Trenton Stewart will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

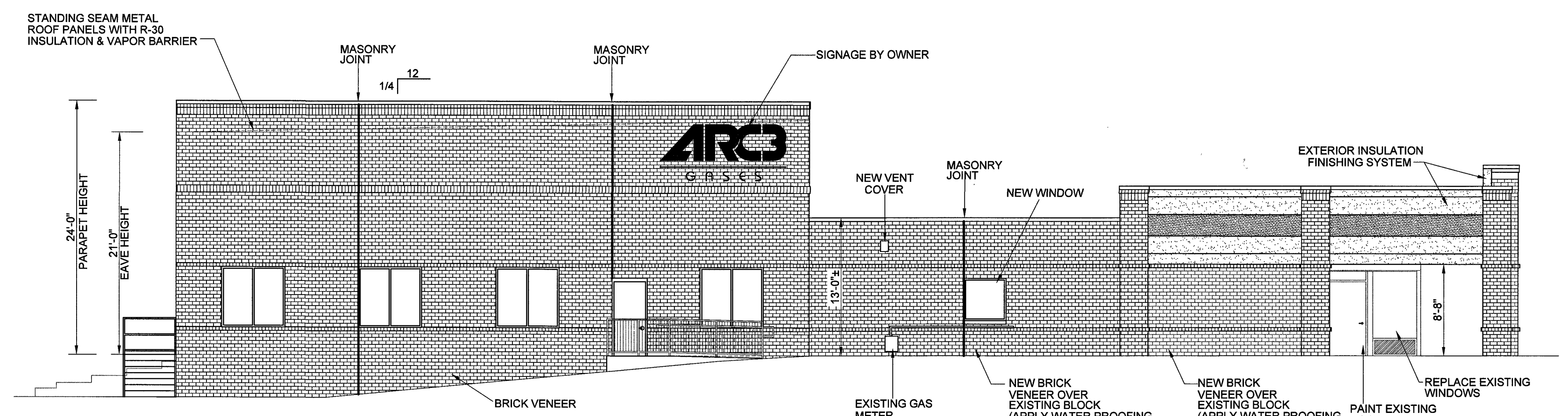
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Trenton D. Stewart
Printed Name: Trenton D. Stewart

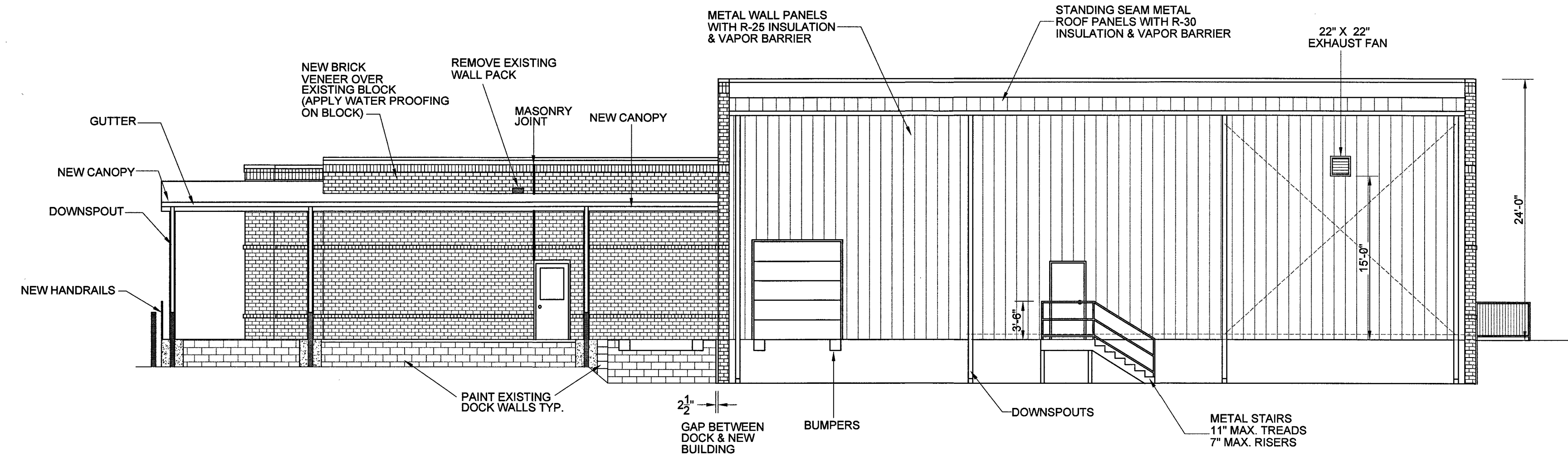
Date: 1-26-2022



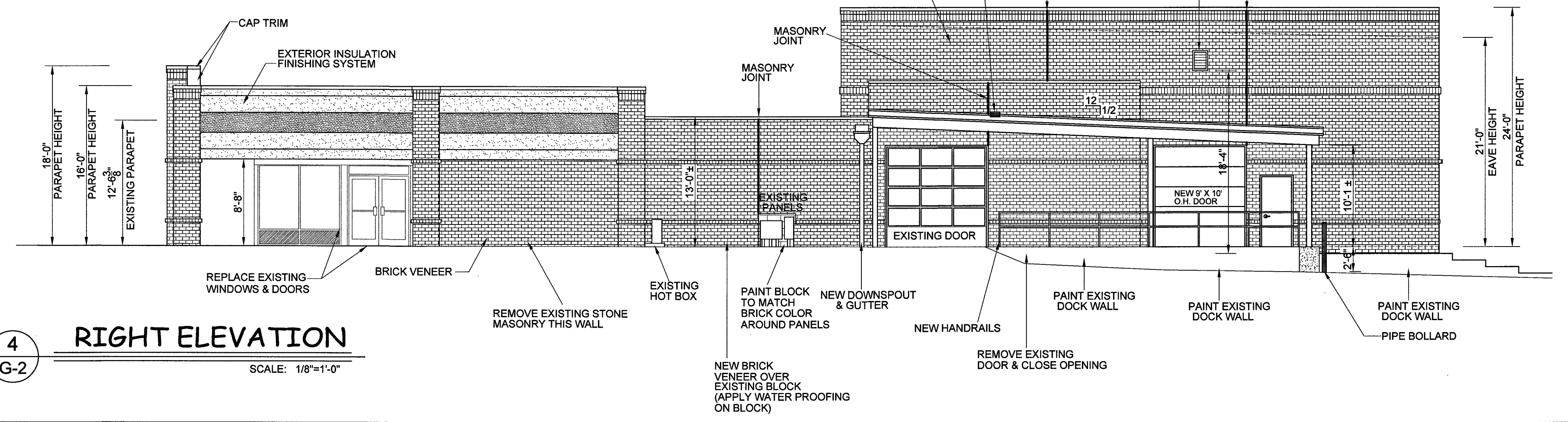
1
G-2
FRONT ELEVATION
SCALE: 1/8"=1'-0"



1
G-2
LEFT ELEVATION
SCALE: 1/8"=1'-0"



3
G-2
REAR ELEVATION
SCALE: 1/8"=1'-0"



4
G-2
RIGHT ELEVATION
SCALE: 1/8"=1'-0"

REV.	DATE	DESCRIPTION