

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) and [TC-11-21](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Moe's & Brunches

Inside City limits? Yes No

Property address(es): **7851 Target Circle**

Site P.I.N.(s): 1727704753

Please describe the scope of work. Include any additions, expansions, and change of use.
 One new eating establishment with drive-through with associated utilities and parking.
 One new eating establishment with associated utilities and parking.

Current Property Owner/Developer Contact Name: Andrew Bullard II
NOTE: please attach purchase agreement when submitting this form.

Company: C-Net Properties, LLC | Title: Member

Address: 1009 Manor Glen Way, Raleigh, NC 27615

Phone #: 919-847-5574 | Email: andrew@br1980.com

Applicant Name: Jeff Jones

Company: Commercial Site Design | Address: 8312 Creedmoor Road, Raleigh, NC 27613

Phone #: 919-848-6121 | Email: *jjones@sambatek.com*

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-4-CU	Existing gross floor area (not to be demolished): N/A
	Existing gross floor area to be demolished: N/A
Gross site acreage: 1.08	New gross floor area: 2,500 and 6,500 = 9,000
Maximum # of parking spaces: 41	Total sf gross (to remain and new): 9,000
# of parking spaces proposed: 41	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Eating Establishment	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>.08</u> Square Feet: <u>3,689</u>	Proposed Impervious Surface: Acres: <u>.84</u> Square Feet: <u>36,996</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

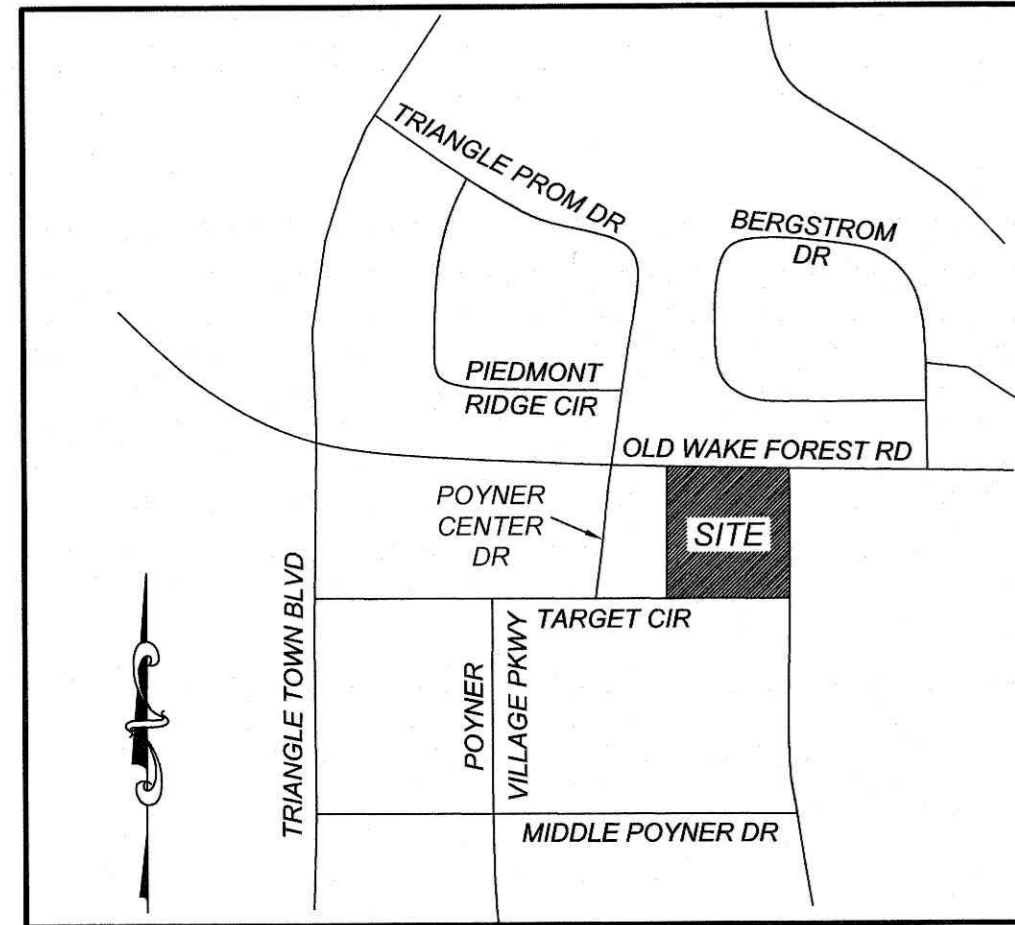
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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Andrew Bullard II will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u>Andrew Bullard II</u>	Date: <u>10/4/22</u>
Printed Name: Andrew Bullard II - C-NET Properties, LLC	



VICINITY MAP
1" = 500'



& BRUNCHES

BULLARD RESTAURANT GROUP
9131 ANSON WAY, # 305
RALEIGH, NORTH CAROLINA 27615

ADMINISTRATIVE SITE PLAN CASE NUMBER: ASR-____-2022

SITE ADDRESS: 7851 TARGET CIRCLE
RALEIGH, NORTH CAROLINA

CSD PROJECT NUMBER: BUL-2202

SITE INFORMATION																
OWNER:	C-NET PROPERTIES, LLC 1009 MANOR GLEN WAY RALEIGH, NC 27615															
DEVELOPER:	BULLARD RESTAURANT GROUP 9131 ANSON WAY, #305 RALEIGH, NC 27615															
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121															
ZONING:	CX-4-CU															
EXISTING USE:	VACANT															
PROPOSED USE:	EATING ESTABLISHMENT WITH DRIVE THRU															
SITE ADDRESS:	7851 TARGET CIRCLE															
PARCEL IDENTIFICATION NUMBER:	1727-70-4753															
PARKING REQUIREMENTS:	MAX = SPACE PER 100 SF OF GROSS FLOOR AREA (MOE'S) 2,487 SF / 100 SF = 25 SPACES (BRUNCHES) 3,953 SF / 100 SF = 40 SPACES 65 SPACES TOTAL (MAXIMUM)															
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AMENITY AREA:	REQUIRED = 10 % OR 4,700 SF PROVIDED = 10 % OR 2,554 SF															
TREE CONSERVATION AREA:	NOT REQUIRED - LESS THAN 2 ACRES															

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

REVISIONS:

NO.	DATE	DESCRIPTION	BY



STORMWATER NARRATIVE:

THE DEVELOPMENT OF THIS SITE WILL RESULT IN THE ADDITION OF 33,032 SF OF IMPERVIOUS SURFACE AREA. THE PROPERTY IS PART OF AN OVERALL DEVELOPMENT WHICH HAS STORMWATER QUALITY AND QUANTITY TREATMENT DEVICES.

NOTE:
ALL PRIVATE STORM DRAINAGE & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

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Building Type	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision case #: _____ Scoping/stitch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____

GENERAL INFORMATION

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 Inside City limits? Yes No
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 Address: 1009 Manor Glen Way, Raleigh, NC 27615
 Phone #: 919-847-5574 Email: andrew@br1980.com
 Applicant Name: Jeff Jones
 Company: Commercial Site Design Address: 8312 Creedmoor Road, Raleigh, NC 27613
 Phone #: 919-848-6121 Email: jones@csitedesign.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
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Gross site acreage: 1.08	New gross floor area: 2,500 and 6,500 = 9,000
Maximum # of parking spaces: 41	Total # of gross (to remain and new): 9,000
# of parking spaces proposed: 41	Proposed # of buildings: 1
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Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Eating Establishment	

STORMWATER INFORMATION

Existing Impervious Surface:
 Acres: .08 Square Feet: 3,689 Proposed Impervious Surface:
 Acres: .04 Square Feet: 36,998
 Is this a flood hazard area? Yes No
 If yes, please provide:
 Alluvial soils: _____
 Flood study: _____
 FEMA Map Panel #: _____
 Neuse River Buffer Yes No Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
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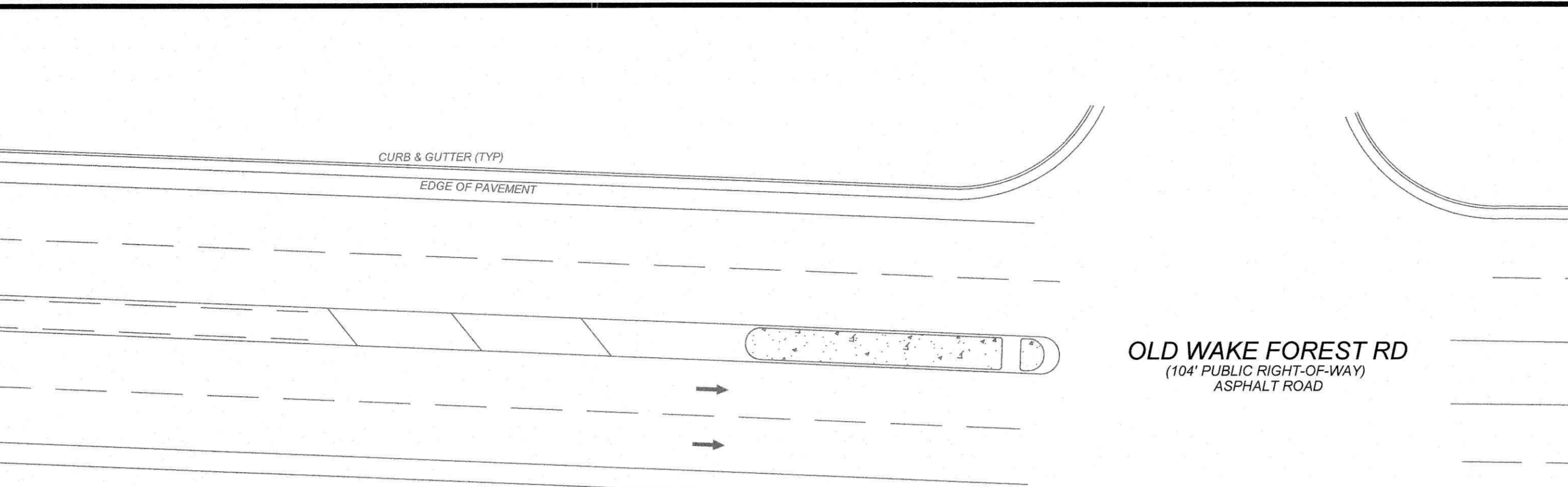
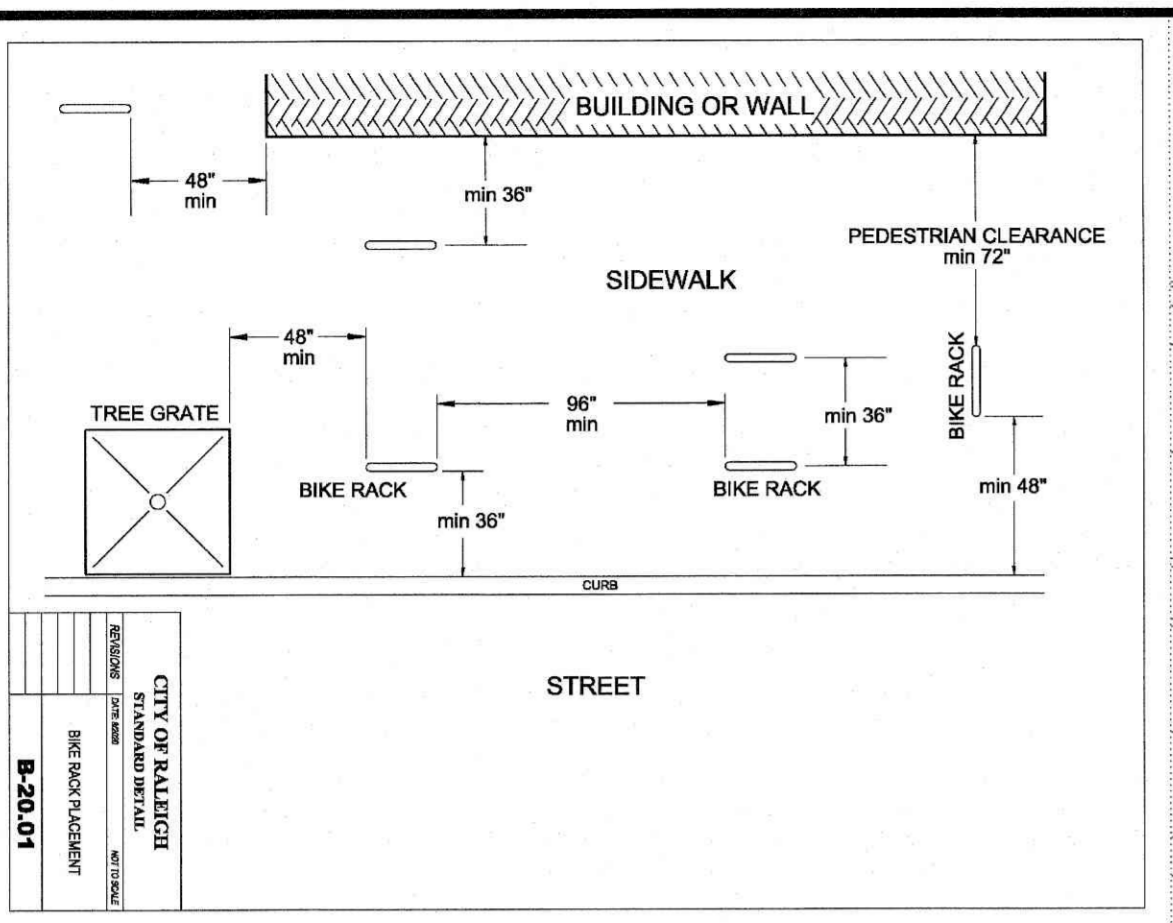
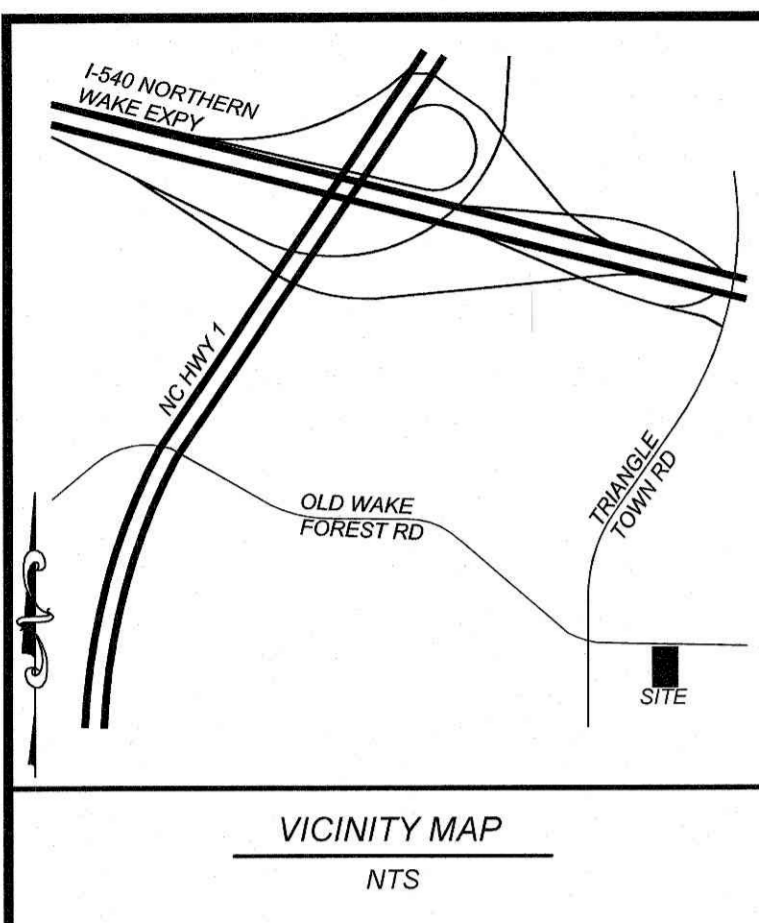
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Signature: [Signature] Date: 10/4/22
 Printed Name: Andrew Bullard II - C-NET Properties, LLC



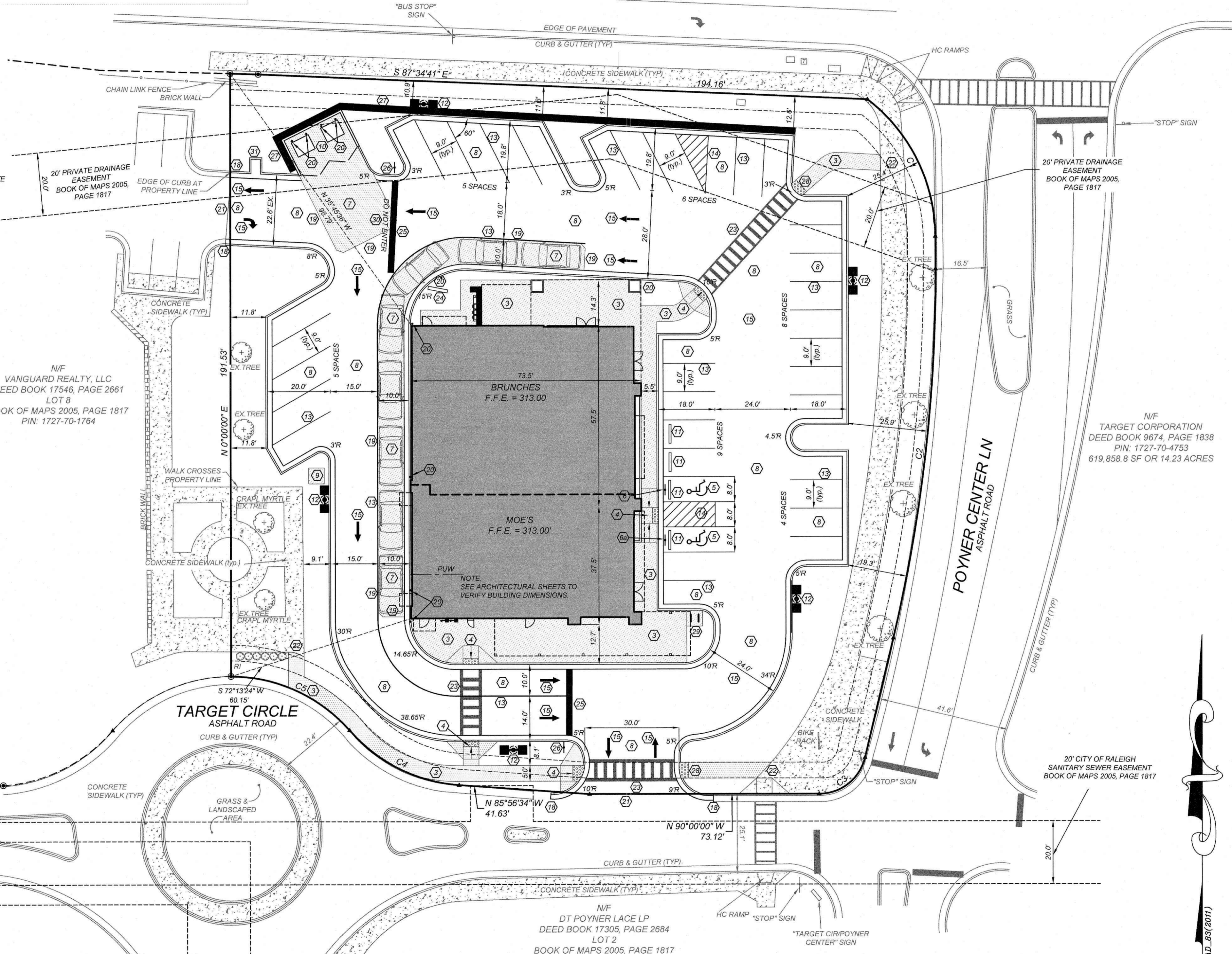
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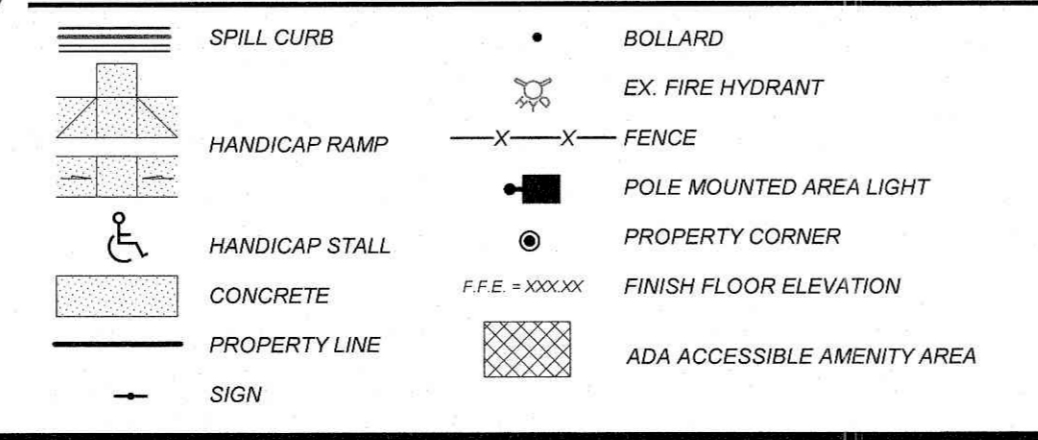
SITE KEYNOTES:

- 1) CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2) CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3) CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- 4) CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- 5) HANDICAP PARKING STALL
- 6) INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 7) INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- 8) CONCRETE PAVEMENT PER DETAIL SHEET
- 9) ASPHALT PAVEMENT PER DETAIL SHEET
- 10) TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- 11) CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- 12) CONCRETE WHEEL STOP PER DETAIL SHEET
- 13) POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 14) PAINT 4" WIDE STRIPE, WHITE
- 15) PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- 16) PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 17) SITE IDENTIFICATION SIGN
- 18) CONCRETE VALLEY GUTTER PER DETAIL SHEET
- 19) MATCH EXISTING CURB & GUTTER
- 20) ASPHALT/CONCRETE TRANSITION PER DETAIL SHEET
- 21) INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- 22) MATCH EXISTING ASPHALT PAVEMENT
- 23) MATCH EXISTING CONCRETE SIDEWALK
- 24) PAINT CROSSWALK PER DETAIL SHEET
- 25) MENU BOARD, COORDINATE WITH OWNER
- 26) PAINT 24" STOP BAR PER MUTCD AND DOT SPECIFICATIONS
- 27) INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT SPECIFICATIONS
- 28) RETAINING WALL/HANDRAIL DESIGNED BY OTHERS
- 29) ADA DETECTABLE WARNING
- 30) BIKE RACK PER CITY DETAILS
- 31) PAINT "DO NOT ENTER" SIGN PER MUTCD AND DOT SPECIFICATIONS
- 32) CONCRETE FLUME PER DETAIL SHEET

SITE INFORMATION																
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DEVELOPER:	BULLARD RESTAURANT GROUP 9131 ANSON WAY, #305 RALEIGH, NC 27615															
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SITE LEGEND



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C1	50.23'	55.00'	52.32°	N26°19'12"W	48.50'	27.02'
C2	118.33'	500.00'	13.56°	N6°37'15"E	118.05'	59.44'
C3	20.06'	15.00'	76.63°	N51°42'33"E	18.60'	11.85'
C4	39.96'	51.00'	44.90°	S63°29'32"E	38.95'	21.07'
C5	42.73'	50.00'	48.96°	N65°31'16"W	41.44'	22.77'

GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN, 8312 CREEDMOOR ROAD, RALEIGH, NORTH CAROLINA 27613, PHONE: (919) 848-6121.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS OWN TIME AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NC "ONE CALL" AT 800-432-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, OR EXCEPTED LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN
A Sambatek Company
892 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27615
919 848-6121 FAX: 919 848-3741
WWW.CSITDESIGN.COM

CLIENT:
BULLARD RESTAURANT GROUP
9131 ANSON WAY
SUITE 305
RALEIGH, NC 27615

PROJECT NO: BUL-2202
FILENAME: BUL-2202-SP
DRAWN BY: RCN
SCALE: 1" = 20'
DATE: 05-23-2022
SHEET NO: C-3

X:\BUL - Bullard, Inc\2202 - Raleigh @ Triangle Town\CAD\ASR Plan Set\BUL-2202-SP.dwg, 12/14/2022 2:53:47 PM, chris

ELEVATION NOTES:

- 1 DARK BRONZE STOREFRONT SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
- 2 EXTERIOR WALL SIGNAGE UNDER SEPARATE PERMIT AND TO BE PROVIDED BY TENANT'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE EMPTY J-BOX AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELEC DWGS.
- 3 METAL CANOPY PROVIDE & INSTALLED BY GENERAL CONTRACTOR - UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED.
- 4 HOLLOW METAL DOOR & FRAME, PAINT DOORS AND FRAMES - PAINTED AS SHOWN. REFER TO DRAWING A601.
- 5 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
- 6 LINE OF ROOF BEYOND
- 7 METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR. 24 GAUGE - REFER TO DETAILS ON DRAWING A501.
- 8 "KNOX BOX" INSTALLED ON SIDE OF BRICK PIER PER LOCAL AUTHORITY REQUIREMENTS.
- 9 EMERGENCY LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
- 10 DECORATIVE EXTERIOR LIGHTS - REFER TO ELECTRICAL DRAWINGS.
- 11 EXTERIOR WALL PACK LIGHT - REFER TO ELECTRICAL DRAWINGS.
- 12 METAL OVERFLOW DECORATIVE NOZZLE FLANGE - REFER DETAIL 2/A502.
- 13 GAS METERS - REFER TO PLUMBING DRAWINGS.
- 14 INTERIOR ROOF DRAINS TO TIE TO STORM DRAIN - REFER CIVIL DRAWINGS BY OTHERS. REFER TO DETAIL 2/A502.
- 15 E.I.F.S. "V" GROOVE JOINT- REFER TO DETAIL 3/A501.
- 16 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT - REFER TO WINDOW SCHEDULE AND STRUCTURAL DRAWINGS.
- 17 WOOD BEAM WRAPPED IN BREAK METAL TO MATCH STOREFRONT - REFER TO STRUCTURAL DRAWINGS.
- 18 4x4 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT BETWEEN SUN SHADES.
- 19 20 GAUGE BREAK METAL TO MATCH STOREFRONT OVER SHEATHING BETWEEN LOWER AND UPPER WINDOWS AT MAIN WALL BEYOND.

EXTERIOR MATERIAL:

EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)	
E-1	TYPE: EIFS MANUFACTURER: DRYVIT COLOR: 627A TWILIGHT GRAY FINISH: SANDPABLE FINE STYLE: OUTSULATION LCM0-3
METAL	
M-1	TYPE: 2-PIECE SNAP-ON COMPRESSION EDGING MANUFACTURER: FIRESTONE UNA-CLAD COLOR: EXTRA DARK BRONZE
M-2	TYPE: METAL CANOPY MANUFACTURER: BY GENERAL CONTRACTOR COLOR: EXTRA DARK BRONZE
LIGHTING	
L-1	EXTERIOR LIGHTING TYPE: CYLINDER LIGHT SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
L-2	EXTERIOR LIGHTING TYPE: HALF ROUND SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
L-3	EXTERIOR LIGHTING TYPE: EMERGENCY FIXTURE SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
METAL LOUVERS	
ML-1	TYPE: CUSTOM SUNSHADE LOUVERS MANUFACTURER: ARCHITECTURAL LOUVERS COLOR: DARK BRONZE (TO MATCH STOREFRONT)

PAINT

P-1	TYPE: PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7030 "ANEW GRAY"
-----	--

BRICK VENEER

B-1	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GLEN-GERY COLOR: EBONITE VELOUR GROUT: DARK GRAY
B-2	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: TRIANGLE BRICK COLOR: EVELYN BAY GRAY GROUT: LIGHT GRAY
B-2A	TYPE: ROWLOCK WITH 3/8" JOINT MANUFACTURER: TRIANGLE BRICK COLOR: EVELYN BAY GRAY GROUT: LIGHT GRAY

STONE VENEER

ST-1	TYPE: THIN MANUFACTURED STONE VENEER MANUFACTURER: PRESTIGE STONE COLOR: QUARRY CUT PORTLAND MIST GROUT: GRAY
------	--

SIDING

SD-1	TYPE: VINTAGEWOOD SIDING WITH BUILT-IN RAIN SCREEN MANUFACTURER: NICHHA COLOR: CEDAR
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STOREFRONT

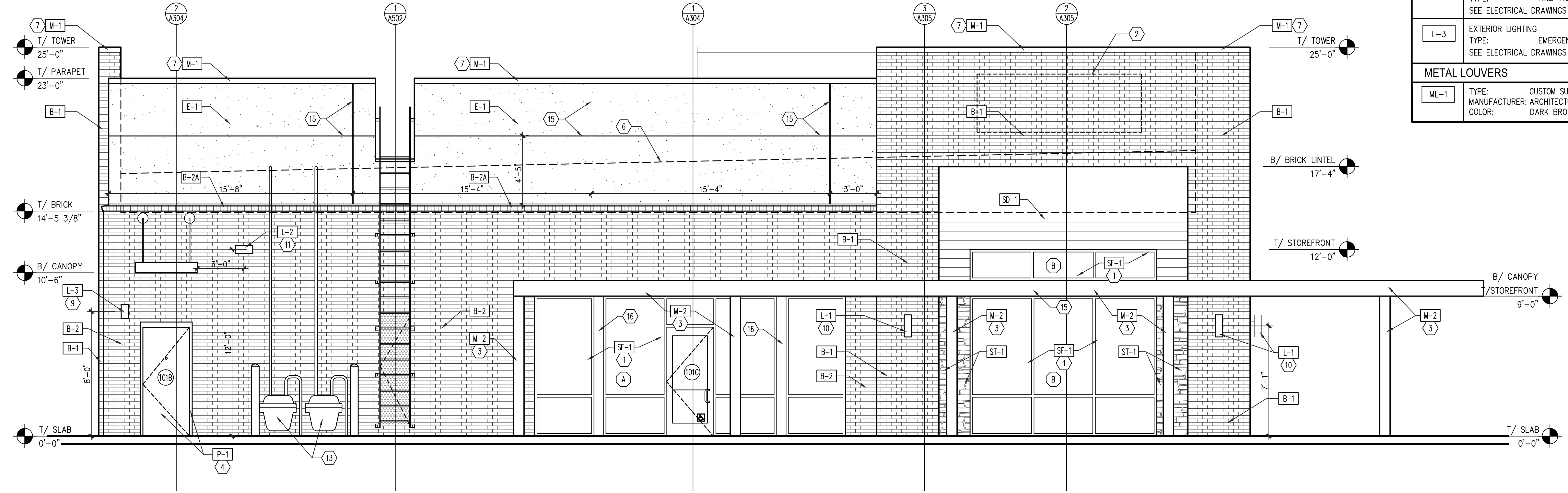
SF-1	TYPE: THERMALLY BROKEN ALUMINUM FRAME WITH INSULATED GLAZING MANUFACTURER: KANWEER COLOR: DARK BRONZE
------	---

GENERAL NOTES:

- 1. NEW SIGNAGE AND CANOPIES BY TENANT - TO BE FILED UNDER SEPARATE PERMIT - TYPICAL
- 2. SUBMIT CANOPY SHOP DRAWINGS TO ARCHITECT FOR APPROVAL
- 3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.

LMHT Project No. 22248
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LMHT ASSOCIATES
7208 ACC BLVD., 2ND FLOOR.
FALEIGH, NC 27616
PHONE: 919.444.0397 FAX: 919.544.9399

FOR REVIEW ONLY
THIS DRAWING SET AND ASSOCIATED DOCUMENTS INDICATES THE GENERAL INTENT AND SCOPE OF THE PROJECT AT THE COMPLETION OF THIS DESIGN PHASE. THE FINAL DESIGN DOCUMENTATION HAS NOT BEEN COMPLETED. THEREFORE, THE INFORMATION PROVIDED MAY NOT BE COMPLETE OR FULLY COORDINATED. THE CONTRACTOR/SUPPLIER IS RESPONSIBLE FOR COMPLETE AND COORDINATED PRICING AND SHALL INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED HEREIN, IN A SUCCESSFUL MANNER, WHETHER INDICATED OR NOT.

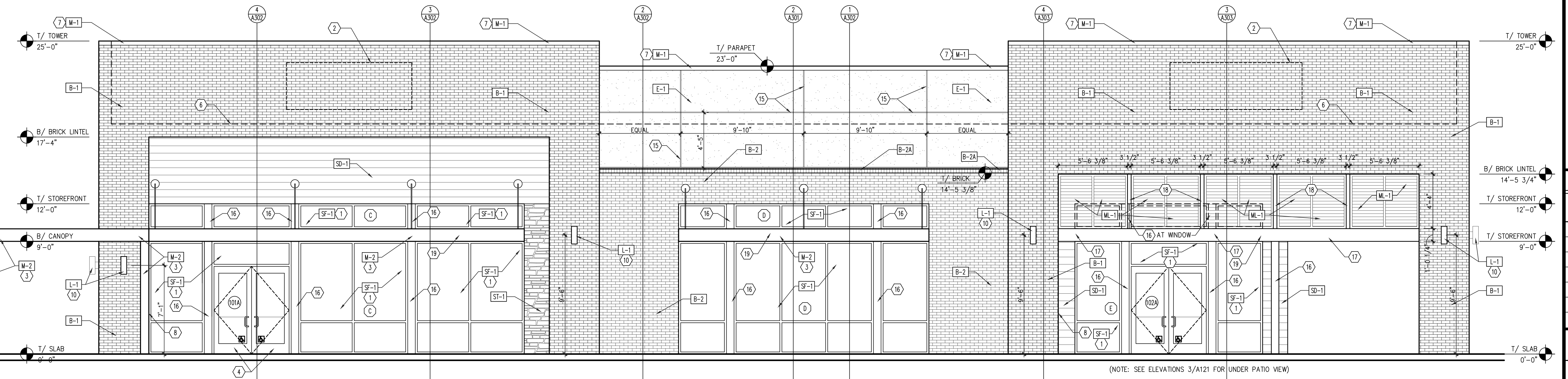


2 LEFT (SOUTH) ELEVATION
A201 SCALE: 1/4" = 1'-0"

CONCEPTUAL ELEVATIONS

I APPROVE THE ELEVATIONS FOR THE SITE AS SHOWN.

OWNER SIGNATURE/DATE _____
PRINT NAME AS SIGNED _____



1 FRONT (EAST) ELEVATION
A201 SCALE: 1/4" = 1'-0"

NOTE: ALL GLASS ON THIS ELEVATION COMPLIES WITH UDO SECTION 1.5.9.B.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%.

TRANSPARENCY CALCULATIONS

GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0"	
TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	1,226 SQ. FT.
50% TOTAL TRANSPARENCY REQUIRED ON RIGHT ELEVATION	613 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	721 SQ. FT.
50% OF THE 50% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	307 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 3'-0" TO 8'-0"	327 SQ. FT.

PROJECT: **RETAIL SHOPS**
7851 TARGET CIRCLE
FALEIGH, NC 27616
DRAWING: **EXTERIOR ELEVATIONS**

Revisions

REVISION DATE

PROJECT DATE
09/29/2022
Drawn By
MTP
Checked By
GRL
Sheet No.
A201

ELEVATION NOTES:

- 1 DARK BRONZE STOREFRONT SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
- 2 EXTERIOR WALL SIGNAGE UNDER SEPARATE PERMIT AND TO BE PROVIDED BY TENANT'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE EMPTY J-BOX AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELEC DWGS.
- 3 METAL CANOPY PROVIDE & INSTALLED BY GENERAL CONTRACTOR - UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED.
- 4 HOLLOW METAL DOOR & FRAME, PAINT DOORS AND FRAMES - PAINTED AS SHOWN. REFER TO DRAWING A601.
- 5 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
- 6 LINE OF ROOF BEYOND
- 7 METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR. 24 GAUGE - REFER TO DETAILS ON DRAWING A501.
- 8 "KNOX BOX" INSTALLED ON SIDE OF BRICK PIER PER LOCAL AUTHORITY REQUIREMENTS.
- 9 EMERGENCY LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
- 10 DECORATIVE EXTERIOR LIGHTS - REFER TO ELECTRICAL DRAWINGS.
- 11 EXTERIOR WALL PACK LIGHT - REFER TO ELECTRICAL DRAWINGS.
- 12 METAL OVERFLOW DECORATIVE NOZZLE FLANGE - REFER DETAIL 2/A502.
- 13 GAS METERS - REFER TO PLUMBING DRAWINGS.
- 14 INTERIOR ROOF DRAINS TO BE TO STORM DRAIN - REFER CIVIL DRAWINGS BY OTHERS. REFER TO DETAIL 2/A502.
- 15 E.I.F.S. "V" GROOVE JOINT- REFER TO DETAIL 3/A501.
- 16 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT - REFER TO WINDOW SCHEDULE AND STRUCTURAL DRAWINGS.
- 17 WOOD BEAM WRAPPED IN BREAK METAL TO MATCH STOREFRONT - REFER TO STRUCTURAL DRAWINGS.
- 18 8x4 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT BETWEEN SUN SHADES.
- 19 20 GAUGE BREAK METAL TO MATCH STOREFRONT OVER SHEATHING BETWEEN LOWER AND UPPER WINDOWS AT MAIN WALL BEYOND.

EXTERIOR MATERIAL:

- EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)**
- E-1 TYPE: EIFS
MANUFACTURER: DRYVIT
COLOR: 627A TWILIGHT GRAY
FINISH: SANDPABLE FINE
STYLE: OUTSULATION LCMD-3
- METAL**
- M-1 TYPE: 2-PIECE SNAP-ON COMPRESSION EDGING
MANUFACTURER: FIRESTONE UNA-CLAD
COLOR: EXTRA DARK BRONZE
 - M-2 TYPE: METAL CANOPY
MANUFACTURER: BY GENERAL CONTRACTOR
COLOR: EXTRA DARK BRONZE
- LIGHTING**
- L-1 EXTERIOR LIGHTING
TYPE: CYLINDER LIGHT
SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
 - L-2 EXTERIOR LIGHTING
TYPE: HALF ROUND
SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
 - L-3 EXTERIOR LIGHTING
TYPE: EMERGENCY FIXTURE
SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
- METAL LOUVERS**
- ML-1 TYPE: CUSTOM SUNSHADE LOUVERS
MANUFACTURER: ARCHITECTURAL LOUVERS
COLOR: DARK BRONZE (TO MATCH STOREFRONT)

PAINT

- P-1 TYPE: PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW7030 "ANEW GRAY"
- BRICK VENEER**
- B-1 TYPE: TRAD. BRICK WITH 3/8" JOINT
MANUFACTURER: GLEN-GERY
COLOR: EBONITE VELOUR
GROUT: DARK GRAY
 - B-2 TYPE: TRAD. BRICK WITH 3/8" JOINT
MANUFACTURER: TRIANGLE BRICK
COLOR: EVELYN BAY GRAY
GROUT: LIGHT GRAY
 - B-2A TYPE: ROWLOCK WITH 3/8" JOINT
MANUFACTURER: TRIANGLE BRICK
COLOR: EVELYN BAY GRAY
GROUT: LIGHT GRAY
- STONE VENEER**
- ST-1 TYPE: THIN MANUFACTURED STONE VENEER
MANUFACTURER: PRESTIGE STONE
COLOR: QUARRY CUT PORTLAND MIST
GROUT: GRAY
- SIDING**
- SD-1 TYPE: VINTAGEWOOD SIDING WITH BUILT-IN RAIN SCREEN
MANUFACTURER: NICHHA
COLOR: CEDAR
- STOREFRONT**
- SF-1 TYPE: THERMALLY BROKEN ALUMINUM FRAME WITH INSULATED GLAZING
MANUFACTURER: KANWEER
COLOR: DARK BRONZE

GENERAL NOTES:

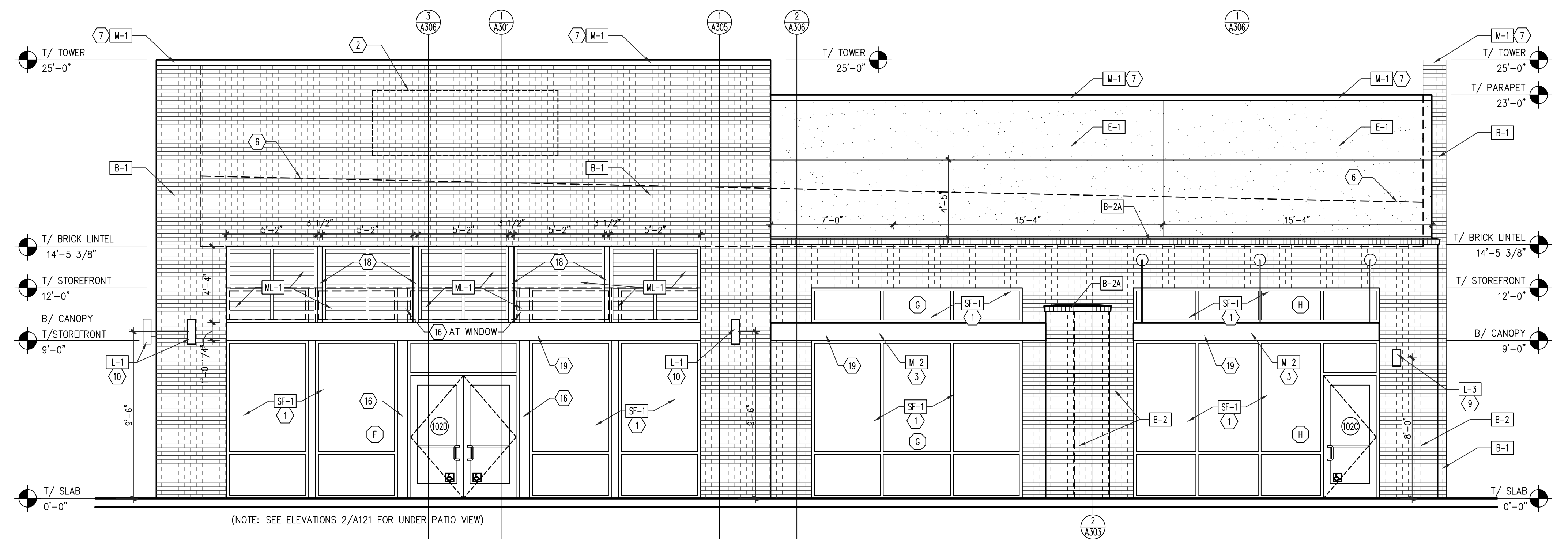
1. NEW SIGNAGE AND CANOPIES BY TENANT - TO BE FILED UNDER SEPARATE PERMIT - TYPICAL
2. SUBMIT CANOPY SHOP DRAWINGS TO ARCHITECT FOR APPROVAL
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.

TRANSPARENCY CALCULATIONS

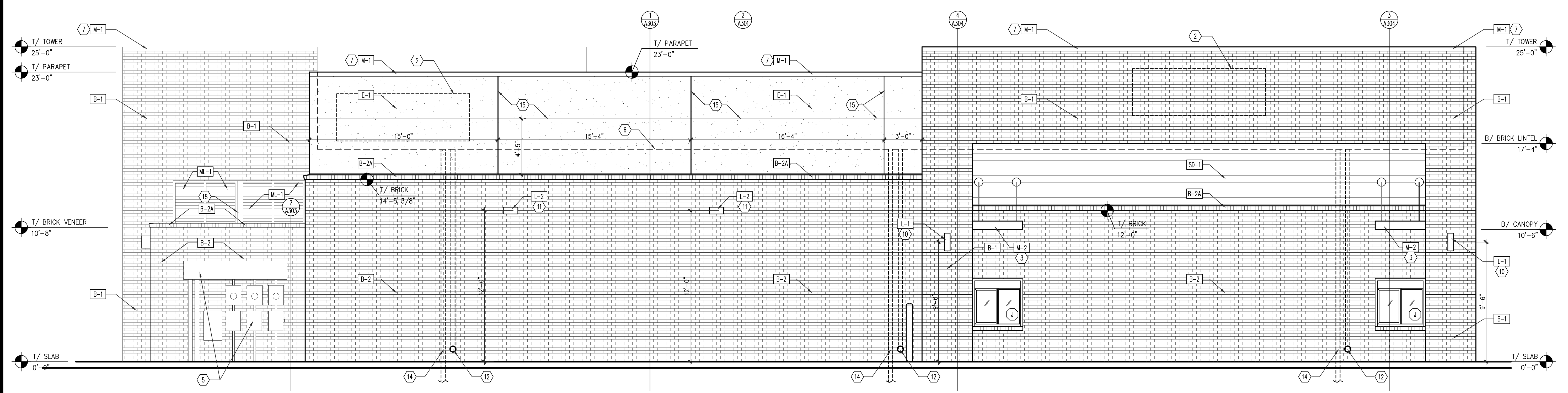
GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0"

TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	876 SQ. FT.
50% TOTAL TRANSPARENCY REQUIRED ON RIGHT ELEVATION	438 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	583 SQ. FT.
50% OF THE 50% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	219 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 3'-0" TO 8'-0"	265 SQ. FT.

NOTE: ALL GLASS ON THIS ELEVATION COMPLIES WITH UDO SECTION 1.5.9.B.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%.



2 RIGHT (NORTH) ELEVATION
A202 SCALE: 1/4" = 1'-0"



1 REAR (WEST) ELEVATION
A202 SCALE: 1/4" = 1'-0"

CONCEPTUAL ELEVATIONS

I APPROVE THE ELEVATIONS FOR THE SITE AS SHOWN.

OWNER SIGNATURE/DATE _____

PRINT NAME AS SIGNED _____

LMHT Project No. 22248

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LMHT ASSOCIATES

7208 ACC BLVD., 2ND FLOOR,
FARMINGTON, NC 27834
PHONE: 919.844.0397 FAX: 919.844.9399

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PROJECT: **RETAIL SHOPS**
7851 TARGET CIRCLE
FALEIGH, NC 27616
DRAWING: **EXTERIOR ELEVATIONS**

Revisions	
REVISION	DATE

PROJECT DATE: 09/29/2022
Drawn By: MTP
Checked By: GRL
Sheet No. **A202**