



# Administrative Approval Action

Case File / Name: ASR-0011-2020  
1209 RIDGE ROAD MIXED USE

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** The .47 acre site zoned OX-3-UL CU (Z-31-18) is located on the west side of Ridge Road, just north of the intersection of Ridge Road and Wade Avenue at 1209 Ridge Road.
- REQUEST:** The construction of a three story mixed use building consisting of 17 residential units and approximately 3017 SF of retail. The total building size will be 18,150 square feet.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 3, 2020 by JOHN A EDWARDS AND CO.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. The cross access stub is to be extended closer to the adjacent property line and temporary construction easements included outside of the cross access easement that is to extend to the property line with temporary construction easements also shown on the recorded plat for the site.
2. Demonstrate compliance with Raleigh Street Design Manual B-20.01. by providing Bike Rack Placement detail in an inset. Please review the following link for standard detail dimensions: <https://cityofraleigh0drupal.blob.core.usgovcloudapi.net/drupal-prod/COR16/B-20.01.pdf>. Proposed bike spacing must comply with detail. Please provide dimensions on site plan demonstrating compliance.

### **Stormwater**

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. Grading permit must be issued prior to demolition. (UDO 9.4.6)



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Other Requirements

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**General**

1. A recombination map shall be recorded, recombining the existing lots into a single tract as shown on the preliminary plan.

**Engineering**

2. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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6. A cross access agreement among the lots as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

## Stormwater

7. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. A recombination map shall be recorded, recombining the existing lots into a single tract as shown on the preliminary plan.
2. That a Shared services agreement between property owners for solid waste services (with adjacent parcel) is recorded

## Engineering

3. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

### Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Ridge Road.
9. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

### *The following are required prior to issuance of building occupancy permit:*

#### General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

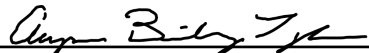
**3-Year Expiration Date:** October 7, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 10/07/2020  
Development Services Dir/Designee

Staff Coordinator: Michael Walters



**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- DEMOLITION INCLUDES REMOVAL OF ALL ON SITE TREES.

**EXISTING IMPERVIOUS AREA:**

BUILDING FOOTPRINT 1,859 SQ. FT.  
 PAVEMENT 2,029 SQ. FT.  
 SHEED 388 SQ. FT.  
 BRICK SIDEWALK 197 SQ. FT.  
 CONCRETE SIDEWALK 143 SQ. FT.  
 AC CONCRETE PAD 750 SQ. FT.  
 TOTAL IMPERVIOUS 4,866 SQ. FT. (0.2289 AC)



**JOHN A. EDWARDS & COMPANY**  
 Consulting Engineers  
 and Land Surveyors

NC License F-0289  
 333 Wade Ave., Raleigh, N.C. 27605  
 Phone: (919) 828-4428  
 Fax: (919) 828-4711  
 E-mail: info@jaeco.com

www.jaeco.com



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NC License F4235  
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**1209 & 1213 RIDGE ROAD & 919 MARILYN DR., RALEIGH, NC 27603**

**CCH PROPERTIES, LLC**

**1209 RIDGE ROAD  
 MIXED USE**

**CCH PROPERTIES, LLC**  
 1213 Ridge Road  
 Raleigh, NC 27619  
 Phone: (919) 787-2599  
 E-Mail: info@cchproperties.com

**ABBREVIATIONS**

EX	EXISTING	TBR	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOR PLAN
APPROX	APPROXIMATE	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
LOC	LOCATION	MAN	MANAGEMENT
BM	BOOK OF MAPS		
DB	DEED BOOK	EMT	EASEMENT
PG	PAGE	TR	TIE LINE
NS	NOW OR FORMERLY	SWM	STORMWATER MANAGEMENT
ROW	RIGHT OF WAY	SF	SQUARE FEET
RFP	RIGHT OF WAY PLAN	AC	ACRE
EMAD	EX MAG NAL	LF	LINEAR FEET
FCM	EX CONCRETE MONUMENT	UGRD	UNDERGROUND
ER	EDGE OF PAVEMENT	DEV	DEVELOPMENT
BFS	BRON FIVE SET	GIS	GEOGRAPHIC INFORMATION SYSTEM
EGOP	EDGE OF PAVEMENT	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
SS	SEWER		
FM	FIRE MAIN		
ELEC	ELECTRIC		
TBR	TO BE REMOVED		

**LEGEND**

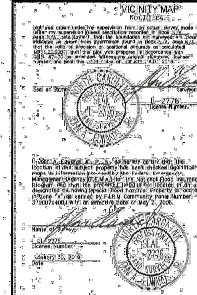
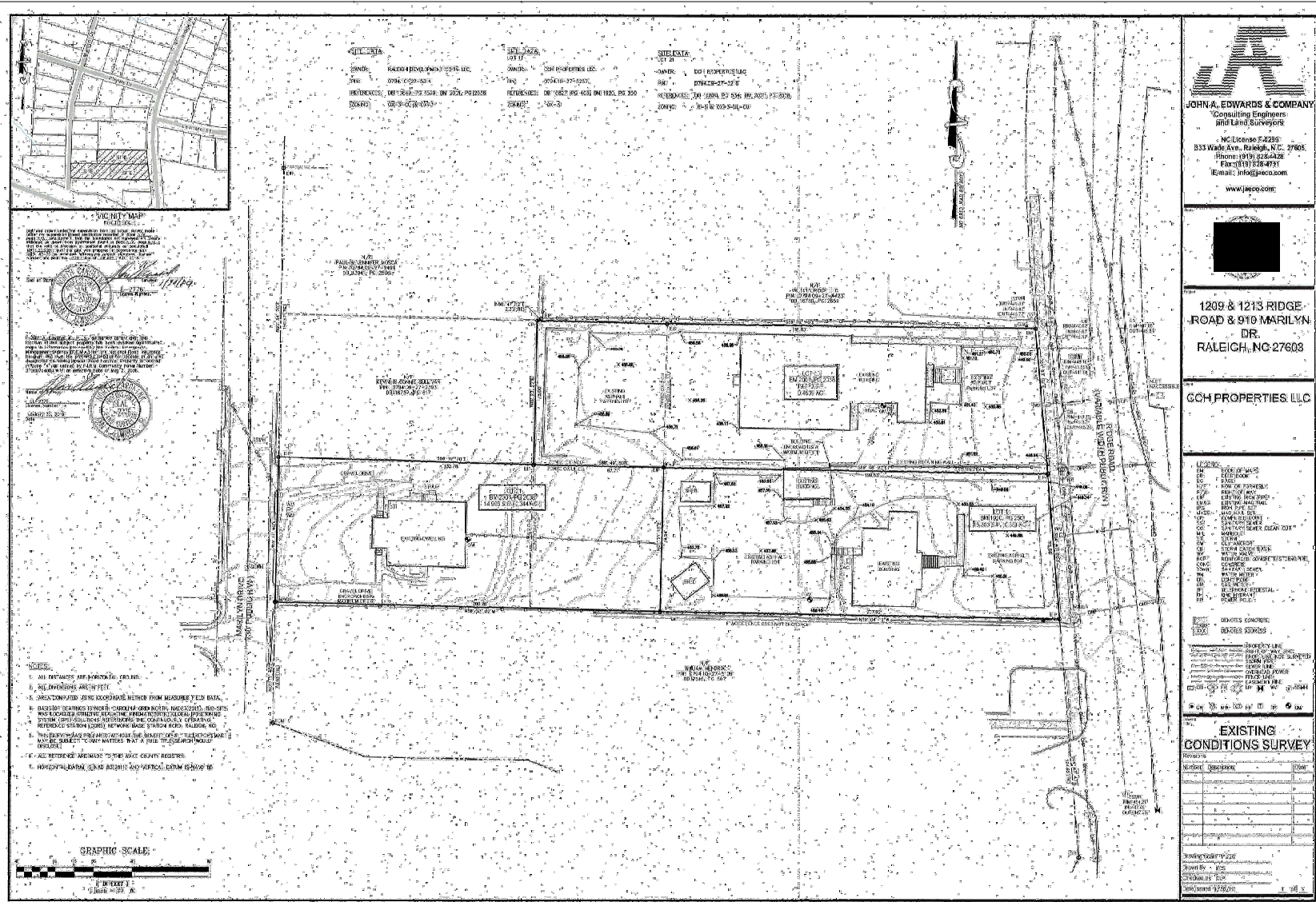
EX PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX EASEMENT	---
EX MAJOR CONTOUR	---
EX MINOR CONTOUR	---
EX FENCE	---
EX WATER LINE	---
EX SEWER LINE	---
EX OVERHEAD LINE	---

**EXISTING CONDITIONS**

Number	Description	Date
1	Revision per City of Raleigh comments	04/27/20
2	Revision per City of Raleigh comments	06/22/20
3	Revision per City of Raleigh comments	09/03/20

WALCO 8-2000S  
 DRAWING SCALE: 1" = 20'  
 DRAWN BY: JD  
 CHECKED BY: JRC  
 DATE ISSUED: 09/10/2020

**C-1**



**EXISTING CONDITIONS SURVEY**

Number	Description	Book

DATE: 09/10/2020  
 TIME: 10:30  
 DRAWN BY: JRC  
 CHECKED BY: JRC  
 DATE ISSUED: 09/10/2020

**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- DEMOLITION INCLUDES REMOVAL OF ALL ON SITE TREES.

**CONSTRUCTION NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 986-2489 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURES MUST BE SUBMITTED 102 DAYS PRIOR TO THE RIGHT-OF-WAY CLOSURES OR 30 DAYS PRIOR TO CONSTRUCTION AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAY@CITYOFRALEIGH.ORG](mailto:RIGHTOFWAY@CITYOFRALEIGH.ORG).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DEVIATIONS. PROGRAM MANAGER ROUTES AND ALTERNATE PROGRAM MANAGER ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

**TRANSPORTATION NOTES:**

- RIGHT-OF-WAY SHALL BE CLEARED AND GRABBED WITHIN 50 FEET OF ALL RESIDENTIAL OR HOUSING UNIT LOCATIONS AND INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRABBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
- HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARDS DETAIL 5-20.2(2).
- SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS RIGHT EASEMENTS. SPALL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
- NO SIGN OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, BEAM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 4 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
- ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED BY CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
- ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSERVANT WITH THE RALEIGH COMPREHENSIVE PLAN REGARDING PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
- UNLESS OTHERWISE SHOWN, TURNOUT RAGE TO BE MINIMUM OF 36' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 36'.

**SOLID WASTE INSPECTIONS STATEMENT**  
DEVELOPER WILL INSTALL DUMPSTER ENCLOSURE.

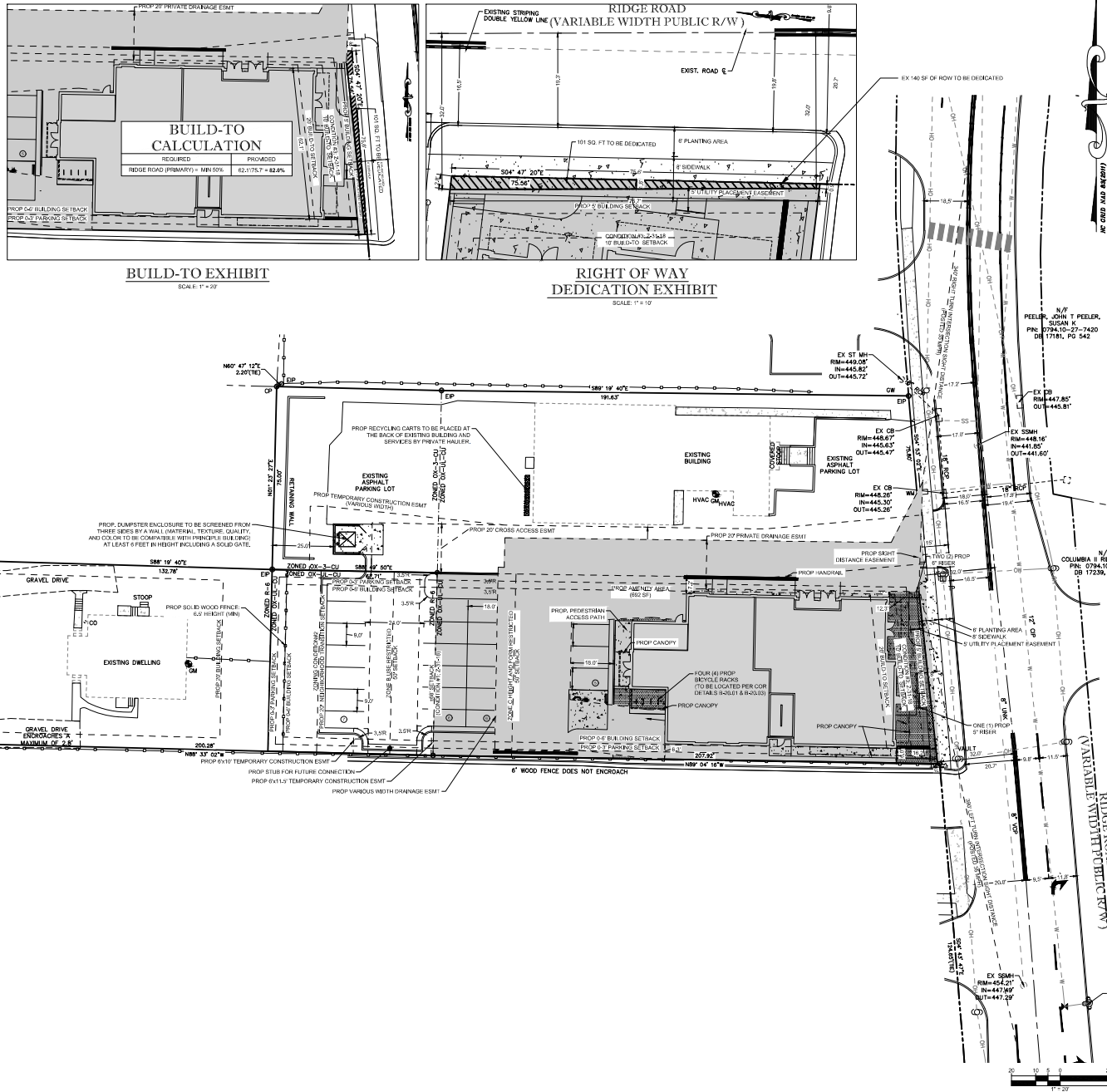
PROPOSED RECYCLING CARTS TO BE PLACED AT THE BACK OF EXISTING BUILDING AND SERVICED BY PRIVATE HAULER.

SOLID WASTE TO BE COLLECTED BY INDIVIDUAL UNITS AND UTILIZED IN THE SHARED SOLID WASTE AREA (DUMPSTER ENCLOSURE) FOR CITY PROVIDED PICKUP ON DESIGNATED DAYS.

CCH PROPERTIES LLC AS OWNER OF 1213 RIDGE ROAD, RALEIGH, NC 27607 WILL PROVIDE CROSS ACCESS TO A SHARED SOLID WASTE AREA LOCATED ADJACENT TO THE APARTMENTS LOCATED AT 1213 RIDGE ROAD AT THE REAR OF THE BUILDING.

**NOTES:**

- 1213 RIDGE ROAD SITE IMPROVEMENTS INCLUDE, BUT NOT LIMITED TO STORMWATER MANAGEMENT, INSTALLATION OF DUMPSTER ENCLOSURE AND RECYCLING CORRAL.
- 910 MARLYN DRIVE REFERENCED IN CURRENT PROJECT DUE TO FUTURE RECOMMENDATION OF MOST PARTITION TO END OF THE DRIVE (10/15/23).
- HOURS OF OPERATION CAN BEGIN NO EARLIER THAT 6 AM AND END NO LATER THAT 11 PM UNLESS ALL DELIVERIES.





**1209 RIDGE ROAD MIXED USE**

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Phone: (919) 787-2599  
E-Mail: [info@cchproperties.com](mailto:info@cchproperties.com)

**ABBREVIATIONS**

EX	EXISTING	TBRL	TO BE RELOCATED
PROP	PROPOSED	FP	FLOODPLAIN
APPROX	APPROXIMATE	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
LOC	LOCATION	EM	EMERGENCY MANAGEMENT
BM	BOOK OF MAPS	TR	TRAIL
DB	DEED BOOK	SWM	STORMWATER MANAGEMENT
PG	PAGE	AC	ACRE
NOW	NOW OR FORMERLY	SM	SQUARE FEET
ROW	RIGHT OF WAY	LF	LINEAR FEET
EPA	EX MAGNITUDE	UOD	UNDERGROUND
ECA	EX CORNER	IS	INTERSECTION
FCM	FEED CORNER	GIS	GEOGRAPHIC INFORMATION SYSTEM
MR	MONUMENT	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
FP	FIRE FIGHTER SET		
EDG	EDGE OF		
PA	PAVEMENT		
SB	SEWER		
FW	FORWARD		
ELEC	ELECTRIC		
TBD	TO BE DETERMINED		
TBR	TO BE REMOVED		

**LEGEND**

---	PROP PROPERTY LINE
- - - -	PROP ESMT
- . - .	PROP SETBACK
----	PROP CURB
- - - - X - - -	EX MAJOR CONTOUR
- - - - X - - -	EX MINOR CONTOUR
- - - - X - - -	EX FENCE

**SITE PLAN**

Revision	Description	Date
1	Revision per City of Raleigh comments	04/27/23
2	Revision per City of Raleigh comments	06/22/23
3	Revision per City of Raleigh comments	09/03/23

PROJECT: 23005  
DRAWING SCALE: 1" = 20'  
DRAWN BY: JD  
CHECKED BY: JRC  
DATE ISSUED: 09/10/2023





JOHN A. EDWARDS & COMPANY  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com



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E-Mail: info@cchproperties.com

ABBREVIATIONS

EX	EXISTING	TBRL	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOR FIN
APPROX	APPROXIMATE	FEMA	FEDERAL
LOC	LOCATION	EMERGENCY	EMERGENCY
SM	BOOK OF MAPS	MANAGEMENT	MANAGEMENT
NS	NEW OR FORMER	TRUCK	TRUCK
PG	PAGE	EMBT	EMERGENCY
DEE	DEED	SWM	STORMWATER
ROW	RIGHT OF WAY	MANAGEMENT	MANAGEMENT
RF	RIGHT OF FIRST REFUSAL	AC	ACREAGE
EMAD	EXHIBIT A MAP	SF	SQUARE FEET
ECM	EXHIBIT C MAP	AC	ACREAGE
FER	FLOOR FIN	LF	LINEAR FEET
ED	EDGE OF DRIVE	UD	UTILITIES
EP	EDGE OF PAVEMENT	DEV	DEVELOPMENT
EP	EDGE OF PAVEMENT	INF	INFRASTRUCTURE
SS	SEWER	GIS	GEOGRAPHIC INFORMATION SYSTEM
FM	FORWARD MAIN	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PH	PHOTODUPLICATION		
ELEC	ELECTRIC		
TBD	TO BE DETERMINED		
TBR	TO BE REMOVED		

LEGEND

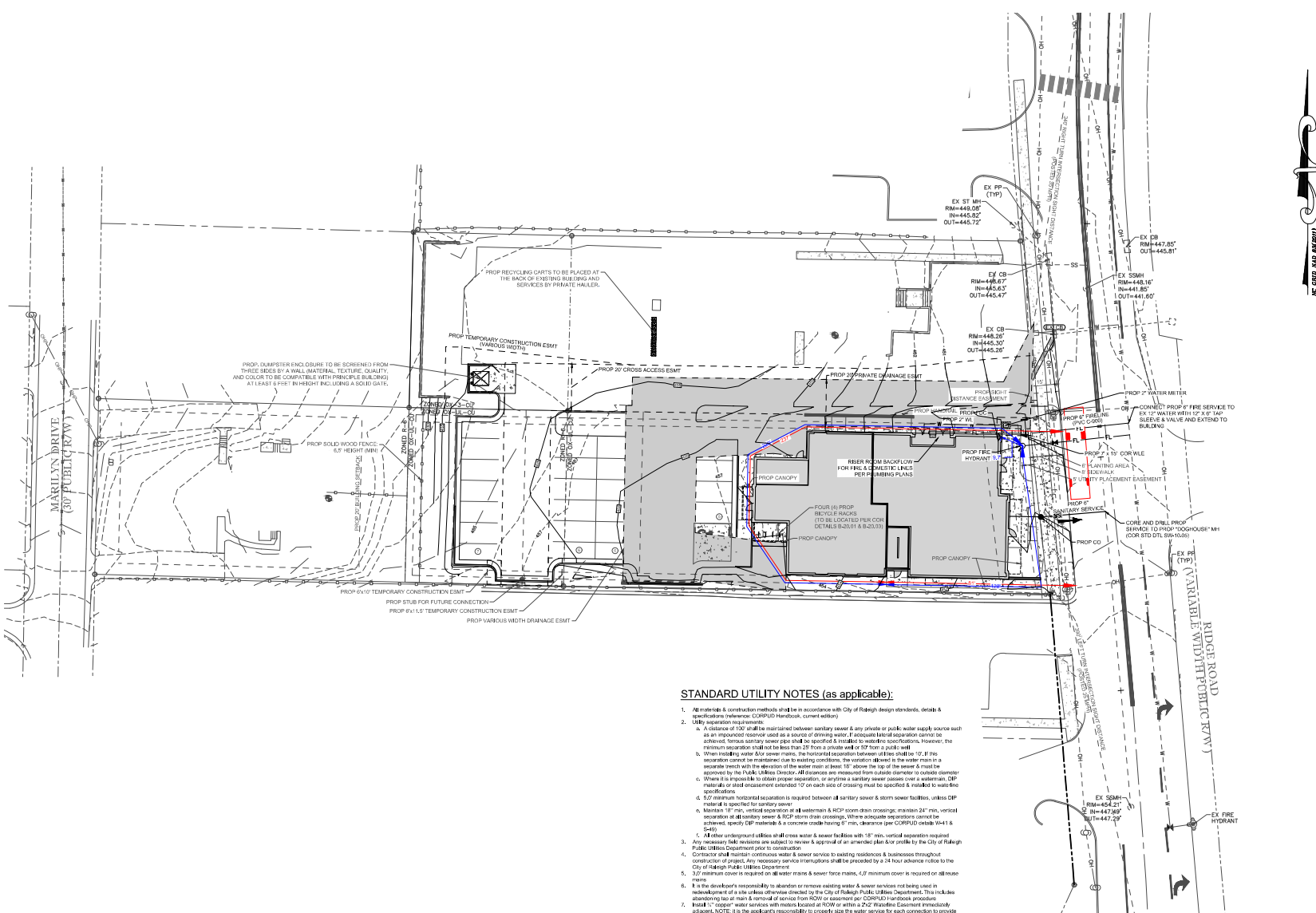
PROP WATER LINE	— W —
PROP SEWER LINE	— S —
EX WATER LINE	— W —
EX SEWER LINE	— S —
PROP FIRE LINE	— FL —

UTILITY PLAN

Number	Description	Date
1	Revision per City of Raleigh comments	04/27/20
2	Revision per City of Raleigh comments	06/22/20
3	Revision per City of Raleigh comments	09/03/20

WACD # 84905  
DRAWING SCALE: 1" = 20'  
DRAWN BY: JD  
CHECKED BY: JRC  
DATE ISSUED: 09/10/2020

C-4



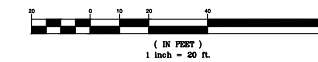
STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications reference: CCRPUD Handbook, current edition
- Utility separation requirements:
  - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to withstand specifications. However, the minimum separation installed be less than 2' from a private well or 3' from a public well.
  - When installing water & sewer mains, the horizontal separation between all lines shall be 10'. If this separation cannot be maintained due to existing conditions, the vertical separation in the water main or a separate trench with the elevation of the water main at least 18" above the top of the sewer & shall be approved by the City of Raleigh Director. All separations are measured from outside of outside of outside of pipe. Where it is impossible to obtain proper separation, any time a sanitary sewer crosses over a watermain, DIP material or steel encasement extended 10' on each side of crossing must be specified & marked to warning specifications.
  - 6" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain a 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP material & a concrete grade having 6" min. clearance per CCRPUD detail #A41 & S40.
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an independent plan checker by the City of Raleigh Public Utilities Department prior to construction.
- Crossings shall maintain minimum water & sewer services to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 30" minimum cover is required on all water mains & sewer force mains, 48" minimum cover is required on all release mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap or main & removal of service from ROW or easement per CCRPUD Handbook procedure.
- Install 1" copper water services with meters located at ROW or within a 24" Waterline Easement previously as shown. NOTE: It is the applicant's responsibility to properly size the water services for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer services @ 1.25% minimum grade with cleanouts located at ROW or easement line & spaced every 75 feet per requirement.
- Pressure retaining valves are required on all water services exceeding 90 psi backwater valves are required on all sanitary sewer services having building floors higher than 10' above the street or driveway.
- All non-permanent permits applicable to the project must be obtained from NCDANO, USACE & FEMA for any coastal buffer, wetland &/or floodplain impacts, respectively prior to construction.
- NCDDOT Right-of-Way Encroachment Agreements are required for any utility work including main extensions & service laterals within state-maintained ROW or easement.
- On-site interceptors, Oil/Water Separator sizing calculations & installation specifications shall be approved by the CCRPUD POC Program Coordinator prior to issuance of a Building Permit. Contact Steven Caldwell at (919) 986-2314 or steven.caldwell@ncdot.gov for more information.
- Construction control program shall be developed based on degree of health hazard involved as defined in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The developer shall maintain American Society of Sanitary Engineering (ASSE) standards for the University of Southern California approval. The review shall be installed and tested both initial and periodic testing frequencies in accordance with the manufacturer's recommendations or the local construction control program, whichever is more stringent. Contact Joanne Hurley at (919) 986-2322 or joanne.hurley@ncdot.gov for more information.

BACKFLOW NOTE:

BACKFLOW DEVICES SHALL BE NO MORE THAN 50' IN PIPING FROM THE BACK OF THE WATER METER.

GRAPHIC SCALE





10 FEBRUARY 2020

**NOT FOR CONSTRUCTION**

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BLDG SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

04.21.20  E.C.R. ASB REVIEW 1

07.01.20  E.C.R. ASB REVIEW 2

09.03.20  E.C.R. ASB REVIEW 3

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**1209 Ridge Road**  
Raleigh, North Carolina  
SITE PLAN SUBMITTAL

DESIGNER : -  
DRAWN : -  
CHECKED : T -  
SCALE : AS SHOWN SHOWN  
JOB NUMBER :  
SHEET TITLE :  
Exterior Elevations

SHEET NUMBER  
**A201**



**2 South Elevation**  
SCALE: 3/16"=1'-0"



**AVERAGE GRADE CALCULATIONS - RIDGE ROAD**

	IMPROVED GRADE*			PRE-DEVELOPMENT		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
NORTH PLANE	455.16	449.90	452.53	456.62	449.21	452.42
SOUTH PLANE	455.22	451.02	453.12	454.33	450.02	454.18
EAST PLANE	451.02	449.90	450.46	450.02	449.21	449.62
WEST PLANE	455.22	454.65	454.94	456.33	453.69	455.01
AVERAGE OF WALL PLANES			452.76			452.55

Per section 15.7.A.2 (10-17-16) of the UDD, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.  
 Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.  
 \*Improved grade shall be established by grading plan approved by the City of Raleigh under SUB-5-5-18.  
 The more restrictive condition occurs in the pre-development condition with an average grade of 452.55'

**Transparency Calculations:**  
East Elevation - Ridge Rd.

GROUND LEVEL SURFACE AREA (WITHIN 0'-0" TO 12'-0")	740 SF
AREA OF REED TRANSPARENCY CODE:	370 SF
ACTUAL AREA OF TRANSPARENCY PROVIDED:	498 SF (67%)
AREA OF REED TRANSPARENCY WITHIN 0'-0" TO 12'-0" PROVIDED:	
AREA OF REED TRANSPARENCY WITHIN 3'-0" TO 8'-0" PROVIDED:	240 SF
3'-0" TO 8'-0" (SIDE OF REED TRANSPARENCY AREA):	185 SF
ACTUAL AREA OF TRANSPARENCY PROVIDED:	216 SF
THIRD LEVEL SURFACE AREA (FLOOR TO FLOOR)	709 SF
AREA OF REED TRANSPARENCY CODE:	142 SF
ACTUAL AREA OF TRANSPARENCY PROVIDED:	216 SF

NOTE: ELEVATIONS HEIGHTS BASED ON AVERAGE GRADE (PRE-DEVELOPMENT) HAVE BEEN REVISED BASED ON UPDATED AVERAGE GRADE TABLE

**1 East Elevation**  
SCALE: 3/16"=1'-0"

ELEVATIONS FACES RIDGE RD. RIGHT-OF-WAY WITH FIRE SEPARATION DISTANCE 300' NO LIMIT ON UNPROTECTED OPENINGS

NOT FOR  
CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- 02.10.20  BUILDING DEPT. PLAN CHECK
- BFO SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

04.21.20  COLR ASR REVIEW 1

07.01.20  COLR ASR REVIEW 2

09.03.20  COLR ASR REVIEW 3

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1209 Ridge Road

Raleigh, North Carolina

SITE PLAN SUBMITTAL

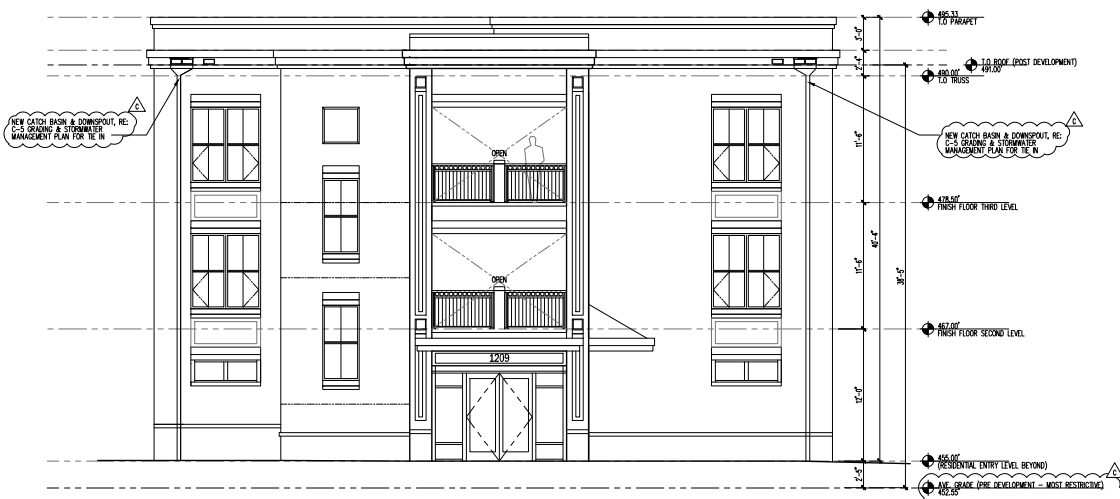
- DESIGNER : -
- DRAWN : -
- CHECKED : T
- SCALE : AS SHOWN
- JOB NUMBER :
- SHEET TITLE : Exterior Elevations

SHEET NUMBER  
**A202**



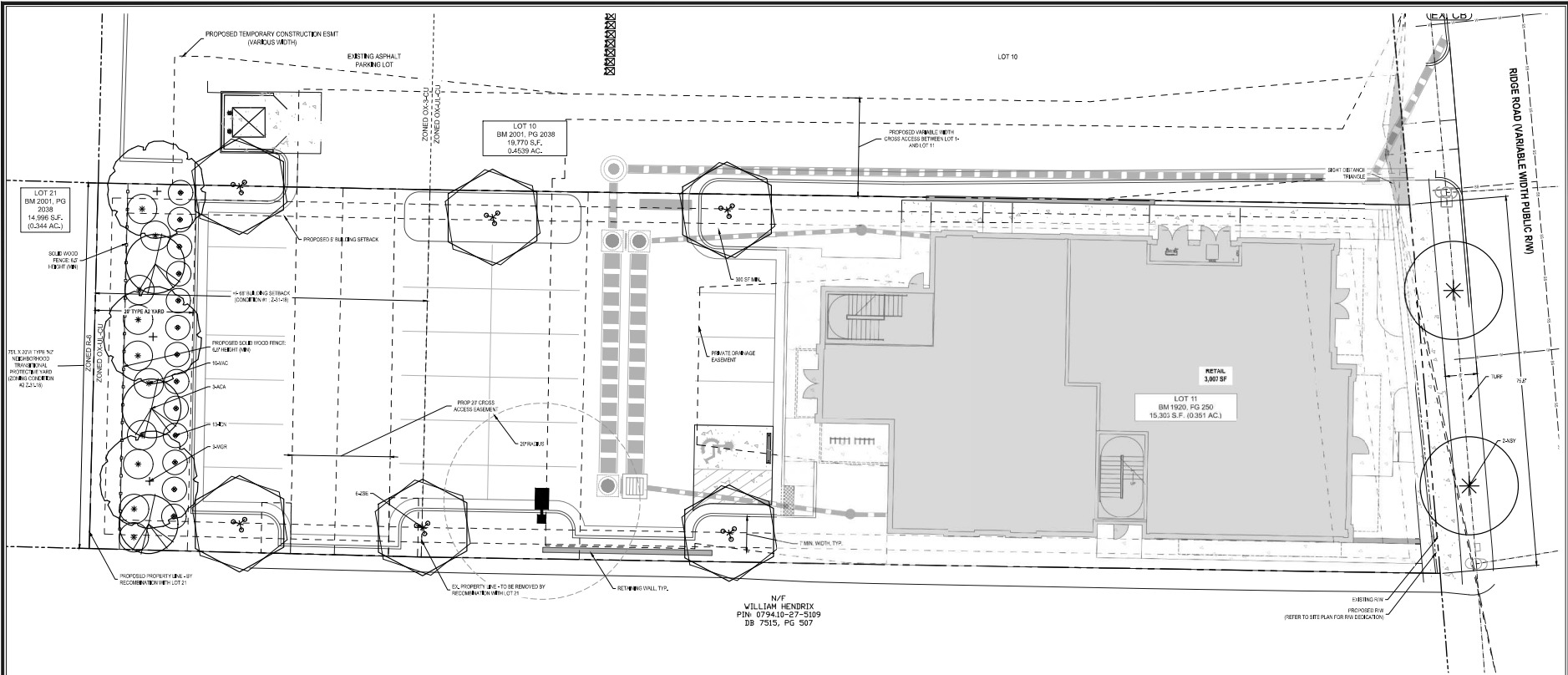
**2** North Elevation  
SCALE: 3/16"=1'-0"

WALL AREA 1 = 3,635 SF (ABOVE GRADE)	WALL AREA 2 = 828 SF (ABOVE GRADE)
258 UNPROTECTED OPENINGS = 859 SF ALLOWED	708 UNPROTECTED OPENINGS = 621 SF ALLOWED
RETAL WINDOW: 122 SF EA x 1 = 122 SF	STAR WINDOW: 19.5 SF EA x 2 = 39 SF
MEDIUM PUNCHED WINDOW: 43 SF EA x 7 = 301 SF	DOOR OPENINGS: 24 SF EA x 1 = 24 SF
BALCONY WINDOW: 55 SF EA x 7 = 385 SF	
DOOR OPENINGS: 65 SF EA x 2 = 130 SF	
TOTAL UNPROTECTED OPENINGS = 888 SF	TOTAL UNPROTECTED OPENINGS = 63 SF



**1** West Elevation  
SCALE: 3/16"=1'-0"

NOTE: ELEVATIONS HEIGHTS BASED ON AVERAGE GRADE (PRE-DEVELOPMENT) HAVE BEEN REVISED BASED ON UPDATED AVERAGE GRADE TABLE



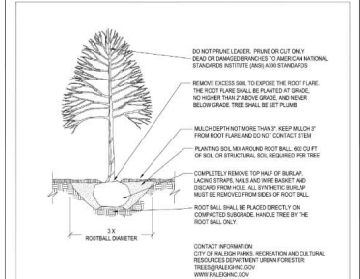
- GENERAL LANDSCAPE NOTES**
- THE PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL ETC, REFER TO THE SITE AND GEOTECHNICAL.
  - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND ACCORD IF APPLICABLE.
  - NO CHANGES TO ANY ASPECT OF THIS PLAN WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING JURISDICTION.
  - ALL TREES SHALL BE STAKED AND RECORDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - ALL ABOVEGROUND HVAC EQUIPMENT AND UTILITY DEVICES (ELECTRICAL, BUT NOT LIMITED TO TELEPHONE AND CABLE, FIBER OPTICAL, ELECTRICAL TRANSFORMERS, BACKUP GENERATOR, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EXTENSION SCREEN FENCE OR WALL.
  - ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED ASLCA STANDARDS AS SET FORTH IN "MANUFACTURER'S STANDARDS FOR WAREHOUSE STOCK" (2014 OR LATER EDITION).
  - ALL TREES AND SHRUBS SHALL BE FULLY DEVELOPED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
  - ALL PLANT BEDS TO BE MATCHED WITH A MINIMUM OF 2" DOUBLE-SHEDDED HARDWOOD MULCH (SHOWN 2" MINIMUM PARTICLE SIZE, NO FINE STRAW PERMITTED). ALL PLANT GROUND SHALL BE MULCHED AS ONE BEG.
  - SPRINKLER PERMITS VERMONT TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
  - TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4" (DOES NOT APPLY IN URN AREAS AND 6" (DOES NOT APPLY IN URN AREAS) OF BEDS.
  - SOIL LOCKDOWN ON ALL URN AREAS SHALL BE APPROVED OWNER ON-LANDSCAPE ARCHITECT.
  - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY INSTALLATION.
  - IF THE SITE CONDITIONS SHOWN ON THE PLAN NO OBSTRUCTION BETWEEN 2 FEET AND 4 FEET ABOVE GROUND SHALL BE REMOVED OR SHALL BE LOCATED BY WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BENCH, POLE, FENCE, WALL, SIGN OR PARKED VEHICLE.

**"NUMBER OF PLANTS PER 100 SQ. FT."**

SPACING	ROW	PLANTS/100 SQ. FT.
6' x 6'	5' x 5'	400
8' x 6'	6' x 5'	288
10' x 6'	8' x 5'	158
12' x 6'	10' x 5'	112
15' x 6'	12' x 5'	80
18' x 6'	15' x 5'	60
24' x 6'	20' x 5'	45
30' x 6'	25' x 5'	36
36' x 6'	30' x 5'	30
42' x 6'	35' x 5'	28
48' x 6'	40' x 5'	25
54' x 6'	45' x 5'	23
60' x 6'	50' x 5'	21



- CITY OF RALEIGH PERIMETER LANDSCAPE REQUIREMENTS**
- TRANSITIONAL PROTECTIVE YARD CALCULATIONS (UDO - SECTION 3.5.3 B 2)**
- THE CALCULATION:**
- 1. 10' MIN. PLANT HEIGHT
  - 2. REQUIRED 1 SPACE TREE PER 100' 5' PLANT HEIGHT = 4 REQUIRED
  - 3. REQUIRED 2 LARGER TREES PER 100' 4' PLANT HEIGHT = 4 REQUIRED
  - 4. REQUIRED 30 SHRUBS PER 100' 30' PLANT HEIGHT = 20 REQUIRED
- VEHICLE SURFACE AREA (V.S.A.) REQUIREMENTS:**
- 1. 1000 SQ. V.S.A.
  - 2. REQUIRED 1 TREE PER 2000 SQ. FT. CAL. MIN. 7800 SQ. 2000 SQ. = 3.90 REQUIRED
  - 3. ALL PARKING SPACES SHALL BE WITHIN 90' OF A SHADE TREE
- RESIDENTIAL REQUIREMENTS:**
- 1. REQUIRED STREET TREES @ 40' O.C.
  - 2. 2 PROVIDED

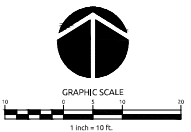


- NOTES:**
1. TREES MUST BE SET WITH TREE PROTECTIVE STAKES AND IN 24" OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PATS. (POSITIVE DRAINAGE AWAY FROM PAT).
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 01 AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL CUTLIES AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IS ACCORDING WITH THE CITY MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES SHALL MAINTAIN A VERTICAL CLEARANCE ABOVE THE HAZEL AN ENTIRE 48 HOURS BY THE CITY.



**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES
2	MGR	Magnolia grandiflora 'D. Burchard'	DD Burchard Southern Magnolia	9BS	3" CAL. MIN.	10' MIN.	42 YARD STREET TREE
2	NEY	Nyssa sylvatica	Black Gum	9BS	3" CAL. MIN.	10' MIN.	42 YARD STREET TREE
6	ZSE	Zelkova serotina 'Green Vista'	Green Vista Japanese Zelkova	9BS	3" CAL. MIN.	10' MIN.	42 YARD STREET TREE
3	ACA	Asplenochloa carolinensis	Driveway	9BS	1.5" CAL. MIN.	8' MAX.	42 YARD
13	ICN	Ilex cornuta 'Noodinopt'	Noodinopt Holly	CONT.	3" HT. MIN.	42 YARD	
10	VAC	Viburnum acerifolium 'Chick'	Chick Viburnum	CONT.	3" HT. MIN.	42 YARD	



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